

PUBLIC NOTIFICATION



Approval Sought:	Material Change of Use and Operational Works
Proposed Development:	Place of Worship and Advertising Device (wall sign)
Where:	5-7 Fraser Street, Park Avenue
Lot Description:	Lot 77 on SP142293 and Lot A on AP7235
Application Reference:	D/100-2024

Make a submission from:

4 November 2024 to 22 November 2024

You may make a submission to Rockhampton Regional Council

PO BOX 1860, Rockhampton QLD 4700

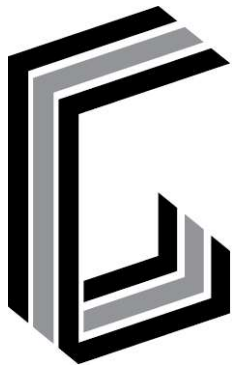
Email: enquiries@rrc.qld.gov.au

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GIDEON
TOWN PLANNING

PLANNING REPORT

**MATERIAL CHANGE OF USE FOR
PLACE OF WORSHIP AND OPERATIONAL
WORKS ASSOCIATED WITH AN ADVERTISING
DEVICE (WALL SIGN)**

LOT 77 SP142293

**5-7 FRASER STREET
PARK AVENUE QLD 4701**

OASIS NEW LIFE CENTRE PROPERTY LTD

7 August 2024

DOCUMENT CONTROL SHEET

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1.0 INTRODUCTION

This Planning Report has been prepared on behalf of *Oasis New Life Centre Property Ltd* in support of a Development Application for a Material Change of Use for a Place of Worship and Operational Works associated with an Advertising Device (Wall Sign) located at 5-7 Fraser Street, Park Avenue, described as Lot 77 SP142293.

In accordance with the *Rockhampton Region Planning Scheme 2015* (the Planning Scheme) and pursuant to the *Planning Act 2016*, the proposed development constitutes Assessable Development in the Low Density Residential Zone, requiring a Development Permit for a Material Change of Use (Impact Assessable).

The proposed development is to reinstate the place of worship building destroyed by fire in 2023 and consequently demolished. Given that the development does not adversely impact the surrounding low density residential area, the proposal is considered consistent with the overall outcomes of the Low Density Residential Zone.

The zone outcomes allow for non-residential uses that do not compromise the residential amenity of the area. The proposed development will contribute to the diversity and mix of land uses as envisaged by the zone intent and outcomes.

The subject site is bordered by Moores Creek, a railway corridor, a road reserve only utilised by the proposed development, and a small vacant lot separating it from a high-order road. Its unique location, combined with the retention of the existing flood fence, screens the site from the view of other uses, reducing any land-use conflicts.

This report addresses the relevant Codes and Policies of the Planning Scheme and relevant State planning instruments. Supporting information identifies compliance with the Acceptable Outcomes of the applicable Planning Scheme Codes and demonstrates planning merit for the proposed development.

The proposed development is considered to satisfy the relevant requirements of the regional, state, and local planning instruments. The development accords with the relevant Planning Scheme Codes and maintains the outcomes sought for the Low Density Residential Zone. It is considered that the proposal has merit and warrants favourable consideration by Council.

2.0 PROJECT OVERVIEW

2.1 Site Details

Property Address:	5-7 Fraser Street, Park Avenue
Property Description:	Lot 77 SP142293
Encumbrances:	N/A
Registered Owner	Oasis New Life Centre Property Ltd (Refer to Appendix C – Title Search)
Total Site Area:	4,429m ²

2.2 Application Details

Applicant:	Oasis New Life Centre Property Ltd c/- Gideon Town Planning
Approval Type:	Development Permit for Material Change of Use and Operational Works associated with an advertising device
Description of proposal	Place of Worship
Local Government Area:	Rockhampton Regional Council
Assessment Manager:	Rockhampton Regional Council
Planning Scheme:	Rockhampton Region Planning Scheme 2015
Zoning:	Low Density Residential Zone
Overlays:	<ul style="list-style-type: none">• Acid Sulphate Soils – Above 5m and below 20m AHD• Airport Light Restriction Zone – Buffer 6km• Airport Obstacle – Height Limit 20m• Airport Wildlife Hazard Buffer Area – 8km• Biodiversity Areas Overlay – MSES• Biodiversity Waterways Overlay• Coastal Erosion Prone Area Overlay• Coastal Hazard Overlay<ul style="list-style-type: none">- High Hazard- Medium Hazard• Creek Catchment Flood Overlay – Planning Area 1 and 2• Fitzroy River Flood Overlay<ul style="list-style-type: none">- H1 Low Hazard- H2 Medium Hazard- H3 High Hazard- H4 High Hazard- H5 Extreme Hazard- H6 Extreme Hazard• Local Catchment Defined Flood Event (info only)• Property is within Sewer and Water Supply Planning Area• Railway Noise Corridor<ul style="list-style-type: none">- Railway Noise Corridor – Cat 0- Railway Noise Corridor – Cat 1- Railway Noise Corridor – Cat 2- Railway Noise Corridor – Cat 3- Railway Noise Corridor – Cat 4

- Road Hierarchy Overlay – Urban Access Street
- ROCK DSTE – Storm Surge Potential
 - Extreme
 - High
 - Medium
- Steep Land Overlay
 - 15-20% slope
 - 20-25% slop
 - 25%+ slope

Level of Assessment: Impact Assessment

Relevant Code: Zone and Development Codes:

- Low Density Residential Zone Code
- Access, parking and transport code
- Landscape code
- Stormwater management code
- Waste management code
- Water and sewer code

Overlay Codes:

- Acid sulfate soils overlay code
- Airport environs overlay code
- Biodiversity overlay code
- Coastal protection overlay code
- Flood hazard overlay code

Referral Agencies: State Assessment and Referral Agency

Regional Plan: Central Queensland Regional Plan 2013

3.0 CHARACTERISTICS OF SITE AND SURROUNDING AREA

3.1 Site Details and Location

The subject site, located at 5-7 Fraser Street, Park Avenue, described as Lot 77 on SP142293, is approximately 2 km south of the Rockhampton CBD. To the northwest are properties with low density residential land use, while the areas to the south and east feature a mix of commercial uses and a hostel. The site is bordered by Fraser Street on the northwest, a railway corridor to the north, Moores Creek to the east, and a vacant lot that connects to Glenmore Road on the south. The existing flood fence, combined with these boundaries, effectively screens the site from neighbouring properties.



Figure 1 Site Location
Source: Queensland Globe

3.2 Site Characteristics

3.2.1 Area and Configuration

With an irregular configuration, the subject site has an area of 4,429m², with a road frontage of approximately 75m along Fraser Street, identified as Urban Access Street under the planning scheme. While the development appears to have a frontage to Glenmore Road, it is separated by Lot 59 on SP142293, which is not owned by the applicant.

3.2.2 Existing Improvement

The previous place of worship building, with a gross floor area of 1780m², was destroyed by fire in 2023 and consequently demolished. Currently, the subject site has remnant building footings, a free-standing open storage shed, a 1.25m flood fence and a bitumen car parking area. There is an existing free-standing LED sign on the Glenmore Road frontage that will be retained.

There are existing development approvals over the site:

- D/124-2004 – Material Change of Use for a Place of Worship

- D/82-2020 – Material Change of Use for an Indoor Sport and Recreation (Children’s Play Area)

As noted in *Appendix F — Council Pre-lodgement Minutes*, while there are existing land use rights for a Place of Worship over the site, the proposed re-build does not meet the criteria for a Minor Change to the Development Permit as it significantly changes the built form in terms of scale, bulk, appearance and triggers a State referral.

3.2.3 Topography and Vegetation

The subject site is generally flat and has vegetation lines along the northern, eastern and southern boundaries. There is no vegetation of environmental significance present.

3.2.4 Services

The subject site is connected to the following urban services:

- Water infrastructure is located within Glenmore Road (blue on insert map below)
- Sewer infrastructure is located toward the northwest corner of the site (maroon on insert map below)
- Stormwater infrastructure is located within Glenmore Road (green on insert map below)
- Telecommunications infrastructure, not owned or managed by Council, is available along the road frontage
- Electrical infrastructure, not owned or managed by Council, is available along the road frontage

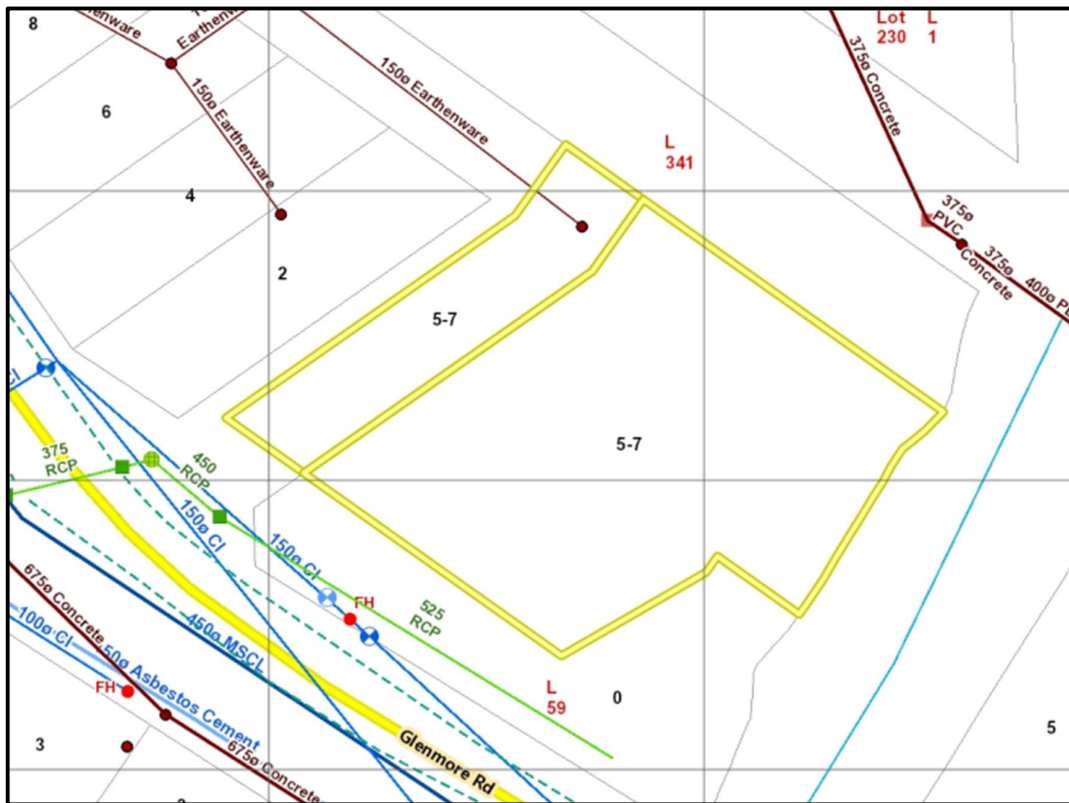


Figure 2 Council Infrastructure Map
Source: Rock e Plan

3.2.5 Easements

The subject site does not contain any easements.

4.0 DEVELOPMENT PROPOSAL

4.1 Proposal Description

The proposal is to reinstate the place of worship that was destroyed by fire in 2023 and consequently demolished. The new purpose-designed building, with a height of approximately 8.5m, will be contemporary in style. The proposed development has a gross floor area (GFA) of 1695.5m², 84.5m² smaller than the GFA of the previous structure. The new building will be constructed within the previous building's footprint, with a setback of approximately 1.3 meters from the rear boundary and approximately 1 metre from Fraser Street.

The site is accessed from Fraser Street, a short dead-end road used exclusively by visitors to the subject site and includes 26 car spaces. Entry to the development is through double gates leading directly into a bitumen car park with 51 spaces. The main building entrance, equipped with large glass doors, fixed glass panels, and a prominent cantilevered awning, is both accessible and clearly visible from the car park. The cantilevered awning provides shelter from the elements and helps to break up the building's bulk. A smaller cantilevered awning is located at the opposite end of the building over the loading dock roller door. Various colours, materials and other decorative design elements present an articulated façade.

The main entrance leads into a public hall that provides access to the kitchen/café, reception area, storerooms, and the main auditorium. The main auditorium accommodates open-plan seating, a main stage, a green room and a side stage area. A hallway on the northeastern side of the building grants access to four smaller rooms designated for Sunday School, media activities, a parenting room, and amenities.

From the public hall, a small mezzanine level is accessible via stairs or a lift, featuring administration offices, a board room, and associated facilities, including a kitchenette and additional amenities.

The kitchen/Café is ancillary to the place of worship use and will not be operated as a standalone food and drink outlet. There will be no public access to the rear of the building adjoining the railway corridor.

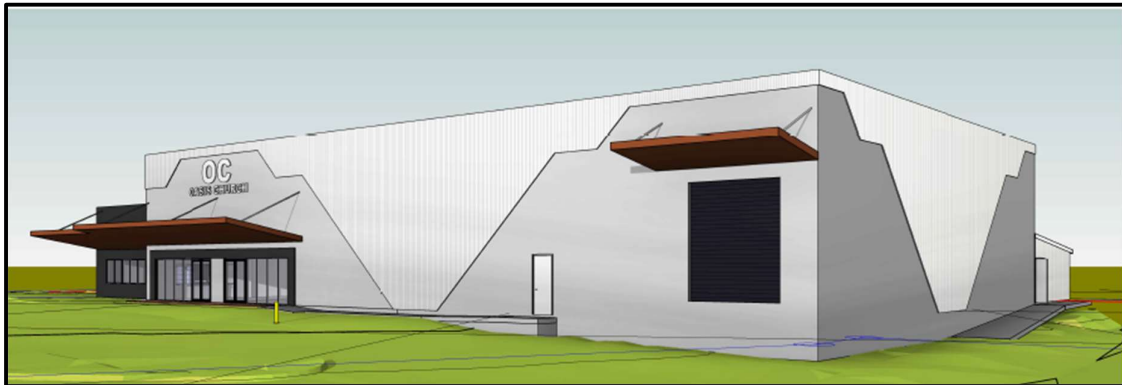


Figure 3 Building Design
Source: Rufus Design

4.1.1 Operating Hours

The hours of operation will be as follows:

- Tuesday through Friday – 8.30 am to 5.30 pm
- Sunday – 8.30 am to 2.30 pm

The subject site is surrounded by Moores Creek, a railway corridor, a road reserve exclusively used by the proposed development, and a small vacant lot that separates it from a major road.

Its distinctive location and the existing flood fence screening result in a relatively isolated setting. Consequently, the facility's use does not pose any significant impact on local amenities, making restrictions on operating hours unnecessary.

4.1.2 Vehicle Access and Parking

The existing access driveway from Fraser Street will be used for the development, allowing vehicles to enter and exit the site in forward gear. The current parking provision includes 77 spaces—51 on-site and 26 on Fraser Street Reserve—which will be retained. Although this number is below the ratio specified in *Table 9.3.1.3.2*, it has consistently been sufficient, even during peak times such as Sunday morning services. With the proposed development's GFA being 84.5 m² smaller than the existing building (now demolished) and no significant increase in the number of patrons expected, the current parking provision will adequately support the development.

4.1.3 Landscaping

The proposal maintains the majority of the existing landscaping around the site, with some additional landscaping to be provided in the car parking area. The existing flood fence will be retained, with a small section to be reinstated that was removed to enable the demolition of the fire-damaged building.

4.1.4 Services

The development will retain all existing connections to infrastructure and services. A Stormwater Management Report and Flood Statement accompany the application (Refer to *Appendix G – Technical Memorandum – Stormwater and Flooding*).

4.1.5 Signage

The development will include an illuminated sign above the large cantilevered awning on the front of the building (Refer to *Appendix D – Proposal Plans*).

4.1.6 Waste Management

As per existing arrangements, the development will utilise Council's weekly kerbside collection for general waste and recycling.

5.0 REVIEW OF LEGISLATIVE REQUIREMENTS

5.1 Assessment Overview

5.1.1 Matters to be assessed

In accordance with the *Rockhampton Region Planning Scheme 2015* and, in particular, in accordance with Table of Assessment and Assessment Benchmarks 5.4.1.1 *Material Change of Use in the Low Density Residential Zone*, the development is subject to **Impact Assessment**.

According to Section 45(5) of the Planning Act:

"(5) An impact assessment is an assessment that—

- a) *must be carried out—*
 - i. *against the assessment benchmarks in a categorising instrument for the development; and*
 - ii. *having regard to any matters prescribed by regulation for this subparagraph; and*
- b) *may be carried out against, or having regard to, any other relevant matter, other than a person's personal circumstances, financial or otherwise."*

Assessment benchmarks are described in Section 30 of the Planning Regulation 2017 ("Planning Regulation") :

- (1) For section 45(5)(a)(i) of the Act, the impact assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.
- (2) Also, if the prescribed assessment manager is the local government, the impact assessment must be carried out against the following assessment benchmarks—
 - a) *the assessment benchmarks stated in—*
 - i. *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - ii. *the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - iii. *a temporary State planning policy applying to the premises;*
 - b) *(b) if the development is not in a local government area—any local planning instrument for a local government area that may be materially affected by the development;*
 - c) *(c) if the local government is an infrastructure provider—the local government's LGIP*
- (3) However, an assessment manager may, in assessing development requiring impact assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development."

The following sections include an assessment of the proposal against the relevant components of the *Rockhampton Region Planning Scheme 2015* and the relevant State Government planning instruments and legislative requirements.

5.2 Rockhampton Region Planning Scheme 2018

5.2.1 Planning Scheme Definitions

Under the *Rockhampton Region Planning Scheme 2015*, the proposal has been defined as:

Place of worship means the use of premises for—

- a) organised worship and other religious activities; or
- b) social, education or charitable activities, if the use is ancillary to the use in paragraph (a).

As described in Section 4, the proposal aligns with the above land use definition.

5.2.2 Planning Scheme Zone

The subject site is located within the Low Density Residential Zone under the *Rockhampton Region Planning Scheme 2015*.

5.2.3 Level of Assessment

In accordance with *Table 5.4.1.1 Table of Assessment for Material Change of Use in the Low Density Residential Zone* the proposed Place of Worship is **Impact Assessable** under the planning scheme.

5.2.4 Planning Scheme Overlays and Codes

The site is affected by the following Planning Scheme Overlays.

Table 1 Planning Scheme Overlays and Codes

Overlays	Relevant Code	Comment
Acid Sulfate Soils	Acid Sulphate Soils Overlay Code	The subject site is affected by the Acid Sulfate Soils Overlay, but the proposed development does not include any excavation. It is therefore not deemed necessary to address the code in full.
<ul style="list-style-type: none">• Airport Lighting Area – 6km buffer• Airport Obstacle Limitations – 20m limit• Airport Wildlife Hazard Area – 38km buffer	Airport Environs Overlay Code	The subject site is affected by the Airport Environs Overlay, but the proposed development does not propose any buildings or structures above the prescribed height limit. It is therefore not deemed necessary to address the code in full.
Biodiversity – MSES and Waterways Overlay	Biodiversity Overlay Code	While the area is identified as MSES, development is occurring within the previous building footprint and the development does not encroach beyond the existing flood fence. It is therefore not deemed necessary to address the code in full.
<ul style="list-style-type: none">• Coastal Erosion Prone Area• Coastal Hazard Overlay<ul style="list-style-type: none">- High Hazard- Medium Hazard	Coastal Protection Overlay Code	The subject site is partially affected by the Coastal Protection Overlay, but the proposed development does not propose any buildings or structures within the overlay area. It is therefore not deemed necessary to address the code in full.

<ul style="list-style-type: none"> • Fitzroy River Flood <ul style="list-style-type: none"> - Extreme Hazard - High Hazard - Medium Hazard • Creek Catchment Flood <ul style="list-style-type: none"> - Planning Area 1 - Planning Area 2 	Flood Hazard Overlay Code	The proposed development is consistent with the purpose of the Flood Hazard Overlay Code. An assessment of the proposal against the relevant code is included in <i>Appendix E – Code Assessment</i> . Refer to <i>Appendix G – Technical Memorandum – Stormwater and Flooding</i> .
Steep Land Overlay – 15%-20% slope; 20-25% slope; 25% slope	Steep Land Overlay Code	The subject site is partially affected by the Steep Land Overlay, but the proposed development does not propose any buildings or structures within the overlay area. It is therefore not deemed necessary to address the code in full.
Road Hierarchy – Urban Access Street	N/A	It is noted that Fraser Street is defined as an Urban Access Street under the planning scheme.

The proposed development is considered to be consistent with the outcomes sought for the Planning Scheme Overlay provisions as they apply to the subject site.

5.2.5 Other Planning Scheme Codes

The following other Planning Scheme Codes have been identified as being relevant to the assessment of proposed development:

Table 2 Other Planning Scheme Codes

Code	Comment
Low Density Residential Zone Code	The proposed development is consistent with the purpose of the Low Density Residential Zone Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Access, Parking and Transport Code	The proposed development is consistent with the requirements of the Access, Parking and Transport Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Landscape Code	The proposed development is consistent with the requirements of the Landscape Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Stormwater Management Code	The proposed development is consistent with the requirements of the Stormwater Management Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Waste Management Code	The proposed development is consistent with the requirements of the Waste Management Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Water and Sewer Code	The proposed development is consistent with the requirements of the Water and Sewer Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.
Advertising Devices Code	The proposed development is consistent with the requirements of the Advertising Devices Code. <i>Appendix E - Code Assessment</i> contains an assessment of the proposed development against the Code.

5.2.5.1 Low Density Residential Zone Code

The purpose of the low density residential zone code is to:

- (a) *provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;*
- (b) *provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;*
- (c) ***minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and***
- (d) ***ensure that development within the zone has appropriate standards of infrastructure and essential services.***

The purposes of the zone will be achieved through the following outcomes:

- (a) *development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally low-rise, 1-2 storey built form and low density character with small scale, detached buildings;*
- (b) *residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);*
- (c) *low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;*
- (d) *short-term accommodations only occurs where it:*
 - (i) *is established in an existing dwelling;*
 - (ii) *does not adversely impact on the amenity of the surrounding residential area;*
 - (iii) *maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and*
 - (iv) *is limited in scale and duration;*
- (e) ***non-residential uses only occur within the zone where they:***
 - (i) ***do not compromise the residential character and existing amenity of the surrounding area;***
 - (ii) ***are small-scale and consistent with the surrounding urban form;***
 - (iii) ***primarily function to service the needs of the immediate local residential community;***
 - (iv) ***do not detract from the role and function of centres;***
 - (v) ***do not result in the expansion of a centre zone; and***
 - (vi) ***have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;***
- (f) *no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;*
- (g) *neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;*

- (h) *new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;*
- (i) ***development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;***
- (j) ***development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;***
- (k) *new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;*
- (l) *new residential developments are located and integrated with existing neighbourhoods;*
- (m) ***development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;***
- (n) ***development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;***
- (o) ***development is serviced by infrastructure that is commensurate with the needs of the use; and***
- (p) *the establishment of one (1) precinct within the zone where particular requirements are identified:*
 - (i) Fitzroy River accommodation precinct; and
 - (ii) Residential stables precinct.

The proposed development aligns with the objectives and desired outcomes outlined in the Low Density Residential Code in the following ways:

- The unique location is generally isolated, effectively minimising land use conflict, ensuring compatibility with the surrounding area, and preserving the amenity of the neighbourhood.
- The proposed development harmonises with the surrounding urban form and primarily services the local residential community.
- The development does not undermine the role and function of existing centres and does not create an expansion of the centre zone.
- The development has immediate access to Glenmore Road, a key urban route, and is well connected by existing public transport services.
- The development connects to existing infrastructure and essential services.
- The contemporary building features cantilevered awnings, diverse built forms, varied shapes and colours, large glass panels and doors, and other decorative elements, all contributing to an articulated façade that blends seamlessly with the surrounding streetscape.
- The development has been designed to minimise environmental impacts such as traffic, noise, dust, odour and lighting.
- The development has been designed according to energy-efficient best practices and will retain the existing vegetation onsite.

5.2.6 Strategic Framework

5.2.6.1 Settlement Pattern

Table 3 Settlement Pattern

Element	Comment
<i>Natural conservation, open space and natural corridor or link Township</i>	The development proposal does not relate to or impact this element.
<i>Rural residential</i>	The development proposal does not relate to or impact this element.
<i>Rural</i>	The development proposal does not relate to or impact this element.
<i>Industrial</i>	The development proposal does not relate to or impact this element.
<i>Urban and new urban</i>	The proposal supports the intent of urban development.
<i>Future urban</i>	The development proposal does not relate to or impact this element.
<i>Urban Infill and intensification</i>	The development proposal does not relate to or impact this element.
<i>Centres</i>	The proposal will not compromise the role and function of designated centres.
<i>Specialised centres</i>	The development proposal does not relate to or impact this element.
<i>Specific Use</i>	The development proposal does not relate to or impact this element.

5.2.6.2 Natural Environment and Hazards

Table 4 Natural Environment and Hazards

Element	Comment
<i>Areas of environmental significance</i>	The subject site contains a section mapped as MSES – Wildlife Habitat Waterways. The proposed development is replacing the existing building and, therefore, poses no threat to the area of environmental significance.
<i>Natural hazards and climate change</i>	The proposed development is within the Flood Hazard Overlay. An existing flood fence will be retained. A small portion is mapped as storm tide, coastal erosion and steep land. All of these mapped overlays are outside the flood fenced area and not impacted by the proposed development. The safety of people will be maintained, and damage to property will not be increased.
<i>Coastal environment</i>	The development proposal does not relate to or impact this element.
<i>Water resources, catchment management and healthy waters</i>	The subject site borders the Fitzroy River but does not impact this element.
<i>Landscape and scenic amenity</i>	The development proposal does not relate to or impact this element.
<i>Air-noise and hazardous materials</i>	The development proposal does not relate to or impact this element.
<i>Waste</i>	The development proposal does not relate to or impact this element.

5.2.6.3 Community Identity and Diversity

Table 5 Community Identity and Diversity

Element	Comment
<i>Housing diversity, safe communities and equitable access</i>	The development proposal does not relate to or impact this element.
<i>Community identity</i>	The proposed development creates a public meeting place and a community service positively contributing to the community identity.
<i>Heritage and character</i>	The development proposal does not relate to or impact this element.
<i>Sport and recreation and open space</i>	The development proposal does not relate to or impact this element.
<i>Social, arts and cultural infrastructure</i>	The proposed development is well-served by existing infrastructure.

5.2.6.4 Access and Mobility

Table 6 Access and Mobility

Element	Comment
Public and active transport	The development site is serviced by Glenmore Road (Urban Sub-Arterial), making the site highly accessible. The location of the development will not impact the safety and efficiency of the existing transport infrastructure.
Road network	The development site is located adjacent to a Urban Sub-Arterial road, making the site highly accessible and compatible to accommodate the traffic generated by the proposed land use. The formal establishment of the use will not increase the level of traffic to the development.
Rail network	The development proposal is adjacent to a rail corridor. A flood Impact Assessment has been undertaken and will be provided to support the application. An existing flood fence will be retained. Stormwater will be contained within the subject site.
Freight network and key logistics hub	The development proposal does not relate to or impact this element.
Air transport	The development proposal does not relate to or impact this element.
Sea transport	The development proposal does not relate to or impact this element.

5.2.6.5 Infrastructure and Services

Table 7 Infrastructure and Services

Element	Comment
Inter-regional networks	The development proposal does not impact this element.
Local area networks	The proposal will be connected to: <ol style="list-style-type: none"> a reliable supply of potable water (Council's water infrastructure); a reliable sewerage network (Council's sewerage network); effective stormwater drainage and treatment; an effective and safe transport network; a reliable and safe electricity network; and communication networks (including the National Broadband Network).

5.2.6.6 Natural Resources and Economic Development

Table 8 Natural Resources and Economic Development

Element	Comment
Protection of key assets	The development proposal does not impact this element.
Industrial development	The development proposal does not relate to or impact this element.
Rural land	The development proposal does not expand onto land with rural productive capacity.
Extractive and mineral resources	The development proposal does not relate to or impact this element.
Forestry	The development proposal does not relate to or impact this element.
Marine resources	The development proposal does not relate to or impact this element.
Tourism	The development proposal does not relate to or impact this element.

The proposed development does not conflict with the Strategic Framework of the *Rockhampton Region Planning Scheme 2015*.

5.3 Planning Scheme Policies

Any applicable Planning Scheme Policies will be addressed as considered necessary to the assessment of the proposed development.

5.4 State Government Planning Framework

5.4.1 Central Queensland Regional Plan 2013

The subject site is within the Priority Livings Area under the CQRP 2013. The proposed development does not conflict with the regional plan.

5.4.2 State Planning Policy 2016

The State Planning Policy was released on 3 July 2017. It is a State planning instrument made under Chapter 2, Part 2, Section 10 of the *Planning Act 2016*.

As prescribed in Section 26(2)(a)(ii) of the Planning Regulation, the State Planning Policy represents an assessment benchmark, and the assessment manager must have regard for State Planning Policies if it is not identified as being appropriately reflected in the planning scheme.

The State Planning Policy is identified as being reflected in the Rockhampton Region Planning Scheme, which is the relevant planning scheme in this instance. Since the commencement of the Planning Scheme, the July 2017 version of the SPP has taken effect. It is considered that the amendments in the July 2017 version of the State Planning Policy are not substantial and do not affect the State interests reflected in the Planning Scheme. The State Planning Policy is therefore not directly applicable to the development of the site.

5.4.3 State Planning Regulatory Provisions

No State Planning Regulatory Provision will be compromised as a result of the proposed development.

6.0 REFERRALS

The Planning Regulation 2017 identifies triggers and thresholds for development requiring referral to the State and other agencies.

The proposed development triggers a referral to the Department of Transport and Main Roads.

6.1 State Transport Infrastructure

- **Schedule 10, Part 9 Infrastructure-related referrals, Division 4, Subdivision 2, Table 4 – Material change of use of premises near State transport corridors and future State transport corridors**

Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—

(a) are within 25m of a State transport corridor; or

(b) are a future State transport corridor; or

(c) are—

(i) adjacent to a road that intersects with a State-controlled road; and

(ii) within 100m of the intersection.

The proposed development is within 25m of a State transport corridor (Railway Corridor). Therefore, an assessment of the proposed development against the State Development Assessment Provision (SDAP)—State Code 2: Development in a Railway Environment is included in *Appendix H — State Code 2: Development in a Railway Corridor*.

7.0 CONCLUSION

This Planning Report has been prepared on behalf of *Oasis New Life Centre Property Ltd* in support of a Development Application for Material Change of Use for a Place of Worship and Operational Works associated with an advertising device (wall sign) located at 5-7 Fraser Street, Park Avenue described as Lot 77 SP142293.

The proposed development is to reinstate the place of worship building destroyed by fire in 2023 and consequently demolished. Given that the development does not adversely impact the surrounding low density residential area, the proposal is considered consistent with the overall outcomes of the Low Density Residential Zone.

The zone outcomes allow for non-residential uses that do not compromise the residential amenity of the area. The proposed development will contribute to the diversity and mix of land uses as envisaged by the zone intent and outcomes.

The subject site is bordered by Moores Creek, a railway corridor, a road reserve only utilised by the proposed development, and a small vacant lot separating it from a high-order road. Its unique location, combined with the retention of the existing flood fence, screens the site from view of other uses, preventing any land-use conflicts.

The proposed development is considered to satisfy the relevant requirements of the regional, state, and local planning instruments. The development accords with the relevant Planning Scheme Codes and maintains the outcomes sought for the Low Density Residential Zone. It is considered that the proposal has merit and warrants favourable consideration by Council.

APPENDIX A

DA FORM 1

APPENDIX B

DA FORM 2

APPENDIX C

TITLE SEARCH

APPENDIX D

PROPOSAL PLANS

APPENDIX E

CODE ASSESSMENT RRPS 2015

APPENDIX F

COUNCIL PRE-LODGEMENT MINUTES

APPENDIX G

TECHNICAL MEMORANDUM – STORMWATER AND FLOODING

APPENDIX H

STATE CODE 2: DEVELOPMENT IN A RAILWAY CORRIDOR

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Oasis New Life Centre Property Ltd c/- Gideon Town Planning
Contact name <i>(only applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	PO Box 450
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	07 4806 6959
Email address <i>(non-mandatory)</i>	info@gideontownplanning.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	GTP2420
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)				
<i>Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA Forms Guide: Relevant plans</u>.</i>				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		5-7	Fraser Street	Park Avenue
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4701	77	SP142293	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)				
<i>Note: Place each set of coordinates in a separate row.</i>				
<input type="checkbox"/> Coordinates of premises by longitude and latitude				
Longitude(s)		Latitude(s)		Datum
				<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:
<input type="checkbox"/> Coordinates of premises by easting and northing				
Easting(s)		Northing(s)		Datum
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:
3.3) Additional premises				
<input type="checkbox"/> Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application <input checked="" type="checkbox"/> Not required				
4) Identify any of the following that apply to the premises and provide any relevant details				
<input checked="" type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer				
Name of water body, watercourse or aquifer:			Moores Creek	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>				
Lot on plan description of strategic port land:				
Name of port authority for the lot:				
<input type="checkbox"/> In a tidal area				
Name of local government for the tidal area (if applicable):				
Name of port authority for tidal area (if applicable):				

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input checked="" type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Place of Worship
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input checked="" type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Advertising device (wall sign)
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required
6.4) Is the application for State facilitated development?
<input type="checkbox"/> Yes - Has a notice of declaration been given by the Minister?
<input checked="" type="checkbox"/> No

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Oasis Church	Place of Worship		1695.5m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?
<input type="checkbox"/> Yes
<input checked="" type="checkbox"/> No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?	
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application	
<input checked="" type="checkbox"/> No	
Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

Yes – provide additional details below
 No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

Road work Stormwater Water infrastructure
 Drainage work Earthworks Sewage infrastructure
 Landscaping Signage Clearing vegetation
 Other – please specify: _____

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

Yes – specify number of new lots: _____

No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

N/A

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



<input type="checkbox"/> SEQ northern inter-urban break – community activity <input type="checkbox"/> SEQ northern inter-urban break – indoor recreation <input type="checkbox"/> SEQ northern inter-urban break – urban activity <input type="checkbox"/> SEQ northern inter-urban break – combined use <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Reconfiguring a lot in a coastal management district or for a canal <input type="checkbox"/> Erosion prone area in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material (<i>from a watercourse or lake</i>) <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – levees (<i>category 3 levees only</i>) <input type="checkbox"/> Wetland protection area
Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) (<i>only if the ERA has been devolved to local government</i>) <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/124-2004	2004	Rockhampton Regional Council
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/82-2020	2020	Rockhampton Regional Council

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.



Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the Water Act 2000?**

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the Coastal Protection and Management Act 1995?**

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**Queensland
Government**

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving building work.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Oasis New Life Centre Property Ltd c/- Gideon Town Planning
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	PO Box 450
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	07 4806 6959
Email address (non-mandatory)	info@gideontownplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	GTP2420

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	5-7	Fraser Street	Park Avenue
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4701	77	SP142293	Rockhampton Regional Council

2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.*
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.*

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/124-2004	2004	Rockhampton Regional Council
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/82-2020	2020	Rockhampton Regional Council

9) Has the portable long service leave levy been paid?

Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached
 No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

Yes – the *Referral checklist for building work* is attached to this development application
 No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

Yes – referral response(s) received and listed below are attached to this development application
 No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

Development permit
 Preliminary approval

b) What is the level of assessment?

Code assessment
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

<input type="checkbox"/> New building or structure	<input type="checkbox"/> Repairs, alterations or additions
<input type="checkbox"/> Change of building classification <i>(involving building work)</i>	<input type="checkbox"/> Swimming pool and/or pool fence
<input type="checkbox"/> Demolition	<input type="checkbox"/> Relocation or removal

d) Provide a description of the work below or in an attached schedule.

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? (if applicable)
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?
\$

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference: 50362421	Search Date: 23/07/2024 15:45
Date Title Created: 14/08/2001	Request No: 48755657
Previous Title: 40029770	

ESTATE AND LAND

Estate in Fee Simple

LOT 77 SURVEY PLAN 142293
Local Government: ROCKHAMPTON

REGISTERED OWNER

Dealing No: 715594327 11/02/2014

OASIS NEW LIFE CENTRE PROPERTY LTD A.C.N. 118 665 099 TRUSTEE
UNDER INSTRUMENT 715594327

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by Deed of Grant No. 30496033 (Lot 77 on CP LN2575)
2. COVENANT No 706889762 14/08/2003 at 14:36 restricts dealings over THE WITHIN LAND
3. MORTGAGE No 715594328 11/02/2014 at 14:26 NATIONAL AUSTRALIA BANK LIMITED A.B.N. 12 004 044 937

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

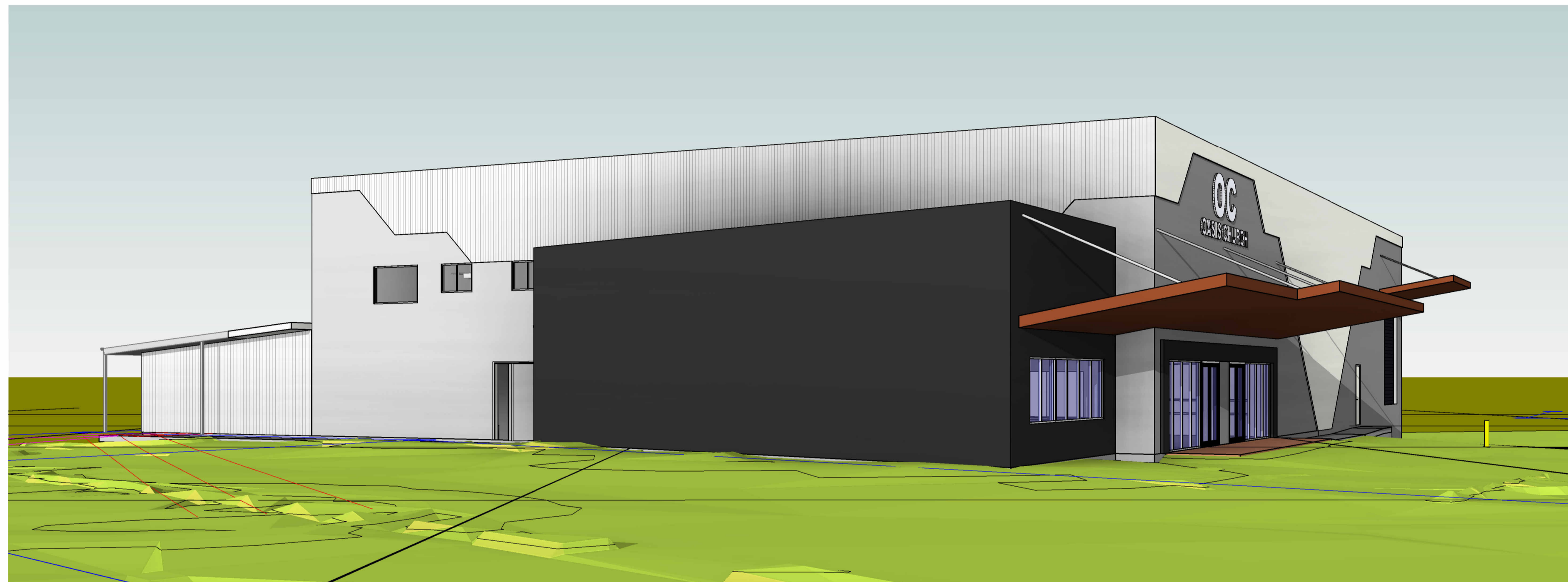
Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

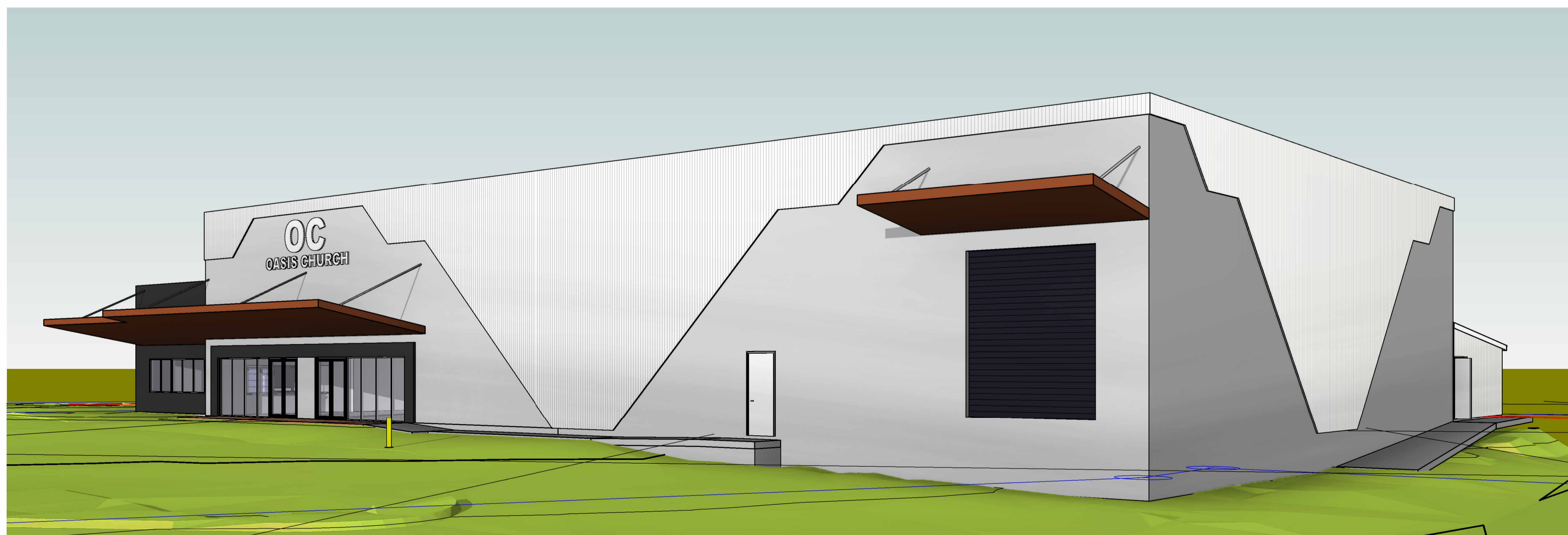
**PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE**



3 3D View 3



1 3D View 1



2 3D View 2

PRELIM 02
DATE: 18/03/24
NOT FOR CONSTRUCTION

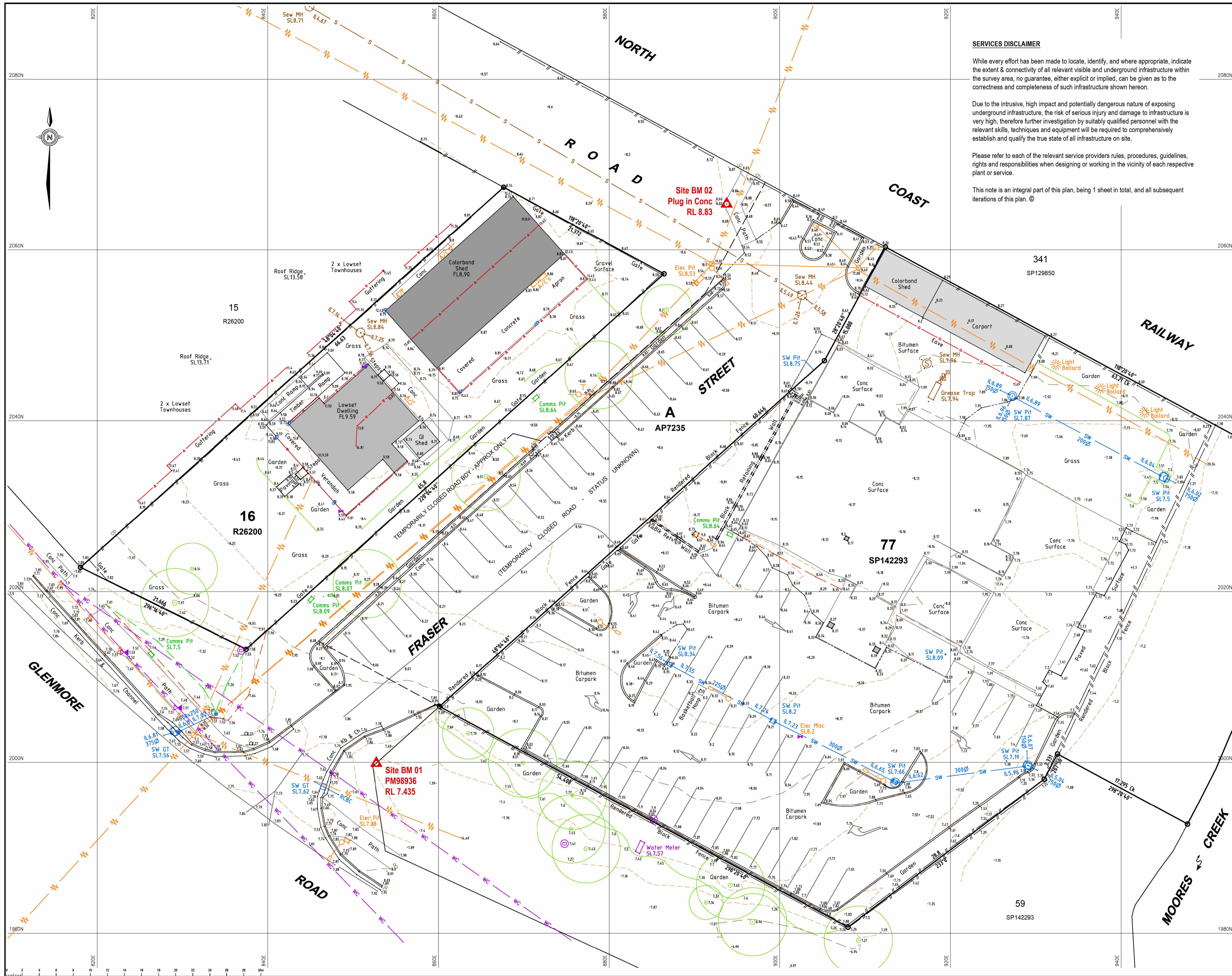
Plan Index	
Sheet Number	Sheet Name
00	Cover Sheet
01	Notes Sheet
02	Detailed Surveyor's Plan
03	Set Out Plan
04	Site Features Plan
05	Ground Floor Plan
06	First Floor Plan
07	Elevations
08	Section
09	Slab Plan
10	Roof Plan
11	Floor Finishes Plan
12	Disabled Toilet Details
13	Ground Floor Electrical Plan
14	First Floor Electrical Plan



Telephone 61 7 49288011
Facsimile 61 7 49266579
E-mail mailbox@rufusdesigngroup.com

Project No: 231008

Plan Set Revision :



SERVICES DISCLAIMER

While every effort has been made to locate, identify, and where appropriate, indicate the extent & connectivity of all relevant visible and underground infrastructure within the survey area, no guarantee, either explicit or implied, can be given as to the correctness and completeness of such infrastructure shown hereon.

Due to the intrusive, high impact and potentially dangerous nature of exposing underground infrastructure, the risk of serious injury and damage to infrastructure is very high, therefore further investigation by suitably qualified personnel with the relevant skills, techniques and equipment will be required to comprehensively establish and qualify the true state of all infrastructure on site.

Please refer to each of the relevant service providers rules, procedures, guidelines, rights and responsibilities when designing or working in the vicinity of each respective plant or service.

This note is an integral part of this plan, being 1 sheet in total, and all subsequent iterations of this plan. ©

OASIS CHURCH

**DETAIL SURVEY OF
LOT 77 ON SP142293 &
LOT 16 ON R26200**

**5-7 FRASER STREET &
2 GLENMORE ROAD, PARK AVENUE**

REAL PROPERTY DESCRIPTION
Lot Plan : Lot 77 on SP142293, Lot 16 on R26200
Area : 4429m2 (Deed), 1330m2 (Deed)
Locality : Park Avenue
Local Authority : Rockhampton Regional Council

NOTES
This plan was prepared for OASIS CHURCH from field survey for the purpose of designing new constructions on the subject land and should not be used by any other persons for any other purpose.

Property boundaries have not been reinstated or marked at the time of survey and are approximate only, based on appropriate boundary connections.
Where possible underground services have been located by field survey. Some services shown hereon are compiled from local authority and service provider plans and/or plans provided by the client and are noted accordingly on the plan.

Prior to any design, excavation or construction on site, the relevant authorities, and a qualified service locator should be engaged to ensure all services that may be affected by any future works have been located.
These plans have been prepared as verification plots only. Some tool RL's have been omitted for clarity. Please refer to the relevant 3D data files for any spatial interrogation requirements.

Any discrepancies should be verified in writing with Capricorn Survey Group (CQ) Pty Ltd.
This note is an integral part of this plan.

LEGEND

- LINETYPE LEGEND**
- S UG Sewerage Line
 - SC UG Sewerage Line (Compiled)
 - SW UG Stormwater Line
 - SWC UG Stormwater Line (Compiled)
 - OF Overland Flow Direction
 - EC UG Electrical Line
 - EC (C) UG Electrical Line (Compiled)
 - OH OH Electrical Line
 - T UG Communication Line
 - TC UG Communication Line (Compiled)
 - WC UG Water Line
 - WC (C) UG Water Line (Compiled)
 - W AG Water Line
 - G UG Gas Line
 - G (C) UG Gas Line (Compiled)
 - GC Top of Bank
 - ToB Top of Bank
 - CIL CIL of Bitumen
 - EB Edge of Bitumen
 - RW Retaining Wall
 - LM Line Marking
 - FL Fence Line
 - GF Roof / Guttering
- CONTOUR LEGEND**
- 0.20m Interval
 - 1.00m Interval

GENERAL SYMBOL LEGEND

- Comms Conduit Marker
- Comms Pit
- Elec Conduit Marker
- Elec Turndown
- Elec Light Bollard
- Elec Light Pole
- Elec Power Pole
- Elec Power Pole + Light
- Elec Power Pole + Transformer
- Elec Stay Point
- Traffic Lights
- Gas Marker
- Gas Valve
- Gas Hot Water System
- Sewerage MH
- Sewerage Vent
- Sewerage IO
- Stormwater MH
- Stormwater Pit
- Stormwater DP / Outlet
- Stormwater IO
- Water Fire Hydrant
- Water Meter
- Water Valve
- Water Tap
- Water Control Tap
- Water Tee
- Water Conduit Marker
- Water Tapping Band
- Post
- Bollard
- Guide Sign
- Flag Pole
- Australia Post Box
- Shrub

DATUM
Vertical Datum : AHD Vide SmartNet Aus
Horizontal Datum : Cadastral Vide SP142293
Contour Interval : 0.25m, 1.0m Index
Co-ord System : Arbitrary

WARNING
LOCATION AND CONNECTIVITY OF UG SERVICES SHOWN HEREON HAVE BEEN DETERMINED BY DIRECT ACCESS OR COMPILED FROM LOCAL AUTHORITY AND SERVICE PROVIDER PLANS ONLY. FURTHER INVESTIGATION MAY BE REQUIRED TO DETERMINE LOCATIONS OF ALL INACCESSIBLE SERVICES.

REVISION	Issue	Date	Details	Authorized
A	18-12-2023	Initial Issue		RJ/KF

CREATED
capricornsurveygroup.com.au
SURVEYING & PLANNING SOLUTIONS
07 4627 5199 | reception@csgr.com.au | 132 Victoria Parade, Rockhampton QLD 4700

SCALE
1:200 @ A1

DRAWING NUMBER
9194-01-DTL (1/1)

ISSUE
A

PRELIM
DATE: 18/03/24
02
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

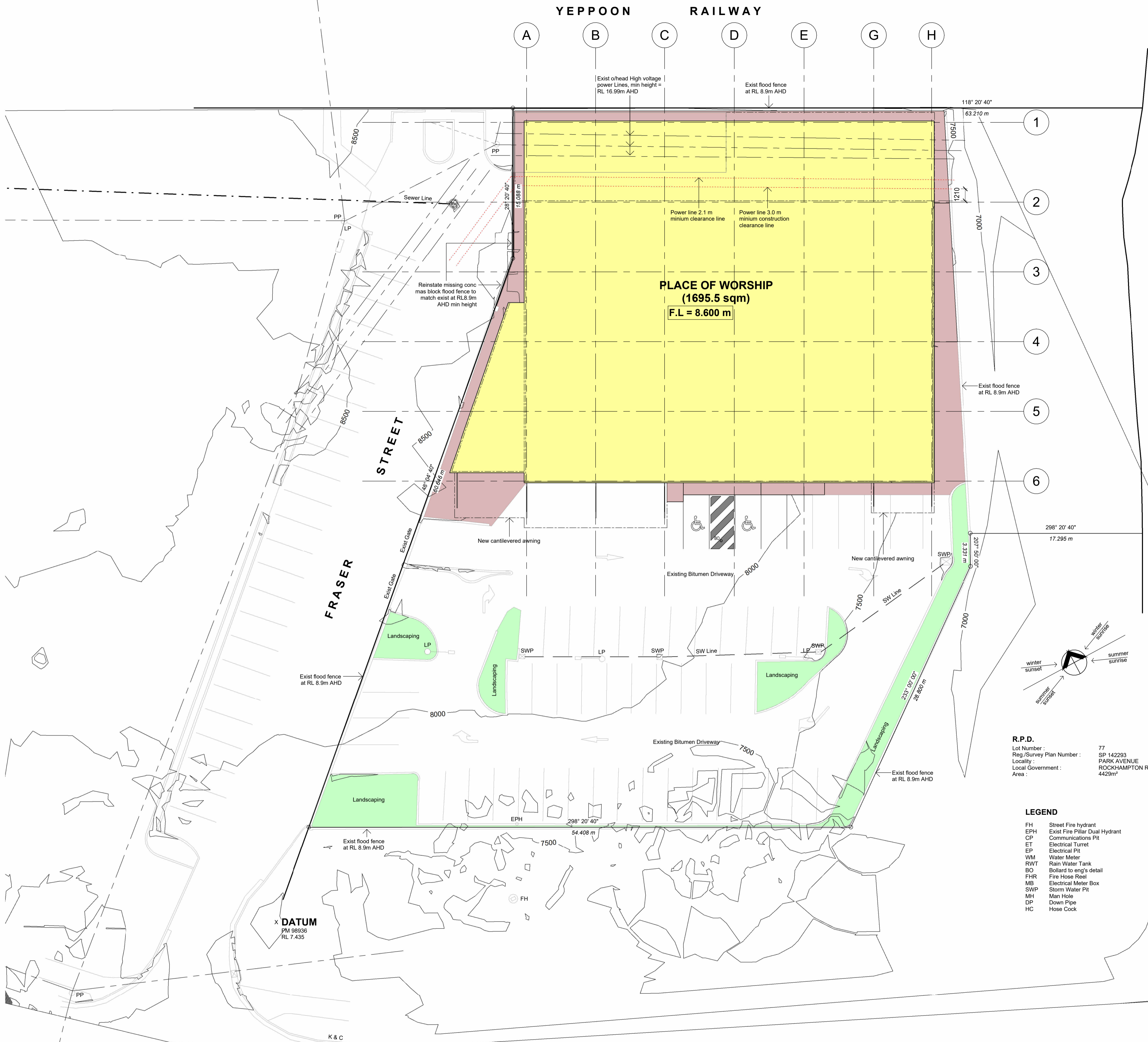
**PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE**

this drawing
Detailed Surveyor's Plan

Rufus
Design Group
MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC.
Licensed under the QBCC Act Lic No. 11802886
Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

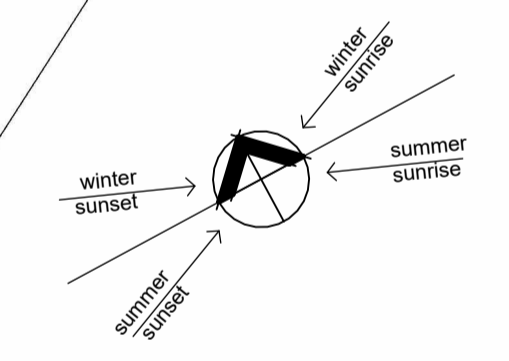
PROJECT MANAGER
DRAWN BY
CHKD BY
WIND SPEED C1
PLAN SIZE: A1
PROJECT NUMBER
231008 - 02
SHEET 02 OF 14 SHEETS
REVISION

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24



Site Analysis

Existing Floor Area	=	1780 sqm (demolished)
Proposed Floor Area	=	1695.5 sqm
Total Building Footprint Area	=	1571.4 sqm
Total Site Coverage	=	35.5 %
Total Landscaped Area Required	=	2m to frontages
Total Landscaped Area Provided	=	198.7 sqm
Total Site Area	=	4429.0 sqm
Car Parking		
Car parking spaces required	=	77 (existing)
Total car spaces provided	=	77 (existing)
Driveways		
Existing concrete driveway area	=	1614.0 sqm
New concrete driveway area	=	236.5 sqm
Total driveway area	=	1850.5 sqm



R.P.D.
 Lot Number : 77
 Reg./Survey Plan Number : SP 142293
 Locality : PARK AVENUE
 Local Government : ROCKHAMPTON RC
 Area : 4429m²

LEGEND

- FH Street Fire hydrant
- EPH Exist Fire Pillar Dual Hydrant
- CP Communications Pit
- ET Electrical Turret
- EP Electrical Pit
- WM Water Meter
- RWT Rain Water Tank
- BO Bollard to eng's detail
- FHR Fire Hose Reel
- MB Electrical Meter Box
- SWP Storm Water Pit
- MH Man Hole
- DP Down Pipe
- HC Hose Cock

PRELIM 02
 DATE: 18/03/24
 NOT FOR CONSTRUCTION

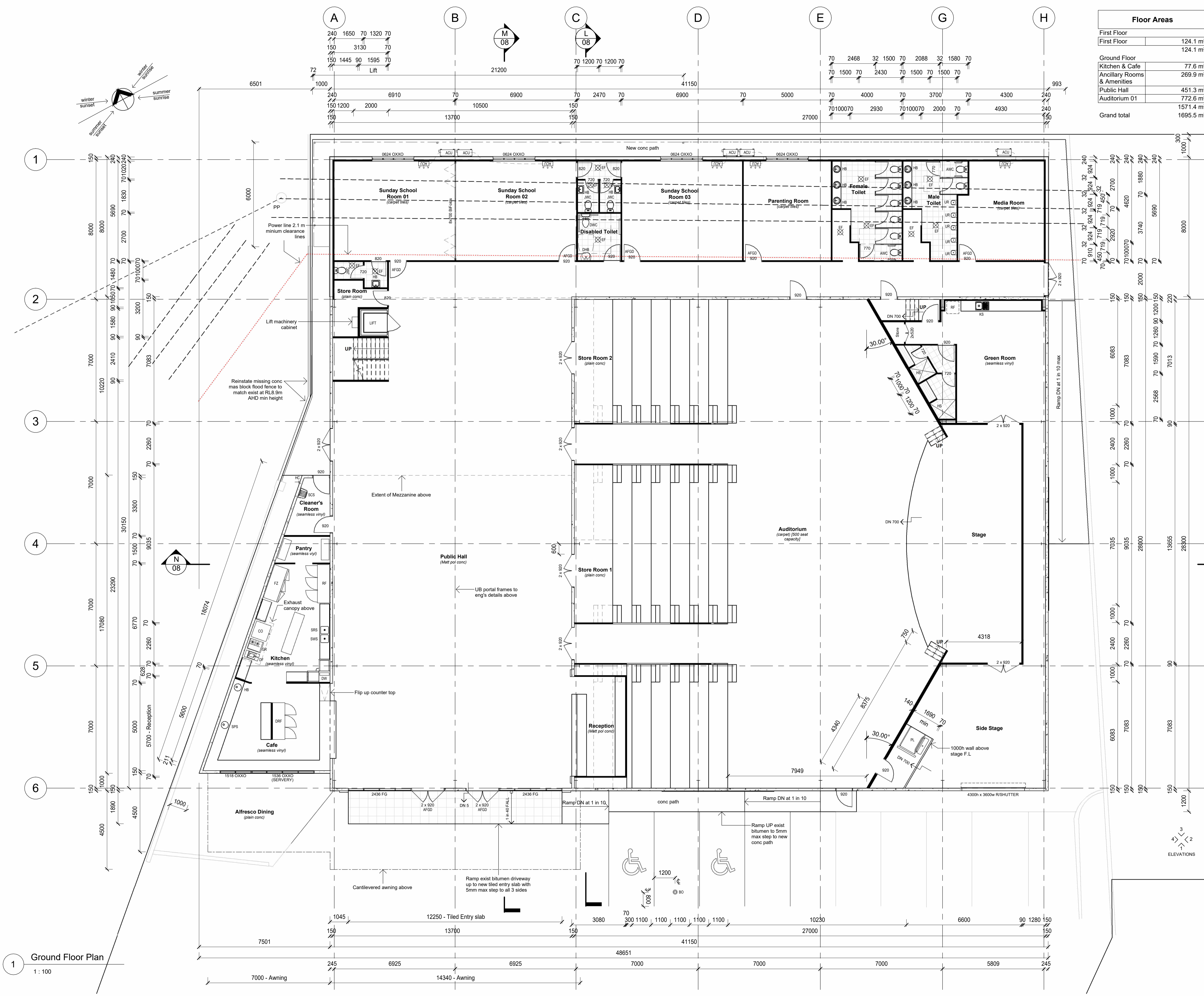
PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

Rufus Design Group
 MEMBER the QBCC
 BUILDING DESIGNERS ASSOC. OF QLD INC.
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this drawing
Site Features Plan

PROJECT MANAGER : <i>D Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 04
DRAWN : <i>D Webb</i>	PLAN SIZE : A1	SHEET 04 OF 14 SHEETS	REVISION 1
CHKD :			

1 Site Features Plan
 1 : 200



Floor Areas	
First Floor	124.1 m ²
Ground Floor	124.1 m ²
Kitchen & Cafe	77.6 m ²
Ancillary Rooms & Amenities	269.9 m ²
Public Hall	451.3 m ²
Auditorium 01	772.6 m ²
Grand total	1571.4 m ²
	1695.5 m ²

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24

PRELIM 02
 DATE: 18/03/24
NOT FOR CONSTRUCTION

Energy Efficiency Details

Roof Colour	Light
Wall Colour	Dark
Roof Insulation	R1.8 Anticon Blanket
Ceiling Insulation	R2.5 Batts
Wall Insulation	R1.0 Batts
Floor Insulation	R1.0 Batts to mezzanine only
Solar Power	5 kW system
Hot Water Unit	Electric instantaneous
Glazing	Alum framed, single, tinted
Floor Finishes	Refer to plan

Window Legend

1218 - 1200 high x 1800 wide
 XO - Sliding / Fixed
 X - Sliding
 O - Fixed
 D - Double Hung
 A - Awning
 CMT - Casement
 L - Louvre
 FG - Fixed Glass
 GSW - Gas Strut Window
 Glazing to wet areas to be obscure
 Refer to EE table for remainder of Glazing

Number of People Accommodated

Venue is licensed for 750 people maximum
 - 500 max seating capacity in Auditorium
 - 250 max to remainder of premises

THRESHOLDS :
 TO BE IN ACCORDANCE WITH AS 1428.1, *ACCESS FOR THE DISABLED* (MAX. STEP 5mm, THRESHOLD RAMP - MAX SLOPE 1 IN 8 FOR UP TO 35mm RISE, STEP RAMP - MAX SLOPE 1 IN 10 FOR UP TO 190mm RISE).

Plan Legend

1200 CF	1200mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AWC	Ambulant compliant Toilet
BO	Bollard
CC	Ceiling Cassette
CO	Convection Oven
DF	Deep Fryer
DHB	Disabled compliant Hand Basin
DP	Down Pipe
DRF	Drinks Refrigerator
DW	Dishwasher
DWC	Disabled compliant Toilet
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
FW	Floor Waste
FZ	Freezer
GR	600 x 800 gas Griddle
HB	Hand Basin
HC	Hose Cock
HS	Hobless Shower
JWC	Junior Toilet
KS	Kitchen Sink
LIFT	1100 x 1400 min Passenger Lift in accord with AS 1735.12 & complying with NCC E3
MH	Man Hole
PL	810 x 1200 min Low-rise Platform Lift with recessed base, complying with NCC E3
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SCS	S/steel Cleaner's Sink with grate and hot & cold over
SPS	S/steel Prep Sink with hot & cold over
SRS	S/steel Rinse Sink with hot & cold over
SWS	S/steel Wash Up Sink with hot & cold over
UR	Urinal

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
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 PARK AVENUE

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Ground Floor Plan

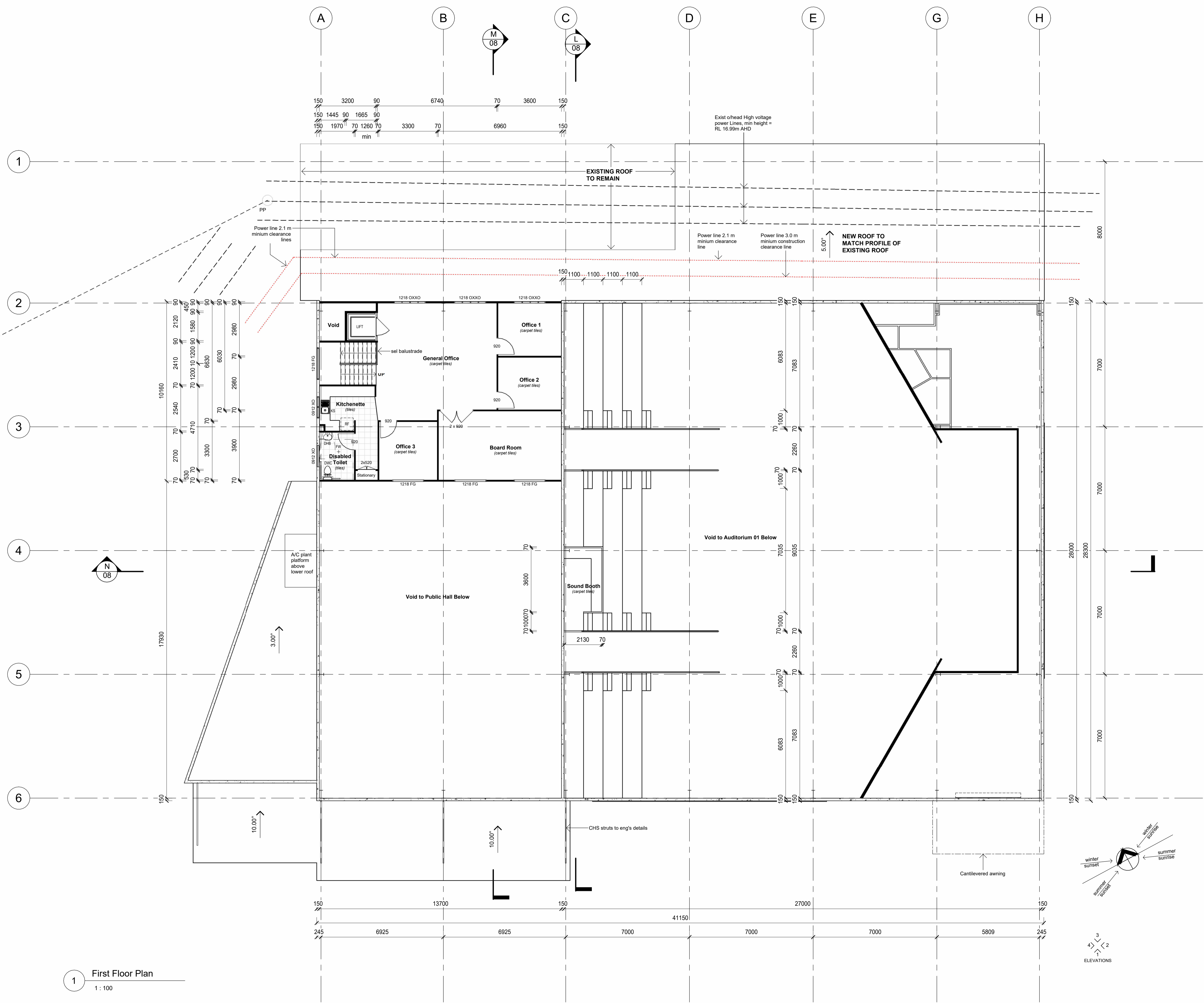
PROJECT MANAGER : <i>D Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008 - 05
DRAWN : <i>D Webb</i>	PLAN SIZE : A1	SHEET 05 OF 14 SHEETS
CHKD :		REVISION 1

1 : 100

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24

Plan Legend	
1200 CF	1200mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AWC	Ambulant compliant Toilet
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UR	Urinal

Floor Areas	
First Floor	
First Floor	124.1 m ²
	124.1 m ²
Ground Floor	
Kitchen & Cafe	77.6 m ²
Ancillary Rooms & Amenities	269.9 m ²
Public Hall	451.3 m ²
Auditorium 01	772.6 m ²
	1571.4 m ²
Grand total	1695.5 m ²



1 First Floor Plan
1 : 100

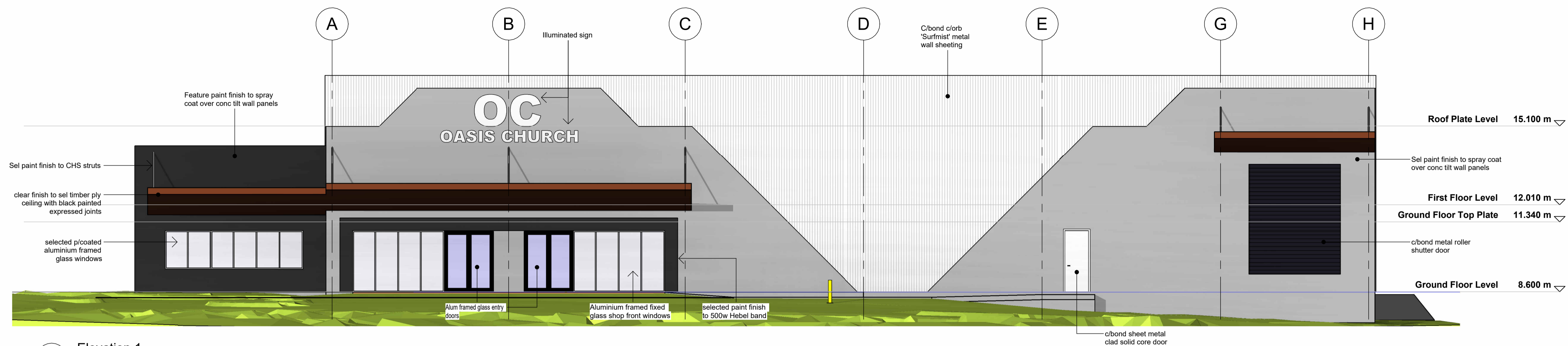
PRELIM 02
DATE: 18/03/24
NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

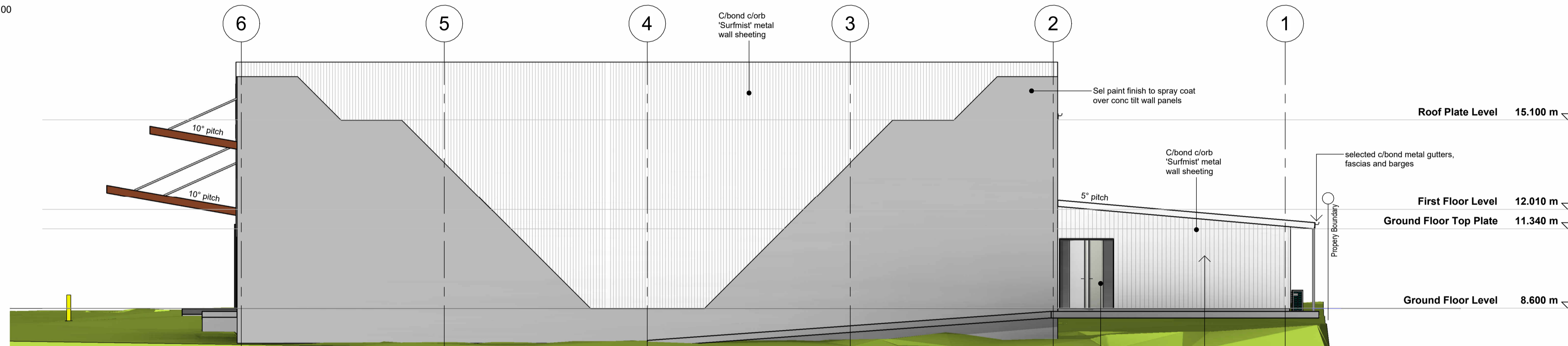


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PROJECT MANAGER : <i>D. Webb</i>	PROJECT NUMBER : 231008 - 06
DRAWN : <i>D. Webb</i>	SHEET 06 OF 14 SHEETS
CHKD :	REVISION 1

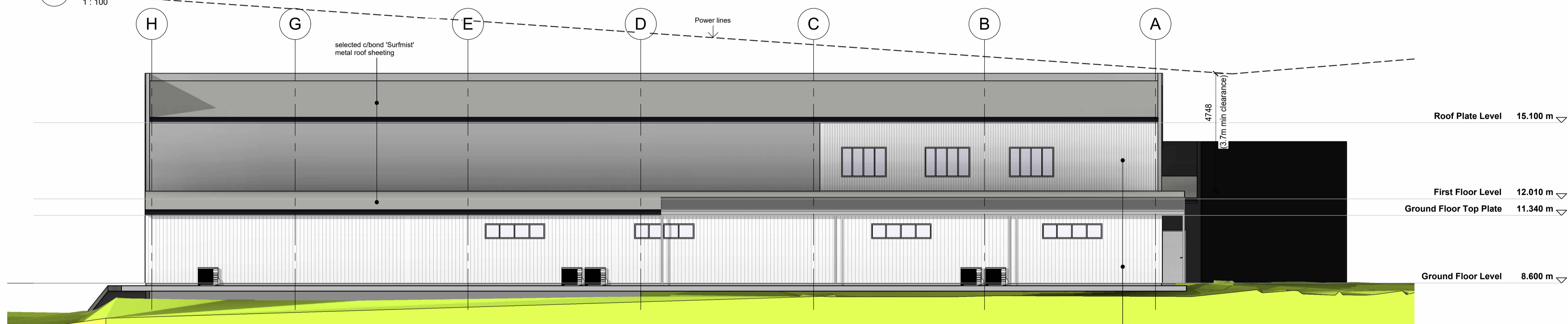
REVISIONS		
NO.	DESCRIPTION	DATE



1 Elevation 1
1: 100



2 Elevation 2
1: 100



3 Elevation 3
1: 100



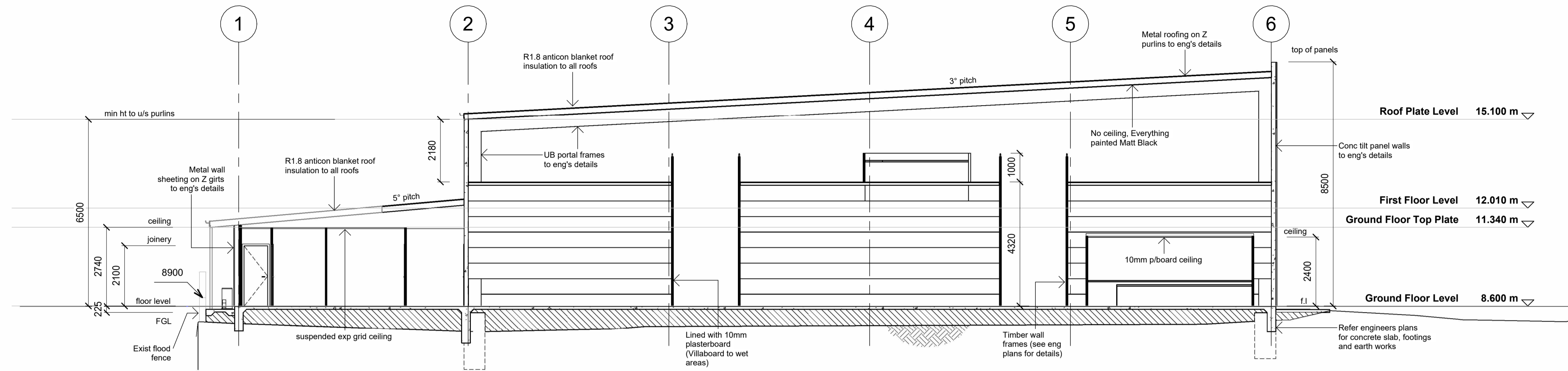
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PRELIM 02
DATE: 18/03/24
NOT FOR CONSTRUCTION

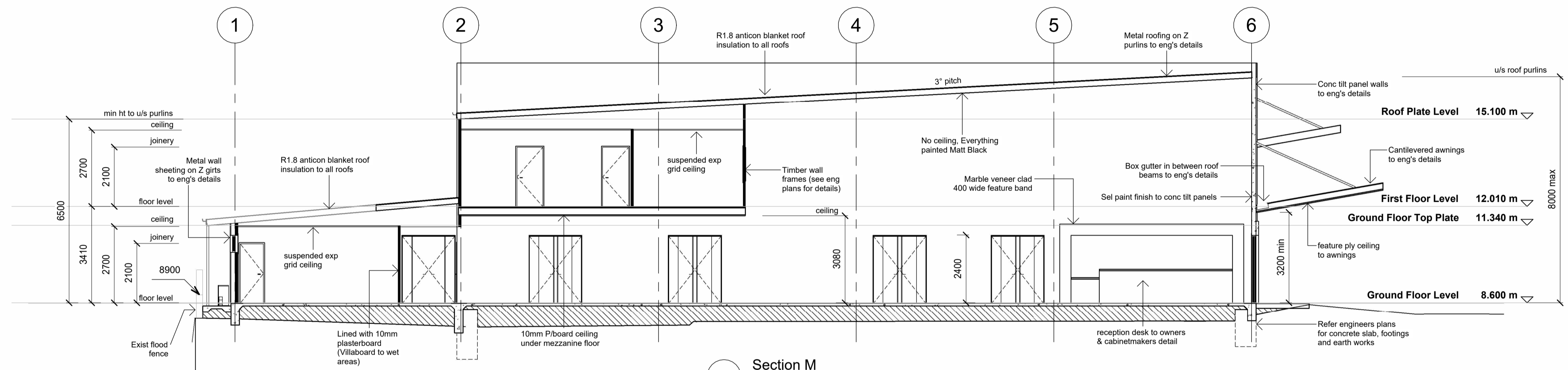
PROPOSED PLACE OF WORSHIP
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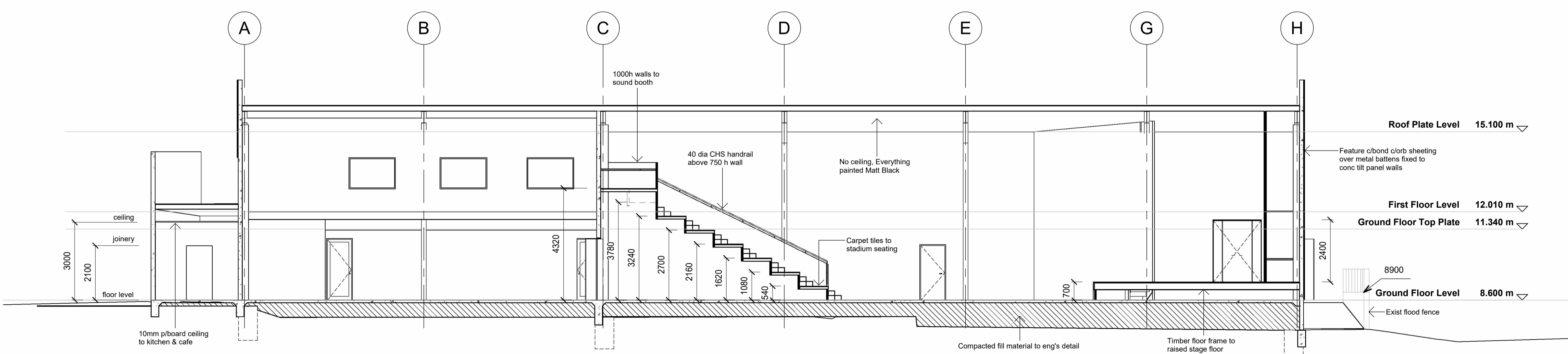
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Elevations			
PROJECT MANAGER : <i>D Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 07
DRAWN : <i>D Webb</i>	PLAN SIZE : A1	SHEET 07 OF 14 SHEETS	REVISION
CHKD :			



L Section L
1:100



M Section M
1:100



N Section N
1:100

PRELIM
DATE: 18/03/24
02
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

this drawing
Section

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PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 231008 - 08
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 08 OF 14 SHEETS
CHKD: <i>D Webb</i>	REVISION	REVISION

Low Density Residential Zone

Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes	Assessment
Where involving a new building or expansion to an existing building		
Built form		
<p>PO1 Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.</p>	<p>AO1.1 The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>	<p>Complies – the proposed building height is 8.5m.</p> <p>Complies – Proposed site coverage is 35.5%.</p>
Land use		
Caretaker's accommodation		
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>	<p>Not applicable – development is for a Place of Worship.</p>
Dual occupancy		
<p>PO3 The dual occupancy is designed and sited in a manner that: (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; (d) has access to open space; and (e) does not compromise the character and amenity of the</p>	<p>AO3.1 The number of dwellings does not exceed one (1) unit per 400 square metres total site area.</p> <p>AND</p> <p>AO3.2 Each dwelling is provided with a private open space area which: (a) is directly accessible from a habitable room; and (b) if located: (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p>	<p>Not applicable – development is for a Place of Worship.</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>surrounding area.</p> <p>Editor's note—Figure 6.2.1.3.1a — Site plans for dual occupancies provides guidance.</p>	<p>AO3.3 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of six (6) metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; (e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p> <p>AND</p> <p>AO3.5 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.6 A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p>	
<p>PO4 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use. 	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p> <p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre</p>	<p>Not applicable – as above.</p>

Performance outcomes	Acceptable outcomes	Assessment
	high solid screen fence along the side and rear property boundaries.	
Home-based business		
<p>PO5 Development for a home based business is operated, designed and sited in a manner that:</p> <p>(a) is small in scale and intensity;</p> <p>(b) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(c) does not adversely affect the streetscape and street function; and</p> <p>(d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AO5.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO5.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home based business where for bed and breakfast accommodation:</p> <p>(a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and</p> <p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8</p>	<p>Not applicable – development is for a Place of Worship.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>	
Sales office		
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>	<p>Not applicable – development is for a Place of Worship.</p>
Short-term accommodation		
<p>PO7 Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.</p>	<p>AO7.1 Short-term accommodation uses are carried out within an existing dwelling.</p> <p>AND</p> <p>AO7.2 There is no external signage.</p>	<p>Not applicable – development is for a Place of Worship.</p>
<p>PO8 Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.</p>	<p>AO8.1 The combined total number of persons does not exceed five (5) at any one time.</p> <p>AND</p> <p>AO8.2 Guests stay a maximum of fourteen (14) consecutive nights.</p>	<p>Not applicable – as above.</p>
<p>PO9 Development for short-term accommodation does not cause nuisance or otherwise adversely impact</p>	<p>AO9.1 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, schedule 1 as updated from time to time.</p>	<p>Not applicable – as above.</p>

Performance outcomes	Acceptable outcomes	Assessment
on the amenity of the neighbourhood.	<p>AND</p> <p>AO9.2 Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.</p>	
<p>Where in the residential stables precinct when involving an animal keeping (stables only) use</p> <p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>		
<p>PO10 On any lot that accommodates a stable:</p> <p>(a) the amenity of the precinct is maintained to a reasonable level especially in regards to issues such as noise, odour, light and dust;</p> <p>(b) the stable does not adversely affect the streetscape within the precinct;</p> <p>(c) a sufficient number of stalls are provided within a stable to prevent the overcrowding of horses; and</p> <p>(d) a sufficient number of day yards are provided to allow the proper spelling, exercise or training of horses.</p>	<p>AO10.1 The number of non-racehorses kept on the lot at any one time does not exceed the density of one (1) non-racehorse per 800 square metres of lot area.</p> <p>AND</p> <p>AO10.2 Stables are designed so that all doors and windows are orientated away from any house on an adjoining lot to reduce the potential for creating a noise or odour nuisance.</p> <p>AND</p> <p>AO10.3 Stalls and day yards as part of an animal keeping (stables only) use have a minimum area of nine (9) square metres.</p> <p>AND</p> <p>AO10.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>	<p>Not applicable – development is not located within the residential stables precinct.</p>
<p>PO11 Stables and day yards are designed to minimise the negative environmental impacts as a result of solid and liquid waste.</p>	<p>AO11.1 AO9.1.1 All liquid waste is drained into the reticulated sewerage system.</p> <p>OR</p> <p>AO9.1.2 Where the development involves the stabling of less than six (6) horses at any one time, stables are constructed in a manner whereby the stalls and any other area hosed out frequently:</p> <p>(a) opens directly onto a grassed area that measures three (3) metres in width perpendicular to the area being hosed out; or</p> <p>(b) drains directly to a concrete spoon drain of a sufficient size able to move all water and other matter (including waste) to an area of turf measuring no</p>	<p>Not applicable – as above.</p>

Performance outcomes	Acceptable outcomes	Assessment
	less than three (3) metres by three (3) metres.	
<p>PO12 Stables are designed in a safe manner and do not create traffic or parking impacts on the immediate area or normal vehicle movements.</p>	<p>AO12.1 Stables are designed to provide an area on site at least thirty (30) square metres with dimensions of at least three (3) metres by ten (10) metres, where horses can be loaded or unloaded to or from a vehicle.</p> <p>AND</p> <p>AO12.2 A horse float is provided on the site that measures at least three (3) metres by five (5) metres, which is directly accessible to a street frontage.</p>	<p>Not applicable – as above.</p>

Table 6.2.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Built form – additional provisions		
<p>PO13 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. <p>Editor's note—Figure 6.2.1.3.2a — Development site plan provides guidance.</p>	<p>AO13.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of six (6) metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 4.5 metres high; or (ii) two (2) metres for a wall up to 7.5 metres high; or (iii) 2.5 metres for any part of a wall over 7.5 metres; (e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and (f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>AND</p> <p>AO13.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible</p>	<p>Alternate Solution – The site layout ensures the proposal development has a significant setback to Glenmore Road. While the proposal has a 1m setback from Fraser Street, and approximately from 1.3m from the Railway corridor at the rear.</p> <p>Complies</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO13.3 The maximum length of any exterior wall is twelve (12) metres.</p> <p>AND</p> <p>AO13.4 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO13.5 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>	<p>Alternate Solution – while the exterior walls are longer than 12m a variety of building materials and finishes have been incorporated into the design to break up the built form.</p> <p>Complies – an existing flood fence will be retained.</p> <p>Complies – all building plant and equipment will be appropriately screened.</p>
<p>PO14 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO14.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>	<p>Complies – an existing bitumen car park will be retained. The car park has established mature trees and other landscaping to soften its appearance.</p>
<p>PO15 Buildings and structures are designed to enhance existing attractive built form by addressing the following: (a) mass and proportion; (b) use of materials, patterns, textures, colours and decorative elements; (c) reflective glass material is not used as the principle construction material;</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – An articulated facade utilising different paint colours and materials softens the building's aesthetic. A large timber cantilevered awning covering several glass windows and doors breaks up the bulk, softening the building's</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>(d) roof shapes include pitches and gables to break up the repetitiveness of buildings;</p> <p>(e) buildings incorporate articulation through the use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</p> <p>(f) roof structures are designed to screen any mechanical plant;</p> <p>(g) facade articulation, detailing and window and door proportions;</p> <p>(h) provision made for balconies, verandahs, eaves and parapets;</p> <p>(i) driveway crossovers, fence style and alignment;</p> <p>(j) emphasis on entry points; and</p> <p>(k) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage.</p> <p>Note—Where a conflict exists PO15 (k) takes precedence.</p>		appearance from the streetscape.
Land use		
Non-residential development		
<p>PO16 Non-residential development may locate in the low density residential zone when the use can demonstrate the following:</p> <p>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</p> <p>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(c) is small in scale;</p> <p>(d) is consistent with the surrounding built form and streetscape;</p>	No acceptable outcome is nominated.	<p>Complies – a place of worship services the community and local neighbourhood.</p> <p>Complies – the proposed development does not create any lighting, noise, dust or odour nuisance for surrounding neighbours.</p> <p>C and D Alternate Solution—While the development is large in scale and could be considered</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</p> <p>(f) does not adjoin an existing centre zone;</p> <p>(g) located in proximity to public transport facilities and public transport routes; and</p> <p>(h) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>		<p>inconsistent with the surrounding built form and streetscape, the site is bordered by a high-order road, Moores Creek, a railway corridor, and a side street. The building is also significantly set back from the High Order Road behind another lot and an existing flood fence. Therefore, it does not appear in the sight line of surrounding residential or other buildings. It is replacing an existing non-residential building that was destroyed by fire and subsequently demolished.</p> <p>Complies</p> <p>Complies – the development does not adjoin an existing centre zone.</p> <p>Complies – the development is located adjacent to a high-order road with existing public transport facilities and routes.</p> <p>Complies</p>
<p>PO17 The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO17.1 Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the</p>	<p>Complies</p>

Performance outcomes	Acceptable outcomes	Assessment
	development is not from an urban access road or a rural access road.	
Multiple dwelling, relocatable home park, residential care facility or retirement facility		
<p>PO18 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is located at highly accessible sites:</p> <ul style="list-style-type: none"> (a) that provide for the safety and convenience of people using the premises; (b) in proximity to centres of activity containing shopping, community facilities, and recreation and entertainment areas; (c) in proximity to public transport facilities and public transport routes; and (d) that can minimise impacts on local amenity and the local street network. 	<p>AO18.1 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is within 200 metres (measured according to the shortest route a person may reasonably and lawfully take by vehicle or on foot, that has been constructed for the purposes of walking or driving) of the following:</p> <ul style="list-style-type: none"> (a) a public transport stop; and (b) a neighbourhood centre zone, local centre zone, district centre zone, major centre zone, principal centre zone or specialised centre zone; or (c) a park or sport and recreation zone; or (d) a major hospital or CQUniversity. <p>AND</p> <p>AO18.2 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility has direct access to a minor urban collector road or higher order road.</p>	<p>Not applicable – development is for a Place of Worship.</p>
<p>PO19 Residential development is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and (d) does not compromise the character and amenity of the surrounding area. 	<p>AO19.1 The number of dwellings does not exceed one (1) unit per 400 square metres total site area.</p> <p>AND</p> <p>AO19.2 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwellings; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or 	<p>Not applicable – as above.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO19.3 A minimum of one (1) habitable room overlooks the primary street frontage.</p> <p>AND</p> <p>AO19.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>	
<p>PO20 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO20.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>	<p>Not applicable – as above.</p>
Effects of development		
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land uses and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>	<p>Complies – opening hours will be Tuesday through Friday 8.30 am – 5.30 pm and Sundays 8.30 am - 2.30 pm.</p> <p>Complies – an existing flood fence will be retained.</p>
<p>PO22 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>	<p>Complies – all outdoor lighting will be installed in accordance with the referenced standard.</p>
<p>PO23 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – the proposed development has been designed site specifically in</p>

Performance outcomes	Acceptable outcomes	Assessment
<ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 		<p>accordance with the surrounding landscape and typography to avoid risks to people or property, minimise earthworks, retain natural drainage lines, retain existing vegetation where possible, and avoid damage to existing infrastructure. No locally significant trees are located on the site.</p>
Streetscape and landscaping		
<p>PO24 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and (f) allow shading for pedestrian comfort. 	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <ul style="list-style-type: none"> (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and (b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p><small>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</small></p>	<p>Complies – existing vegetation will be retained on site and complemented with additional planting and grassed areas. The site is adjoining a high-order road, Moores Creek, a railway corridor and a side street. It does not directly adjoin a sensitive land use.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species</p>	<p>Complies – Existing mature trees will be retained on site where possible.</p>

Performance outcomes	Acceptable outcomes	Assessment
	by SC6.12 — Landscape design and street trees planning scheme policy.	
Structure planning for urban development		
<p>PO26 New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, bicycle, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; (h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>	<p>Not applicable – site is not a greenfield area. Development is to replace an existing place of worship destroyed by fire and subsequently demolished.</p>
Where in the Fitzroy River accommodation precinct		
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.		
<p>PO27 Non-residential uses are directly associated with boating activities on the Fitzroy River and are small in scale.</p>	<p>AO27.1 Food and drink outlet(s) and shop(s) are limited to 150 square metres gross floor area.</p> <p>AND</p> <p>AO27.2</p>	<p>Not applicable – development is not located within the Fitzroy River accommodation precinct.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>Retail uses primarily sell goods associated with boating activities.</p> <p>AND</p> <p>AO28.3 Outdoor sales or other outdoor activities are limited to 200 square metres total use area.</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats/pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.</p>	
<p>PO28 The use is not for the purposes of a stand-alone office, shopping centre, showroom or hardware and trade supplies.</p>	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – development is for a Place of Worship.</p>
<p>PO29 Outdoor sales activities are limited to the hiring and leasing of boats and associated equipment and does not involve the sale of products.</p>	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – as above.</p>
<p>Where in the residential stables precinct when involving an animal keeping (stables only) use</p> <p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>		
<p>PO30 Development for animal keeping (stables only) is consolidated within and does not expand beyond the boundaries of the residential stables precinct.</p>	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – development is not located within the residential stables precinct.</p>

Access, Parking and Transport Code

Table 9.3.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Access driveways		
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> (a) the size of the parking area; (b) the volume, frequency and type of vehicle traffic; (c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access; (d) the type of use and the implications on parking and circulation, for example long-term or short-term car parking; (e) frontage road function and conditions; and (f) the capacity and function of the adjoining street system. 	<p>AO1.1 Access driveways are not located within:</p> <ul style="list-style-type: none"> (a) twenty–five (25) metres of a signalised road intersection; (b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and (c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset. 	<p>Complies – proposed access driveways are located:</p> <ul style="list-style-type: none"> a) 650 metres from the nearest signalised intersection at Glenmore Road and Queen Elizabeth Drive; b) 50 metres of the nearest un-signalised intersection at Fraser Street and Glenmore Road; c) More than 1 (one) metre of any street signage, and street lights, manholes, stormwater gully puts or other Council asset.
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 Access driveways:</p> <ul style="list-style-type: none"> (a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs; (b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; (c) must be sealed and to a formed road; (d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and (e) are raised or lowered to match the surface level of the driveway, where an access chamber is to be incorporated within the driveway. 	<p>Complies – The proposed access driveways:</p> <ul style="list-style-type: none"> a) will not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water metres and street signs; b) will not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure; c) will be sealed and have direct access to Fraser Street; d) will not be constructed

Performance outcomes	Acceptable outcomes	Assessment
		<p>over an access point to equipment under the control of a regulatory authority; and</p> <p>e) will not require an access chamber.</p>
<p>PO3 Access driveways are designed and constructed so as to:</p> <p>(a) enable safe and functional vehicular access from the street to the property; and</p> <p>(b) not cause a change in the level of a footpath.</p>	<p>AO3.1 Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.</p>	<p>Complies – access driveways will be constructed in compliance with the relevant guidelines.</p>
<p>PO4 A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.</p>	<p>AO4.1 A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.</p>	<p>Complies – the access driveways will have a cross fall meeting the minimum requirements.</p>
Parking		
<p>PO5 Provision is made for on-site vehicle parking:</p> <p>(a) to meet the demand likely to be generated by the development; and</p> <p>(b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.</p> <p>Editor's note—SC6.6 — Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.</p>	<p>AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code.</p> <p>OR</p> <p>AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased.</p> <p>AND</p> <p>AO5.2 All parking, loading and manoeuvring facilities for visitors and employees to be located on-site.</p> <p>AND</p> <p>AO5.3 Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.</p>	<p>Alternate Solution – the existing sealed car park will be preserved, offering 51 on-site spaces, with an additional 26 spaces available on the Fraser Street Road Reserve. Although this totals 36 fewer parking spaces than the required 113, the new development's Gross Floor Area (GFA) is 84.5 m² smaller than that of the demolished building.</p> <p>Complies – adequate provision has been made for parking, loading and manoeuvring on-site.</p> <p>Complies—Vehicles will enter and exit the car park in forward gear and</p>

Performance outcomes	Acceptable outcomes	Assessment
		circulate clockwise. Ample space has been allocated for manoeuvring on-site to avoid any traffic congestion. Access to the car park will be via Fraser Street, which serves solely as an access route for this development. The design of the access, car park, and manoeuvring areas will prevent any traffic queuing on Glenmore Road.
<p>PO6 Parking and servicing facilities are designed to meet user requirements.</p>	<p>AO6.1 Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.</p>	<p>Complies – all access points and connections to the transport network will be designed in accordance with AS 2890.</p>
<p>PO7 Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road, except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – access will be from Fraser Street, an Urban Access Street, rather than Glenmore Road which is an Urban Sub-Arterial Road.</p>
<p>PO8 Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.</p>	<p>AO8.1 Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.</p> <p>AND</p> <p>AO8.2 Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.</p>	<p>Complies – all lighting in the car parking area will be designed in accordance with AS 1158.</p> <p>Complies – all lighting will be designed in accordance with AS 4282.</p>
<p>PO9 Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to:</p> <ul style="list-style-type: none"> (a) provision of opportunities for casual surveillance; (b) the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to Crime Prevention Through Environmental Design (CPTED) guidelines for Queensland for guidance.</p>	<p>Not Applicable</p>

Performance outcomes	Acceptable outcomes	Assessment
(c) minimising potential concealment points and assault locations; (d) minimising opportunities for graffiti and other vandalism; and (e) restricting unlawful access to buildings and between buildings.		
PO10 Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.	No acceptable outcome is nominated.	Complies – all parking and service areas will be kept accessible and available for their intended use during hours of operation.
Transport impact Editor's note—Applicants should note that the Department of Transport and Main Roads may have additional requirements.		
PO11 Development contributes to the creation of a transport network which is designed to: (a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and (b) encourage people to walk, cycle or use public transport to and from the site instead of using a car.	No acceptable outcome is nominated. Editor's note—Refer to SC6.19 – Structure plan planning scheme policy for guidance.	Complies
PO12 Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.	AO12.1 Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.15 — Road infrastructure and hierarchy planning scheme policy. AND AO12.2 A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy. AND	Complies – traffic generated by the development will be minimal and able to be safely accommodated within the design capacity of the surrounding road network. Alternate Solution – appropriate access is achieved from the portion of Fraser Street that is connected to Glenmore Road.

Performance outcomes	Acceptable outcomes	Assessment
	<p>AO12.3 The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road Infrastructure and Hierarchy Planning Scheme Policy and Capricorn Municipal Development Guidelines.</p>	<p>Not applicable – the scale of the development does not necessitate upgrades to the existing road infrastructure.</p>
<p>PO13 Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> (a) are safe for pedestrians and vehicles; (b) are conveniently connected to the main component of the development by pedestrian pathway; and (c) provide for pedestrian priority and clear sightlines. 	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – development does not create demand for set-down and pick-up facilities.</p>
Site access		
<p>PO14 Development does not impact on the safety, operation or function of the road network or system.</p>	<p>AO14.1 Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>AND</p> <p>AO14.2 No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p>AND</p> <p>AO14.3 Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>	<p>Complies – vehicle manoeuvring will be designed in accordance with the relevant standards.</p> <p>Complies – direct property access is from Fraser Street, an <i>Urban Access Street</i>.</p> <p>Not applicable – the development will generate less than 100 vehicle movements per day.</p>
<p>PO15 Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport network improvements.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p>
<p>PO16 On-site transport network infrastructure integrates safely and</p>	<p>AO16.1 Intersections, connections and access arrangements are designed in</p>	<p>Complies – access arrangements are designed in</p>

Performance outcomes	Acceptable outcomes	Assessment
effectively with surrounding networks.	accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.	accordance with the relevant standards.
Pedestrian and cyclist facilities		
PO17 Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.	AO17.1 Pedestrian and cyclist movements are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.	Complies
PO18 Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.	No acceptable outcome is nominated. Editor's note—Provisions are made for parking and end of trip facilities in accordance with the SC6.4 – Bicycle network planning scheme policy.	Complies – subject site has sufficient space for bicycle parking.
Servicing		
PO19 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO19.1 Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.	Complies – refuse collection areas are provided and design in accordance with relevant standards.

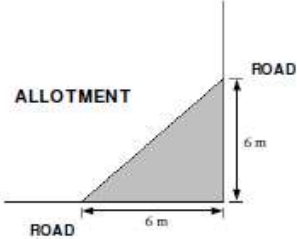
Landscape Code

Table 9.3.4.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Design		
<p>PO1 Landscaping is professionally designed and provides a suitably sized area to:</p> <ul style="list-style-type: none"> (a) create an attractive visual addition to a building or place; (b) soften the built form; (c) provide a space for on-site recreation; and (d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>AO1.1 Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>	<p>Complies – The site is established with existing carparking and landscaping and fencing along the creek frontage and primary road frontage.</p>
<p>PO2 Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas and the road verge.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – all existing vegetation, including shade trees in the car park, will be retained where possible.</p>
<p>PO3 On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p>AO3.1 Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p>AND</p> <p>AO3.2 Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> (a) minimising impervious surfaces and incorporating semi-permeable paving products; (b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; (c) maximising the opportunity for turf and planting areas; (d) aligning planting areas parallel to contours to slow the flow of surface water; and (e) ensuring the planting palette comprises canopy tree species. <p>AND</p> <p>AO3.3 Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p>	<p>Complies – landscape design incorporates the flow of water along overland flow paths where possible.</p> <p>Complies – impervious services are only provided as necessary for the parking areas and pedestrian movement paths. All impervious areas will direct stormwater toward grass areas on site. All available space is dedicated to turf or planting areas. The proposed planting will incorporate canopy tree species.</p> <p>Complies – subsurface drains will be provided.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>AND</p> <p>AO3.4 The landscape design incorporates sediment and erosion control measures.</p>	<p>Complies</p>
<p>PO4 Design of pedestrian paths and places reinforces the desired character of the area and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p>AO4.1 The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>	<p>Complies</p>
<p>PO5 Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance of public spaces; (b) increasing opportunity for public interaction; and (c) minimising opportunity for concealment and criminal activity through environmental design principles. 	<p>AO5.1 Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> (a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; (b) clear sight lines from private to public space; (c) visually permeable screens and fencing; (d) lighting of landscaped areas; (e) public facilities (toilets, shelters etcetera) located to promote use; (f) dual access points to public spaces; (g) clearly defined public and private spaces; (h) measures to protect solid and blank walls from graffiti; (i) legible universal signage; (j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and (k) plant species that do not exacerbate impacts such as bushfire or flash flooding. 	<p>Complies – plants and trees do not restrict casual surveillance and allow for clear site lines between public and private spaces. Screens and fencing are visually permeable. Lighting is provided in all parking and landscaped areas. The development has clear, legible signage. Plant species do not create nuisance or danger.</p>
Species selection		
<p>PO6 Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> (a) suit the local climatic conditions; (b) have low water usage needs or are provided with water harvested on-site; (c) include locally native species; (d) are of a suitable size and density to achieve the purposes of this code; 	<p>AO6.1 Plant species are chosen from sources recommended by SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.2 Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p>	<p>Complies</p> <p>Complies</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>(e) complement the proposed development;</p> <p>(f) are not classified as a pest species or a noxious or invasive weed;</p> <p>(g) preserve existing vegetation where desirable and protect existing environmental values of the land; and</p> <p>(h) do not exacerbate bushfire or flood hazards.</p>	<p>AO6.3 At least fifty (50) per cent of all new plantings are locally native species.</p> <p>AND</p> <p>AO6.4 Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p>AND</p> <p>AO6.5 Unless forming part of a landscaping concept approved by Council, planting is carried out to create a ‘three-tier’ landscaping treatment at the following minimum density rates: (a) trees at five (5) metre intervals; (b) shrubs at two (2) metre intervals; and (c) groundcovers at 0.5 metre to one (1) metre intervals.</p> <p>AND</p> <p>AO6.6 Existing vegetation is retained and integrated into landscaping.</p> <p>AND</p> <p>AO6.7 The use of palms is avoided in proximity to overland flow paths and watercourses.</p>	<p>Complies</p> <p>Not applicable – there is no adopted planting or landscape design theme for the area.</p> <p>Complies</p> <p>Complies – all existing vegetation will be retained where possible.</p> <p>Complies – the use of palms is not proposed.</p>
Character and streetscaping		
<p>PO7 Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p> <p>(a) the hierarchy and function of the street;</p> <p>(b) the selection of appropriate species;</p> <p>(c) avoidance of conflict between the street tree and utilities and services within the road reserve;</p> <p>(d) soil conditions;</p> <p>(e) existing street trees;</p> <p>(f) solar access; and</p> <p>(g) driveway access.</p>	<p>AO7.1 Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p>PO7 not applicable – development does not involve the creation of a new road.</p>
<p>PO8</p>	<p>AO8.1</p>	<p>Alternate Solution – development is</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.</p>	<p>For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below:</p>  <p>Figure 9.3.4.3.1a — Height restriction for corner sites</p>	<p>surrounded by a flood fence to comply with flooding regulations.</p>
<p>PO9 Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – landscape design is consistent with the character of the surrounding area.</p>
<p>PO10 Fencing (including walls) and acoustic barriers are designed to:</p> <ul style="list-style-type: none"> (a) be compatible with the existing streetscape; (b) minimise adverse effects on the amenity of an adjoining property; and (c) complement, but not dominate, the development. 	<p>AO10.1 Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.</p> <p>AND</p> <p>AO10.2 Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height equal to or above the height of the acoustic fencing.</p>	<p>Complies – fencing does not exceed 3 metres in height.</p> <p>Not applicable – acoustic fencing is not required.</p>
Car parking and internal access		
<p>PO11 Car parks and internal access (both on and off-street) are landscaped to:</p> <ul style="list-style-type: none"> (a) reduce their visual appearance; (b) provide shade; (c) reduce glare; (d) reduce heat stored in hard surfaces; (e) harvest storm water; and (f) be of a design that protects damage from 	<p>AO11.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p>	<p>Complies – existing shade trees will be retained in the parking area where possible.</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>vehicles, minimises risk of crime and contaminated stormwater runoff.</p>	<p>AND</p> <p>AO11.2 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p>AND</p> <p>AO11.3 Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p>AND</p> <p>AO11.4 Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p> <p>AND</p> <p>AO11.5 Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.</p> <p>AND</p> <p>AO11.6 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Not applicable – no invasive roots are present on site.</p>
Utilities and other infrastructure		
<p>PO12 The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> (a) overhead wires and equipment; (b) underground pipes and cables; and (c) inspection chambers, transformers, poles and drainage infrastructure. 	<p>AO12.1 A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10) metres.</p> <p>AND</p> <p>AO12.2 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p>AND</p>	<p>Not applicable – subject site does not adjoin a major electricity transmission corridor.</p> <p>Not applicable – subject site does not contain invasive roots.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>AO12.3 The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>	<p>Not applicable – subject site does not share a boundary with an electrical substation.</p>
<p>PO13 Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <ul style="list-style-type: none"> (a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather; (b) provide an appropriate turn around area for vehicles and secure access entrance; and (c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits. 	<p>AO13.1 Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p>AND</p> <p>AO13.2 Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>	<p>Complies – maintenance access points are provided in accordance with the relevant standards.</p> <p>Complies – landscape treatments will be constructed in accordance with SC6.12.</p>

Stormwater Management Code

Table 9.3.6.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Stormwater management — General		
<p>PO1 Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ul style="list-style-type: none"> (a) ensure that flooding impacts do not increase, including upstream or downstream of the development site; (b) avoid net worsening of stormwater peak discharges and runoff volumes; (c) utilises the use of water sensitive urban design principles; and (d) ensure the site maximises opportunities for capture and reuse. <p>Editor's note—A stormwater management plan may be required to demonstrate compliance with the performance outcome.</p>	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, SC6.10 — Flood hazard planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO1.2 Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO2 Development provides a stormwater management system which:</p> <ul style="list-style-type: none"> a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments; b) maximises the use of natural waterway corridors and natural channel design principles; and c) efficiently integrates with existing stormwater treatments upstream and downstream. 	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO2 Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <ul style="list-style-type: none"> (a) minimise risk to people and property; (b) provide for safe access and maintenance; and (c) provide for the safe recreational use of stormwater management features. 	<p>AO2.1 Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p>AND</p> <p>AO2.2 Development provides for stormwater detention in accordance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO2.3 Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy – Guideline – Water Quality.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
Environmental values		
<p>PO3 Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p> <p>Editor's note—Compliance with the performance outcomes and acceptable outcomes should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p>AO3.1 Development ensures natural waterway corridors and drainage paths are retained.</p> <p>AND</p> <p>AO3.2 Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p> <p>AND</p> <p>AO3.3 Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO4 Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or external to the site.</p> <p>Editor's note—The State Planning Policy – Guideline – Water Quality and Section 9 of the <i>Environmental Protection Act 1994</i> define environmental values as 'a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety.'</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
Overland flow path tenure		
<p>PO5 All overland flow paths are maintained under tenure</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – Refer to <i>Appendix G – Technical</i></p>

Performance outcomes	Acceptable outcomes	Assessment
<p>arrangements that facilitate efficient infrastructure and enhance environmental sustainability.</p> <p>Editor's note—As a guide, Council prefers that the location of Council owned assets are contained within a road reserve, drainage system is contained within a road reserve, drainage easement, drainage reserve, public reserve, public pathway, park or waterway corridor.</p>		<i>Memorandum Stormwater and Flooding</i>
Detention Systems		
<p>PO7 Detention basins are designed, located and constructed on land solely dedicated for stormwater management.</p>	<p>AO7.1 Detention basins are designed in accordance with SC6.18 Stormwater management planning scheme policy.</p>	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
<p>PO8 Development ensures that location and design of stormwater detention and water quality treatment:</p> <ul style="list-style-type: none"> (a) minimises risk to people and property; (b) provides for safe access and maintenance; (c) minimises ecological impacts to creeks and waterways. 	<p>AO8.1 Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater management planning scheme policy.</p>	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
<p>PO9 Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:</p> <ul style="list-style-type: none"> (a) detention system design does not remove flood plain storage; (b) detention systems continue to operate effectively during a major storm event. 	No acceptable outcome is nominated.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
<p>PO10 Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.</p>	<p>AO10.1 The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy.</p>	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
Efficiency and whole of life cycle cost		
<p>PO11 Development ensures that there is sufficient site area to accommodate an effective stormwater management system.</p> <p>Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	No acceptable outcome is nominated.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
<p>PO12 Development provides for the orderly development of stormwater</p>	No acceptable outcome is nominated.	Complies – Refer to <i>Appendix G – Technical Memorandum</i>

Performance outcomes	Acceptable outcomes	Assessment
<p>infrastructure within a catchment, having regard to the:</p> <ul style="list-style-type: none"> (a) existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades; (b) safe management of stormwater discharge from existing and future upslope development; and (c) implications for adjacent and down-slope development. 		<p><i>Stormwater and Flooding</i></p>
<p>PO13 Development provides proposed stormwater infrastructure which:</p> <ul style="list-style-type: none"> (a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and (b) can be safely accessed and maintained in a cost effective way. 	<p>No acceptable outcome is nominated.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
Erosion and sediment control		
<p>PO14 Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <ul style="list-style-type: none"> (a) the environmental values and water quality objectives of waters; (b) waterway hydrology; and (c) the maintenance and serviceability of stormwater infrastructure. 	<p>AO14.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
Water quality within catchment areas		
<p>PO15 For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p>AO15.1 Development complies with the provisions of the State Planning Policy – Guideline – Water Quality.</p> <p>AND</p> <p>AO15.2 Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <ul style="list-style-type: none"> (a) a buffer distance of 100 metres to the water supply 	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>

Performance outcomes	Acceptable outcomes	Assessment
	height of the barrage which excludes cropping or grazing of a low intensity nature; and (b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage.	
Protecting water quality		
PO16 The development is compatible with the land use constraints of the site for: (a) achieving stormwater design objectives; and (b) avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater.	AO16.1 Development is undertaken in accordance with a stormwater management plan that: (a) incorporates stormwater quality control measures to achieve the design objectives set out in the State Planning Policy – Guideline – Water Quality; (b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and (c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives. Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system. Editor's note—SC6.18 — Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
Protecting water quality in existing natural waterways		
PO17 The waterway is designed for stormwater flow management, stormwater quality management and the following end use purposes: (a) amenity including aesthetics, (b) landscaping and recreation; (c) flood management; (d) stormwater harvesting as part of an integrated water cycle management plan; (e) as a sustainable aquatic habitat; and (f) the protection of water environmental values.	No acceptable outcome is nominated.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
PO18	AO18.1	Complies – Refer to <i>Appendix G –</i>

Performance outcomes	Acceptable outcomes	Assessment
<p>The waterway is located in a way that is compatible with existing tidal waterways.</p>	<p>Where the waterway is located adjacent to, or connected to, a tidal waterway by means of a weir, lock, pumping system or similar:</p> <ul style="list-style-type: none"> (a) there is sufficient flushing or a tidal range of more than 0.3 metres; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments. 	<p><i>Technical Memorandum Stormwater and Flooding</i></p>
<p>PO19 The construction phase for the waterway is compatible with protecting water environmental values in existing natural waterways.</p>	<p>AO19.1 Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy – Guideline – Water Quality.</p> <p>Editor's note—Erosion and sediment control is to be designed and implemented in accordance with the International Erosion Control Association Best Practice Erosion and Sediment Control Guidelines.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO20 Stormwater overflows from the waterway do not result in lower water quality objectives in existing natural waterways.</p>	<p>AO20.1 Stormwater run-off entering non-tidal waterways is pre-treated prior to release in accordance with the guideline design objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>

Waste Management Code

Table 9.3.7.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Design of waste storage areas		
<p>PO1 For on-site waste collection, waste storage areas are located and designed so that:</p> <ul style="list-style-type: none"> (a) they are easily accessed and convenient to use; (b) sufficient space is provided for safe entry and exit and servicing by service vehicles without the need for manual handling; (c) sufficient height clearance is provided for the safe operation of both front and side bin lifting operations; (d) they are clear of car parking bays, loading bays and similar areas; and (e) they are clear of footpaths and pedestrian access. 	<p>AO1.1 Waste storage areas are designed and maintained in accordance with SC6.20 — Waste management planning scheme policy.</p>	<p>Complies – waste storage areas will be designed and maintained in accordance with SC6.20.</p>
Kerbside waste servicing		
<p>PO2 Kerbside collection of waste containers ensures the safety and amenity of road and footpath users.</p>	<p>AO2.1 Waste bins are located on the footpath so that:</p> <ul style="list-style-type: none"> (a) bins are located one (1) metre apart from other bins and obstructions; (b) all bins are accommodated within the street frontage of the site; (c) a clear pedestrian access way two (2) metres wide is retained; and (d) bins are capable of being serviced by the collection vehicle travelling forward, without having to reverse the vehicle. 	<p>Complies – waste bins will be appropriately located on the kerb for collection.</p>
<p>PO3 Waste storage minimises adverse impacts on adjoining properties.</p>	<p>AO3.1 Waste storage areas are:</p> <ul style="list-style-type: none"> (a) integrated with the building design; or (b) set back a minimum of two (2) metres from any boundary; and (c) screened from neighbouring properties and the street by a fence of 1.8 metres minimum height; and (d) not located directly adjoining dwelling units on the site and on neighbouring properties. <p>AND</p>	<p>Complies – the waste bins for the development will be screened from view.</p>

Performance outcomes	Acceptable outcomes	Assessment
	AO3.2 Waste bins are fitted with lids.	Complies
PO4 Waste storage areas: (a) have a level area on impermeable, durable materials so that they are easily cleaned; and (b) have adequate clearance between and around waste storage bins to allow for manoeuvring and washing of bins.	No acceptable outcome is nominated.	Complies – waste storage areas are on concrete, so they are easily cleaned. There is ample room for manoeuvring and washing bins.
Water management		
PO5 Waste storage areas are designed to separate stormwater and wash-down water.	AO5.1 Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area. AND AO5.2 Wash-down areas are: (a) provided with a tap and water supply; and (b) provided with a stormwater diversion valve and arrestor trap.	Not applicable – wash-down areas are not provided.

Water and Sewer Code

Table 9.3.8.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
Water		
<p>PO1 A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p>AO1.1 Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>	<p>Complies – development will be connected to Council's reticulated water supply via the existing connection at the road frontage.</p>
<p>PO2 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO2.1 Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO2.2 Where within a water supply planning area, staged developments are connected to the water supply network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>Complies – water supply systems and connections will be designed and constructed in accordance with the relevant guidelines.</p> <p>Not applicable – development is not staged.</p>
Sewer		
<p>PO3 Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO3.1 Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p>	<p>Complies – development will be connected to Council's reticulated wastewater system in accordance with the relevant guidelines.</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>PO4 Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>AO4.1 Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO4.2 Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>Complies – development will be connected to Council's reticulated wastewater system in accordance with the relevant guidelines.</p> <p>Not applicable – development is not staged.</p>
Point source waste water management		
<p>PO5 The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> (a) avoids waste water discharge to waterways; or (b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways can not practically and reasonably be avoided. 	<p>AO5.1 A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> (a) waste water type; (b) climatic conditions; (c) water quality objectives; and (d) best practice environmental management. 	<p>Not applicable – wastewater is not proposed to be discharged into waterways.</p>

Flood Hazard Overlay Code

Table 8.2.8.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes	Assessment
Development in Fitzroy River flood area – H1 (low hazard area) or H2 (medium hazard area) or North Rockhampton Flood Management Area or creek catchment flood – planning area 2		
Editor's note—Refer to overlay maps OM-8A and OM-8C		
<p>PO1 Development (including extensions) for non-residential purposes is able to provide a safe refuge for people and for the storage of goods during times of flood inundation.</p>	<p>AO1.1 For non-residential development, at least thirty (30) per cent of the gross floor area of all new buildings and structures is located a minimum of 500 millimetres above the defined flood level.</p> <p>Editor's note—Areas less than those nominated above may be supported where accompanied by a flood impact report in accordance with SC6.10 — Flood hazard planning scheme policy.</p> <p>AND</p> <p>AO1.2 A report from a registered professional engineer Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO2 Development is located to minimise susceptibility to and potential impacts of flooding.</p>	<p>AO2.1 For residential uses the finished floor levels of all habitable rooms shall be constructed a minimum of 500 millimetres above the defined flood level.</p> <p>AND</p> <p>AO2.2 A report from a registered professional engineer of Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.</p> <p>Editor's note—Report to be prepared in accordance with SC6.10—Flood hazard planning scheme policy.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO3 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO3.1 All hazardous materials and hazardous manufacturing equipment and hazardous containers are located and stored a minimum of 500 millimetres above the defined flood level.</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated regulation, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>.</p>

Performance outcomes	Acceptable outcomes	Assessment
Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas) or Creek catchment flood – planning area 1		
Editor's note—Refer to overlay maps OM-8A and OM-8C		
<p>PO4 Development does not involve the further intensification of land uses and does not increase the risk to people and property.</p> <p>Editor's note—Flood hazard risk assessment can be undertaken in accordance with SC6.10 — Flood hazard planning scheme policy.</p>	<p>AO4.1 AO4.1.1 Development does not involve new buildings or structures.</p> <p>OR</p> <p>AO4.1.2 Where involving the replacement or alteration to an existing non-residential building or structure:</p> <p>(a) there is no increase in the existing or previous buildings' gross floor area; and</p> <p>(b) the finished floor level of any replacement or alteration to an existing building is constructed a minimum of 500 millimetres above the defined flood level.</p> <p>OR</p> <p>AO4.1.3 Where involving the replacement or alteration to an existing caretakers' accommodation, dwelling house or dwelling unit:</p> <p>(a) there is no increase in the number of dwellings;</p> <p>(b) there is no increase in the existing or previous buildings' gross floor area; and</p> <p>(c) the finished floor level of all habitable rooms shall be constructed a minimum of 500 millimetres above the defined flood level.</p> <p>AND</p> <p>AO4.1.4 Where located in the rural zone, the total floor area of class 10a buildings and structures on the site do not exceed a total of fifty (50) square metres, and are set back a minimum of twenty (20) metres from all site boundaries.</p>	<p>Not applicable – refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO5 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO5.1 Materials manufactured, used or stored on site are not hazardous in nature.</p>	<p>Not applicable – as above.</p>
Development in floodplain investigation area		
Editor's note—Refer to overlay map OM-8B		
<p>PO6</p>	<p>AO6.1</p>	<p>Not applicable – refer to <i>Appendix F</i></p>

Performance outcomes	Acceptable outcomes	Assessment
<p>Development is located to minimise susceptibility to and potential impacts of flooding.</p> <p>Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.</p>	<p>Flood resilience is optimised by ensuring new habitable rooms are located on the highest part of the site to minimise entrance of floodwaters.</p>	<p>– <i>Council Pre-lodgement meeting minutes.</i></p>
<p>PO7 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO7.1 Materials manufactured, used or stored on site are not hazardous in nature.</p>	<p>Not applicable – as above.</p>

Table 8.2.8.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Assessment
<p>Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or creek catchment flood – all planning areas</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>		
<p>PO8 Development is located to minimise susceptibility to and potential impacts of flooding.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO9 Underground car parks are designed to prevent the intrusion of floodwaters.</p>	<p>AO9.1 Development with underground car parking is designed to prevent the intrusion of floodwaters by the incorporation of a bund or similar barrier a minimum of 500 millimetres above the defined flood level.</p>	<p>Not applicable – no underground carparks are proposed.</p>
<p>PO10 Development:</p> <ul style="list-style-type: none"> (a) Does not result in any reduction of onsite flood storage capacity; or (b) Does not result in any change to depth, duration or velocity of floodwaters within the premises; and (c) does not change flood characteristics outside the premises, including but not limited to causing: <ul style="list-style-type: none"> (i) loss of flood storage; or (ii) loss of or changes to flow paths; or (iii) acceleration or retardation of flows; or (iv) any reduction in flood warning times 	<p>No acceptable outcome is nominated.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>

<p>elsewhere on the floodplain.</p> <p>Editor's note—Council may require the applicant to submit a site-based flood study that investigates the impact of the development on the floodplain and demonstrates compliance with the relevant performance outcome.</p>		
<p>PO11 Essential community infrastructure and community facilities are protected from, and able to function effectively during and immediately after, a defined flood event.</p>	<p>AO11.1 A use for a purpose listed in Table 8.2.8.3.3: (a) is not located within the flood hazard area; and (b) has at least one (1) flood free access road.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>PO12 Development provides safe and trafficable access to the local evacuation centres and evacuation services and have regard to: (a) evacuation time; (b) number of persons affected; (c) types of vehicles necessary for evacuation purposes; (d) the distance to flood free land; and (e) the evacuation route.</p>	<p>AO12.1 Trafficable access to and from the development complies with the Capricorn Municipal Development Guidelines.</p> <p>AND</p> <p>AO12.2 Trafficable access to and from the development within the creek catchment planning areas are in accordance with the Queensland Urban Drainage Manual.</p> <p>Note—Trafficable access for emergency services or community related uses is obtained from at least one (1) route (minor collector or higher) for emergency services purposes. The development is to ensure that safe access, to the road network between the development site and the closest centre zone, is provided.</p> <p>Editor's note—Trafficable access requirements for creek catchment planning areas has not been identified and reference has been made to the provisions under the Queensland Urban Drainage Manual. This is due to the short period that property may be isolated.</p>	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p> <p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>
<p>Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas), North Rockhampton flood management area or Creek catchment flood – planning area 1</p>		
<p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>		
<p>PO13 Development that involves temporary or moveable residential structures (for example caravan parks and camping grounds) are not located within the Fitzroy River high and extreme hazard areas, North Rockhampton flood management area or Creek catchment planning area 1.</p>	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – refer to <i>Appendix F – Council Pre-lodgement meeting minutes.</i></p>
<p>Reconfiguring a lot</p>		
<p>Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or creek catchment flood – all planning areas</p>		
<p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>		

<p>PO14 Development does not result in the creation of additional lots.</p>	<p>AO14.1 Reconfiguring a lot does not result in new lots.</p>	<p>Not applicable – development is for a Place of Worship.</p>
<p>Development in floodplain investigation area Editor's note—Refer to overlay map OM-8B</p>		
<p>PO15 Development provides vehicle access to a road network that is sufficient to enable safe access.</p> <p>Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard risk planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.</p>	<p>No acceptable outcome is nominated.</p>	<p>Not applicable – development is not located within a floodplain investigation area.</p>
<p>PO16 Onsite access is provided to a building envelope or fill area in which a building is to be constructed. The access is located on land classified as a low flood hazard in the defined flood event.</p>	<p>AO16.1 Onsite access to a building envelope or fill area is provided over land that is designated as a low flood hazard.</p> <p>Editor's note—For the purposes of the above requirements in respect of an access area or a road which provides access to the development a low flood hazard means:</p> <ul style="list-style-type: none"> (a) inundation is a maximum depth of 300 millimetres during events up to and including the defined flood event; (b) inundation extends for a maximum distance of 200 metres during events up to and including the defined flood event; and (c) The product of velocities and depth does not exceed $D*V=0.4m^2/s$. 	<p>Not applicable – as above.</p>
<p>Operational work</p>		
<p>PO17 Development does not materially impede the flow of floodwaters through the site or worsen flood flows external to the site.</p>	<p>AO17.1 Development does not involve:</p> <ul style="list-style-type: none"> (a) filling with a height greater than 100 millimetres; or (b) block or solid walls or fences; or (c) garden beds or other structures with a height more than 100 millimetres; or (d) the planting of dense shrub hedges. 	<p>Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i></p>

Advertising devices Code

Table 9.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes	Assessment
Character and amenity		
<p>PO1 The advertising device is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) results in a size that does not adversely impact on: <ul style="list-style-type: none"> i. the visual amenity and character of a building, streetscape, locality or natural landscape setting; ii. the safety of a road or footpath; iii. the operations of an airport; and iv. the visual amenity of a main transport entrance into an urban area or township; (b) is integrated with the design of other development on the premises; (c) does not visually dominate the premises, streetscape, locality or natural landscape setting; (d) is constructed of durable and weather resistant materials; (e) does not impede vehicle or pedestrian movements or reduce safety levels; (f) does not resemble traffic or road signs; and (g) does not result in the proliferation of unnecessary advertising. 	<p>AO1.1 The maximum total sign face area for all advertising devices at any premise is the higher of the areas calculated using the following calculation methods:</p> <ul style="list-style-type: none"> (a) boundary length calculation method (refer to SC6.2 — Advertising devices planning scheme policy); and (b) building elevation calculation method (refer to SC6.2 — Advertising devices planning scheme policy). <p>Editor's note— To establish the maximum total sign face area of a premise, the applicant must subtract existing defined sign face areas that are on the premises.</p> <p>AND</p> <p>AO1.2 The advertising device is in accordance with Table 9.3.2.3.2.</p>	<p>Complies – the development has the appearance of a road frontage to Glenmore Road of approximately 54 metres.</p> <p>Complies in part – while located within the Low Density Residential Zone the site is bordered by Moores Creek Road, a railway corridor, a short dead-end street (only used by the development) and a high order road. The existing flood fence, combined with these boundaries, effectively screens the site from neighbouring properties. The sign is located on the front wall of the building that is otherwise blank and does not cover any opening. The sign does not project further than 0.2m</p>

Performance outcomes	Acceptable outcomes	Assessment
		from the wall, beyond the property boundary, above the eaves or the external edges of the building.
Illumination		
<p>PO2 The illumination of an advertising device does not detract from the character and amenity of an area. The advertising device is appropriate to its setting and is compatible with the amenity of the local area and does not create glare, reflection or flaring of colours to cause a visual nuisance.</p>	<p>AO2.1 Where an advertising device incorporates a digital display, the advertising device:</p> <ul style="list-style-type: none"> (a) is not located in a low density residential zone/precinct, low-medium density residential zone, rural residential zone/precinct or township zone/precinct; (b) has a minimum dwell time of eight (8) seconds per advertisement; and (c) has an instantaneous transition from one message to the next within 0.5 seconds. <p>Editor's note— Instant changes for digital displays are recommended to minimise flash distractions. For example, when the display change includes high contrast change.</p> <p>AND</p> <p>AO2.2 The luminance of an externally or internally illuminated advertising device including digital displays (measured in candelas per square metre) does not exceed the threshold in accordance with in Table 9.3.2.3.3.</p>	<p>Alternate Solution – while located within the Low Density Residential Zone the site is bordered by Moores Creek Road, a railway corridor, a short dead-end street (only used by the development) and a high order road. The existing flood fence, combined with these boundaries, effectively screens the site from neighbouring properties. The building faces Glenmore Road, a high order road. The sign is on the front of the building, not facing any properties with residential or sensitive uses.</p> <p>Complies</p>
Safety to pedestrians and vehicles		
<p>PO3 Advertising devices are appropriately located and designed in a manner that does not create a traffic or pedestrian safety hazard.</p> <p>Editor's note—A traffic management statement produced by a registered professional engineer may be required to demonstrate that there is no adverse impact to vehicle and pedestrian safety.</p>	<p>AO3.1 The advertising device does not physically obstruct the passage of pedestrians or vehicles.</p> <p>AND</p> <p>AO3.2 The advertising device does not restrict sight lines at intersections and site access points into property.</p> <p>AND</p>	<p>Complies – the sign is attached to the front wall of the building. Therefore it does not impact on pedestrians or vehicles.</p>

Performance outcomes	Acceptable outcomes	Assessment
	<p>AO3.3 The advertising device does not revolve, contain moving parts or have a moving border.</p>	
Heritage and character places		
<p>PO4 Advertising devices adjacent to or located at a place of heritage significance or within the character overlay are designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) conserves existing signs if they are of heritage significance; (b) is compatible with the significance of the heritage place; (c) does not detrimentally impact the values or setting of the heritage place; (d) does not obscure the appearance or prominence of features of the heritage place when viewed from adjacent public or semi-public streets or open spaces; and (e) does not intrude into that place. <p>Editor's note—Traditional and appropriate locations for signage include:</p> <ul style="list-style-type: none"> (a) parapet panels above and below the cornice; (b) string course bands and on other small individual elements; (c) spandrel panels below windows and on ground floor piers (including plaques beside entries); (d) front and side fascia of the verandah, or hanging below; and (e) ground and first floor windows, or glass and side walls, upper storey and panels on fences. 	<p>AO4.1 The following advertising devices are not proposed on or adjoining premises that are listed as a local heritage place, shown on the heritage place overlay map or character overlay map:</p> <ul style="list-style-type: none"> (a) creative awning sign; or (b) freestanding sign; or (c) ground sign; or (d) sign written roof sign; or (e) three-dimensional sign. 	<p>Complies – the wall sign will not be placed on or adjoining premises that are listed as a local heritage place.</p>
Wall sign		
<ul style="list-style-type: none"> (a) is only located in a centre zone, industry zone, open space, community facilities, sport and recreation and special purpose zone unless associated with a home-based business; (b) the sign is located only on a part of a wall that is otherwise blank and the sign does not cover any opening (such as a 	<p>Within an industry zone and centre zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of twenty (20) square metres, unless located on the character overlay map, whereby the signage must not cover more than twenty (20) per cent total surface area of the wall to a maximum size of two (2) square</p>	<p>Alternate Solution – while located within the Low Density Residential Zone the site is bordered by Moores Creek Road, a railway corridor, a short dead-end street (only used by</p>

Performance outcomes	Acceptable outcomes	Assessment
<p>window) or building design element (such as finery, articulated brickwork, etcetera);</p> <p>(c) the sign does not project any further than 0.2 metres from the wall;</p> <p>(d) the sign does not project beyond the property boundary; and</p> <p>(e) the sign does not project above the eaves or parapet of the wall, or the external edges of the building element to which it is attached.</p>	<p>metres.</p> <p>Within the open space zone, community facilities zone, sport and recreation zone and special purpose zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of four (4) square metres.</p>	<p>the development) and a high order road. The existing flood fence, combined with these boundaries, effectively screens the site from neighbouring properties. The building faces Glenmore Road, a high order road. The sign is on the front of the building, not facing any properties with residential or sensitive uses.</p>



PRELODGE MEETING ADVICE

MEETING DETAILS

Date of Meeting: Wednesday 3 April 2024 9:00am

Council Attendees:

- Kathy McDonald – Principal Planning Officer, Development Assessment
- Tilak Mudalige – Development Engineer, Community Services
- Stacey Joyner – Environmental Health Officer, Community Services

Applicant Attendees:

- Dale Webb - Building designer - Rufus Design Group
- Nathan Jones – Pastor - Oasis Church
- Rachel Jones – Pastor - Oasis Church

PROPOSAL:

Address: 5 - 7 Fraser Street, Park Avenue

Real Property Description: Lot 77 on SP142293

Details of Proposal: Reinstate the Place of Worship building that was destroyed by fire and consequently has been demolished. The new building has been purposely designed to suit the actual use and is themed on an industrial style. The gross floor area of the new building is less than the gross floor area of the previous building but within 5%. All existing carparking areas are to remain and be reutilised. The site is protected by an existing approved flood fence which will remain and be reinstated where a small section was removed for demolition machinery access. The use of the site remains unchanged, being a Place of Worship.

Issues identified by the Applicant for discussion:

- Is there 'existing rights' available for the rebuilding of the church? If not, what will the assessment level be?
- GFA is within 5% of the previous GFA. The previous approval included 77 carparks, (51 onsite, 26 in Fraser Street reserve). Can the new design be approved with no increase in carpark numbers?
- The site is located in the Flood Hazard Area. Q100 flood level for the site is RL 8.68m AHD. The site is protected by an existing flood fence at RL 8.9m AHD. Looking at the flood hazard overlay map, the fence makes the developable area of the site at H1 hazard level and the existing contours at the H1 hazard area are around RL 8.5m AHD. Can AO 1.1 for H1 or H2 hazard area be used to keep the entrance level with the existing carpark level, to avoid a ramp and steps?
- AO 1.1 of the Flood Hazard Code for non-residential buildings, in an H1 or H2 Hazard area, states only 30% of GFA of the building must be 500mm above the Q100 level of RL 8.68m AHD. This equates to $8.68m + 0.5m = RL 9.18m$ AHD. The new design has an elevated stage area at a height of RL 9.3m AHD. This elevated floor area is 205.4sqm in size. The mezzanine floor is 124.1sqm in size at RL 12.01m AHD.
- There is also elevated stadium platform seating in the auditorium which range from RL 9.14m AHD to RL 12.92m AHD. The area of stadium platform above RL 9.18m AHD is 180.8sqm in size. The total floor area of all floors above RL 9.18m AHD = 510.3sqm. This equates to 30.1% of GFA.

- Can Council confirm that it is acceptable to treat the area inside the existing flood fence as H1 or H2 Hazard level, and AO1.1 of the Flood Hazard Code is an acceptable solution?
- Is Moores Creek the lawful point of discharge for stormwater?
 - Can flood valves (if not existing), be put on the stormwater pipe/s to avoid flood water entering inside the flood fenced area?
- Does Council have any concerns with the design?

Supporting information/documentation provided by Applicant:

- Oasis Church proposed plans
- Flood fence plans
- Flood report
- Overlay map – flood hazard

ADVICE

PLANNING ASSESSMENT:

Defined Use: Place of Worship

Place of worship means the use of premises for—

1. organised worship and other religious activities; or
2. social, education or charitable activities, if the use is ancillary to the use in paragraph (a)

Planning Area/Zone: Low Density Residential Zone

Type of Application Required:

New Application for a Material Change of Use for a Place of Worship OR; an 'Other Change' to Development Permit D/124-2004 for a Material Change of Use for a Place of Worship

Level of Assessment: Assessable (Impact Assessment)

DEVELOPMENT ASSESSMENT:

- Council acknowledges the existing use rights for the land as a Place of Worship under existing Development Permit D/124-2004. However, the proposed re-build does not meet the criteria for a Minor Change to the Development Permit as it dramatically changes the built form in terms of scale, bulk and appearance and it will result in a referral to a referral agency, other than to the chief executive, if there were no referral agencies for the original development application.
- In accordance with the Rockhampton Region Planning Scheme 2015 (version 4.4), the site is located in the Low Density Residential zone. The applicant can lodge a new Material Change of Use for Place of Worship OR an 'Other Change' to Development Permit D/124-2004 for a Material Change of Use for a Place of Worship. The development is categorised as Assessable development and subject to Impact assessment.
- Referral to the Department of State Development, Infrastructure, Local Government and Planning (State Assessment and Referral Agency Department) is required as the subject site is within 25m of a railway corridor.
- An Impact Assessable application will need to be public notified for a minimum of fifteen (15) business days.
- Council's expectation for an Impact Assessment MCU application is that a full assessment is provided against the planning scheme. This must include an assessment against the relevant sections of the Strategic Framework, in addition to applicable zone, development and overlay codes (where applicable).

- Whilst the design is not small scale and not typically characteristic of that in the Low Density Residential area. Council Acknowledges re-building with the same character features from the original building is not feasible and the site is stand alone and separated from residential uses to the west.
- As per Councils Fees and Charges for Development Assessment, fee number 375/376 a 50% Concession applies to the application fee for Religious Organisations.

DEVELOPMENT ENGINEERING UNIT:

Flood Hazard

- Council is happy to consider the flood assessment to be done for H1 and H2 categories given that there is a flood fence around the site. In accordance with the Flood Hazard overlay code, a minimum of 30% of the floor area must be above the 1%AEP inundation extent. A flood statement is required from a RPEQ engineer with all necessary calculations and supporting evidence.

Car Parking

- In accordance with the current access and parking code, the site is short 36 car parking spaces. Applicant must demonstrate that existing parking numbers are adequate to service the proposed development. Justifications and evidence must be provided and can be in the form of photos or attendance records for previous events.

Other services

- All other services are to be provided as per current standards or existing connections.

PUBLIC AND ENVIRONMENTAL HEALTH:

- Ensure any out outdoor lighting is compliant with AS 4282 Control of obtrusive effects of outdoor lighting.
- Ensure any plant is located in a way that it does not cause a noise nuisance to neighbouring properties.
- Expect standard conditions on approvals regarding light & noise nuisance.
- Submitted plans include commercial kitchen/café. Depending on your menu and frequency of use, a food business licence may be required. You can contact the Environment and Public Health Unit to discuss your plans. If a food business licence is required, an application would be required to be submitted to E&PH Unit for approval prior to fit out.

OUTCOME SUMMARY:

Whilst the proposed development is not consistent with the purpose of the Low Impact Industry Zone, given the existing use rights, Council officers are supportive of the development subject to the requirements of the Planning Scheme and relevant assessment benchmarks.

ADVISORY NOTE:

Infrastructure Charges (not including actual charges)

The Adopted Infrastructure Charges are available to view on Council's Website. These are located in the Fees and Charges Section. Please see the link below.

<http://www.rockhamptonregion.qld.gov.au/Planning-and-Building/Infrastructure-Charges>

These notes have been provided as informal and non binding comments and are intended for use as a guide only in providing feedback on the proposal presented to the Unit. These discussions do not bind or fetter the Council in any way in exercising its statutory responsibilities in assessing any development application which might be made to the Council.

Link to DA Forms

<https://planning.dsdmip.qld.gov.au/planning/better-development/application-forms-and-templates>

Link to Planning Schemes

<http://www.rockhamptonregion.qld.gov.au/Planning-and-Building/Planning-Schemes-and-Studies>

Link to Development Assessment Fees

<http://www.rockhamptonregion.qld.gov.au/About-Council/Finance-Rates-and-Budget/Fees-and-Charges>

Letter – 24059LETTM01[A]
Gideon Town Planning
PO Box 450
Rockhampton, QLD 4700

Attention: Gideon Genade
gg@gideontownplanning.com.au

Dear Gideon,

Technical Memorandum – Stormwater and Flooding
Place of Worship – Oasis Church
5-7 Fraser St, Park Avenue

Janes and Stewart Structures Pty Ltd has prepared this civil engineering technical letter in support of the development application for a Place of Worship at 5-7 Fraser St, Park Avenue. The new place of worship is to replace the previous place of worship building which was demolished due to a fire in August 2023. The real property description of this freehold parcel of land is Lot 77 on SP142293.

The intent of this letter is to provide a high-level overview of the stormwater drainage strategy for the new place of worship along with a review of the project against Rockhampton Regional Councils' flood hazard overlay within the 2015 planning scheme.

The location of the subject site can be seen in the following aerial image:

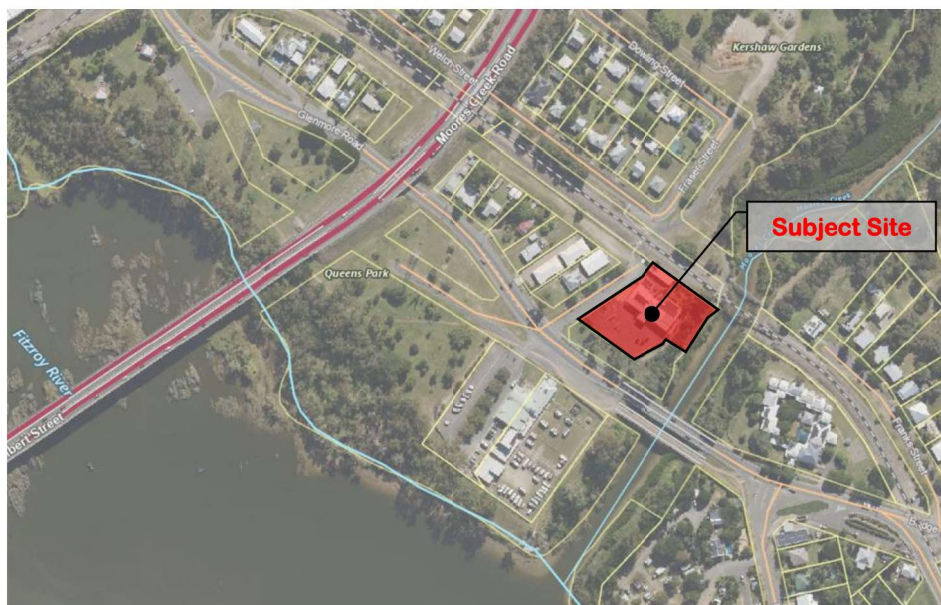


Figure 1 Locality Image (Source: QLD Globe)

Flood Hazard Review

The subject site is situated alongside Moores Creek which discharges into the Fitzroy River around 200m downstream of the site. The site is also bounded by an existing rail corridor on the northern side, Fraser Street to the west and Glenmore Road to the south.

The site is located in the Flood hazard area as defined with the Rockhampton Regional Council planning scheme 2015, version 4.4. As such, a flood property search (attached) from Rockhampton Regional Council (RRC) has been obtained specifically relating to the subject site. This flood property search identifies that this site is at risk of being impacted by both riverine flood events from the Fitzroy River and flooding from localised storm events from the Moores Creek catchment.

The flood levels as stated within the flood property search for a 1% Annual Exceedance Probability (AEP) are as follows:

Table 1 1% AEP Flood Levels

Description	Value ^[1]
Riverine 1% AEP Flood Level	8.68m AHD
Local Catchment (Moores Creek) 1% AEP Flood Level	8.58m AHD

^[1]Obtained from RRC Flood Property Search for 5-7 Fraser Street, Park Avenue

The developed portion of the site is bordered by an existing flood fence with an impervious height of 8.9m AHD. Existing flood protection gates are also in place at the vehicle access locations to the site and closed during flood events. It is believed that the RRC flood modelling does not consider this flood fence and gate system.

With the top of the impervious section of the flood fence and gates being above the riverine and local catchment flood levels stated in table 1, this system currently provides protection to the site. It is intended that there will be no change to this flood protection fence and gate system, only rectification works where required to ensure the suitability of the flood fence is maintained.

The site infrastructure currently includes stormwater pit and pipe drainage where two separate pipes discharge to the east into Moores Creek. These pipe systems are below the 1% AEP flood level. As such, in times of significant flooding from riverine or creek storm events, the proprietor installs temporary backflow prevention devices to the stormwater pipe systems, where any rainwater on the site itself is pumped out of the site when required. It is intended that the proprietor will continue this arrangement as part of the re-development of the site.

As per the Council pre-lodgement meeting minutes dated 3 April 2024 for the project, Council is comfortable to consider the site to be within the H1 and H2 flood hazard categories within the planning scheme, given the existing flood fence exists. For an acceptable outcome against the flood hazard overlay within the planning scheme for a H1 and H2 area, a non-residential development must have as a minimum 30% of the gross floor area being 500mm above the defined flood event. In this case the defined flood event for the site is considered to be the riverine 1% AEP flood level of 8.68m AHD. Therefore, 30% of the gross floor area must be above 9.18m AHD.

The proposed place of worship is intended to have a main floor level at 8.6m AHD. However, the building layout includes a stage area, side stage and green room area totalling 224.8m² at 9.3m AHD. Tiered seating is also included where 180.8m² of the seating will be above 9.18m AHD.

As well as this a mezzanine level of area 129.2m² is proposed at 12.01m AHD. Therefore, with a total new building gross floor area of 1,700.6m², this equates to 31.4% of the gross floor area being above the defined floor level plus 500mm freeboard. Therefore, the proposed building complies with an acceptable outcome of the flood hazard overlay.

Stormwater Drainage

Quantity

This site is situated within the Moores Creek catchment area and generally falls towards Moores creek, with the creek being considered the legal point of discharge for the site.

The extent of the Moore's Creek catchment is shown as follows:

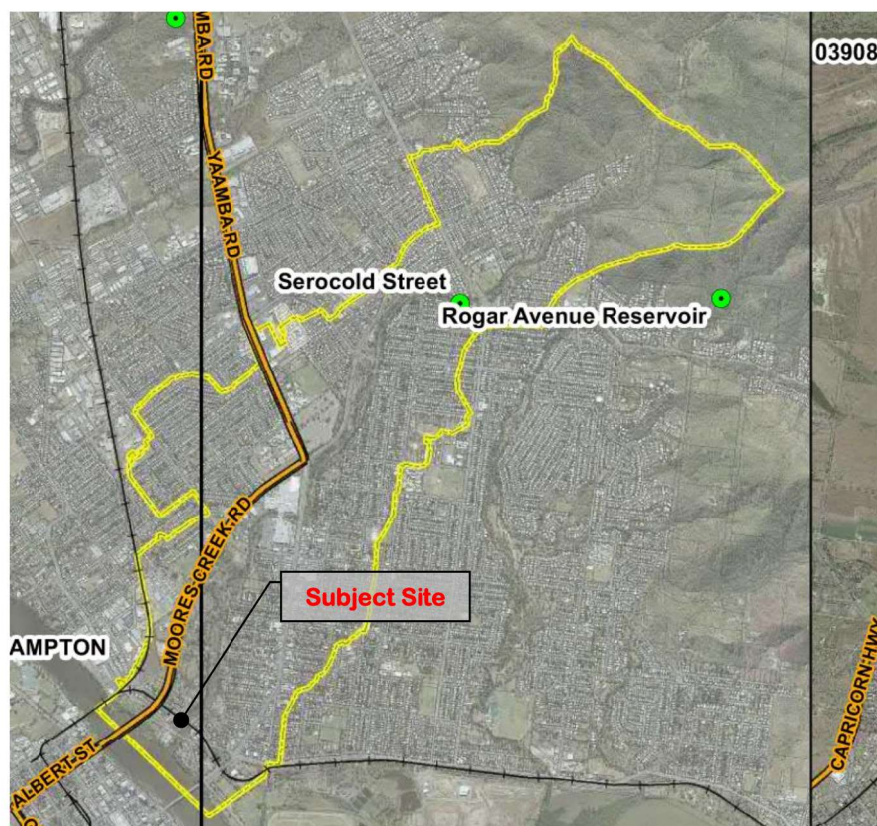


Figure 2 - Existing Moore's Creek Stormwater Catchment
(Source: Moores Creek Local Catchment Study, Doc No. 60534898-RE-NR-001, AECOM)

The site before the building fire occurred consisted of the main building structure, a shed and carport along with an on grade off street car park making most of the site impervious. The proposed works will slightly increase the impervious area of the site by approximately 360m². When compared to the existing Moores Creek catchment area of 3050ha the new impervious area is not expected to have any significant impact to the total Moores Creek catchment discharging at the Fitzroy River. Due to the extremely minor change in impervious area in the catchment, changes in the coefficient of discharge, and in turn the change in peak flows from the pre-development state to the post-development state are also extremely minor. Considering this and with the site being located at the very bottom of the catchment prior to discharge to the Fitzroy River, we believe that stormwater detention measures are not warranted.

This approach is in line with the recommendations of the background notes of the Queensland Urban Drainage Manual (QUDM) Table BN 5.2.1 which suggests it is not desirable to install stormwater detention devices within the lower third of a catchment.

As previously mentioned, existing pit and pipe stormwater infrastructure exists on the site which conveys runoff to Moores Creek. Alterations to the pit and pipe stormwater drainage will be required with the proposed building works which will be undertaken as part of the further detailed design phase of the project. However, the discharge location of Moores Creek will be maintained. The stormwater from the site will not discharge to the rail corridor as the site falls towards Moores Creek and not the rail corridor with the flood fence installed along the common property boundary with the site. A separate existing open drainage channel is located within the rail corridor for the contributing catchment (not including the site) which conveys runoff separately to Moores Creek.

Quality

As highlighted in this letter, the existing site discharges to Moores Creek and this discharge location will remain the same in the proposed scenario. The proposal does not significantly alter the impervious area from the existing arrangement for the catchment that discharges to the creek, where the change in impervious area is expected to be only 360m². Therefore, it is proposed that no specific stormwater quality treatment devices are required with the re-development based on the minimal change to the impervious area on the site and the similarities to the existing scenario.

We trust that this technical letter provides an overview of the stormwater drainage and flooding situation with the re-development of the Place of Worship at 5-7 Fraser Street, Park Avenue.

If you should have any queries relating to this technical letter, please feel free to contact our office and speak with either of the undersigned.

Yours sincerely



Matthew Dennis

Senior Civil Engineer (RPEQ 24862)

for and on behalf of Janes and Stewart Structures Pty Ltd

Attachments:

1. RRC Flood Property Search Report for 5-7 Fraser Street, Park Avenue



Rockhampton Office
232 Bolsover St, Rockhampton
Gracemere Office
1 Ranger St, Gracemere
Mount Morgan Office
32 Hall St, Mount Morgan

6 March 2024

Your Ref: 231008 – Oasis Church
Telephone: 07 4936 8099
Email: developmentadvice@rrc.qld.gov.au

Oasis Church
C/- Rufus Design Group
Dale Webb
PO BOX 5134
RED HILL ROCKHAMPTON QLD 4701

Dear Sir / Madam

FLOOD INFORMATION REQUEST FOR 5-7 FRASER STREET, PARK AVENUE QLD 4701 DESCRIBED AS LOT 77 ON SP142293, LOT A ON AP7235

Council is in receipt of your application dated 27 February 2024 requesting flood information for 5-7 Fraser Street, Park Avenue QLD 4701, and more properly described as Lot 77 on SP142293 and Lot A on AP7235.

Please find attached a Flood Search Property Report for your reference. The purpose of this report is to provide flood level information to support the application of Council's planning scheme Flood Hazard overlay code, floodplain planning provisions, and applicable flood planning levels.

Council records show that the abovementioned property parcel is identified as being at risk of flood in a 1% AEP Fitzroy River and/or Local Creek flooding event. Annual Exceedance Probability (AEP) is the probability of a flood event of a given magnitude being equalled or exceeded in any one year. A 1% AEP event means there is statistically a 1% (or 1 in 100) probability that an event of that magnitude will occur or be exceeded in any year.

The design flood level information contained within this report provide water surface levels for a range of typical planning and development design standards. The flood planning level for most development in the Flood Hazard overlay area is the Defined Flood Event (DFE). Council has adopted a DFE of 1% AEP as a planning standard for the management of development in Rockhampton Region. As such, for most development types - the floodplain planning provisions of Council's planning scheme apply relative to the 1% AEP defined flood event. Exceptions apply for critical infrastructure. The Defined flood event may change as Council undertakes further flood risk analysis and profiling as part of its long-term floodplain management planning for the catchment.

The flood levels contained within this flood search report have been sourced from Council's adopted flood modelling and flood study at this location, and are based on the best available information at the time of completing the study. The flood levels are measured in metres Australian Height Datum (mAHD), where mean sea level is approximately zero (0) mAHD.

Council is committed to providing residents with the most up to date flood risk information. The current flood study for this catchment area has assessed flood risk for a number of flood events including rare flood events greater than the 1%AEP flood, to provide a better understanding of the flood behaviour in the catchment. As such, the flood search report contains flood levels for flood events such as the 0.2%AEP (1 in 500 year AEP), 0.05% AEP (1 in 2000 year flood event), and the

PMF (probable maximum flood). This information is being provided for completeness, and may not be applicable for development assessment purposes.

Please note: All reasonable steps have been undertaken to ensure the information presented in this report is accurate at the time of generation. Changes to the topography and condition of the local creeks and waterways may have an impact on flooding. Over time, Council may also undertake further technical studies to maintain the understanding of flooding across the city, and update the information available.

Should you have any queries regarding this information please contact Council's Development Engineering section using the contact information above.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Mohit Paudyal', with a long horizontal flourish extending to the right.

Mohit Paudyal
Senior Development Engineer
Planning and Regulatory Services

Enc Flood Search Property Report and Flood Property Map

Rockhampton Regional Council Flood Search Property Report

Property Address: 5-7 Fraser Street, Park Avenue QLD 4701

Lot Details: Lot 77 on SP142293, Lot A on AP7235

Date of Issue: 5 March 2024



Flood Search Property Report Overview

It is possible for one or more sources of flooding to occur, especially where a property is near a creek or waterway. These flooding sources can include riverine, creek and overland flow flooding which can each behave differently and impact how a building or development is designed. All flood hazard triggers should be considered when designing and planning with flooding in mind.

The Rockhampton Regional Council Flood Search Report is provided to support planning and development, in accordance with the current version of the Rockhampton Region Planning Scheme 2015.

This report summaries flood information for this property to inform and supplement the application of the Council's planning scheme Flood Hazard overlay code, floodplain planning provisions, and the applicable flood planning levels. The contents of this report have been derived from Council's flood studies and flood modelling and should be considered along with all other applicable planning and development requirements. Flood studies and associated modelling assist Council to better understand flooding in the Rockhampton region and implement plans to avoid and mitigate its impacts on the community.

Flood modelling of the Fitzroy River has been progressively refined over a long period of time. The flood modelling addresses riverine impacts on Rockhampton City and surrounding areas, including Alton Downs, Pink Lily, Nine Mile, Fairy Bower, Midgee and Port Curtis. Local Creek and Catchment Flood Studies provide Council with information on flood behaviour of the creeks, and how they are expected to respond during varying intensities and durations of rainfall events.

Understanding your flood risk can help you prepare for flooding at your home or business. The information provided in this report utilises information from the most up to date flood studies available to Council at the date of issue of this report. All reasonable steps have been undertaken to ensure the information presented in this report is accurate at the time of generation. Changes to the topography and condition of the local creeks and waterways may have an impact on flooding. Over time, Council may undertake further technical studies to maintain the understanding of flooding across the city, and update the information available.

Copies of Council's current Flood Studies are available on Council's website at www.rrc.qld.gov.au

What is flood modelling?

Flood modelling uses sophisticated computer software to estimate how rainfall of various intensities and duration produce stormwater flows along creek and river catchments.

Flood modelling is used to estimate:

- The inundation extents of the areas that may be flooded;
- The peak depths of flood waters; and
- The hazard related to the depth of water or how quickly the water flows (velocity).

Flood modelling estimates a range of design floods based on a statistical analysis of rainfall information provided by the Bureau of Meteorology. This information is used to establish the likelihood of a rainfall or flood event.

Disclaimer

Council provides this information as a general reference source only and has taken all reasonable measures to ensure that the material in this report is as accurate as possible at the time of publication. Council makes no representation and gives no warranty about the accuracy, reliability, completeness or suitability for any particular purpose of the information. To the full extent that it is able to do so in law, the Council disclaims all liability including liability in negligence, for losses and damages including indirect and consequential loss and damage, caused by or arriving from anyone using or relying on the information for any purpose.

When reading this report, please consider:

- If a property is identified as being at risk of being affected by Fitzroy River and/ or Local Creek Catchment flooding, the highest maximum flood heights should be used to establish minimum building and development levels. For large property parcels - there may be a significant difference between the minimum and maximum flood heights for a particular flood type. In these situations, you may need to seek further advice from Council regarding the flood height that is appropriate for the exact location of the proposed building or development.
- The flood maps included with this report display the flood inundation extent only. All maps generated from the Flood Studies are available on Council's website.
- The flood maps provided depict the flood inundation extents under existing climate and catchment conditions.
- If preparing a new building and/or development application, it is recommended that you confirm all flood related provisions within Council's Planning Scheme relevant to the property.

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Property Details

Address: 5-7 Fraser Street, Park Avenue QLD 4701
Lot and plan: Lot 77 on SP142293, Lot A on AP7235

Property Ground Levels:

Property ground levels can be found on the attached property flood report. The ground level data has been sourced from Aerial LiDAR survey, and as such, these levels are approximate.

Should the extent of flooding at a property need to be more accurately predicted, then individual property level information (e.g. surveyed site levels, and building floor levels) could be utilised in conjunction with Council's flood information. Council does not undertake this level of investigation or survey on behalf of property owners.

For your information:

AHD (Australian Height Datum) is the National Mapping Datum used throughout Australia. The level of 0.0m AHD is approximately mean sea level.

Elevation Data Source: The digital elevation model used in the flood modelling is generated on a regional scale and utilises ground level elevations from aerial laser surveys performed in 2016. The survey data used to determine the extent and depth of potential inundation is captured and updated periodically and may not reflect inundation of land that has recently been modified, such as a new subdivision that has changed the existing landform.

Flood Information

Riverine Flood: Affected

The property is identified as being at risk of flooding from the Fitzroy River. A property flood report displaying the 1% AEP (Annual Exceedance Probability) flood extent on the property is attached. Planning and development must consider risk to people and property, natural floodplain characteristics, and flood free/low flood hazard access outcomes during a river flood event.

For your information:

AEP (Annual Exceedance Probability) is the probability of a flood event of a given size occurring or being exceeded in any one year. Information in relation to more or less likely floods and the full flood plain extent can be accessed on Council's website.

Creek Catchment Flood: Affected

The property is identified as being at risk of flooding from Creek Flooding. A property flood report displaying the 1% AEP (Annual Exceedance Probability) flood extent on the property is attached. Planning and development must consider risk to people and property, natural floodplain characteristics, and flood free/low flood hazard access outcomes during a creek flood event.

For your information:

AEP (Annual Exceedance Probability) is the probability of a flood event of a given size occurring or being exceeded in any

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one year. Information in relation to more or less likely floods and the full flood plain extent can be accessed on Council's website.

Disclaimer

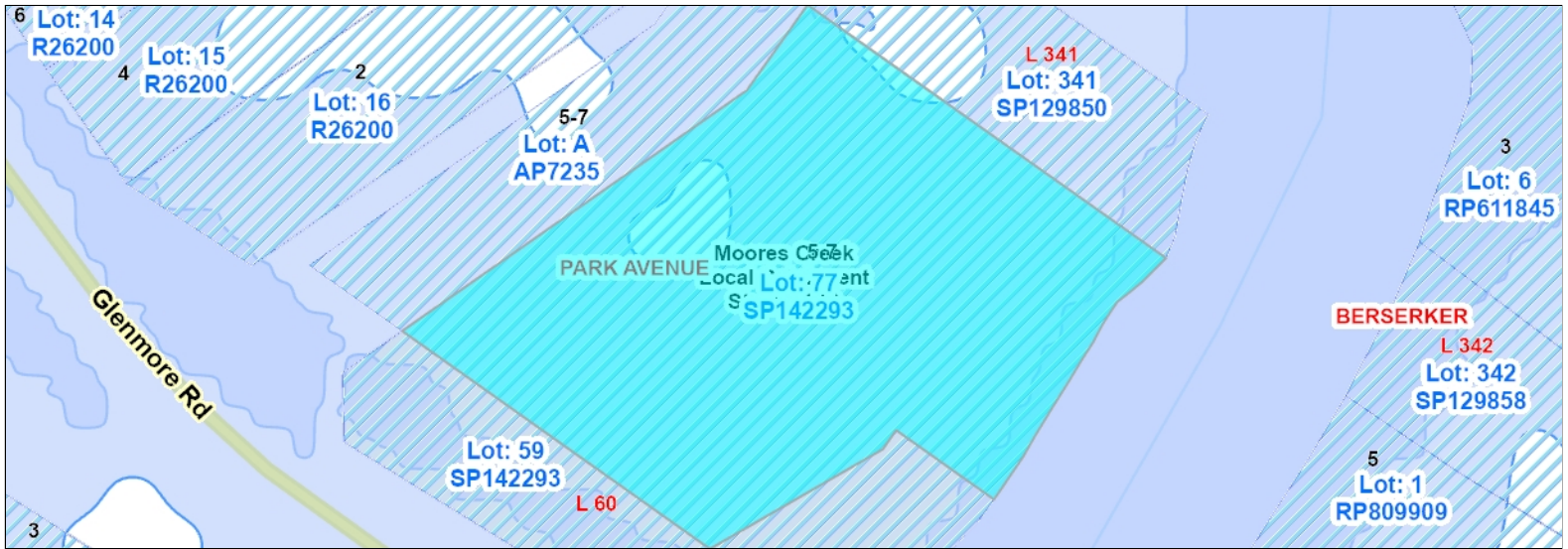
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Flood Report for 5-7 Fraser Street Park Avenue QLD 4701

Printed from
GeoCortex on
05/03/2024

Owners: Oasis New Life Centre Property Ltd Tte **Ratepayer Address:** PO BOX 8213 ALLENSTOWN QLD 4700

Parcel ID: SP142293/77 **Land use:** Shed/Garage etc



Riverine Catchment: Fitzroy River Flood Study

Creek Catchment: Moores Creek Local Catchment Study 2018

Mitigation Area: N/A

Horizontal Datum: MGA 56, GDA 2020 **Elevation / WSL:** mAHD **Velocity:** m/sec

Comments

N/A

Riverine

PMF WSL Min:	12.44	AEP 2% WSL Min:	8.37
PMF WSL Max:	12.45	AEP 2% WSL Max:	8.37
PMF Velocity Min:	0.22	AEP 2% Velocity Min:	0.00
PMF Velocity Max:	0.90	AEP 2% Velocity Max:	0.91
AEP 0.05% WSL Min:	9.81	AEP 5% WSL Min:	7.89
AEP 0.05% WSL Max:	9.81	AEP 5% WSL Max:	7.90
AEP 0.05% Velocity Min:	0.05	AEP 5% Velocity Min:	0.01
AEP 0.05% Velocity Max:	0.90	AEP 5% Velocity Max:	0.02
AEP 0.2% WSL Min:	9.33	AEP 10% WSL Min:	7.36
AEP 0.2% WSL Max:	9.33	AEP 10% WSL Max:	7.36
AEP 0.2% Velocity Min:	0.03	AEP 10% Velocity Min:	0.02
AEP 0.2% Velocity Max:	0.90	AEP 10% Velocity Max:	0.05
AEP 0.5% WSL Min:	8.98	AEP 18% WSL Min:	6.50
AEP 0.5% WSL Max:	8.98	AEP 18% WSL Max:	6.50
AEP 0.5% Velocity Min:	0.00	AEP 18% Velocity Max:	0.02
AEP 0.5% Velocity Max:	0.90	AEP 18% Velocity Max:	0.05
AEP 1% WSL Min:	8.68	AEP 39% WSL Min:	3.23
AEP 1% WSL Max:	8.68	AEP 39% WSL Max:	3.23
AEP 1% Velocity Min:	0.01	AEP 39% Velocity Min:	0.01
AEP 1% Velocity Max:	0.91	AEP 39% Velocity Max:	0.01

Creek \ Local Catchment

PMF WSL Min:	9.15	AEP 5% WSL Min:	N/A
PMF WSL Max:	9.90	AEP 5% WSL Max:	N/A
PMF Velocity Min:	0.15	AEP 5% Velocity Min:	0.02
PMF Velocity Max:	3.74	AEP 5% Velocity Max:	1.00
AEP 0.05% WSL Min:	6.15	AEP 10% WSL Min:	3.59
AEP 0.05% WSL Max:	8.59	AEP 10% WSL Max:	8.56
AEP 0.05% Velocity Min:	0.01	AEP 10% Velocity Min:	0.01
AEP 0.05% Velocity Max:	3.27	AEP 10% Velocity Max:	0.80
AEP 0.2% WSL Min:	5.49	AEP 18% WSL Min:	9.15
AEP 0.2% WSL Max:	8.58	AEP 18% WSL Max:	9.90
AEP 0.2% Velocity Min:	0.01	AEP 18% Velocity Min:	N/A
AEP 0.2% Velocity Max:	2.84	AEP 18% Velocity Max:	N/A
AEP 0.5% WSL Min:	4.85	AEP 39% WSL Min:	3.06
AEP 0.5% WSL Max:	8.57	AEP 39% WSL Max:	3.74
AEP 0.5% Velocity Min:	0.02	AEP 39% Velocity Min:	0.02
AEP 0.5% Velocity Max:	2.23	AEP 39% Velocity Max:	0.27
AEP 1% WSL Min:	4.52	AEP 63% WSL Min:	2.84
AEP 1% WSL Max:	8.58	AEP 63% WSL Max:	3.64
AEP 1% Velocity Min:	0.05	AEP 63% Velocity Min:	2.84
AEP 1% Velocity Max:	1.76	AEP 63% Velocity Max:	3.64

Property Elevation

Ground Elevation (Min): 1.78
Ground Elevation (Max): 9.14

AEP 2% WSL Min:	N/A
AEP 2% WSL Max:	N/A
AEP 2% Velocity Min:	0.02
AEP 2% Velocity Max:	1.34

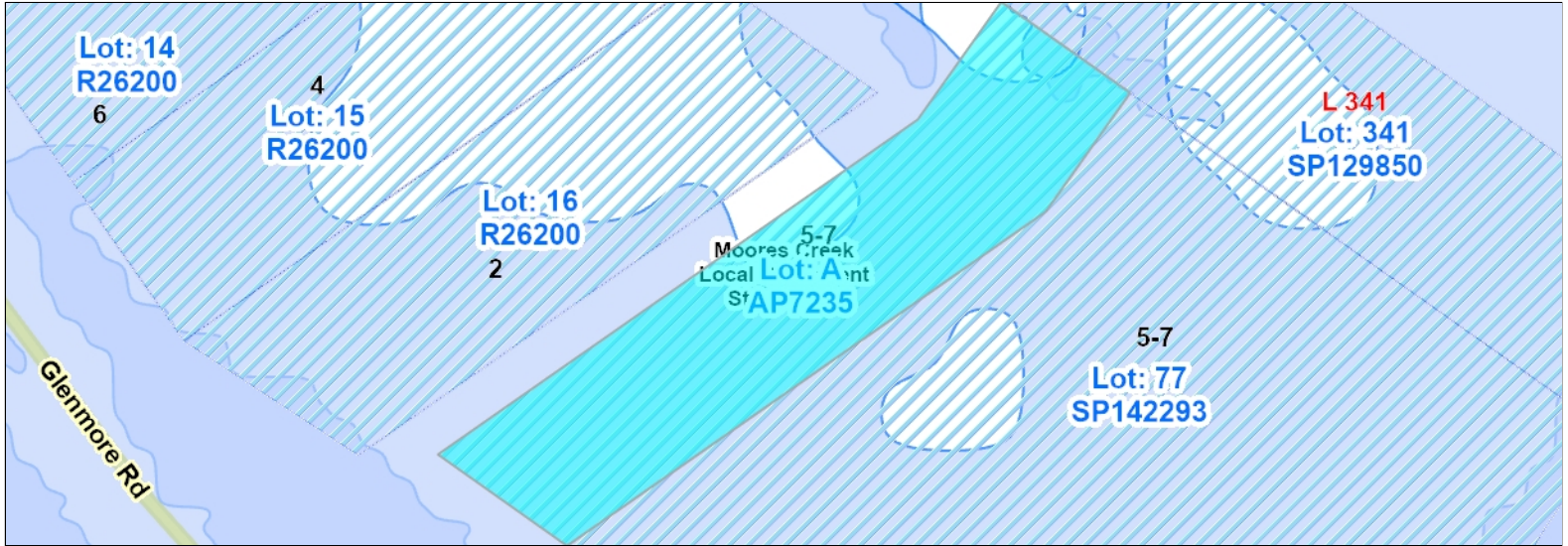
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Flood Report for 5-7 Fraser Street Park Avenue QLD 4701

Printed from
GeoCortex on
05/03/2024

Owners: Oasis New Life Centre Property Ltd Tte Ratepayer Address: PO BOX 8213 ALLENSTOWN QLD 4700

Parcel ID: AP7235/A Land use: Shed/Garage etc



Riverine Catchment: Fitzroy River Flood Study

Creek Catchment: Moores Creek Local Catchment Study 2018

Mitigation Area: N/A

Horizontal Datum: MGA 56, GDA 2020 Elevation / WSL: mAHD Velocity: m/sec

Comments

N/A

Riverine

PMF WSL Min:	12.44	AEP 2% WSL Min:	8.37
PMF WSL Max:	12.45	AEP 2% WSL Max:	8.37
PMF Velocity Min:	0.39	AEP 2% Velocity Min:	0.01
PMF Velocity Max:	0.59	AEP 2% Velocity Max:	0.10
AEP 0.05% WSL Min:	9.81	AEP 5% WSL Min:	N/A
AEP 0.05% WSL Max:	9.81	AEP 5% WSL Max:	N/A
AEP 0.05% Velocity Min:	0.11	AEP 5% Velocity Min:	N/A
AEP 0.05% Velocity Max:	0.17	AEP 5% Velocity Max:	N/A
AEP 0.2% WSL Min:	9.33	AEP 10% WSL Min:	N/A
AEP 0.2% WSL Max:	9.33	AEP 10% WSL Max:	N/A
AEP 0.2% Velocity Min:	0.04	AEP 10% Velocity Min:	N/A
AEP 0.2% Velocity Max:	0.10	AEP 10% Velocity Max:	N/A
AEP 0.5% WSL Min:	8.98	AEP 18% WSL Min:	N/A
AEP 0.5% WSL Max:	8.98	AEP 18% WSL Max:	N/A
AEP 0.5% Velocity Min:	0.01	AEP 18% Velocity Min:	N/A
AEP 0.5% Velocity Max:	0.10	AEP 18% Velocity Max:	N/A
AEP 1% WSL Min:	8.68	AEP 39% WSL Min:	N/A
AEP 1% WSL Max:	8.68	AEP 39% WSL Max:	N/A
AEP 1% Velocity Min:	0.00	AEP 39% Velocity Min:	N/A
AEP 1% Velocity Max:	0.10	AEP 39% Velocity Max:	N/A

Creek \ Local Catchment

PMF WSL Min:	9.19	AEP 5% WSL Min:	N/A
PMF WSL Max:	9.77	AEP 5% WSL Max:	N/A
PMF Velocity Min:	0.35	AEP 5% Velocity Min:	0.03
PMF Velocity Max:	2.76	AEP 5% Velocity Max:	0.26
AEP 0.05% WSL Min:	8.59	AEP 10% WSL Min:	8.57
AEP 0.05% WSL Max:	8.61	AEP 10% WSL Max:	8.58
AEP 0.05% Velocity Min:	0.04	AEP 10% Velocity Min:	0.03
AEP 0.05% Velocity Max:	0.41	AEP 10% Velocity Max:	0.21
AEP 0.2% WSL Min:	8.59	AEP 18% WSL Min:	9.19
AEP 0.2% WSL Max:	8.60	AEP 18% WSL Max:	9.77
AEP 0.2% Velocity Min:	0.04	AEP 18% Velocity Min:	N/A
AEP 0.2% Velocity Max:	0.44	AEP 18% Velocity Max:	N/A
AEP 0.5% WSL Min:	8.58	AEP 39% WSL Min:	N/A
AEP 0.5% WSL Max:	8.59	AEP 39% WSL Max:	N/A
AEP 0.5% Velocity Min:	0.03	AEP 39% Velocity Min:	N/A
AEP 0.5% Velocity Max:	0.43	AEP 39% Velocity Max:	N/A
AEP 1% WSL Min:	8.59	AEP 63% WSL Min:	N/A
AEP 1% WSL Max:	8.60	AEP 63% WSL Max:	N/A
AEP 1% Velocity Min:	0.04	AEP 63% Velocity Min:	N/A
AEP 1% Velocity Max:	0.47	AEP 63% Velocity Max:	N/A

Property Elevation

Ground Elevation (Min): 8.07
Ground Elevation (Max): 8.95

AEP 2% WSL Min:	N/A
AEP 2% WSL Max:	N/A
AEP 2% Velocity Min:	0.03
AEP 2% Velocity Max:	0.27

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State code 2: Development in a railway environment

Guide to Development in a Transport Environment: Rail which provides direction on how to address this code.

Table 2.1 Development in general

Performance outcomes	Acceptable outcomes	Response
Building, structures, infrastructure, services and utilities		
PO1 Development does not create a safety hazard within the railway corridor .	No acceptable outcome is prescribed.	Complies – development is not occurring within the railway corridor.
PO2 Development does not cause damage to the railway corridor, rail transport infrastructure or other rail infrastructure .	No acceptable outcome is prescribed.	Complies – development is not occurring within the railway corridor.
PO3 Development does not interfere with, or obstruct, the rail transport infrastructure or other rail infrastructure .	No acceptable outcome is prescribed.	Complies – development does not interfere or obstruct rail infrastructure.
PO4 Development does not adversely impact the structural integrity or physical condition of the railway, other rail infrastructure or the railway corridor by adding or removing loading .	No acceptable outcome is prescribed.	Complies – development does not adversely impact the structural integrity of rail infrastructure.
PO5 Development above a railway is designed to enable natural ventilation and smoke dispersion in the event of a fire emergency.	No acceptable outcome is prescribed.	Not applicable – development is not occurring above a railway.
PO6 Development does not adversely impact the operating performance of the railway corridor .	No acceptable outcome is prescribed.	Complies - development is not occurring within the railway corridor.
PO7 Buildings and structures in a railway corridor are designed and constructed to protect persons in the event of a derailed train.	No acceptable outcome is prescribed.	Not applicable – development is not occurring within the railway corridor.
PO8 Buildings and structures in high risk locations and where also located within 10 metres of the centreline of the nearest railway track are design and constructed to protect persons in the event of a derailed train.	AO8.1 Buildings and structures , in a railway corridor , including foundations, retaining and other support elements, are designed and constructed in accordance with Civil Engineering Technical Requirement CIVIL-SR-012 Collision protection of supporting elements adjacent to railways , Queensland Rail, 2011, AS5100 Bridge design, and AS1170 Structural design actions.	Not applicable – development is not occurring within a high risk location or within 10 metres of the centreline.

Performance outcomes	Acceptable outcomes	Response
PO9 Buildings and structures are designed and constructed to protect people from electrocution.	AO9.1 The outermost projection of development is set back horizontally a minimum of 3 metres from the outermost projection of overhead line equipment .	
PO10 Development in the railway corridor is designed and constructed to prevent projectiles being thrown onto the railway .	No acceptable outcome is prescribed.	Not applicable – development is not occurring within a railway corridor.
PO11 Buildings, and structures with publicly accessible or communal areas within 20 metres from the centreline of the nearest railway track are designed and constructed to prevent projectiles from being thrown onto a railway .	AO11.1 Publicly accessible areas located within 20 metre from the centreline of the nearest railway do not overlook a railway . OR AO11.2 Buildings and structures are designed to ensure publicly accessible areas located within 20 metres from the centreline of the nearest railway track and that overlook the railway may include throw protection screens in accordance with the relevant provisions of the Civil Engineering Technical Requirement – CIVIL-SR005 Design of buildings over or near railways , Queensland Rail, 2011, and the Civil Engineering Technical Requirement – CIVIL-SR008 Protection screens, Queensland Rail.	Complies – public access for the development is more than 20 metres from the centreline. Not applicable – as above.
Stormwater and overland flow		
PO12 Stormwater run-off or overland flow from the development site does not create or exacerbate a safety hazard in a railway corridor .	No acceptable outcome is prescribed.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
PO13 Stormwater run-off or overland flow from the development site does not result in a material worsening of operating performance of the railway corridor, rail transport infrastructure or other rail infrastructure .	No acceptable outcome is prescribed.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
PO14 Stormwater run-off or overland flow from the development site does not interfere with the structural integrity or physical condition of the railway corridor, rail transport infrastructure or other rail infrastructure .	No acceptable outcome is prescribed.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
Flooding		

Performance outcomes	Acceptable outcomes	Response
PO15 Development does not result in a material worsening of flooding impacts within a railway corridor .	No acceptable outcome is prescribed.	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
Drainage Infrastructure		
PO16 Drainage infrastructure does not create a safety hazard in a railway corridor .	<p>AO16.1 Drainage infrastructure is wholly contained within the development site.</p> <p>AND</p> <p>AO16.2 Drainage infrastructure can be maintained without requiring access to a railway corridor.</p>	Complies – Refer to <i>Appendix G – Technical Memorandum Stormwater and Flooding</i>
Construction Impacts		
PO17 Construction activities do not cause ground movement or vibration impacts in a railway corridor .	No acceptable outcome is prescribed.	Complies – the development includes standard construction that will not cause vibration impacts.
Access		
PO18 Development prevents unauthorised access to the railway corridor .	<p>AO18.1 Development abutting the railway corridor incorporates fencing along the property boundary with the railway corridor in accordance with the railway manager's standards.</p> <p>AND</p> <p>AO18.2 A road barrier designed in accordance with Queensland Rail Civil Engineering Technical Requirement CIVIL-SR-007 – Design Criteria for Road Rail Barriers.</p> <p>AND</p> <p>AO18.3 Vehicle manoeuvring areas, driveways, loading areas and carparks abutting the railway corridor incorporate rail interface barriers along the boundary to the railway corridor.</p>	<p>Complies – the existing will be retained.</p> <p>Not applicable</p> <p>Complies – Fraser Street is a dead-end street with existing fencing and barriers to be retained.</p>
PO19 Development maintains existing maintenance and authorised access to the railway corridor .	AO19.1 Development does not obstruct existing authorised access points and access routes for maintenance and emergency works to the railway corridor at all times.	Complies – the development will not impact any existing authorised access points or access routes.

Performance outcomes	Acceptable outcomes	Response
PO20 Development does not impede the maintenance of a railway bridge or authorised access to a railway bridge .	<p>AO20.1 Buildings and other structures are set back horizontally a minimum of 3 metres from a railway bridge.</p> <p>AND</p> <p>AO20.2 Permanent structures are not located below or abutting a railway bridge.</p> <p>AND</p> <p>AO20.3 Temporary activities below or abutting a railway bridge do not impede access to a railway corridor.</p>	<p>Complies – development is set back more than 3 metres from the nearest railway bridge.</p> <p>Complies – development does not include any structures being built below or abutting a railway bridge.</p>
Public passenger transport and active transport		
PO21 Development does not compromise the safety of public passenger transport infrastructure and active transport infrastructure .	No acceptable outcome is prescribed.	Complies – the development will not compromise the safety of any transport infrastructure.
PO22 Development maintains pedestrian and cycle access to a railway station or other public passenger transport infrastructure and active transport infrastructure associated with the railway .	No acceptable outcome is prescribed.	Not applicable – development is not located near a railway station or other public transport infrastructure.
PO23 Development does not adversely impact the structural integrity or physical condition of public passenger transport infrastructure and active transport infrastructure .	No acceptable outcome is prescribed.	Complies – the development will not adversely impact the structural integrity of any transport infrastructure.
PO24 Development does not adversely impact the operating performance of public passenger transport infrastructure , public passenger services and active transport infrastructure .	No acceptable outcome is prescribed.	Complies – the development will not adversely impact the operating performance of any transport infrastructure.
Planned upgrades		
PO25 Development does not impede delivery of planned upgrades of rail transport infrastructure.	No acceptable outcome is prescribed.	Complies – the development will not impede any planned upgrades.
Network safety		
PO26 Development involving dangerous goods does not adversely impact on the safety or	AO26.1 Development does not involve handling or storage of hazardous chemicals above the threshold	Complies – development does not involve the handling or storage of hazardous chemicals.

Performance outcomes	Acceptable outcomes	Response
operations of the railway and rail transport infrastructure .	quantities listed in table 5.2 of the Model Planning Scheme Development Code for Hazardous Industries and Chemicals, Office of Industrial Relations, Department of Justice and Attorney-General, 2016.	

Table 2.2 Filling, excavation, building foundations and retaining structures

Performance outcomes	Acceptable outcomes	Response
PO27 Development does not create a safety hazard for users of the railway or other rail infrastructure .	No acceptable outcome is prescribed.	Complies – the development will not create a safety hazard.
PO28 Development does not adversely impact on the operating performance of the railway or other rail infrastructure within the railway corridor .	No acceptable outcome is prescribed.	Complies – the development will not adversely impact any rail infrastructure.
PO29 Development does not undermine, damage, or cause subsidence of, the railway corridor .	No acceptable outcome is prescribed.	Complies – development is not occurring within the railway corridor.
PO30 Development does not adversely impact the structural integrity or physical condition of the railway , other rail infrastructure or the railway corridor by adding or removing loading .	No acceptable outcome is prescribed.	Complies – development will not adversely impact the structural integrity of the any rail infrastructure.
PO31 Development does not cause ground water disturbance in the railway corridor .	No acceptable outcome is prescribed.	Complies – development will not affect ground water in the railway corridor.
PO32 Development does not adversely impact the railway or other rail infrastructure within the railway corridor .	No acceptable outcome is prescribed.	Complies – development is not occurring within the railway corridor.
PO33 Excavation, boring, piling, blasting, drilling, fill compaction or similar activities does not adversely impact the operating performance of the railway or other rail infrastructure within the railway corridor .	No acceptable outcome is prescribed.	Complies – development is not occurring within the railway corridor.
PO34 Filling and excavation material does not cause an obstruction or nuisance in the railway corridor .	AO34.1 Fill, spoil or any other material is not stored in, or adjacent to, the railway corridor .	Complies – fill, spoil or other material will not be stored in or adjacent to the railway corridor.

Table 2.3 Railway crossings

Performance outcomes	Acceptable outcomes	Response
PO35 Development does not require a new level railway crossing.	No acceptable outcome is prescribed.	Complies – development does not require a new level railway crossing.
PO36 Development does not adversely impact on the operating performance of an existing railway crossing.	No acceptable outcome is prescribed.	Complies – development does not adversely impact on the operating performance of an existing railway crossing.
PO37 Development does not adversely impact on the safety of an existing railway crossing.	No acceptable outcome is prescribed.	Complies – development does not adversely impact on the safety of an existing railway crossing.
PO38 Development is designed and constructed to allow for on-site circulation to ensure vehicles do not queue in a railway crossing.	No acceptable outcome is prescribed.	Complies – development is designed and constructed to allow for on-site circulation.

Table 2.4 Environmental emissions

Statutory note: Where development is adjacent to a railway with 15 or fewer passing trains per day, compliance with table 2.4 is not required.

Performance outcomes	Acceptable outcomes	Response
Reconfiguring a Lot		
Involving the creation of 5 or fewer new residential lots adjacent to a railway or type 2 multi-modal corridor		
PO39 Development minimises free field noise intrusion from a railway.	<p>AO39.1 Development provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.1); 2. in accordance with: <ol style="list-style-type: none"> a. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise Fences/Barriers, Queensland Rail, 2018; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p>	Not applicable – development is for a Place of Worship.

	<p>AO39.2 Development achieves the maximum free field acoustic levels in reference table 2 (item 2.1) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p> <p>OR</p> <p>AO39.3 Development provides a solid gap-free fence or other solid gap-free structure along the full extent of the boundary closest to a railway.</p>	<p>Not applicable – as above.</p> <p>Not applicable – as above.</p>
Involving the creation of 6 or more new residential lots adjacent to a railway or type 2 multi-modal corridor		
<p>PO40 Reconfiguring a lot minimises free field noise intrusion from a railway.</p>	<p>AO40.1 Development provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.1); 2. in accordance with: <ol style="list-style-type: none"> a. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise Fences/Barriers; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO40.2 Development achieves the maximum free field acoustic levels in reference table 2 (item 2.1) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	<p>Not applicable – development is for a Place of Worship.</p> <p>Not applicable – as above.</p>
Material change of use (accommodation activity)		
Ground floor level requirements adjacent to a railway or type 2 multi-modal corridor		
<p>PO41 Development minimises noise intrusion from a railway in private open space at the ground floor.</p>	<p>AO41.1 Development provides a noise barrier or earth mound which is designed, sited and constructed:</p>	<p>Not applicable – development is for a Place of Worship.</p>

	<ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.2) for private open space at the ground floor level; 2. in accordance with: <ol style="list-style-type: none"> a. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise Fences/Barriers, Queensland Rail, 2018; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO41.2 Development achieves the maximum free field acoustic level in reference table 2 (item 2.2) for private open space at the ground floor level by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	<p>Not applicable – as above.</p>
<p>PO42 Development (excluding a relevant residential building or relocated building) minimises noise intrusion from the railway in habitable rooms at the facade of the ground floor level.</p>	<p>AO42.1 Development (excluding a relevant residential building or relocated building) provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum building facade acoustic level in reference table 1 (item 1.1) for habitable rooms at the ground floor level; 2. in accordance with: <ol style="list-style-type: none"> a. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise Fences/Barriers, Queensland Rail, 2018; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019;. c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p>	<p>Not applicable – as above.</p>

	AO42.2 Development (excluding a relevant residential building or relocated building) achieves the maximum building facade acoustic level in reference table 1 (item 1.1) for habitable rooms at the ground floor level by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.	Not applicable – as above.
PO43 Habitable rooms (excluding a relevant residential building or relocated building) are designed and constructed using materials to achieve the maximum internal acoustic level in Table 3 (item 3.1).	No acceptable outcome is prescribed.	Not applicable – as above.
Above ground floor level requirements (accommodation activity) adjacent to a railway or type 2 multi-modal corridor		
PO44 Balconies, podiums and roof decks include: 1. a continuous solid gap-free structure or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia); 2. highly acoustically absorbent material treatment for the total area of the soffit above balconies, podiums and roof decks	No acceptable outcome is prescribed.	Not applicable – development is for a Place of Worship.
PO45 Habitable rooms (excluding a relevant residential building or relocated building) are designed and constructed using materials to achieve the maximum internal acoustic level in reference table 3 (item 3.1).	No acceptable outcome is prescribed.	Not applicable – as above.
Material change of use (other uses)		
Ground floor level requirements (childcare centre, educational establishment, hospital) adjacent to a railway or type 2 multi-modal corridor		
PO46 Development: 1. provides a noise barrier or earth mound that is designed, sited and constructed: a. to achieve the maximum free field acoustic level in reference table 2 (item 2.3) for all outdoor education areas and outdoor play areas ; b. in accordance with: i. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise	No acceptable outcome is prescribed.	Not applicable – development is for a Place of Worship.

<ul style="list-style-type: none"> ii. Fences/Barriers, Queensland Rail, 2018; iii. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; iii. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020; or <p>2. achieves the maximum free field acoustic level in reference table (item 2.3) for all outdoor education areas and outdoor play areas by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>		
<p>PO47 Development involving a childcare centre or educational establishment:</p> <ul style="list-style-type: none"> 1. provides a noise barrier or earth mound that is designed, sited and constructed: <ul style="list-style-type: none"> a. to achieve the maximum building facade acoustic level in reference table 1 (item 1.2); b. in accordance with: <ul style="list-style-type: none"> i. Civil Engineering Standard Specification QR-CTS-Part 41 – Part 41, Design and Construction of Noise Fences/Barriers, Queensland Rail, 2018; or 2. achieves the maximum building facade acoustic level in reference table 1 (item 1.2) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound. 	No acceptable outcome is prescribed.	Not applicable – as above.
<p>PO48 Development involving:</p> <ul style="list-style-type: none"> 1. indoor education areas and indoor play areas; or 2. sleeping rooms in a childcare centre; or 3. patient care areas in a hospital; <p>achieves the maximum internal acoustic level in reference table 3 (items 3.2, 3.3 and 3.4).</p>	No acceptable outcome is prescribed.	Not applicable – as above.
<p>Above ground floor level requirements (childcare centre, educational establishment, hospital) adjacent to a railway or type 2 multi-modal corridor</p>		

<p>PO49 Development involving a childcare centre; or educational establishment which have balconies, podiums or elevated outdoor play areas predicted to exceed the maximum free field acoustic level in reference table 2 (item 2.3) due to noise from the railway are provided with:</p> <ol style="list-style-type: none"> 1. a continuous solid gap-free structure or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia); and 2. highly acoustically absorbent material treatment for the total area of the soffit above balconies, podiums and elevated outdoor play areas. 	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable – development is for a Place of Worship.</p>
<p>PO50 Development including:</p> <ol style="list-style-type: none"> 1. indoor education areas and indoor play areas in a childcare centre or educational establishment; or 2. sleeping rooms in a childcare centre; or 3. patient care areas in a hospital located above ground level, is designed and constructed to achieve the maximum internal acoustic level in reference table 3 (items 3.2-3.4). 	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable – as above.</p>
<p>Air, light and vibration</p>		
<p>PO51 Private open space, outdoor education areas and outdoor play areas are protected from air quality impacts from a railway.</p>	<p>AO51.1 Each dwelling or unit has access to a private open space which is shielded from a railway by a building, noise barrier, solid gap-free fence, or other solid gap-free structure.</p> <p>OR</p> <p>AO51.2 Each outdoor education area and outdoor play area is shielded from a railway by a building, noise barrier, solid gap-free fence, or other solid gap-free structure.</p>	<p>Not applicable – development is for a Place of Worship.</p> <p>Not applicable – as above.</p>

<p>PO52 Patient care areas within hospitals are protected from vibration impacts from a railway.</p>	<p>AO52.1 Hospitals are designed and constructed to ensure vibration in the patient treatment area does not exceed a vibration dose value of 0.1m/s^{1.75}.</p> <p>AND</p> <p>AO52.2 Hospitals are designed and constructed to ensure vibration in the ward of a patient care area does not exceed a vibration dose value of 0.4m/s^{1.75}.</p>	<p>Not applicable – as above.</p> <p>Not applicable – as above.</p>
<p>PO53 Development is designed and sited to ensure light from infrastructure within, and use of, a railway does not:</p> <ol style="list-style-type: none"> 1. intrude into buildings during night hours (10pm to 6am); and 2. create unreasonable disturbance during evening hours (6pm to 10pm). 	<p>No acceptable outcomes are prescribed.</p>	<p>Not applicable – as above.</p>

Table 2.5 Development in a future railway corridor

Performance outcomes	Acceptable outcomes	Response
<p>PO54 Development does not impede the planning, design and delivery of rail transport infrastructure in a future railway corridor.</p>	<p>AO54.1 Development is not located in a future railway corridor.</p> <p>OR both of the following acceptable outcomes apply:</p> <p>AO54.2 The intensification of lots does not occur within a future railway corridor.</p> <p>AND</p> <p>AO54.3 Development does not result in the landlocking of parcels once a future railway corridor is delivered.</p>	<p>Not applicable – development is not proposed within a future railway corridor.</p>
<p>PO55 Development, including filling, excavation, building foundations and retaining structures do not undermine or cause subsidence of a future railway corridor.</p>	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable – as above.</p>
<p>PO56 Development does not result in a material worsening of stormwater, flooding, overland flow or drainage impacts in a future railway corridor.</p>	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable – as above.</p>



Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	D/100-2024	<i>For further information regarding this notice, please contact:</i>	Kathy McDonald
Date application properly made:	8 August 2024	Phone:	07 4936 8099

1. APPLICANT DETAILS

Name:	Oasis New Life Centre Property Ltd		
Postal address:	C/- Gideon Town Planning PO BOX 450 ROCKHAMPTON QLD 4700		
Contact number:	07 4806 6959	Email:	info@gideontownplanning.com.au

2. PROPERTY DESCRIPTION

Street address:	5-7 Fraser Street, Park Avenue
Real property description:	Lot 77 on SP142293

3. OWNER DETAILS

Name:	Oasis New Life Centre Property Ltd Tte
Postal address:	PO BOX 8213 ALLENSTOWN QLD 4700

4. DEVELOPMENT APPROVAL SOUGHT

Development Permit for Material Change of Use for a Place of Worship and Operational Works for an Advertising Device (wall sign)

5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. REFERRAL AGENCIES

Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)			
<i>Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor</i>			
Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises— (a) are within 25m of a State transport corridor; or (b) are a future State transport corridor; or (c) are— (i) adjacent to a road that intersects with a State-controlled road; and (ii) within 100m of the intersection	The chief executive of the department in which the <i>Planning Act 2016</i> is administered: State Development, Infrastructure, Local Government and Planning (State Assessment and Referral Agency Department)	Concurrence	<u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City <u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/ <u>Email:</u> RockhamptonSARA@dasilgp.qld.gov.au <u>Postal:</u> PO Box 113 Rockhampton Qld 4700

It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.

7. IMPACT ASSESSMENT

Will Impact Assessment be required?	YES
The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:	
<ul style="list-style-type: none"> - Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and - Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and - Giving a notice to all owners of any lots adjoining the premises which are the subject of the application. 	

8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?	NO
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You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.

11. ASSESSMENT MANAGER

Name: Kathy McDonald <u>PRINCIPAL</u> <u>PLANNING OFFICER</u>	Signature: 	Date: 21 August 2024
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SARA reference: 2408-42043 SRA
Council reference: D/100-2024
Applicant reference: GTP2420

23 August 2024

Oasis New Life Centre Property Ltd
c/- Gideon Town Planning
PO Box 450
ROCKHAMPTON QLD 4700
gg@gideontownplanning.com.au

Attention: Gideon Genade

Dear Mr Genade,

Referral confirmation notice

(Given under section 7 of the Development Assessment Rules)

The development application described below is taken to be properly referred to the State Assessment and Referral Agency (SARA) under Part 2: Referral of the Development Assessment Rules.

Location details

Street address: 5-7 Fraser Street, Park Avenue
Real property description: Lot 77 SP142293
Local government area: Rockhampton Regional Council

Application details

Development permit Material change of use for Place of worship
Operational work for Advertising device

The referral confirmation period ended on 23 August 2024. SARA's assessment will be under the following provisions of the Planning Regulation 2017:

- 10.9.4.2.4.1 Material change of use of premises near a State transport corridor

For further information please contact Lawson Costello, Planning Officer, on (07) 4924 2914 or via email RockhamptonSARA@dcdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to read 'AW', is positioned below the text 'Yours sincerely'.

Anthony Walsh
Manager Planning

cc Rockhampton Regional Council, enquiries@rrc.qld.gov.au

2 September 2024

Our reference: D/100-2024
Enquiries to: Sophie Muggeridge
Telephone: 07 4936 8099

Oasis New Life Centre Property Ltd
C/- Gideon Town Planning
PO BOX 450
ROCKHAMPTON QLD 4700

Dear Sir/Madam

INFORMATION REQUEST – DEVELOPMENT APPLICATION D/100-2024 FOR A MATERIAL CHANGE OF USE AND OPERATIONAL WORKS FOR PLACE OF WORSHIP AND ADVERTISING DEVICE (WALL SIGN) – SITUATED AT 5-7 FRASER STREET, PARK AVENUE – DESCRIBED AS LOT 77 ON SP142293

Council refers to your application received by Council on 7 August 2024.

Council officers have undertaken a detailed assessment of the development application and require you to provide further information to address the following issues:

1.0 Engineering Requirements

1.1 Please provide details of the existing internal stormwater network including pipe size and locations, discharge points and any existing / proposed erosion and scour protection at the outlets.

1.2 It is acknowledged that there is a minimal increase in impervious area for the proposed new building however Council believes that it is prudent to incorporate some form of quality device into the existing internal stormwater network to protect the adjacent creek from any contaminants associated with the parking areas.

Please amend the Stormwater Management Plan (SMP) to include quality provisions to meet the reduction targets outlined in the State Planning Policy, as well as any details on the proposed maintenance schedule for any stormwater quality provisions.

1.3 The SMP states that the inclusion of the flood fence around the subject site has not been modelled for any impacts to surrounding properties. Additionally, the SMP does not demonstrate that Performance Outcome PO2 of the Flood Hazard Overlay Code in the Rockhampton Region Planning Scheme has been adequately addressed. Council is concerned about adverse impacts to the neighbouring residences to the north-west.

Please provide further details and address the aforementioned Performance Outcome in the Flood Hazard Overlay Code.

2.0 Planning Requirements

2.1 Please provide plans for the proposed wall sign, including dimensions & elevations.

2.2 Please amend the plans to identify compliance with PO11 of the Landscape Code.

Under section 13 of the Development Assessment Rules, the Applicant has three (3) options available in response to this information request. The Applicant must give the Assessment Manager:

1. all of the information requested; or
2. part of the information requested, together with a notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application; or
3. a notice:
 - i. stating the Applicant does not intend to supply any of the information requested; and
 - ii. requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

Response to this further information request should be forwarded to:

General.Enquiries@rrc.qld.gov.au or;
Development Assessment Section
Rockhampton Regional Council
PO Box 1860
ROCKHAMPTON QLD 4700

A response needs to be received within a period of three (3) months from the date of this letter, in accordance with section 68 (1) of the *Planning Act 2016* and sections 12 and 13 of the Development Assessment Rules. Please forward your response to this information request to Council at your earliest convenience, in order for the assessment of your application to progress further.

Should you have any queries regarding the above information request, please contact the undersigned on 07 4936 8099.

Yours faithfully



Sophie Muggeridge
Planning Officer
Planning and Regulatory Services

Information Request Response Form
(to be returned to the Assessment Manager with the response)

I _____ choose to respond to the Assessment Manager's
Information Request:

- in full;
OR
- in part, with this notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application;
OR
- stating that I do not intend to supply any of the information requested; and requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

A copy of the response to the Assessment Manager's information request has been provided to all Referral Agencies nominated on the Confirmation Notice.

I understand the requirements of this Information Request as listed above.

Signed : _____ Date : _____

Position : _____



SARA reference: 2408-42043 SRA
Council reference: D/100-2024
Applicant reference: GTP2420

19 September 2024

Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
ROCKHAMPTON QLD 4700
enquiries@rrc.qld.gov.au

Attention: Kathy McDonald

Dear Ms McDonald,

SARA referral agency response—5-7 Fraser Street, Park Avenue

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 23 August 2024.

Response

Outcome:	Referral agency response – with conditions
Date of response:	19 September 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development permit – Material change of use for Place of worship Development permit – Operational work for Advertising device
SARA role:	Referral agency
SARA trigger:	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017)

Material change of use of premises near a State transport corridor

SARA reference: 2408-42043 SRA

Assessment manager: Rockhampton Regional Council

Street address: 5-7 Fraser Street, Park Avenue

Real property description: Lot 77 SP142293

Applicant name: Oasis New Life Centre Property Ltd

Applicant contact details: c/- Gideon Town Planning
PO Box 450
ROCKHAMPTON QLD 4700
info@gideontownplanning.com.au

Human Rights Act 2019 considerations: A consideration of the 23 fundamental human rights protected under the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Lawson Costello, Planning Officer, on (07) 4924 2914 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc Oasis New Life Centre Property Ltd, gg@gideontownplanning.com.au

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application)

No.	Conditions	Condition timing
Material change of use		
10.9.4.2.4.1 – Material change of use of premises near a State transport corridor—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>(a) Any excavation, filling/backfilling/compaction, retaining structures or other works involving ground disturbance must not encroach upon or de-stabilise the railway corridor, including all transport infrastructure or the land supporting this infrastructure, or cause similar adverse impacts.</p> <p>(b) Submit RPEQ certification with supporting documentation to the Central Queensland team of the Program Delivery and Operations Branch (Central.Queensland.IDAS@tmr.qld.gov.au) within the Department of Transport and Main Roads, confirming that the development has been constructed in accordance with part (a) of this condition.</p>	<p>(a) At all times.</p> <p>(b) Prior to the commencement of use.</p>
2.	<p>(a) Retain the flood wall along the boundary with the railway corridor.</p> <p>(b) The flood wall referred to in part (a) of this condition must be extended to ensure it is at least 1.8m in height when measured from the finished floor level on the subject site.</p>	<p>(a) At all times.</p> <p>(b) Prior to commencement of use and to be maintained at all times.</p>

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
Railway corridor	
2.	<p>The development involves roof drainage infrastructure (guttering) that is built to boundary with the railway corridor and cannot be readily maintained at ground level from within the subject site. The railway manager will not permit access to the railway corridor to carry out these regular maintenance activities. This means access will need to be obtained via the roof. The development is impacted by an overhead power line that traverses this part of the site, which is likely to trigger safety protocols that may impact how easily these maintenance activities can be conducted.</p> <p>The applicant should consider whether this is acceptable. Alternatively, the roof design may need to be altered so that it drains away from the railway corridor, or the setback to the railway corridor should be increased, so that access to parts of the building requiring regular maintenance access (such as guttering) is available from ground level.</p>

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

SARA assessed the development application against the following code of the State Development Assessment Provisions (SDAP) version 3.0:

- State code 2: Development in a railway environment.

With conditions, the development can comply with relevant performance outcomes of State code 2: Development in a railway environment (version 3.0). Specifically:

- The development does not adversely impact the structural integrity or physical condition of the railway, rail transport infrastructure or other rail infrastructure within the railway corridor.
- The development does not compromise the operating performance of the railway corridor.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP (version 3.0), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- section 58 of the *Human Rights Act 2019*

Attachment 4—Representations about a referral agency response provisions

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11 October 2024

Rockhampton Regional Council
PO BOX 1860
Rockhampton QLD 4700

Attention: Sophie Muggeridge
Via Email: developmentadvice@rrc.qld.gov.au



Dear Sophie,

RESPONSE TO INFORMATION REQUEST – DEVELOPMENT APPLICATION D/100-2024 FOR A MATERIAL CHANGE OF USE AND OPERATIONAL WORKS FOR PLACE OF WORSHIP AND ADVERTISING DEVICE (WALL SIGN) SITUATED AT 5-7 FRASER STREET, PARK AVENUE – DESCRIBED AS LOT 77 ON SP142293

On behalf of our client, **Oasis New Life Centre Property Ltd**, and in accordance with part 3, section 13 of the Development Assessment Rules, we provide a response to all items included in the Information Request issued by Rockhampton Regional Council on 2 September 2024.

Should Council require any further discussion on this matter, please do not hesitate to contact me on 07 4806 6959 or info@gideontownplanning.com.au.

Yours Faithfully,

A handwritten signature in dark ink, appearing to read 'Gideon Genade', with a long horizontal flourish extending to the right.

Gideon Genade
Principal Town Planner

Encl.: Appendix A – Response to Information Request
Appendix B – Engineering Response to Item 1.0

APPENDIX A

Response to Information Request

1.0 ENGINEERING REQUIREMENTS

1.1 Please provide details of the existing internal stormwater network including pipe size and locations, discharge points and any existing / proposed erosion and scour protection at the outlets.

RESPONSE: Refer to *Appendix B – Engineering Response to Item 1.0*

1.2 It is acknowledged that there is a minimal increase in impervious area for the proposed new building however Council believes that it is prudent to incorporate some form of quality device into the existing internal stormwater network to protect the adjacent creek from any contaminants associated within the parking areas.

Please amend the Stormwater Management Plan (SMP) to include quality provisions to meet the reduction targets outlined in the State Planning Policy, as well as any details on the proposed maintenance schedule for any stormwater quality provisions.

RESPONSE: Refer to *Appendix B – Engineering Response to Item 1.0*

1.3 The SMP states that the inclusion of the flood fence around the subject site has not been modelled for any impacts to surrounding properties. Additionally, the SMP does not demonstrate that Performance Outcome PO 2 of the Flood Hazard Overlay Code in the Rockhampton Region Planning Scheme has been adequately addressed. Council is concerned about adverse impacts to the neighbouring residences to the north-west.

Please provide further details and address the aforementioned Performance Outcome in the Flood Hazard Overlay Code.

RESPONSE: Refer to *Appendix B – Engineering Response to Item 1.0*

2.0 PLANNING REQUIREMENTS

2.1 Please provide plans for the proposed wall sign, including dimensions & elevations.

RESPONSE: The proposed wall sign are drawn to scale on the proposal plans. The sign will be illuminated, white in colour. The letters will protrude a maximum 100mm from the wall.

2.2 Please amend the plans to identify compliance with PO11 of the Landscape Code.

RESPONSE: The existing landscaping in the car park will be retained. This includes a variety of mature trees that provide shade and smaller shrubs and plants.

APPENDIX B

Engineering Response to Item 1.0

Project number 24059
Date 9 October 2024



Janes and Stewart Structures Pty Ltd
ABN: 30 620 233 025
120 William Street, PO Box 1072
Rockhampton 4700
07 4922 1948
janes.and.stewart@jsstructures.com.au

Letter Information Request Response – 24059LETIR01

Gideon Town Planning
PO Box 450
Rockhampton Qld 4700

Attention: Gideon Genade
gg@gidoentownplanning.com.au

Dear Gideon,

Information Request Response – Item 1
Operational Works for Roadworks (Ref: D/100-2024)
5-7 Fraser Street, Park Avenue

On behalf of our client, Oasis New Life Centre Property Ltd, we hereby supply further information in reply to the Information Request dated 2nd September 2024 with regard to the abovementioned development application. Council's development application number for this application is D/100-2024. This letter provides responses to Item 1 of the Council information request relating to the civil engineering elements only.

Item 1.0 Engineering Requirements

1.1 Please provide details of the existing internal stormwater network including pipe size and locations, discharge points and any existing/proposed erosion and scour protection at the outlets.

Reply: The existing stormwater pipe drainage from the site has two outlet locations. These can be seen on the detailed site survey undertaken in 2023 by Capricorn Survey Group which is attached to this response letter. The two outlets traverse under the existing flood fence with both pipe outlets being 750mm diameter respectively. One existing pipe outlet discharges to the vacant parcel of land on the eastern side of the site which effectively forms part of the Moores Creek bank. The other existing pipe outlet discharges to Lot 59 on SP142293 which is a reserve parcel which also forms part of the Moores Creek bank. Some minor modifications to the northern internal stormwater pipe drainage will be carried out associated with the new building works. The stormwater drainage in the existing car park and both outlets discharging to Moores Creek will remain unchanged with the new place of worship.

1.2 It is acknowledged that there is a minimal increase in impervious area for the proposed new building however Council believes that it is prudent to incorporate some form of quality device into the existing internal stormwater network to protect the adjacent creek from any contaminants associated with the parking areas. Please amend the Stormwater Management Plan (SMP) to include quality provisions to meet the reduction targets outlined in the State Planning Policy, as well as any details on the proposed maintenance schedule for any stormwater quality provisions.

Reply: As mentioned in our technical memorandum relating to stormwater flooding (24059LETTM01[A]) dated 31 July 2024, the increase of Gross Floor Area (GFA) on the site compared with the previous building area is minimal. We acknowledge that with some increase in GFA there will be some impact to the stormwater quality discharging from the site. However, this increase is negligible, especially considering the size and nature of the contributing catchments discharging to Moores Creek. As stated in the reply to Item 1 of the information request, the existing stormwater pipe outlets to Moores Creek are planned to remain unchanged. Incorporating stormwater quality systems that meet the reduction targets outlined in the State Planning Policy will be impractical to achieve in the existing arrangement. However, as part of the project the existing stormwater inlets to remain on the site within the car park will have gross pollutant traps (litter baskets) retro fitted into the system. Any new stormwater inlets will also include gross pollutants traps (litter baskets), where the new roofwater drainage will be conveyed through the treatment device/s. This will ensure the roofwater and surface runoff from the existing car park is being treated prior to discharging to Moores Creek. These pollutant traps (litter baskets) will be required to be maintained by the land owner on a regular basis as part of their grounds and landscaping maintenance regime.

1.3 The SMP state that the inclusion of the flood fence around the subject site has not been modelled for any impacts to surrounding properties. Additionally, the SMP does not demonstrate that Performance Outcome PO2 of the Flood Hazard Overlay addressed. Council is concerned about adverse impacts to the neighbouring residences to the north-west. Please provide further details and address the aforementioned Performance Outcome in the Flood Hazard Overlay Code.

Reply: The flood modelling undertaken by Council does not consider that the existing flood fence is in place and exists which protects the site during riverine flood events. The detailed drawings for the flood fence are dated 2001 with the fence having been in place for many years including the 2011 Fitzroy River flood event. As part of the flood fence design, the access gates to the internal car park from Fraser Street include provision for aluminium scaffold planks with sandbags behind which are installed during a flood event to the level RL8.9m, matching the height of the solid part of the flood fence adjoining. The design drawing detailing this arrangement is attached to this information request response.

Therefore, with the existing flood fence and flood protection on the access gates limiting flood water entering the site and given the flood fence and access gates have been in place through previous flooding events, the proposed building works on the site is not expected to impact neighbouring properties from a flooding perspective. No works are intended to be carried out outside of the current area protected by the flood fence.

We hope the above and enclosed are satisfactory and if you should have any further questions at all, please do not hesitate to contact our office and speak with the undersigned.

Yours sincerely



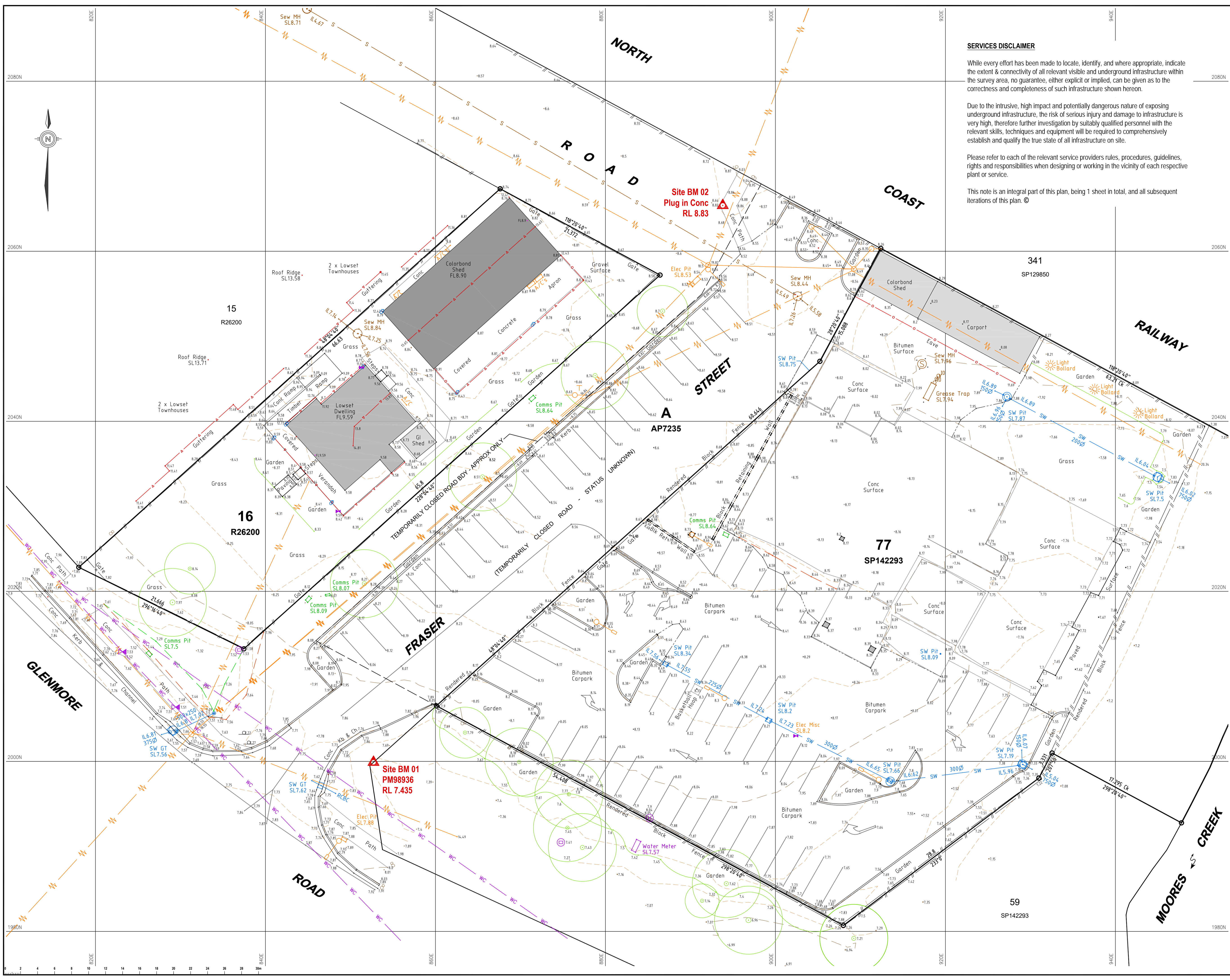
Matthew Dennis

Senior Civil Engineer (RPEQ 24862)

for and on behalf of Janes and Stewart Structures Pty Ltd

Attachments

1. Detailed Site Survey prepared by Capricorn Survey Group 9194-01 DTL Issue A
2. Perimeter Wall and Details prepared by Brown & Root BSK009-C-004 Revision A



SERVICES DISCLAIMER

While every effort has been made to locate, identify, and where appropriate, indicate the extent & connectivity of all relevant visible and underground infrastructure within the survey area, no guarantee, either explicit or implied, can be given as to the correctness and completeness of such infrastructure shown hereon.

Due to the intrusive, high impact and potentially dangerous nature of exposing underground infrastructure, the risk of serious injury and damage to infrastructure is very high, therefore further investigation by suitably qualified personnel with the relevant skills, techniques and equipment will be required to comprehensively establish and qualify the true state of all infrastructure on site.

Please refer to each of the relevant service providers rules, procedures, guidelines, rights and responsibilities when designing or working in the vicinity of each respective plant or service.

This note is an integral part of this plan, being 1 sheet in total, and all subsequent iterations of this plan. ©

OASIS CHURCH

DETAIL SURVEY OF LOT 77 ON SP142293 & LOT 16 ON R26200

5-7 FRASER STREET & 2 GLENMORE ROAD, PARK AVENUE

REAL PROPERTY DESCRIPTION
 Lot Plan: Lot 77 on SP142293, Lot 16 on R26200
 Area: 4429m2 (Dead), 1330m2 (Dead)
 Locality: Park Avenue
 Local Authority: Rockhampton Regional Council

NOTES

This plan was prepared for OASIS CHURCH from field survey for the purpose of designing new constructions on the subject land and should not be used by any other persons for any other purpose.

Property boundaries have not been reinstated or marked at the time of survey and are approximate only, based on appropriate boundary conditions.

Where possible underground services have been located by field survey. Some services shown hereon are compiled from local authority and service provider plans and/or plans provided by the client and are noted accordingly on the plan.

Prior to any design, excavation or construction on site, the relevant authorities, and a qualified service locator should be engaged to ensure all services that may be affected by any future works have been located.

These plans have been prepared as verification plots only. Some text RL's have been omitted for clarity. Please refer to the relevant 3D data files for any spatial interrogation requirements.

Any discrepancies should be verified in writing with Capricorn Survey Group (CQ) Pty Ltd.

This note is an integral part of this plan.

LEGEND

LINETYPE LEGEND

- S UG Sewerage Line
- SC UG Sewerage Line (Compiled)
- SW UG Stormwater Line
- SWC UG Stormwater Line (Compiled)
- OFD Overland Flow/Direction
- E UG Electrical Line
- EC UG Electrical Line (Compiled)
- W UG Water Line
- WC UG Water Line (Compiled)
- AG UG Gas Line
- GC UG Gas Line (Compiled)
- T UG Communication Line
- TC UG Communication Line (Compiled)
- Top of Bank
- Toe of Bank
- CIL of Bitumen
- Edge of Bitumen
- Retaining Wall
- Line Marking
- Fence Line
- Roof/Guttering
- Eaves

CONTOUR LEGEND

- 0.25m Interval
- 1.00m Interval

GENERAL SYMBOL LEGEND

- Comms Conduit Marker
- Comms Pit
- Elec Conduit Marker
- Elec Turret
- Elec Pit
- Elec Light Bollard
- Elec Light Pole
- Elec Power Pole
- Elec Power Pole + Light
- Elec Power Pole + Transformer
- Elec Stay Point
- Traffic Lights
- Gas Valve
- Gas Hot Water System
- Sewerage MH
- Sewerage Vent
- Sewerage IO
- Stormwater MH
- Stormwater Pit
- Stormwater DP / Outlet
- Stormwater IO
- Water Fire Hydrant
- Water Meter
- Water Tap
- Water Valve
- Water Tee
- Water Control Tap
- Water Tee
- Water Conduit Marker
- Water Tapping Band
- Post
- Bollard
- Guide Sign
- Flag Pole
- Australia Post Box
- Shrub

DATUM

Vertical Datum: AHD Vide SmartNet Aus
 Horizontal Datum: Cadastral Vide SP142293
 Contour Interval: 0.25m, 1.0m Index
 Co-ord System: Arbitrary

WARNING

LOCATION AND CONNECTIVITY OF U/G SERVICES SHOWN HEREON HAVE BEEN DETERMINED BY DIRECT ACCESS OR COMPILED FROM LOCAL AUTHORITY AND SERVICE PROVIDER PLANS ONLY. FURTHER INVESTIGATION MAY BE REQUIRED TO DETERMINE LOCATIONS OF ALL INACCESSIBLE SERVICES.

REVISION

Issue	Date	Details	Authorised
A	18-12-2023	Initial Issue	RJKF

CREATED

capricornsurveygroup.com.au
 SURVEYING & PLANNING SOLUTIONS
 07 4927 5199 | reception@csag.com.au | 132 Victoria Parade, Rockhampton QLD 4700

SCALE

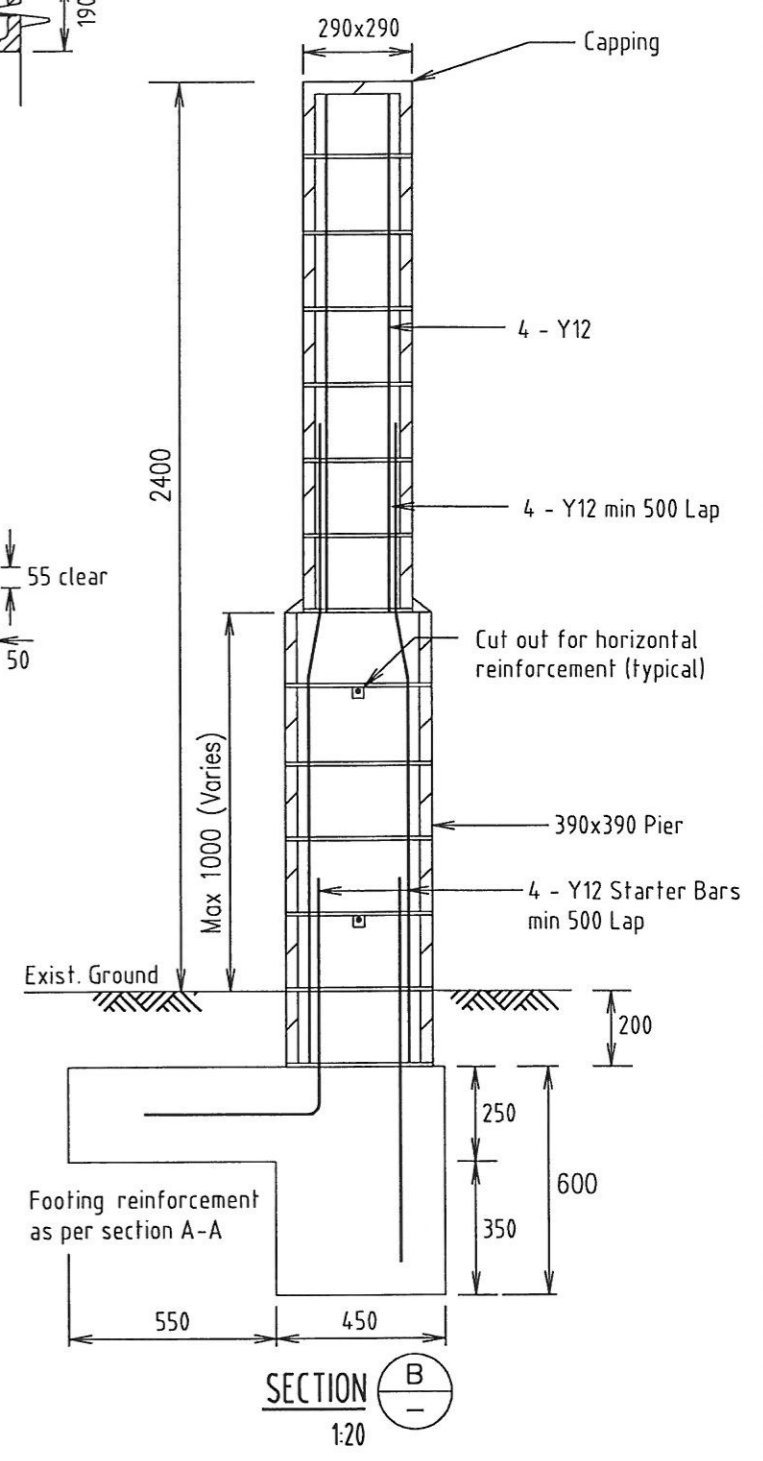
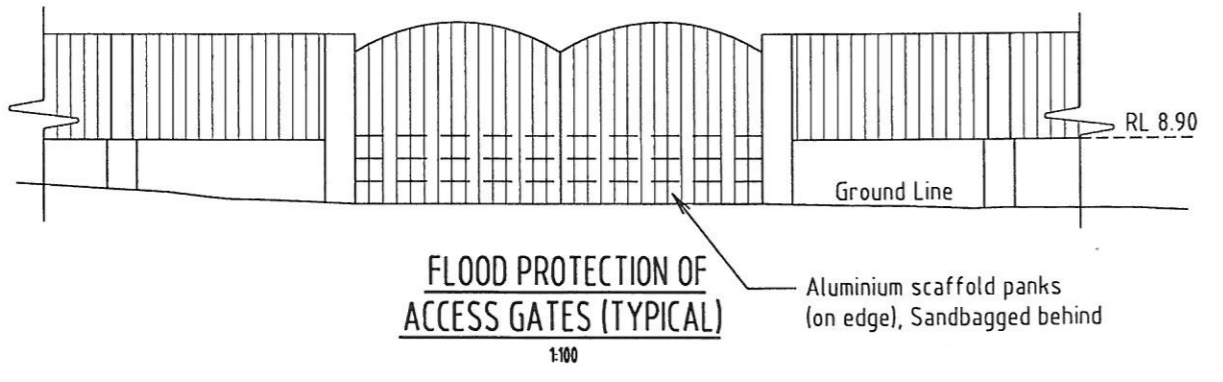
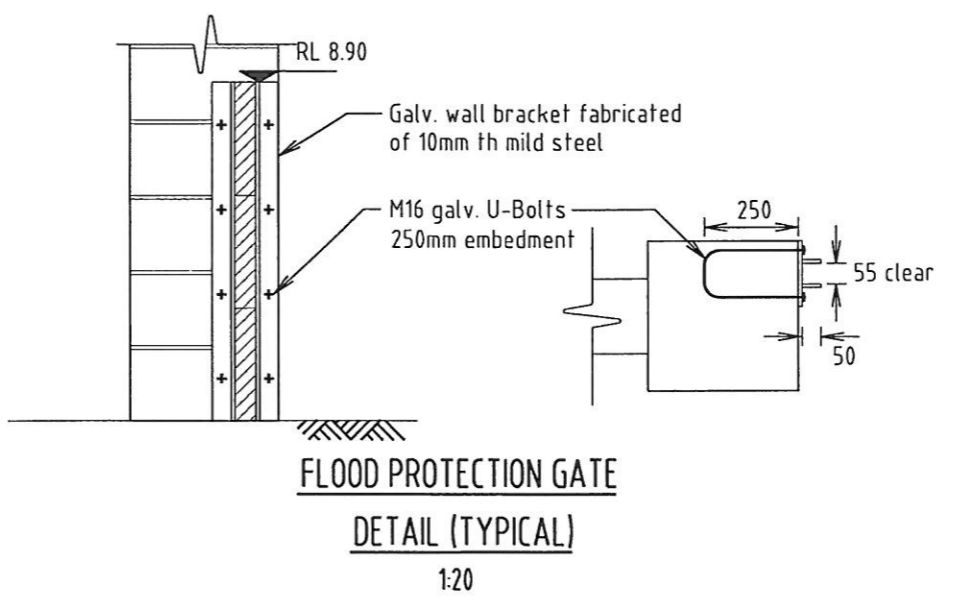
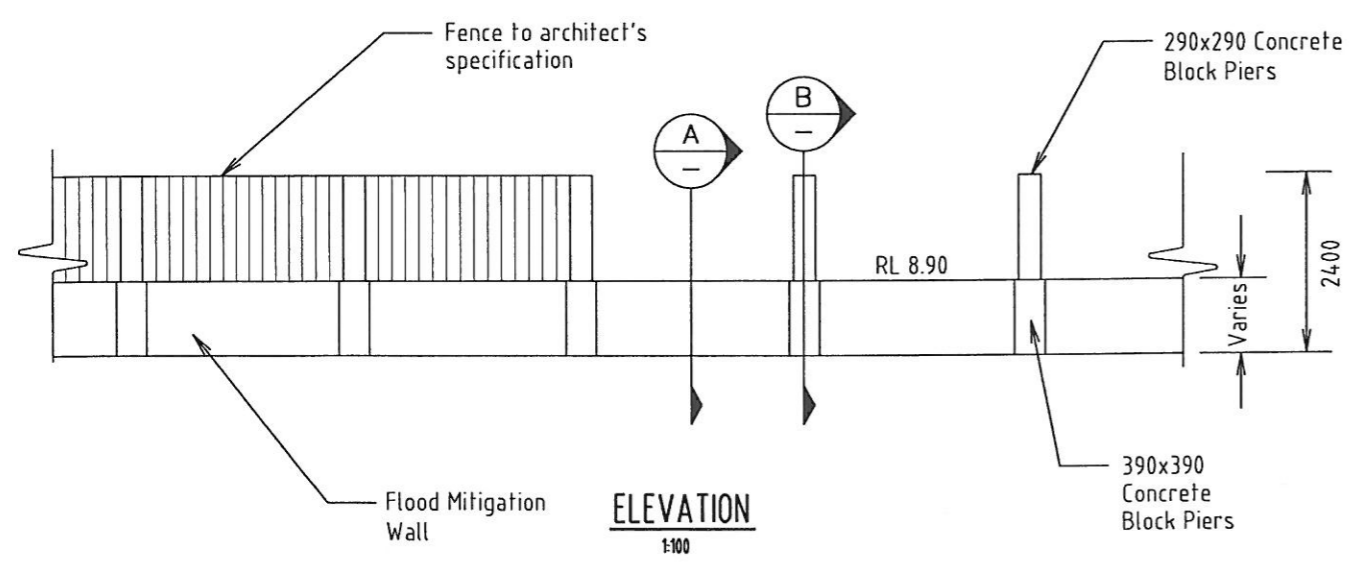
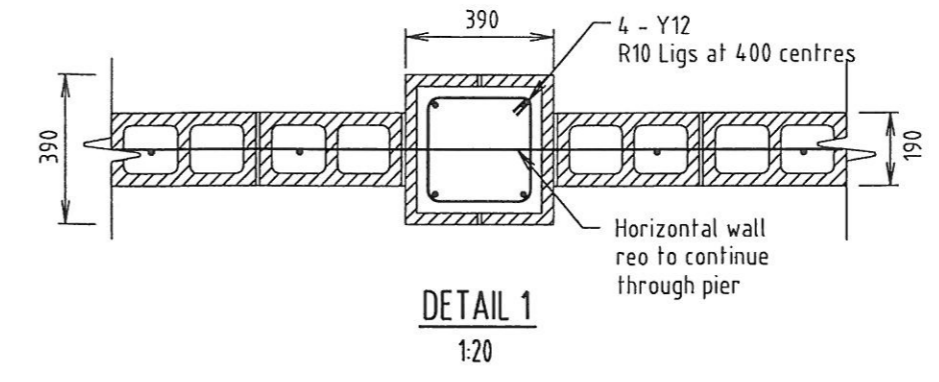
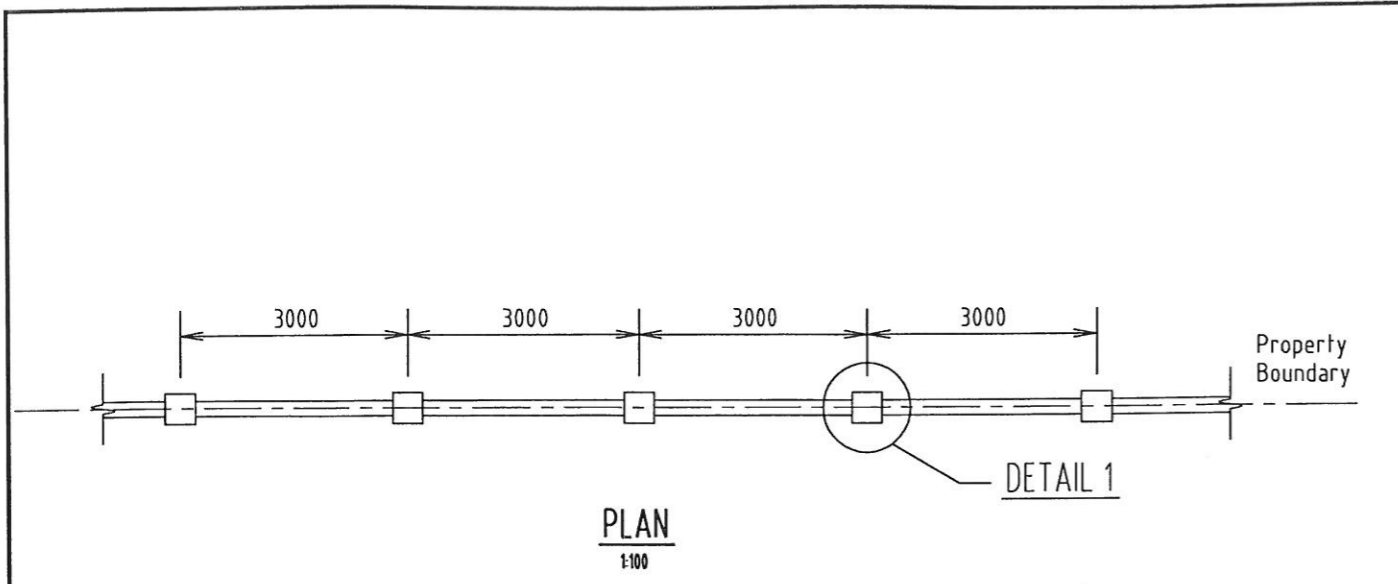
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DRAWING NUMBER

9194-01-DTL (1/1)

ISSUE

A



A3	© BROWN & ROOT SERVICES ASIA PACIFIC PTY LTD
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REFERENCE FILES	
PLOT SCALE	1:1
SCALES USED	AS SHOWN
DRAFTER	C.J.F

DRAWING No.	TITLE
	REFERENCE DRAWINGS

100 MILLIMETRES ON ORIGINAL DRAWING

CODE	DATE	DESCRIPTION	DES	TECH	PS
A	05/01	FIRST ISSUE	D.N.J	G.J.B	D.N.J
REVISIONS AND ISSUES					

DESIGNER	D.N.J	05/01
DESIGN CHECKER	G.J.B	05/01
DRAFTING CHECKER	D.N.J	05/01
PROJECT DRAFTER	C.J.F	
DESIGN APPROVAL		
TECHNICAL APPROVAL		
PROJECT APPROVAL		
CLIENT APPROVAL		

Brown & Root
Brown & Root Services
Asia Pacific Pty Ltd
ACN 007 660 317
Incorporating **KNOXHULL**
a Halliburton company

G&P ANDERSON AND G&W CLARKE PROPOSED KERSHAW HOUSE GLENMORE ROAD, NORTH ROCKHAMPTON	
PERIMETER WALL & DETAILS	
DRAWING NUMBER	BSK009-C-004
REVISION CODE	A

From: "Info @ Gideon Town Planning" <info@gideontownplanning.com.au>
Sent: Fri, 25 Oct 2024 09:47:19 +1000
To: "Development Advice" <DevelopmentAdvice@rrc.qld.gov.au>
Cc: "Sophie Muggeridge" <Sophie.Muggeridge@rrc.qld.gov.au>
Subject: D/100-2024: Change Application
Attachments: 2420_Change Application _OASIS D100-2024.pdf, Appendix A_DA Form 1.pdf, Appendix B_Owners consent letter.pdf, Appendix C_Proposal Plans.pdf
Categories: Front Counter

[External Email] This email was sent from outside the organisation – be cautious, especially with links and attachments.



Hi Sophie,

Please find attached a Change Application letter, DA Form1, Owners Consent, and proposal plans for D/100-2024. The change relates to adding Lot A on AP7235 to the application. No other changes are proposed.

Kind regards,

Jacinta Wallenhoffer

Projects Administrator

E: info@gideontownplanning.com.au | P: 07 4806 6959



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25 October 2024

Rockhampton Regional Council
PO BOX 1860
Rockhampton QLD 4700

Attention: Sophie Muggeridge
Via Email: DevelopmentAdvice@rrc.qld.gov.au



Dear Sophie,

CHANGE APPLICATION: DEVELOPMENT APPLICATION D/100-2024 FOR A MATERIAL CHANGE OF USE AND OPERATIONAL WORKS FOR PLACE OF WORSHIP AND ADVERTISING DEVICE (WALL SIGN) SITUATED AT 5-7 FRASER STREET, PARK AVENUE – DESCRIBED AS LOT 77 ON SP142293

On behalf of the applicant, **Oasis New Life Centre Property Ltd**, and in accordance with Section 52 of the *Planning Act 2016*, we make a change application relating to development application D-100-2024.

The proposed change relates to including Lot A on AP 7235 (Road License 0/216057) in the application. No change to the overall development design or layout is proposed.

Should the Council require further discussion on this matter, please do not hesitate to contact us at 07 4806 6959 or info@gideontownplanning.com.au.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Gideon Genade', with a long horizontal line extending to the right.

Gideon Genade
Principal Town Planner

Enclosed:

Appendix A – Updated DA Form 1
Appendix B – Owners Consent
Appendix C – Proposal Plans

APPENDIX A

DA FORM 1

APPENDIX B

OWNERS CONSENT

APPENDIX C

PROPOSAL PLANS

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Oasis New Life Centre Property Ltd c/- Gideon Town Planning
Contact name <i>(only applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	PO Box 450
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	07 4806 6959
Email address <i>(non-mandatory)</i>	info@gideontownplanning.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	GTP2420
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable				
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <u>DA Forms Guide: Relevant plans</u> .				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		5-7	Fraser Street	Park Avenue
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4701	A	AP7235	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		5-7	Fraser Street	Park Avenue
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4701	77	SP142293	Rockhampton Regional Council
3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)				
Note: Place each set of coordinates in a separate row.				
<input type="checkbox"/> Coordinates of premises by longitude and latitude				
Longitude(s)		Latitude(s)		Datum
				<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:
<input type="checkbox"/> Coordinates of premises by easting and northing				
Easting(s)		Northing(s)		Datum
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:
3.3) Additional premises				
<input type="checkbox"/> Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application <input checked="" type="checkbox"/> Not required				
4) Identify any of the following that apply to the premises and provide any relevant details				
<input checked="" type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer				
Name of water body, watercourse or aquifer:			Moore's Creek	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>				
Lot on plan description of strategic port land:				
Name of port authority for the lot:				
<input type="checkbox"/> In a tidal area				
Name of local government for the tidal area (if applicable):				
Name of port authority for tidal area (if applicable):				

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input checked="" type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Place of Worship
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input checked="" type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Advertising device (wall sign)
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required
6.4) Is the application for State facilitated development?
<input type="checkbox"/> Yes - Has a notice of declaration been given by the Minister?
<input checked="" type="checkbox"/> No

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Oasis Church	Place of Worship		1695.5m ²
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			
8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application			
<input checked="" type="checkbox"/> No			
Provide a general description of the temporary accepted development		Specify the stated period dates under the Planning Regulation	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? <i>(attach schedule if there are more than two easements)</i>				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? <i>(e.g. pedestrian access)</i>	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input checked="" type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? <i>(e.g. subdivision)</i>		
<input type="checkbox"/> Yes – specify number of new lots:		
<input checked="" type="checkbox"/> No		

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

N/A

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



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<input type="checkbox"/> SEQ northern inter-urban break – community activity <input type="checkbox"/> SEQ northern inter-urban break – indoor recreation <input type="checkbox"/> SEQ northern inter-urban break – urban activity <input type="checkbox"/> SEQ northern inter-urban break – combined use <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Reconfiguring a lot in a coastal management district or for a canal <input type="checkbox"/> Erosion prone area in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material (<i>from a watercourse or lake</i>) <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – levees (<i>category 3 levees only</i>) <input type="checkbox"/> Wetland protection area
Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) (<i>only if the ERA has been devolved to local government</i>) <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/124-2004	2004	Rockhampton Regional Council
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/82-2020	2020	Rockhampton Regional Council
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	D/100-2024	2024 (under assessment)	Rockhampton Regional Council

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



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Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**Queensland
Government**

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Author: Rayden Smith
Ref number: 2024/003295
Unit: Land Services
Phone: (07) 4837 3378



Department of Resources

19 September 2024

Gideon Ginade
Gideon Town Planning
PO Box 450
ROCKHAMPTON QLD 4700

Dear Gideon

Request for owners consent - Development Application for Material Change of Use (Place of Worship)

Reference is made to the request for owner's consent on behalf of Oasis New Life Centre Property Ltd required to accompany the development application for Material Change of Use (Place of Worship), with access to the proposed works to be obtained through Lot A on AP7235 being Road Licence 0/216059 for commercial/business (car parking) purposes.

The department hereby gives owner's consent to the above development application for Material Change of Use (Place of Worship) in accordance with section 51(2) of the *Planning Act 2016* as shown on attached Drawing No 9194-01-DTL-Rev A.

Although owner's consent for the development has been provided, Oasis New Life Centre Property Ltd will be required to comply with the purpose of the road licence and should undertake works only if and when the development has been approved by the assessment manager or responsible entity, and in accordance with the conditions of that approval.

A copy of this letter is to be attached to your development application as the required evidence of owner's consent.

The applicant will also need to comply with all other legislative and regulatory requirements which may also include approvals that are not part of the assessment of the development application under the *Planning Act 2016* e.g. a marine park permit if in a marine park.

Further, please note that the above consent will expire on **19 March 2025**. Should the development application not be lodged with the assessment manager or responsible entity prior to this date, you will be required again to lodge a further request for owner's consent and any further request will need to be reconsidered by the department.

It is also advised that any land use activities must comply with the *Aboriginal Cultural Heritage Act 2003* or the *Torres Strait Islander Heritage Act 2003*. Please note that it is the responsibility of the assessment manager to address native title rights and interests in accordance with the *Native Title Act 1993*.

Finally, owner's consent is required under the *Planning Act 2016* to enable the application to be considered properly made for lodging with the assessment manager or responsible entity and is a completely separate process to assessment of the application under the *Planning Act 2016*.

Postal :
Resources Rockhampton
PO Box 1762
Rockhampton
4700 QLD

Telephone : (07) 48373300

Accordingly, the State may act at a later date as assessment manager or responsible entity or referral agency or affected entity in the assessment of the development application - providing owner's consent will not influence any role the State may have in this development assessment.

If you wish to discuss this matter please contact Rayden Smith on (07) 4837 3378

All future correspondence relative to this matter is to be referred to the Contact Officer at the address below or by email to Rayden.Smith@resources.qld.gov.au. Any hard copy correspondence received will be electronically scanned and filed. For this reason, it is recommended that any attached plans, sketches or maps be no larger than A3-sized.

Please quote reference number 2024/003295 in any future correspondence.

Yours sincerely

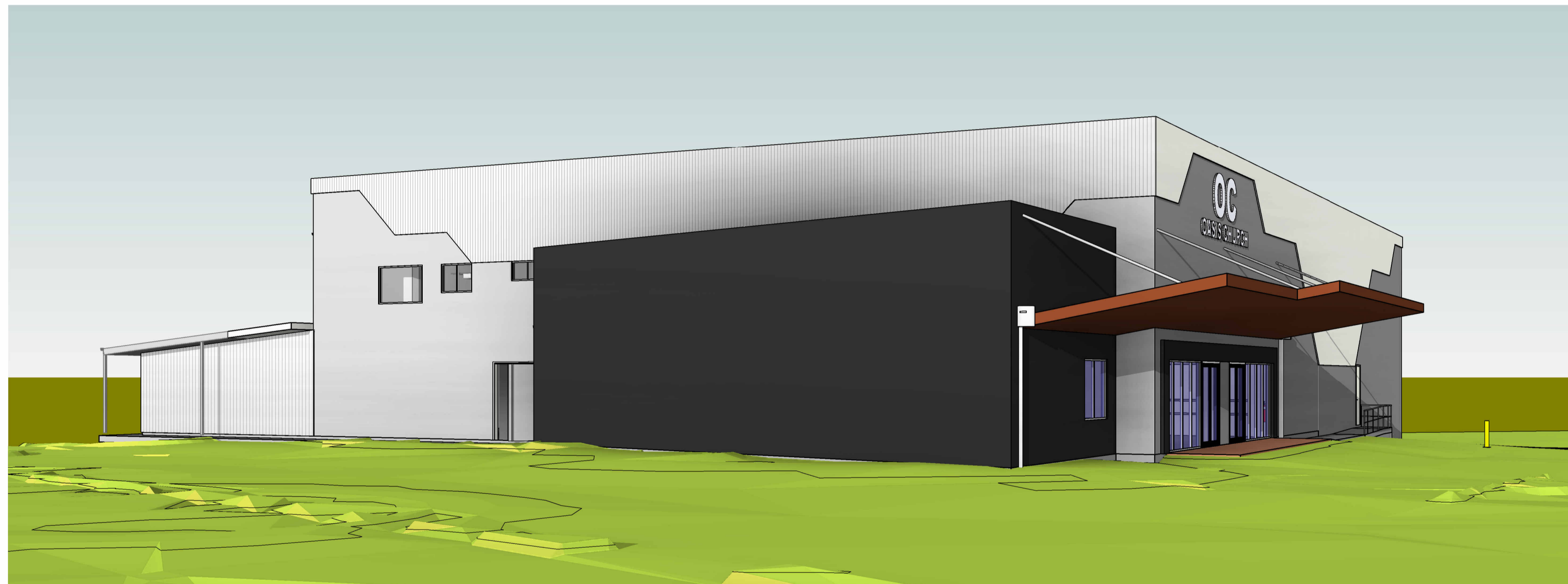
A handwritten signature in black ink that reads "R M Smith". The letters are cursive and fluidly connected.

For Samantha Carige
Senior Land Officer
A duly authorised delegate of the Minister
under the current Land Act (Ministerial) Delegation

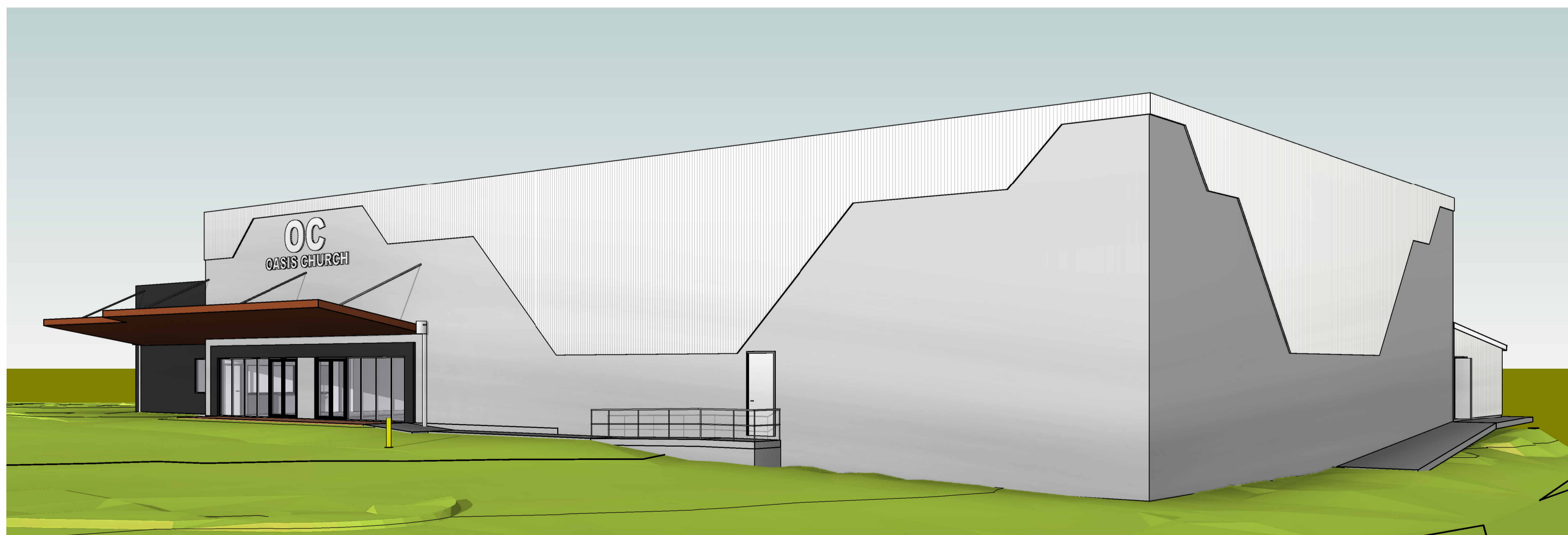
**PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE**



3 3D View 3



1 3D View 1



2 3D View 2

PRELIM 05
DATE: 24/10/24
NOT FOR CONSTRUCTION

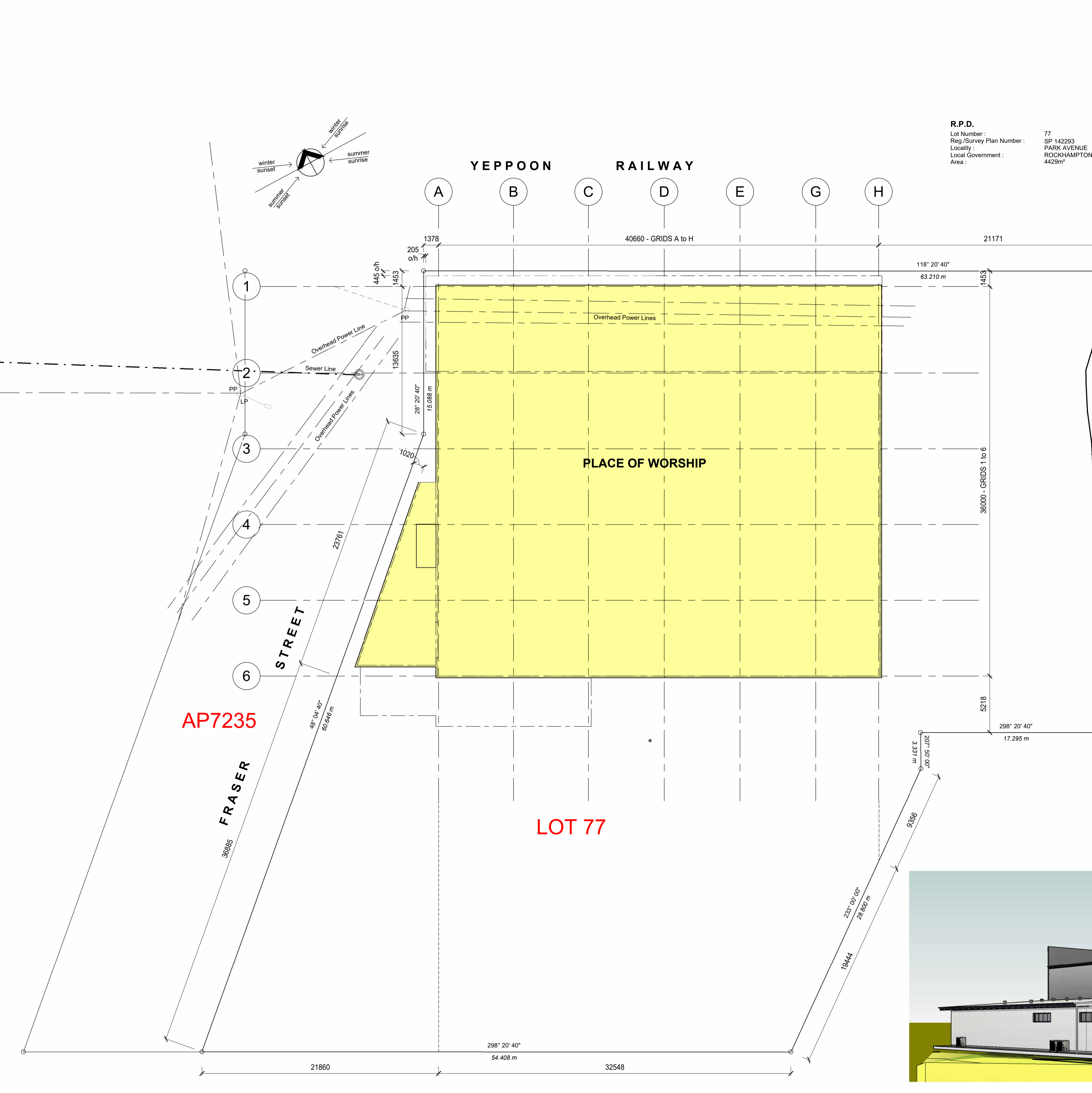
Plan Index	
Sheet Number	Sheet Name
00	Cover Sheet
01	Set Out Plan & Notes
02	Detailed Surveyor's Plan
03	Site Features Plan
04	Ground Floor Plan
05	First Floor Plan
06	Elevations
07	Slab Plan
08	Sections & Fire Rating Details
09	Roof Plan
10	Disabled Toilet Details
11	Floor Finishes Plans & Auditorium Seating Elevation
13	Ground Floor Electrical Plan
14	First Floor Electrical Plan
15	Schedules



Telephone 61 7 49288011
Facsimile 61 7 49266579
E-mail mailbox@rufusdesigngroup.com

Project No: 231008

Plan Set Revision :



R.P.D.
 Lot Number : 77
 Reg./Survey Plan Number : SP 142293
 Locality : PARK AVENUE
 Local Government : ROCKHAMPTON RC
 Area : 4429m²

General Notes
 CONST. TO BE IN ACCORD. WITH THE QLD. BUILDING ACT 1975-1998 & THE STANDARD BUILDING REGULATION 1993 AND SHALL COMPLY WITH ALL LOCAL AUTHORITY REGULATIONS AND REQUIREMENTS.
 DO NOT SCALE
 ALL WALL DIMENSIONS ARE TO STRUCTURAL COMPONENTS - NOT TO THE FACE OF LININGS/FINISHES
 VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE STARTING WORK.
 WHERE CAVITY SLIDER DOORS ARE FITTED IT IS RECOMMENDED TO USE STEEL FRAMED CAVITY SLIDERS OR 90mm WALL FRAMES FOR TIMBER FRAMED CAVITY SLIDERS.
 TOILET DOORS MUST OPEN OUTWARDS, SLIDE OR BE FITTED WITH DEMOUNTABLE HINGES IF THE DISTANCE BETWEEN THE PAN AND NEAREST PART OF THE DOORWAY IS LESS THAN 1200mm.

Site Details
 REFER TO SITE DEVELOPMENT PLAN BY CIVIL ENGINEER.
 SITE LEVELS AND FINISHED FLOOR LEVELS ARE TO BE VERIFIED BY THE BUILDER BEFORE STARTING WORK.
 ALL CUT & FILLED EARTH EMBANKMENTS ARE TO BE MAX. SLOPE OF 1 IN 3 UNO UNO ON CIVIL ENGINEERS PLAN. BANKS TO BE GRASSED UNO.

Stormwater Drainage
 ALL STORM WATER DRAINAGE WORK TO BE IN ACCORDANCE WITH AS 3500.
 REFER TO HYDRAULIC ENGINEERS PLANS FOR DOWN PIPES AND ROOF GUTTER DETAILS.

Sewer Drainage
 ALL PLUMBING & DRAINAGE WORK TO BE IN ACCORDANCE WITH WATER & SEWERAGE SUPPLY ACT AND AS 3500.
 REFER TO HYDRAULIC ENGINEERS PLANS FOR ALL SEWER DRAINAGE DETAILS.
 THE LOCATION OF THE SEWER MAIN HAS BEEN SCALED FROM COUNCIL PLANS WHERE THE SEWER LINE IS 2m OR LESS FROM THE BUILDING STRUCTURE IT IS THE RESPONSIBILITY OF THE BUILDER TO PHYSICALLY LOCATE THE SEWER MAIN BEFORE STARTING WORK.

Working At Heights
 FOR CONSTRUCTION, CLEANING AND MAINTENANCE PROCEDURES WHERE THERE IS A RISK OF FALLING, COMPLY WITH THE FOLLOWING CLAUSE FROM DIV 4 OF PART 18 OF THE "WORKPLACE HEALTH AND SAFETY REGULATION"
 (CLASS 188 - FALL ARREST HARNESS SYSTEM)

Stair Treads, Landings & Ramps
 TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS AND EDGE OF LANDINGS IN ACCORD. WITH NCC VOL. 2 PART 3.9.1.4 SLIP-RESISTANCE.

APPLICATION	SURFACE CONDITIONS	
	DRY	WET
RAMP NOT STEEPER THAN 1:8	P4 or R10	P5 or R12
TREAD SURFACE	P3 or R10	P4 or R11
NOSING OR LANDING EDGE STRIP	P3	P4

Timber Framing
 ALL TIMBER SIZES AND CONNECTIONS NOT SHOWN TO BE IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDS ON WIND SPEED).
 EXTERNAL TIMBER MEMBERS TO BE DURABILITY CLASS 1 OR 2 WITH SAPWOOD REMOVED OR PRESERVATIVE TREATED TO H3 UNLESS STATED OTHERWISE. ALL PINE TO BE LOSP TREATED TO H3 LEVEL.
 ALL STRUCTURAL PLY IS TO BE IN ACCORDANCE WITH AS/NZS 2269 AND FIXED TO MANUFACTURERS SPECIFICATIONS.
 ALL EXTERNAL NAILED AND SCREWED FIXING IN COASTAL AREAS FOR (BUT NOT LIMITED TO) CLADDING, FLOORING, SHEET LININGS, WINDOWS, DOOR FRAMES AND HINGES TO BE STAINLESS STEEL OR SILICON BRONZE.
TIMBER ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDS ON WIND SPEED) AND WPHS REQUIREMENTS.
METAL ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.
TILE ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.
ROOF TRUSSES - THE DOWN, CONNECTIONS AND BRACING TO TRUSS MANUFACTURERS DETAILS
WALL FRAMES - TO BE DESIGNED, CERTIFIED & SUPPLIED BY WALL FRAME MANUFACTURER UNLESS DETAILED ON PLAN.
FLOOR FRAMING - FOR LVL MEMBERS IT IS RECOMMENDED THAT THE TOP EDGE BE PROTECTED FROM WATER PENETRATION DURING CONSTRUCTION. THIS CAN BE ACHIEVED BY THE APPLICATION OF A WATERPROOF TAPE OR PAINTING THE TOP EDGE OF THE MEMBER WITH DURAM "DURABIT" ACRYLIC. (PAINTING IS RECOMMENDED WHILE MEMBERS ARE STACKED).
 ALL OTHER MEMBERS EXCLUDING HARDWOOD SHOULD BE PROTECTED AS PER MANUFACTURERS SPECIFICATIONS.
 INTERNAL STRIP FLOORING IS TO BE WEATHER PROTECTED AT ALL TIMES AND TO HAVE A MOISTURE CONTENT NOT GREATER THAN 15%.

Termite Protection
 PROVIDE PROTECTION FOR NEW BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602 - 2000
 "TERMITE MANAGEMENT - NEW BUILDING WORK".
 PROVIDE PROTECTION FOR EXISTING BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602 - 2000
 "TERMITE MANAGEMENT - IN AND AROUND EXISTING BUILDINGS AND STRUCTURES".
 OPTION SELECTED:
 GRADED STONE BARRIERS
 CHEMICAL IMPREGNATED PLASTIC SHEET
 STAINLESS STEEL MESH SHIELDING
 MONOLITHIC CONCRETE SLAB
 METAL TERMITE CAP/STRIP SHIELDING
 MINIMUM 75mm SLAB EDGE EXPOSURE
 CHEMICAL RETICULATION SYSTEM
 CHEMICAL PERIMETER & PENETRATIONS SYSTEM
 ALL PRIMARY BUILDING ELEMENTS OF TERMITE RESISTANT MATERIALS

Other
 SUBSEQUENT INSPECTIONS ARE TO BE CARRIED OUT TO INSTALLERS REQUIREMENTS

Masonry
 ALL MASONRY WORK TO COMPLY WITH AS 3700.
 CONSTRUCT MASONRY CONTROL JOINTS AT LOCATIONS SHOWN ON ENGINEERS FOOTING PLAN.
Slab & Footings
 CONCRETE WORK TO BE IN ACCORDANCE WITH AS 3600.
Roofing
 METAL ROOFING TO BE IN ACCORDANCE WITH AS 1562.1 AND FIXED TO MANUFACTURERS SPECIFICATIONS.
 TILE ROOFING TO BE IN ACCORDANCE WITH AS 2049 AND FIXED TO MANUFACTURERS SPECIFICATIONS.

Wall Cladding
 WALL CLADDING TO BE FIXED TO MANUFACTURERS SPECIFICATIONS.
Aluminium Windows & Doors
 ALUMINIUM WINDOWS AND DOORS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS 2047/48.

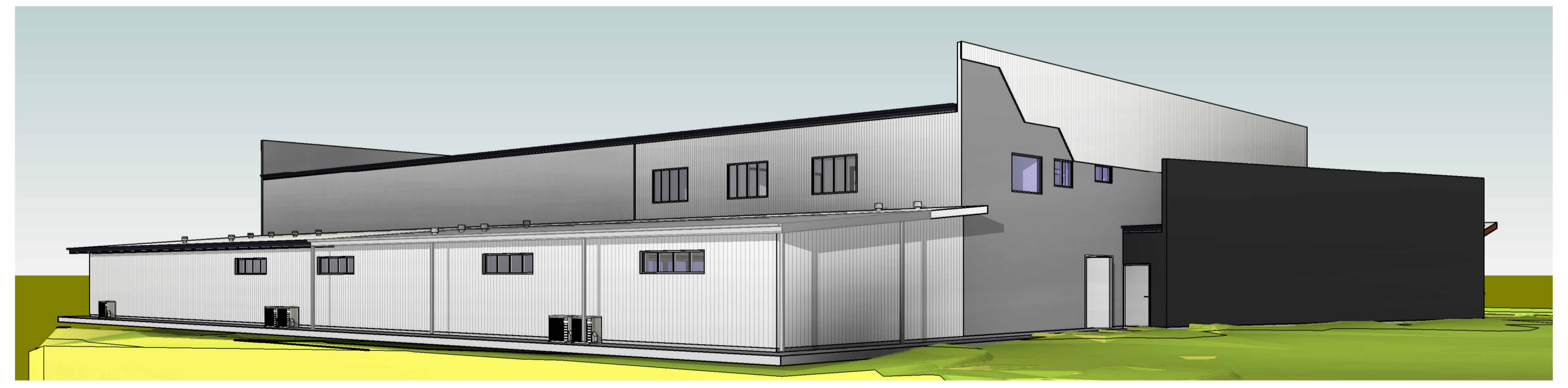
Structural Steel
 RHS & SHS STEEL SECTIONS TO BE FIRST GRADE STEEL COMPLYING WITH AS 1163 AND HOT ROLLED SECTIONS TO COMPLY WITH AS 3679.
 ALL STRUCTURAL STEEL MATERIALS, WORKMANSHIP, FABRICATION & ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS 4100, AS 1538, AS 1564 AND ANY OTHER RELEVANT SPECIFICATIONS.
 ALL BOLTS, NUTS, WASHERS, BRACKETS ETC. IN COASTAL AREAS TO BE HOT DIPPED GALVANIZED.

Wet Areas
 WATER PROOFING OF WET AREAS IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA AND AS 3740.
 FLOORS TO WET AREAS - CERAMIC TILES OR OTHER APPROVED MATERIALS.
 SPLASH BACKS-
 MIN. HEIGHT FIXTURE MATERIAL
 150mm BATHS, BASINS & SINKS CERAMIC TILES*
 1800mm SHOWERS CERAMIC TILES*
 * OR OTHER APPROVED MATERIAL

Insulation
 REFER TO THE ATTACHED ENERGY EFFICIENCY REPORT FOR DETAIL

Other Consultants
 REFER TO DETAILS BY OTHER CONSULTANTS FOR:
 - SLAB & FOOTING DESIGN
 - SOIL TEST
 - SITE CONTOURS
 - BITUMEN DRIVEWAY MODIFICATION INCLUDING FALLS
 - ALL STRUCTURAL DETAILS
 - RETAINING WALL DETAILS
 - ROOF DRAINAGE DESIGN
 - SITE DRAINAGE DESIGN
 - SEWER DRAINAGE DESIGN
 - WATER RETICULATION DESIGN
 - ELECTRICAL, AUDIO AND COMMUNICATIONS DESIGN
 - LIGHTING DESIGN
 - ENERGY EFFICIENCY REPORT
 - MECHANICAL VENTILATION DESIGN

PRELIM 05
 DATE: 24/10/24
 NOT FOR CONSTRUCTION



1 Site Setout Plan
 1 : 200

3 3D View 4

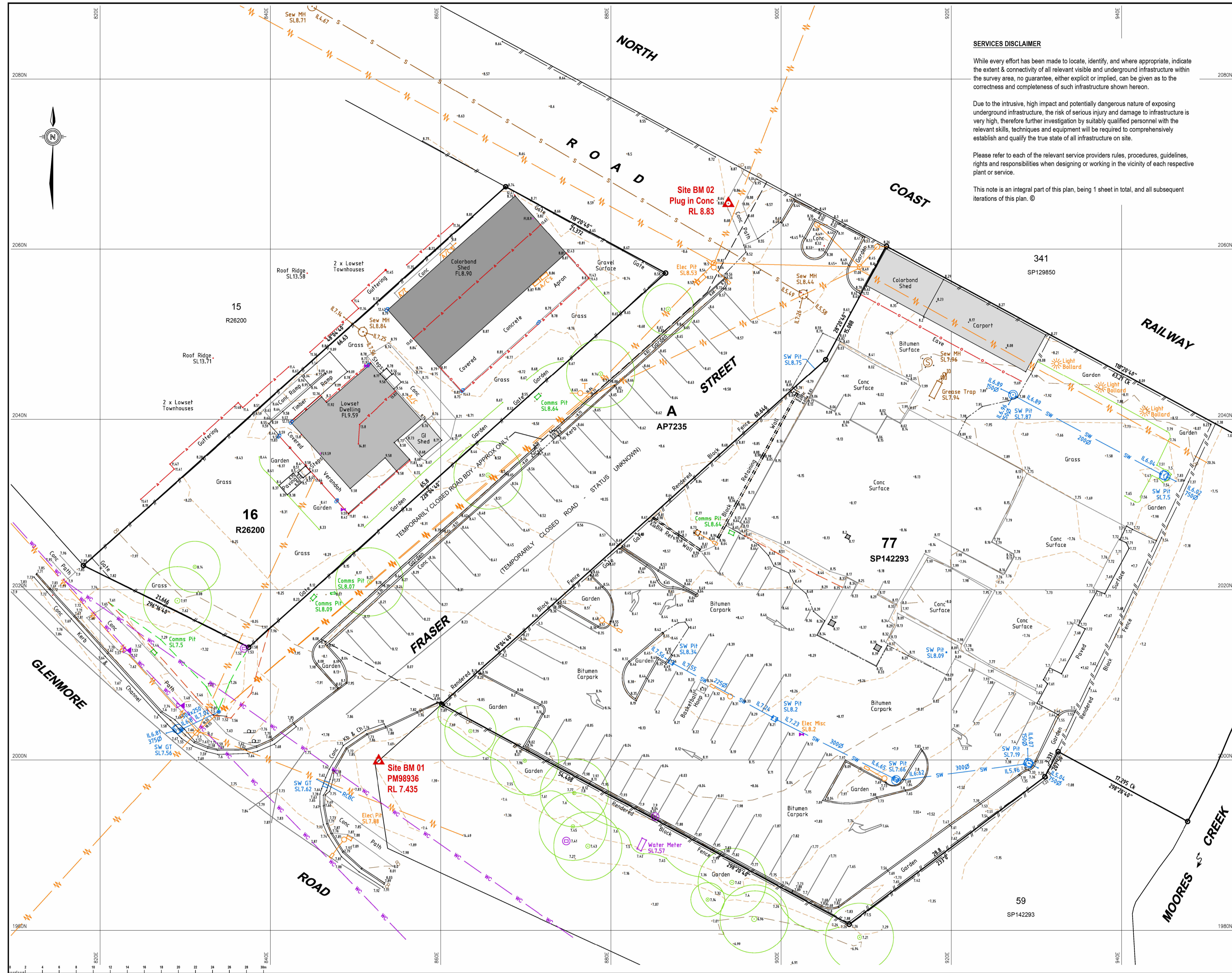
NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

this drawing
Set Out Plan & Notes

Rufus Design Group
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PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 231008 - 01
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 01 OF 14 SHEETS
CHKD:	REVISION	REVISION



SERVICES DISCLAIMER

While every effort has been made to locate, identify, and where appropriate, indicate the extent & connectivity of all relevant visible and underground infrastructure within the survey area, no guarantee, either explicit or implied, can be given as to the correctness and completeness of such infrastructure shown hereon.

Due to the intrusive, high impact and potentially dangerous nature of exposing underground infrastructure, the risk of serious injury and damage to infrastructure is very high, therefore further investigation by suitably qualified personnel with the relevant skills, techniques and equipment will be required to comprehensively establish and qualify the true state of all infrastructure on site.

Please refer to each of the relevant service providers rules, procedures, guidelines, rights and responsibilities when designing or working in the vicinity of each respective plant or service.

This note is an integral part of this plan, being 1 sheet in total, and all subsequent iterations of this plan. ©

PRINCIPAL
OASIS CHURCH

DESCRIPTION
DETAIL SURVEY OF
LOT 77 ON SP142293 &
LOT 16 ON R26200

**5-7 FRASER STREET &
2 GLENMORE ROAD, PARK AVENUE**

REAL PROPERTY DESCRIPTION
Lot Plan : Lot 77 on SP142293, Lot 16 on R26200
Area : 4429m2 (Deed), 1330m2 (Deed)
Locality : Park Avenue
Local Authority : Rockhampton Regional Council

NOTES
This plan was prepared for OASIS CHURCH from field survey for the purpose of designing new constructions on the subject land and should not be used for any other purposes for any other purposes.
Property boundaries have not been reinstated or marked at the time of survey and are approximate only, based on appropriate boundary connections.
Where possible underground services have been located by field survey. Some services shown hereon are compiled from local authority and service provider plans and/or plans provided by the client and are noted accordingly on the plan.
Prior to any design, excavation or construction on site, the relevant authorities, and a qualified service locator should be engaged to ensure all services that may be affected by any future works have been located.
These plans have been prepared as verification plots only. Some text RL's have been omitted for clarity. Please refer to the relevant 3D data files for any spatial interrogation requirements.
Any discrepancies should be verified in writing with Capricorn Survey Group (CQ) Pty Ltd.
This note is an integral part of this plan.

LEGEND

LINETYPE LEGEND

- S UG Sewerage Line
- SC UG Sewerage Line (Compiled)
- SW UG Stormwater Line
- SWC UG Stormwater Line (Compiled)
- OFD Overland Flow Direction
- EL UG Electrical Line
- EC UG Electrical Line (Compiled)
- OH Electrical Line
- TC UG Communication Line
- UC UG Communication Line (Compiled)
- WC UG Water Line
- WC UG Water Line (Compiled)
- W AG Water Line
- UG Gas Line
- GC UG Gas Line (Compiled)
- Top of Bank
- Toe of Bank
- CL of Bitumen
- Edge of Bitumen
- Retaining Wall
- Line Marking
- Fence Line
- Roof/Guttering

CONTOUR LEGEND

- 0.25m Interval
- 1.00m Interval

GENERAL SYMBOL LEGEND

- Comms Conduit Marker
- Comms Pit
- Elec Conduit Marker
- Elec Turret
- Elec Light Bollard
- Elec Light Pole
- Elec Power Pole
- Elec Power Pole + Light
- Elec Power Pole + Transformer
- Elec Stay Point
- Traffic Lights
- Gas Marker
- Gas Valve
- Gas Hot Water System
- Sewerage MH
- Sewerage Vent
- Sewerage IO
- Stormwater MH
- Stormwater Pit
- Stormwater DP / Outlet
- Stormwater IO
- Water Fire Hydrant
- Water Meter
- Water Valve
- Water Tap
- Water Control Tap
- Water Tee
- Water Conduit Marker
- Water Tapping Band
- Post
- Bollard
- Guide Sign
- Flag Pole
- Australia Post Box
- Shrub

DATUM
Vertical Datum : AHD Vide SmartNet Aus
Horizontal Datum : Cadastral Vide SP142293
Contour Interval : 0.25m, 1.0m Index
Co-ord System : Arbitrary

WARNING
LOCATION AND CONNECTIVITY OF UG SERVICES SHOWN HEREON HAVE BEEN DETERMINED BY DIRECT ACCESS OR COMPILED FROM LOCAL AUTHORITY AND SERVICE PROVIDER PLANS ONLY. FURTHER INVESTIGATION MAY BE REQUIRED TO DETERMINE LOCATIONS OF ALL INACCESSIBLE SERVICES.

REVISION	Issue	Date	Details	Authorized
A	18-12-2023	Initial Issue		RJFK

CREATED
capricornsurveygroup.com.au
SURVEYING & PLANNING SOLUTIONS
07 4627 5199 | reception@capricornsurvey.com.au | 132 Victoria Parade, Rockhampton QLD 4700

SCALE
1:200 @ A1

DRAWING NUMBER
9194-01-DTL (1/1)

ISSUE
A

PRELIM
DATE: 24/10/24
05
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

this drawing
Detailed Surveyor's Plan

Rufus
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PROJECT NUMBER
231008 - 02

PROJECT
MANAGER: DJWebb
DRAWN: DJWebb
CHKD:

WIND SPEED
C1

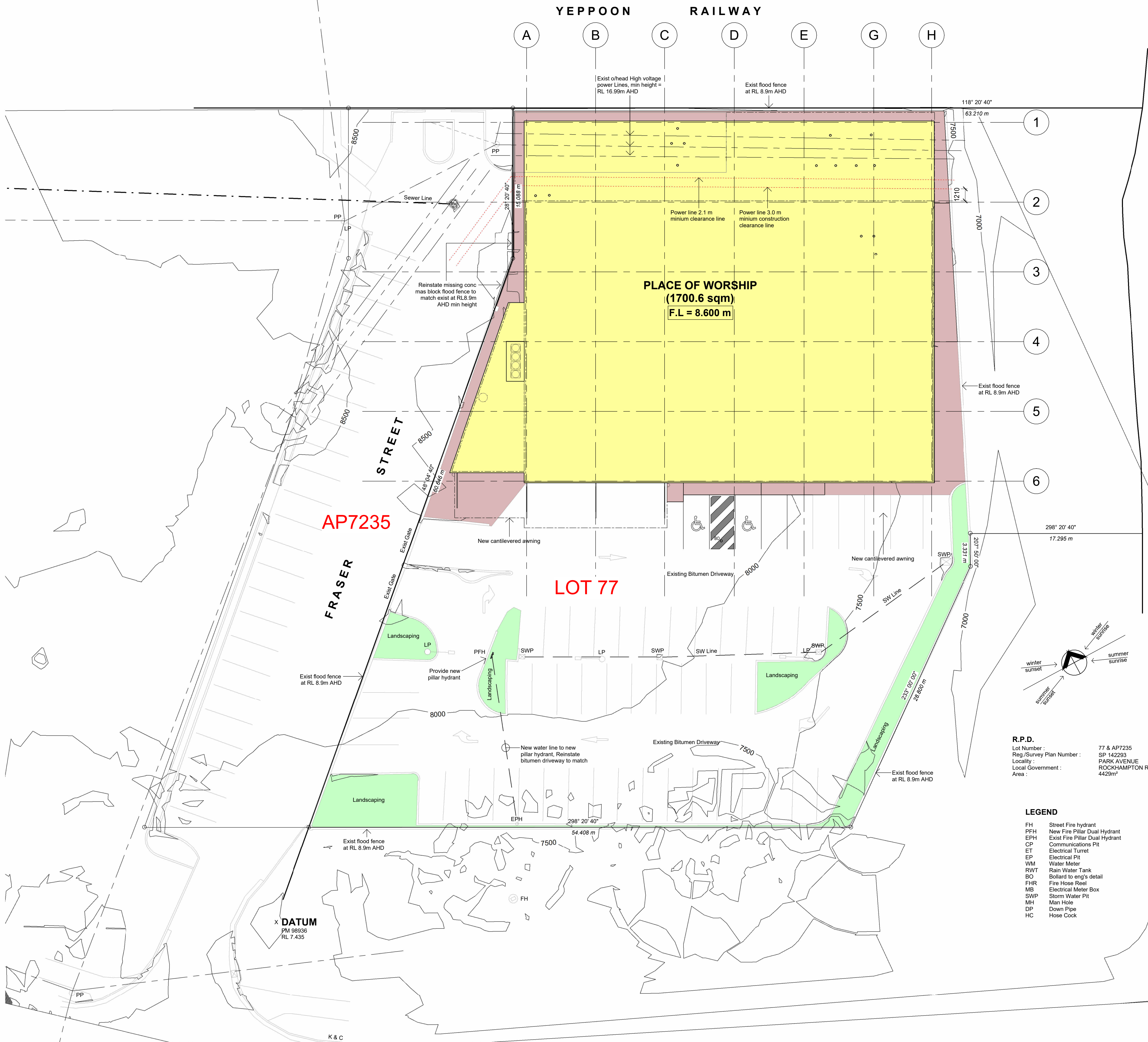
PLAN SIZE:
A1

REVISION
SHEET 02 OF 14 SHEETS

PROJECT NUMBER
231008 - 02

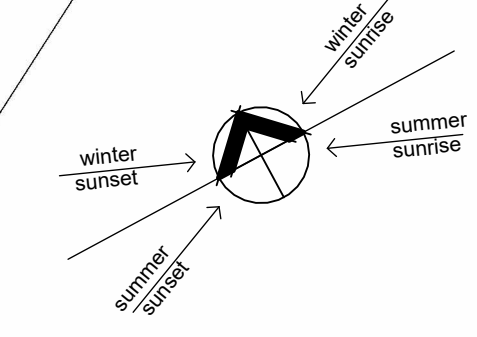
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REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24



Site Analysis

Existing Floor Area	=	1780 sqm (demolished)
Proposed Floor Area	=	1695.5 sqm
Total Building Footprint Area	=	1571.4 sqm
Total Site Coverage	=	35.5 %
Total Landscaped Area Required	=	2m to frontages
Total Landscaped Area Provided	=	198.7 sqm
Total Site Area	=	4429.0 sqm
Car Parking		
Car parking spaces required	=	77 (existing)
Total car spaces provided	=	77 (existing)
Driveways		
Existing concrete driveway area	=	1614.0 sqm
New concrete driveway area	=	236.5 sqm
Total driveway area	=	1850.5 sqm



R.P.D.
Lot Number : 77 & AP7235
Reg./Survey Plan Number : SP 142293
Locality : PARK AVENUE
Local Government : ROCKHAMPTON RC
Area : 4429m²

PRELIM 05
DATE: 24/10/24
NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

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E-mail mailbox@rufusdesigngroup.com

this drawing Site Features Plan		PROJECT NUMBER 231008 - 03	
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	SHEET 03 OF 14 SHEETS	
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	REVISION 1	
CHKD :			

1 Site Features Plan
1 : 200

Window Legend

- 1218 - 1200 high x 1800 wide
 - XO - Sliding / Fixed
 - X - Sliding
 - O - Fixed
 - D - Double Hung
 - A - Awning
 - CMT - Casement
 - L - Louvre
 - FG - Fixed Glass
 - GSW - Gas Strut Window
- Glazing to wet areas to be obscure
Refer to EE table for remainder of Glazing

Number of People Accommodated

Venue is licensed for 750 people maximum
- 500 max seating capacity in Auditorium
- 250 max to remainder of premises

THRESHOLDS :
TO BE IN ACCORDANCE WITH AS 1428.1 "ACCESS FOR THE DISABLED", (MAX. STEP 5mm, THRESHOLD RAMP - MAX SLOPE 1 IN 8 FOR UP TO 35mm RISE, STEP RAMP - MAX SLOPE 1 IN 10 FOR UP TO 150mm RISE).

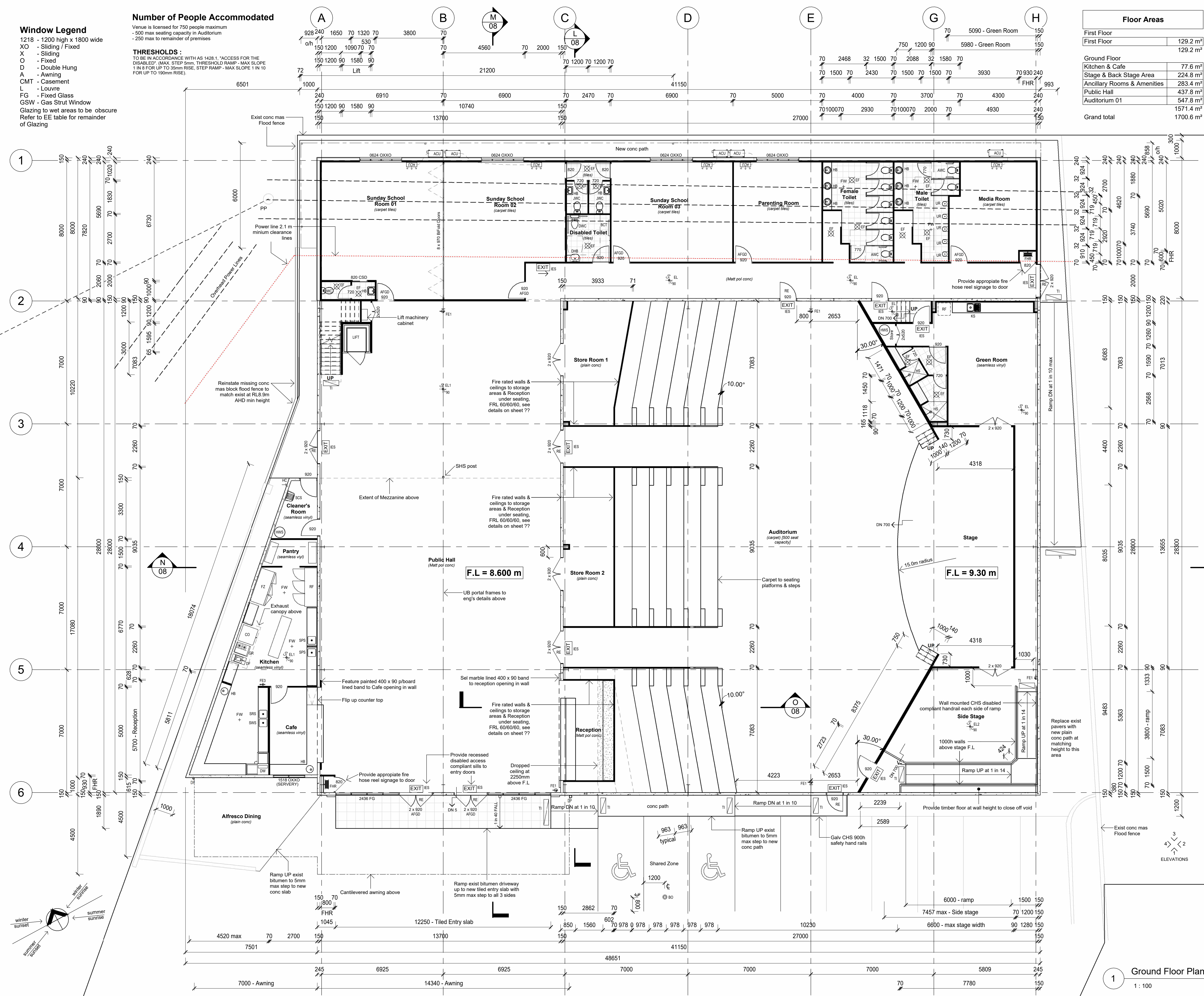
Floor Areas	
First Floor	129.2 m ²
Ground Floor	129.2 m ²
Kitchen & Cafe	77.6 m ²
Stage & Back Stage Area	224.8 m ²
Ancillary Rooms & Amenities	283.4 m ²
Public Hall	437.8 m ²
Auditorium 01	547.8 m ²
Grand total	1700.6 m²

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24

PRELIM 05
DATE: 24/10/24
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Energy Efficiency Details	
Roof Colour	Light
Wall Colour	Dark
Roof Insulation	R1.8 Anticon Blanket
Ceiling Insulation	R2.5 Batts
Wall Insulation	R1.0 Batts
Floor Insulation	R1.0 Batts to mezzanine only
Solar Power	5 kW system
Hot Water Unit	Electric instantaneous
Glazing	Alum framed, single, tinted
Floor Finishes	Refer to plan

Plan Legend	
1200 CF	1200mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AWC	Ambulant compliant Toilet
BCT	Wall mounted folding Baby change table
BO	Bollard
CC	Ceiling Cassette
CO	Convection Oven
DF	Deep Fryer
DHB	Disabled compliant Hand Basin
DP	Down Pipe
DW	Dishwasher
DWC	Disabled compliant Toilet
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
EL	Emergency Light in accord. with AS 2293.1 at 2700mm mount height above F.L.
EL1	Emergency Light in accord. with AS 2293.1 at 3000mm mount height above F.L.
EL2	Emergency Light in accord. with AS 2293.1 at 6500mm mount height above F.L.
EL3	Emergency Light in accord. with AS 2293.1 at 7000mm mount height above F.L.
FE1	9kg water fire extinguisher (rating: 2A)
FE3	2.27kg carbon dioxide fire extinguisher (rating: 2B(E))
FHR	36m Fire Hose Reel in accord. with AS 1221 and AS 2441 (for fire fighting purposes)
FW	Floor Waste
FZ	Freezer
GR	600 x 800 gas Griddle
HB	Hand Basin with cold only over
HC	Hose Cock
HS	Hobless Shower
HWS	Electric Hot Water System
IES	Illuminated Exit Sign
JWC	Junior Toilet
KS	Kitchen Sink
LIFT	1100 x 1400 min Passenger Lift in accord with AS 1735.12 & complying with NCC E3
MH	Man Hole
RE	Required EXIT with lever action escape latch
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SCS	S/steel Cleaner's Sink with grate and hot & cold over
SPS	S/steel Prep Sink with hot & cold over
SRS	S/steel Rinse Sink with hot & cold over
SWS	S/steel Wash Up Sink with hot & cold over
TI	Tactile Indicator in accord with AS 1428.4
UR	Urinal



PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

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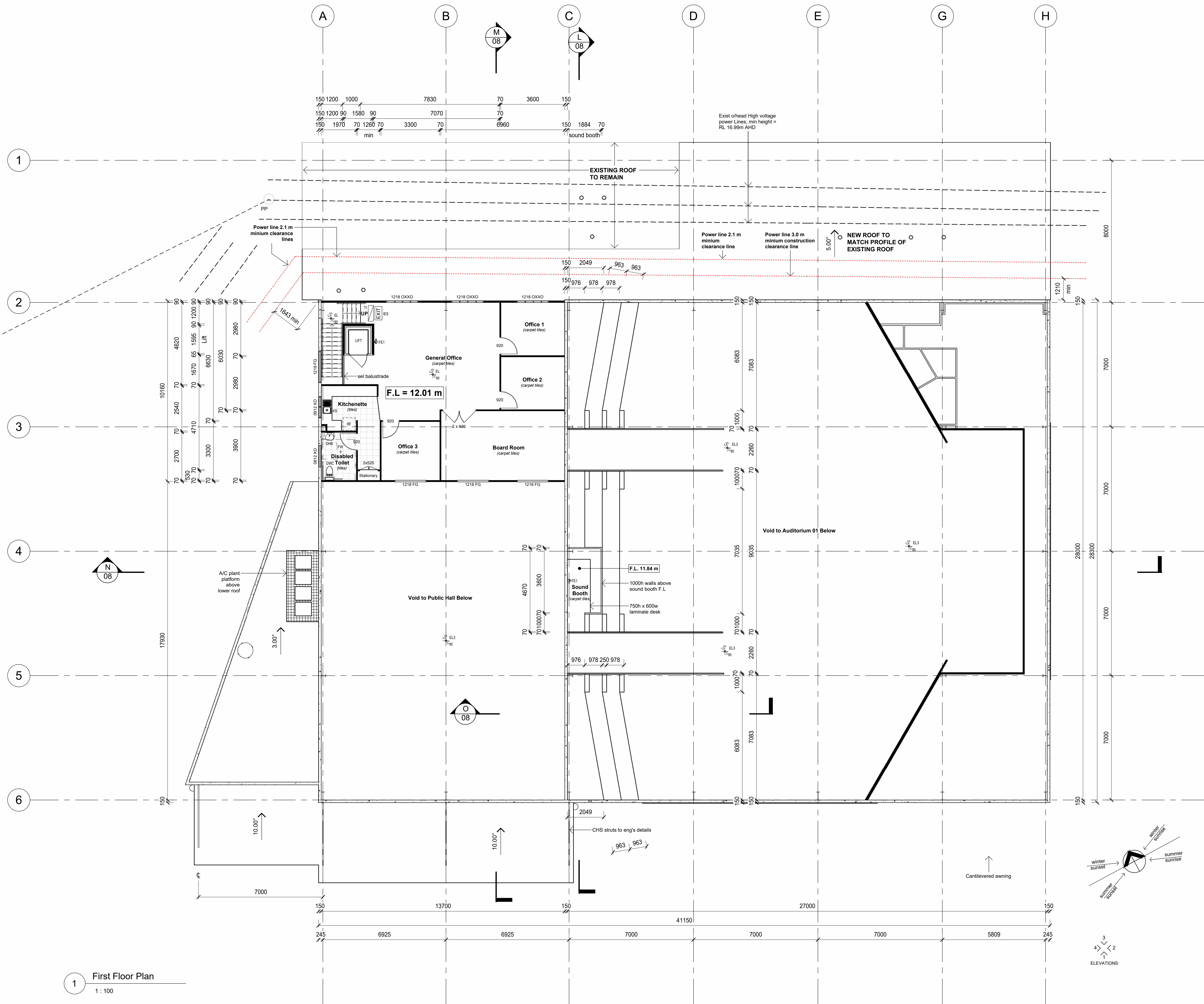
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PROJECT MANAGER	WIND SPEED C1
DRAWN	PLAN SIZE A1
CHKD	

Ground Floor Plan

PROJECT NUMBER	REVISION
231008 - 04	1

1 : 100

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24



Plan Legend	
1200 CF	1200mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AWC	Ambulant compliant Toilet
BCT	Wall mounted folding Baby change table
BO	Bollard
CC	Ceiling Cassette
CO	Convection Oven
DF	Deep Fryer
DHB	Disabled compliant Hand Basin
DP	Down Pipe
DW	Dishwasher
DWC	Disabled compliant Toilet
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
EL	Emergency Light in accord. with AS 2293.1 at 2700mm mount height above F.L.
EL1	Emergency Light in accord. with AS 2293.1 at 3000mm mount height above F.L.
EL2	Emergency Light in accord. with AS 2293.1 at 6500mm mount height above F.L.
EL3	Emergency Light in accord. with AS 2293.1 at 7000mm mount height above F.L.
FE1	9kg water fire extinguisher (rating: 2A)
FE3	2.27kg carbon dioxide fire extinguisher (rating: 2B:(E))
FHR	36m Fire Hose Reel in accord. with AS 1221 and AS 2441 (for fire fighting purposes)
FW	Floor Waste
FZ	Freezer
GR	600 x 800 gas Griddle
HB	Hand Basin with cold only over
HC	Hose Cock
HS	Hobless Shower
HWS	Electric Hot Water System
IES	Illuminated Exit Sign
JWC	Junior Toilet
KS	Kitchen Sink
LIFT	1100 x 1400 min Passenger Lift in accord with AS 1735.12 & complying with NCC E3
MH	Man Hole
RE	Required EXIT with lever action escape latch
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SCS	S/steel Cleaner's Sink with grate and hot & cold over
SPS	S/steel Prep Sink with hot & cold over
SRS	S/steel Rinse Sink with hot & cold over
SWS	S/steel Wash Up Sink with hot & cold over
TI	Tactile Indicator in accord with AS 1428.4
UR	Urinal

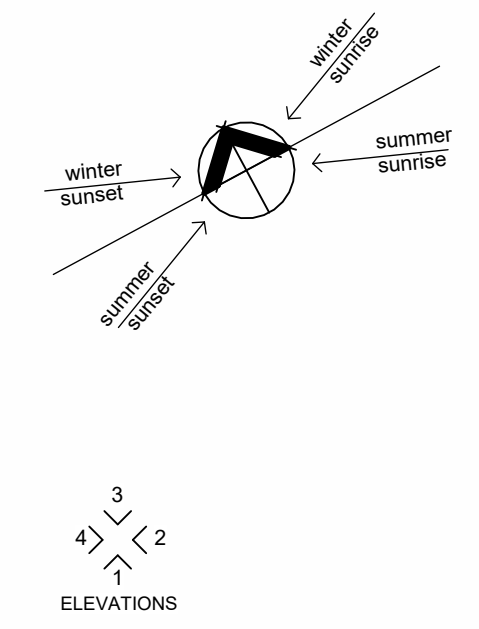
Floor Areas	
First Floor	
First Floor	129.2 m ²
Grand total	129.2 m ²
Ground Floor	
Kitchen & Cafe	77.6 m ²
Stage & Back Stage Area	224.8 m ²
Ancillary Rooms & Amenities	283.4 m ²
Public Hall	437.8 m ²
Auditorium 01	547.8 m ²
Grand total	1571.4 m ²
	1700.6 m ²

PRELIM 05
 DATE: 24/10/24
 NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

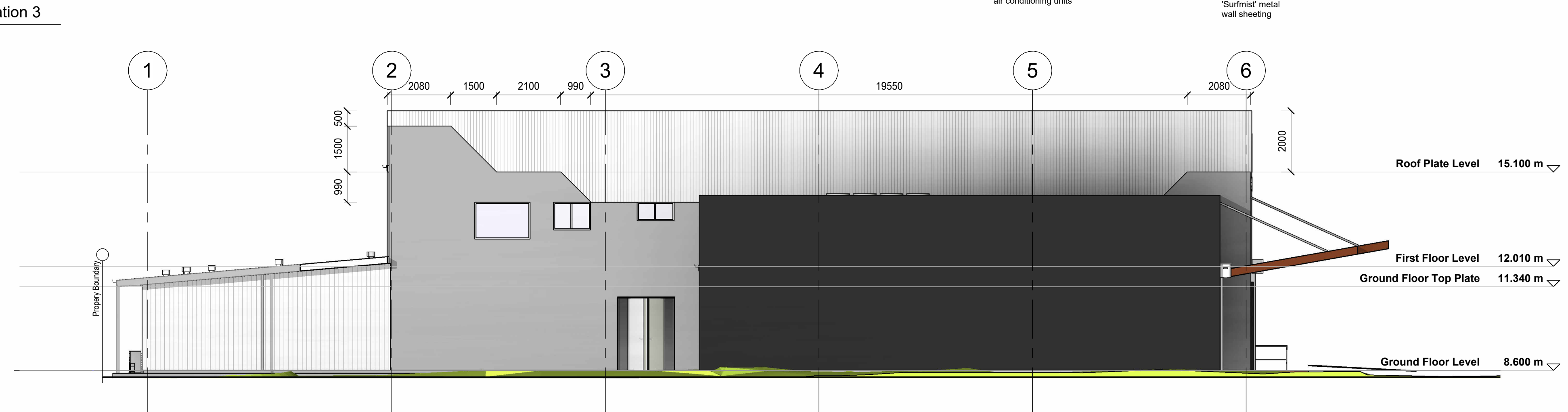
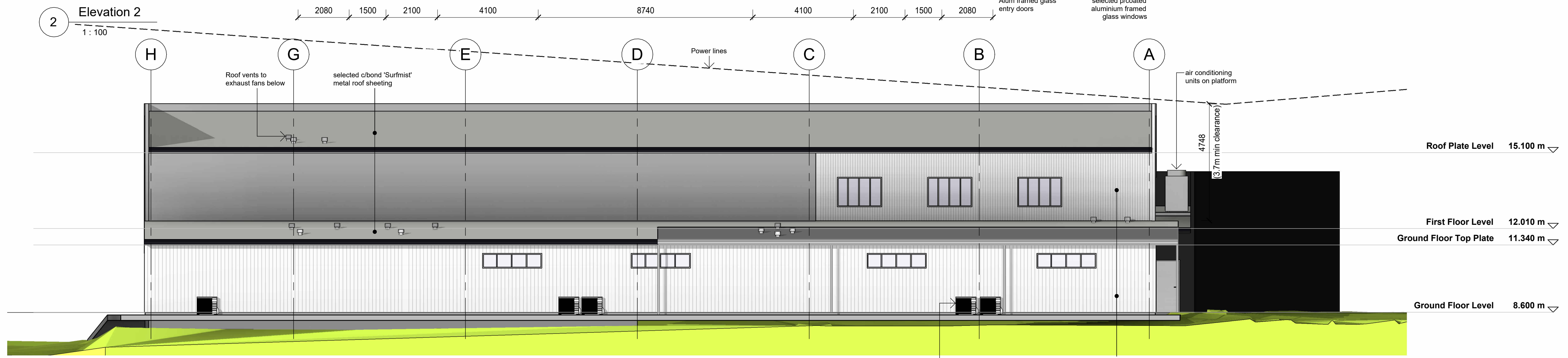
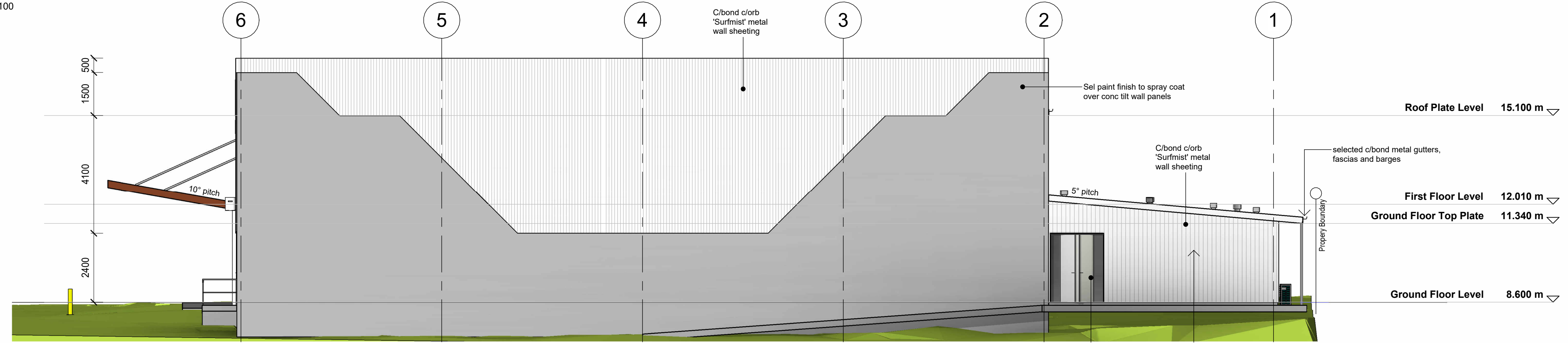
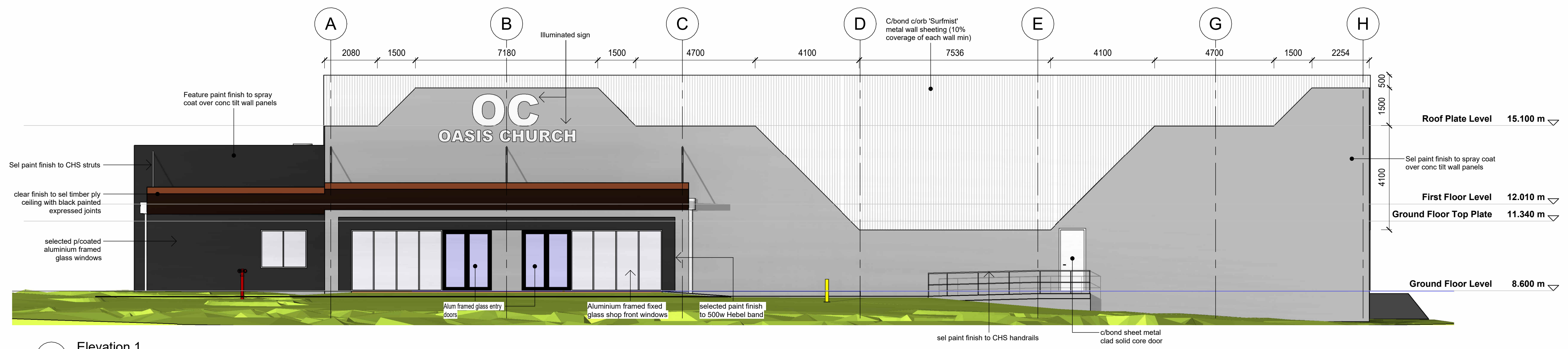
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this drawing		First Floor Plan	
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 05
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	SHEET 05 OF 14 SHEETS	REVISION 1
CHKD :			



1 First Floor Plan
 1 : 100

REVISIONS		
NO.	DESCRIPTION	DATE



PRELIM 05
DATE: 24/10/24
NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

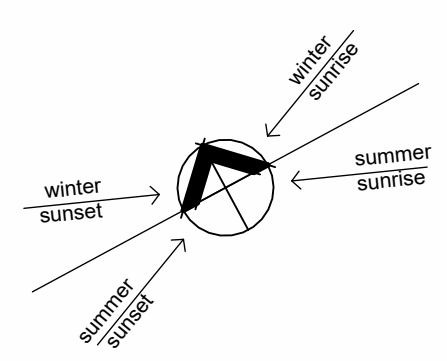
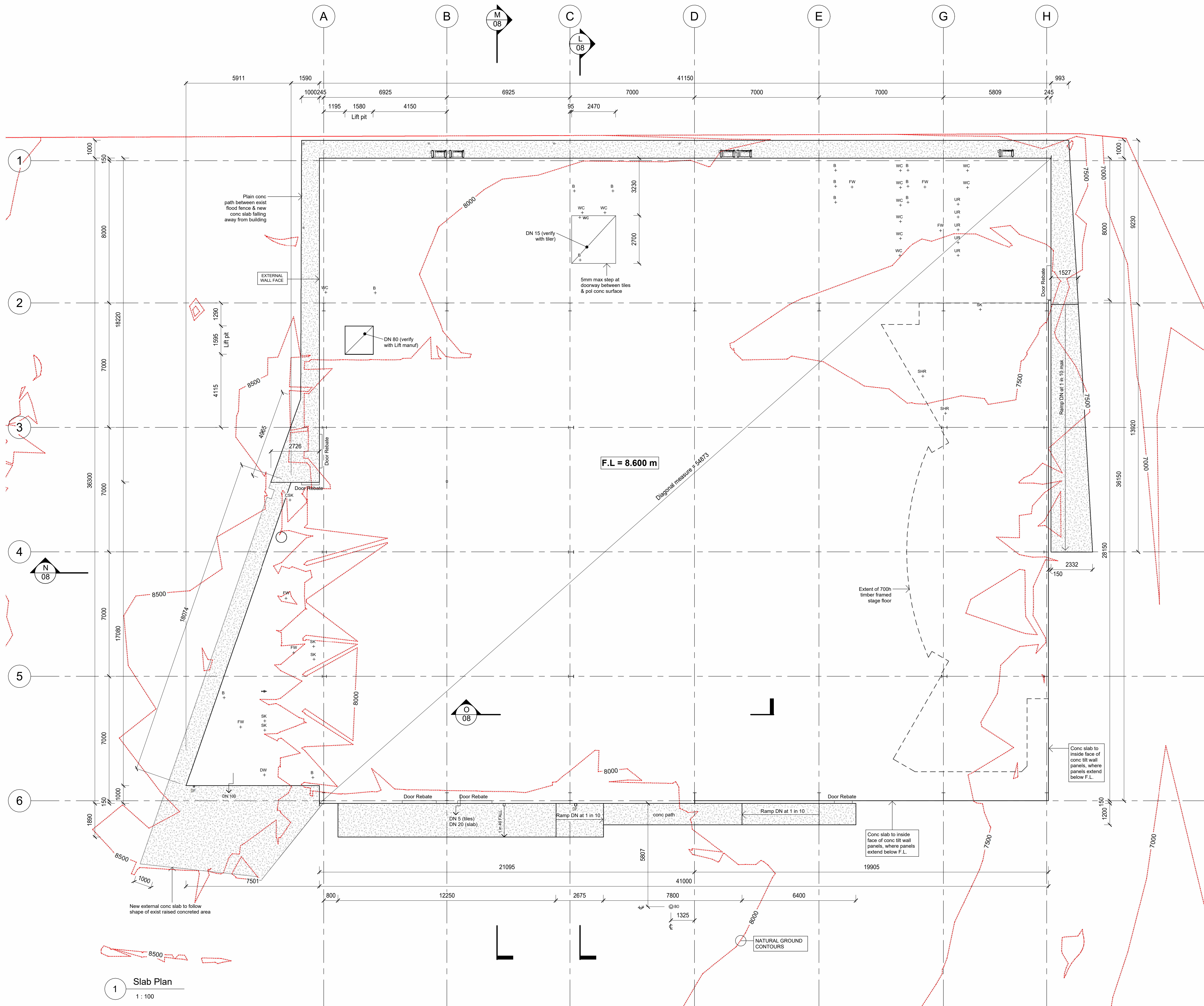
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this drawing
Elevations

PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : <i>C1</i>	PROJECT NUMBER : 231008 - 06
DRAWN : <i>D. Webb</i>	PLAN SIZE : <i>A1</i>	SHEET 06 OF 14 SHEETS
CHKD : <i>D. Webb</i>	REVISION	

NO.	DESCRIPTION	DATE

PRELIM 05
 DATE: 24/10/24
 NOT FOR CONSTRUCTION



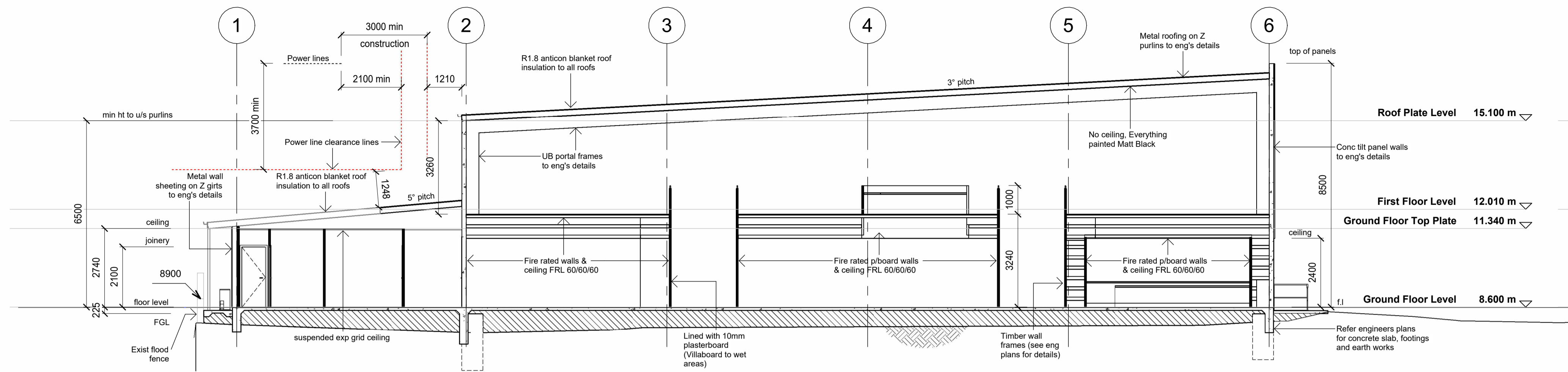
- Plumbing Abbreviations :**
- B : Basin
 - BTH : Bath
 - CSK : Cleaners Sink
 - DF : Drinking Fountain
 - DW : Dishwasher
 - FW : Floor Waste
 - FWG : Floor Waste Gully
 - HWU : Hot Water Unit
 - IC : Inspection Opening
 - IO : Inspection Chamber
 - MH : Manhole
 - ORG : Overflow Relief Gully
 - SHR : Shower
 - SK : Sink
 - SW : Stormwater
 - SWP : Storm Water Pit
 - LT : Laundry Tub
 - TD : Tundish
 - UR : Urinal
 - VP : Vent Pipe
 - WC : Water Closet
 - WM : Washing Machine

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

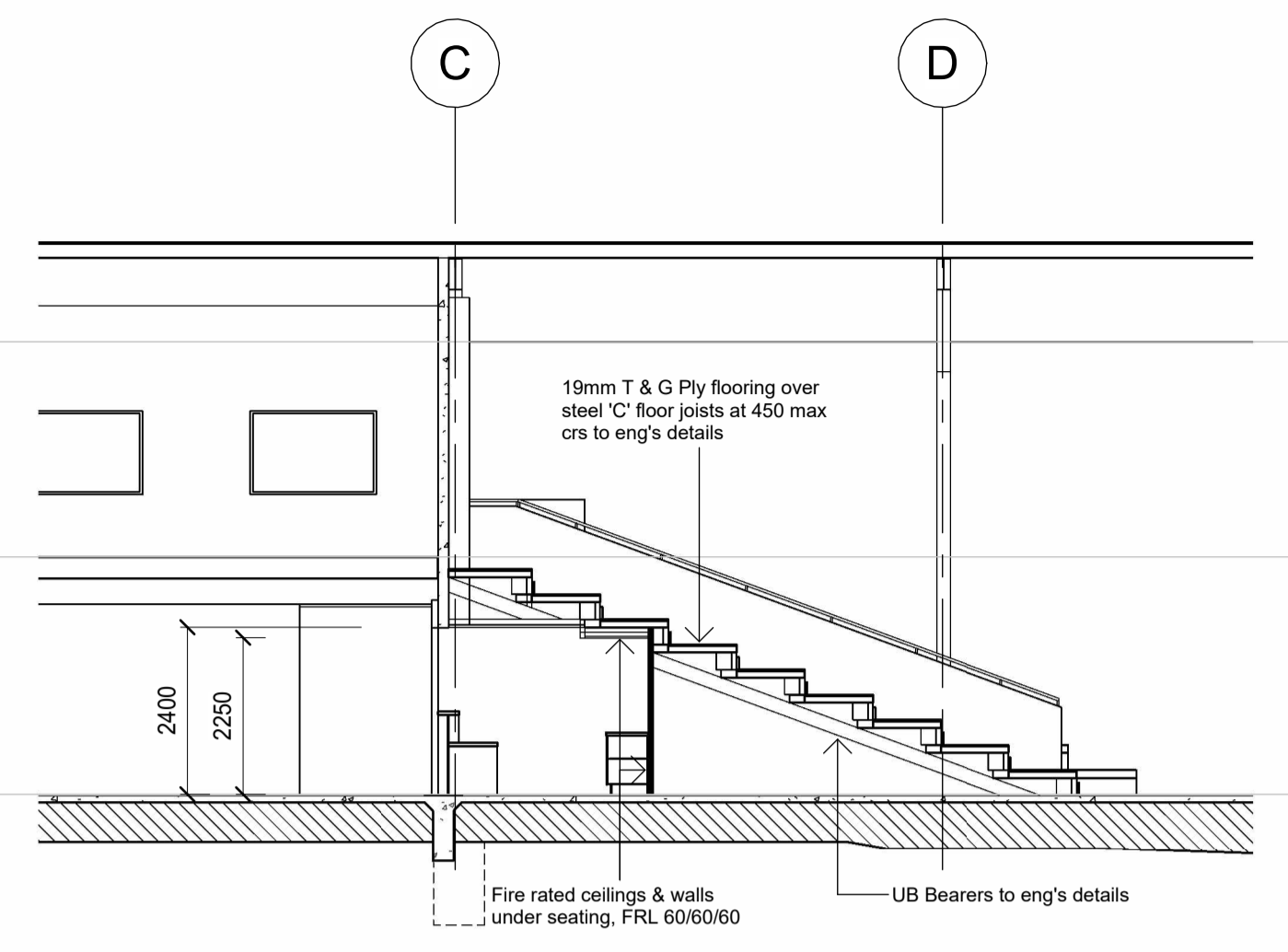
Rufus Design Group
 BUILDING DESIGNERS
 ASSOC. OF QLD INC.
 Lic No. 1180286
 Telephone 61 7 49289011
 E-mail mailbox@rufusdesigngroup.com

this drawing Slab Plan	
PROJECT MANAGER : <i>D. Webb</i>	PROJECT NUMBER : 231008 - 07
DRAWN : <i>D. Webb</i>	WIND SPEED : C1
CHKD : <i>D. Webb</i>	PLAN SIZE : A1
	SHEET 07 OF 14 SHEETS
	REVISION

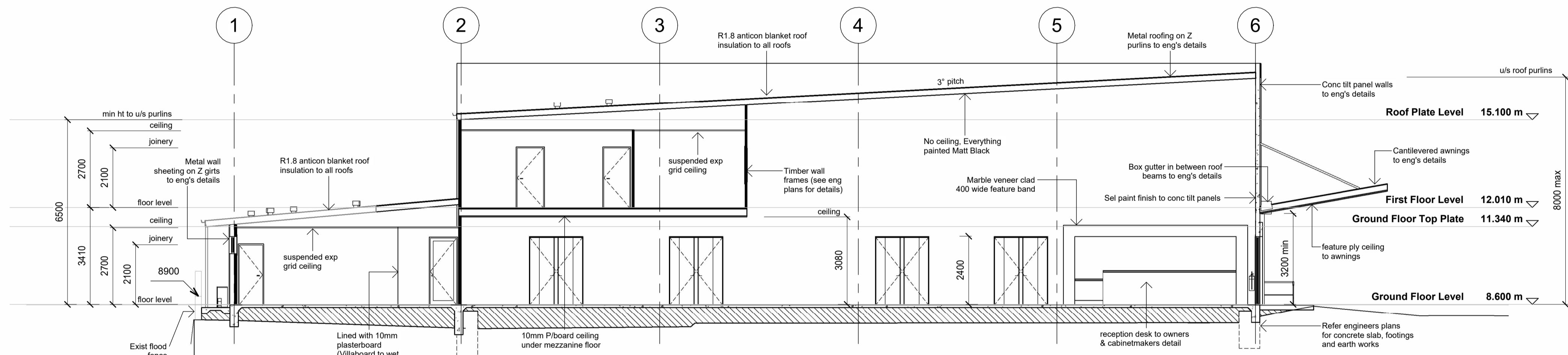
1 Slab Plan
 1 : 100



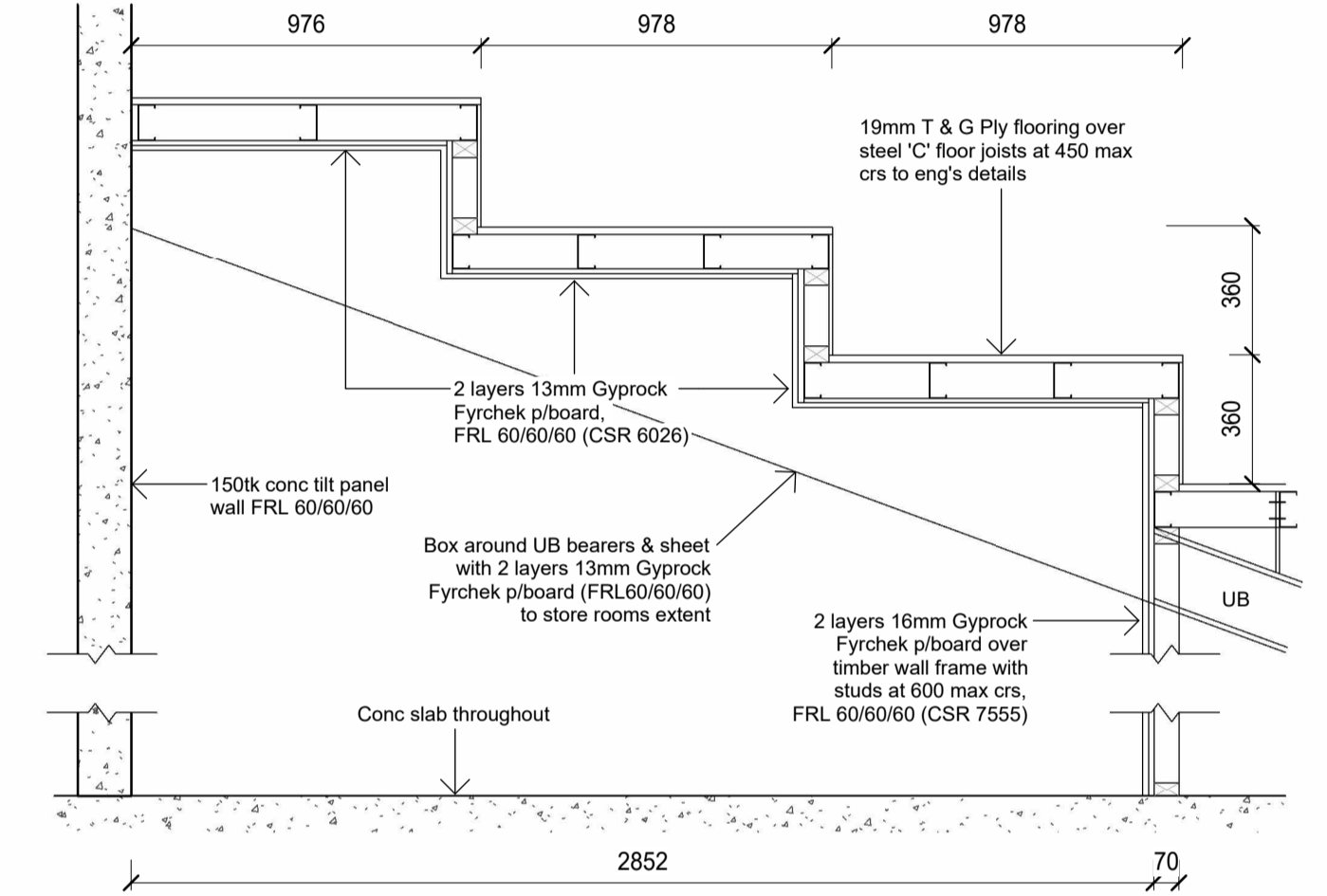
Section L
1 : 100



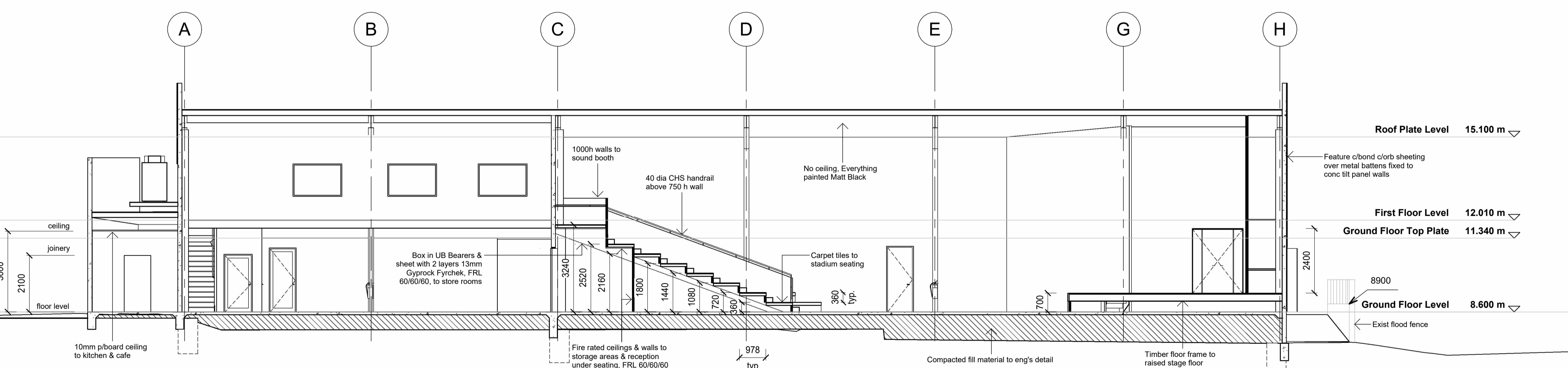
Section O
1 : 100



Section M
1 : 100



1 Store Rooms & Reception fire rated ceiling Detail
1 : 20



Section N
1 : 100

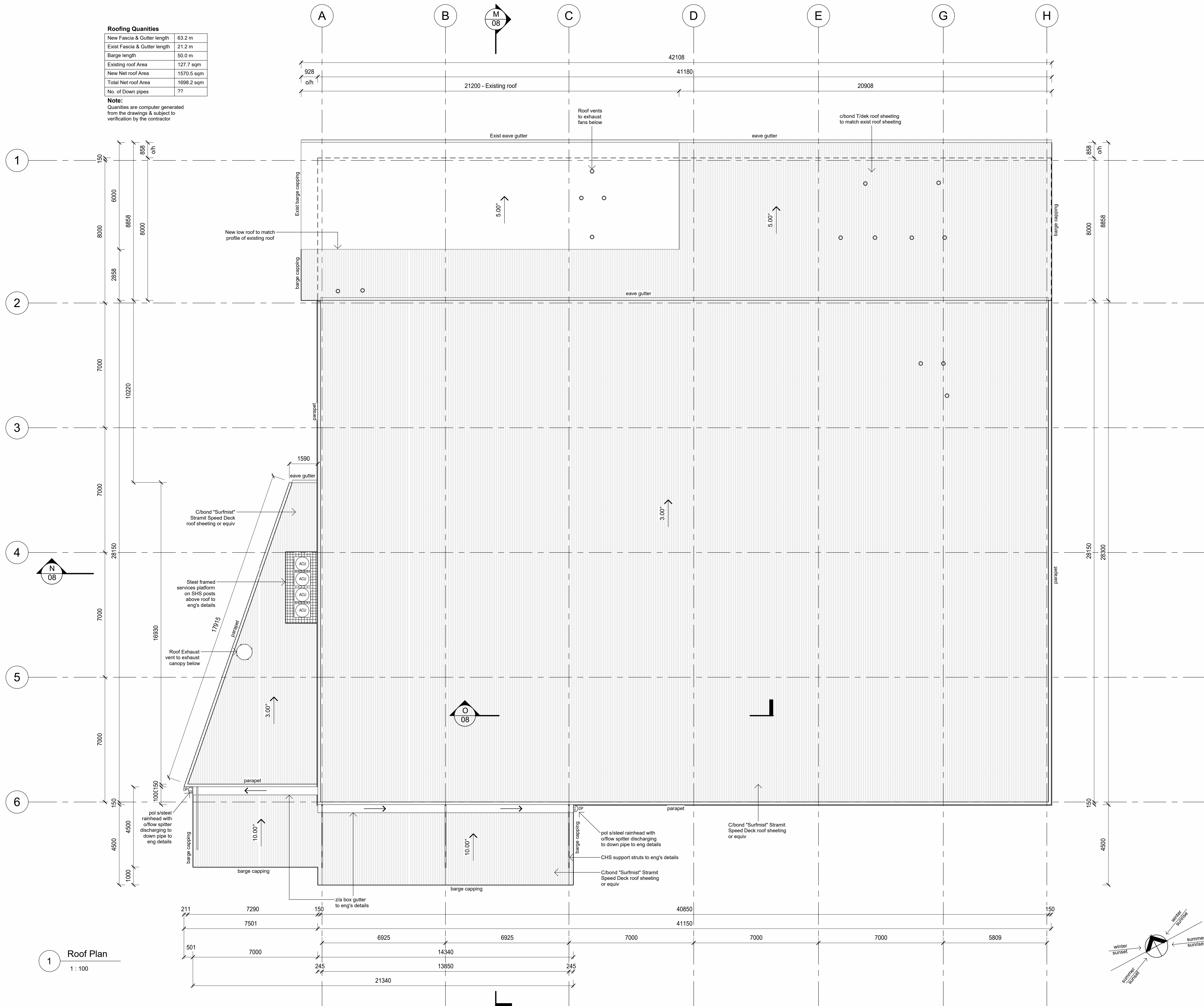
PRELIM
DATE: 24/10/24
05
NOT FOR CONSTRUCTION

REVISIONS NO. DESCRIPTION DATE	PROPOSED PLACE OF WORSHIP FOR OASIS CHURCH AT 5-7 FRASER STREET PARK AVENUE	this drawing Sections & Fire Rating Details		PROJECT MANAGER: <i>D Webb</i> DRAWN: <i>D Webb</i> CHKD:	WIND SPEED: C1 PLAN SIZE: A1	PROJECT NUMBER: 231008 - 08 SHEET 08 OF 14 SHEETS REVISION
	Telephone 61 7 49288011 E-mail mailbox@rufusdesigngroup.com	Licensed under the QBCC Act Lic No. 1180286	PRINT DATE: 24/10/2024 5:14:22 PM			

Roofing Quantities	
New Fascia & Gutter length	63.2 m
Exist Fascia & Gutter length	21.2 m
Barge length	50.0 m
Existing roof Area	127.7 sqm
New Net roof Area	1570.5 sqm
Total Net roof Area	1698.2 sqm
No. of Down pipes	??

Note:
Quantities are computer generated from the drawings & subject to verification by the contractor

REVISIONS		
NO.	DESCRIPTION	DATE



1 Roof Plan
1 : 100

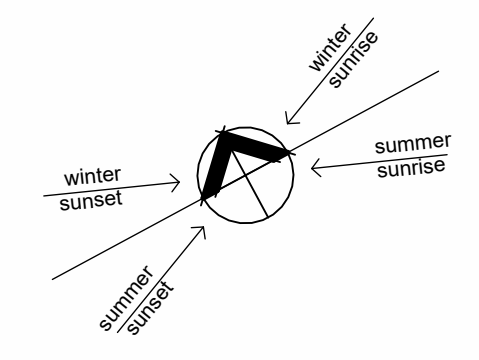
PRELIM 05
DATE: 24/10/24
NOT FOR CONSTRUCTION

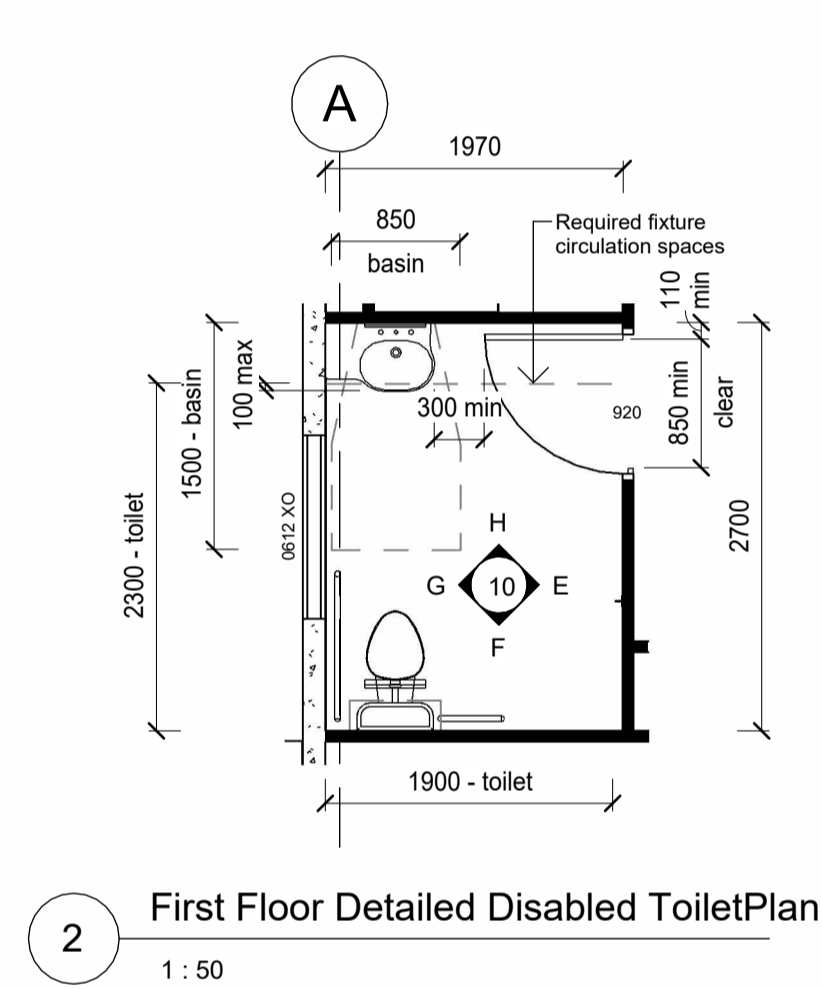
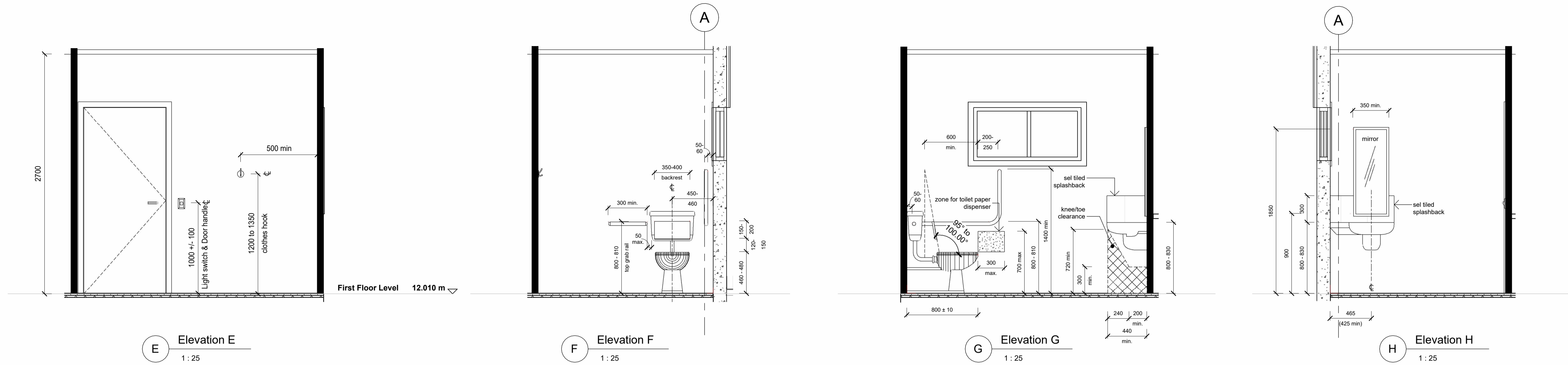
PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

Rufus Design Group
STYLE • QUALITY • INNOVATION

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BUILDING DESIGNERS
ASSOC. OF QLD INC.
Lic No. 1180286
Telephone 61 7 49289011
E-mail mailbox@rufusdesigngroup.com

this drawing			
Roof Plan			
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 09
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	SHEET 09 OF 14 SHEETS	REVISION
CHKD :			

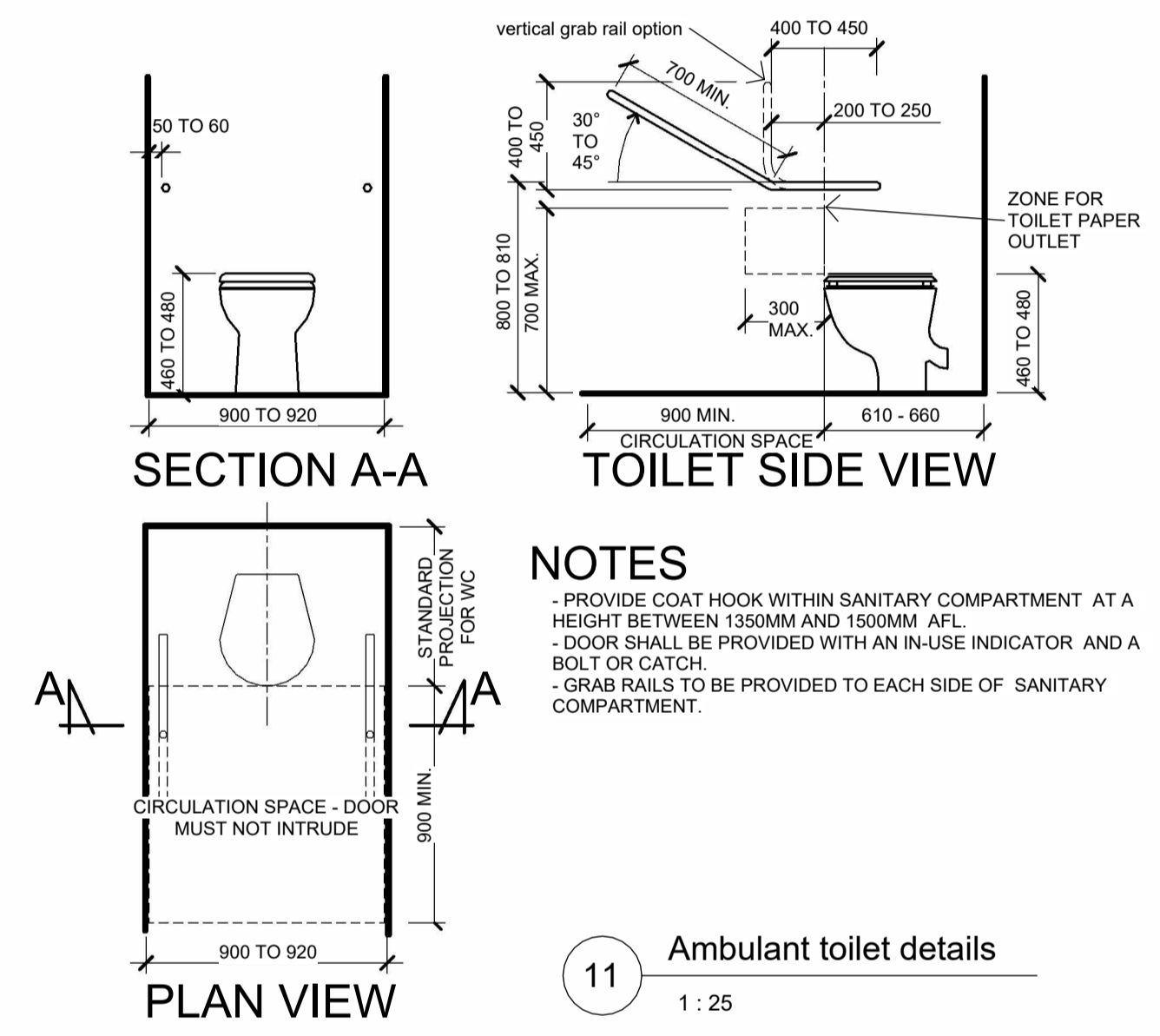
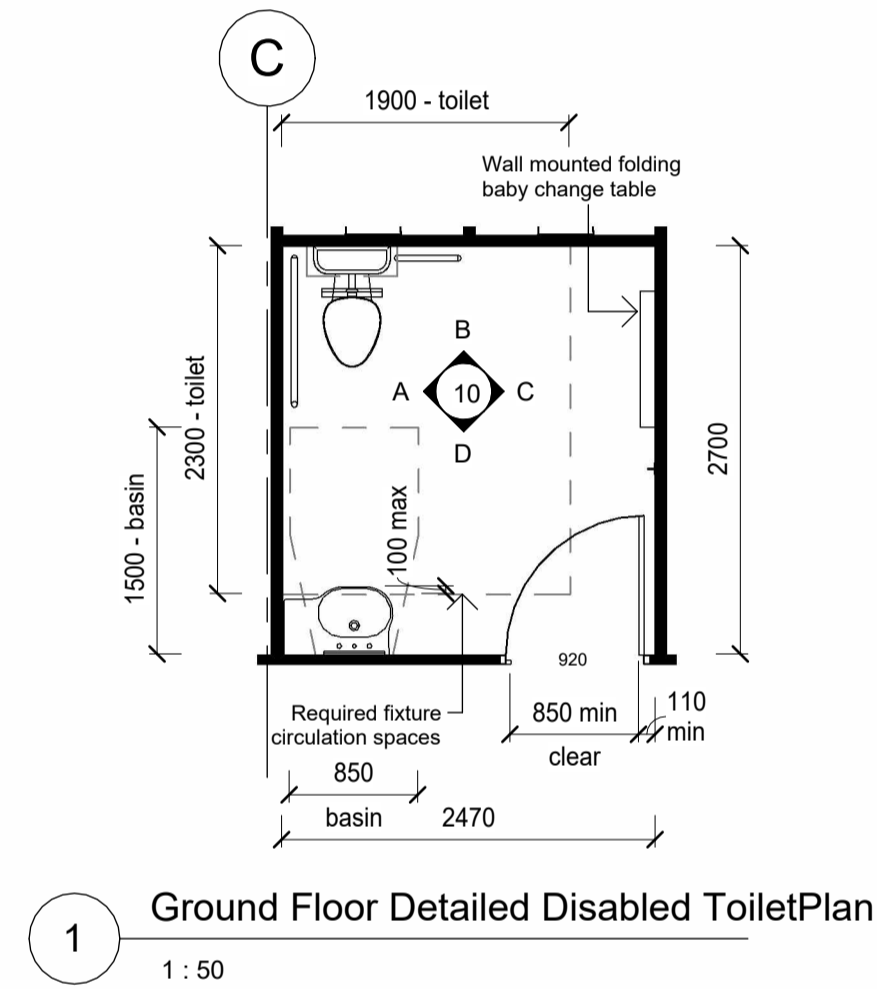




Disabled Amenities
All fixtures and fittings to be installed in accordance with AS 1428.1-2009. (see attached diagrams)
Basin to be Caroma "Oval 720 or Flora 500" or equivalent. Waste pipe to be positioned clear of under basin circulation space.
Pedestal to be Caroma Care "Trident" with "Colani" seat and Caroma "Sveigen 2000" China.
Cistern with screwed down lid, (or equivalent)
Tapware to be quarter turn ceramic pillar cock with extended lever action handle.
Light Switch and paper dispenser to be positioned in the zones shown.
Door Handle to be lever action.

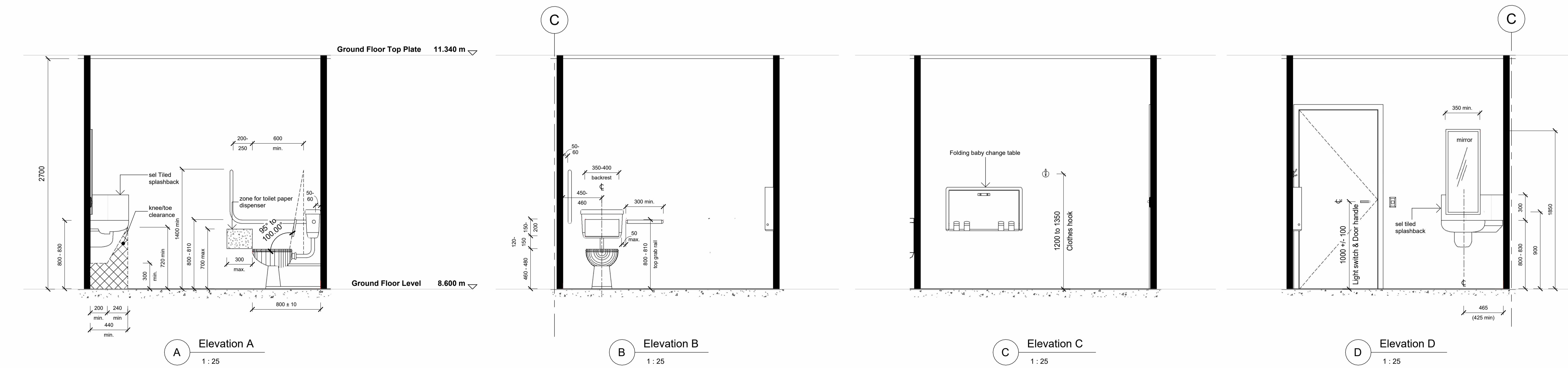
Amenities Identification
Provide braille signage to the external face of entrance doors to all amenities in accordance with AS. 1428.1

ALL DIMENSIONS THIS SHEET TO FACE OF WALL FINISHES

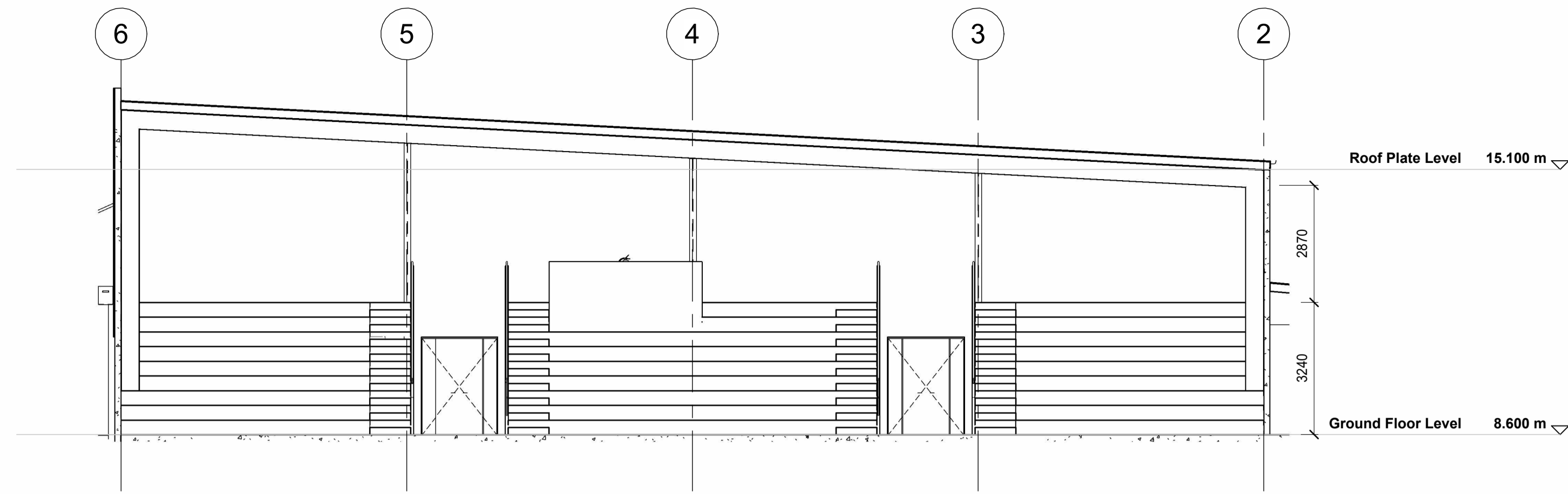


11 Ambulant toilet details
1:25

PRELIM 05
DATE: 24/10/24
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REVISIONS NO. DESCRIPTION DATE	PROPOSED PLACE OF WORSHIP FOR OASIS CHURCH AT 5-7 FRASER STREET PARK AVENUE	this drawing Disabled Toilet Details	RUFUS DESIGN GROUP STYLE · QUALITY · INNOVATION	PROJECT MANAGER: <i>DA Webb</i> DRAWN: <i>DA Webb</i> CHKD:	WIND SPEED: C1 PLAN SIZE: A1	PROJECT NUMBER: 231008 - 10 SHEET 10 OF 14 SHEETS REVISION
	Licensed under the QBCC Act Lic No. 1180286 Telephone 61 7 49288011 E-mail mailbox@rufusdesigngroup.com	PRINT DATE: 24/10/2024 5:14:30 PM				



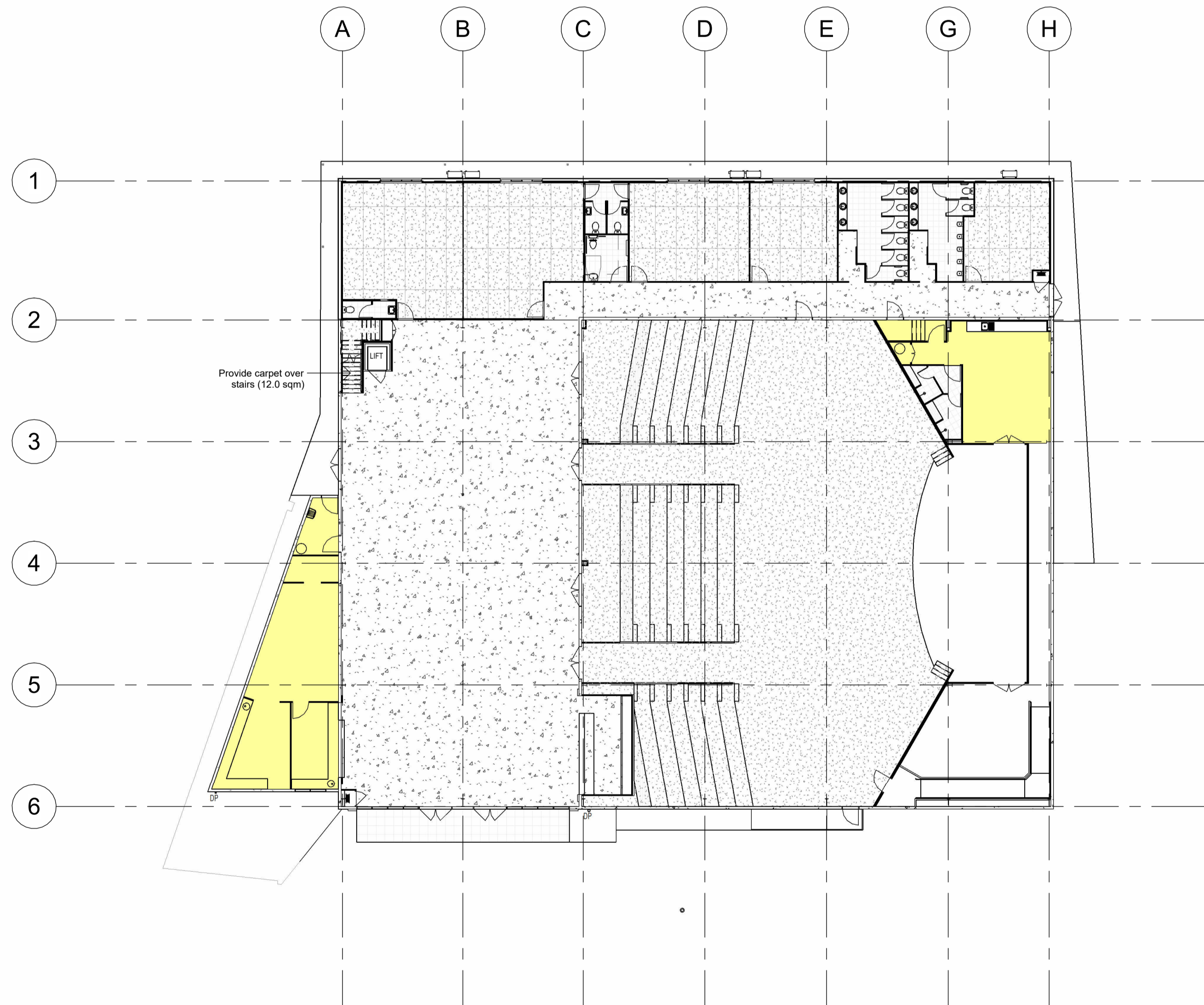
3 Auditorium Seating Elevation
1:100

Ground Floor Floor covering Legend

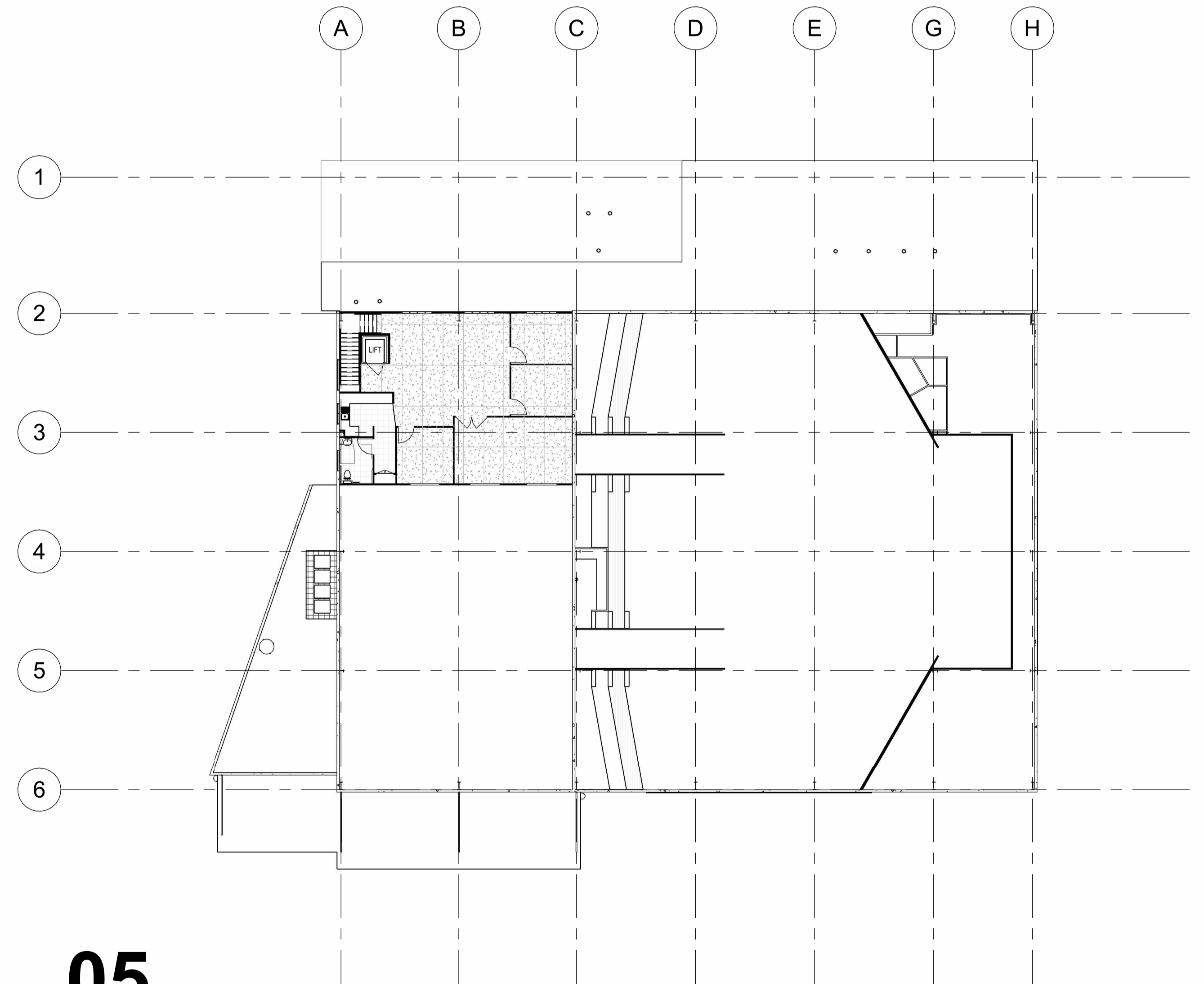
- Matt clear epoxy coating over polished concrete slab (451.1 sqm)
 - Selected ceramic floor tiles (83.9 sqm)
R10 slip rating internal
R12 slip rating external
 - Selected carpet (539.2 sqm, plan view only)
Critical radiant flux = 2.2 kW/sqm
 - Selected carpet tiles (194.5 sqm)
Critical radiant flux = 2.2 kW/sqm
 - Selected seamless vinyl (117.1 sqm)
Critical radiant flux = 2.2 kW/sqm
- STAGE & SIDE STAGE FLOORING??

First Floor Floor covering Legend

- Selected ceramic floor tiles (13.1 sqm)
R10 slip rating
- Selected carpet tiles (109.4 sqm)
Critical radiant flux = 2.2 kW/sqm



1 Ground Floor Floor Covering Plan
1:200



2 First Floor Floor Covering Plan
1:200

PRELIM 05
DATE: 24/10/24
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

this drawing
Floor Finishes Plans &
Auditorium Seating
Elevation



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Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

PROJECT
MANAGER : *D Webb*
DRAWN : *D Webb*
CHKD :

WIND SPEED	C1	PROJECT NUMBER	231008 - 11
PLAN SIZE:	A1	SHEET 11 OF 14 SHEETS	REVISION

PRINT DATE : 24/10/2024 5:14:34 PM



Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	D/100-2024	<i>For further information regarding this notice, please contact:</i>	Sophie Muggeridge
Date application properly made:	25 October 2024	Phone:	07 4936 8099

1. APPLICANT DETAILS

Name:	Oasis New Life Centre Property Ltd		
Postal address:	C/- Gideon Town Planning PO BOX 450 ROCKHAMPTON QLD 4700		
Contact number:	(07) 4806 6959	Email:	info@gideontownplanning.com.au

2. PROPERTY DESCRIPTION

Street address:	5-7 Fraser Street, Park Avenue
Real property description:	Lot 77 on SP142293 and Lot A on AP7235

3. OWNER DETAILS

Name:	Oasis New Life Centre Property Ltd Tte
Postal address:	PO BOX 8213 ALLENSTOWN QLD 4700

4. DEVELOPMENT APPROVAL SOUGHT

Development Permit for a Material Change of Use and Operational Works for a Place of Worship and Advertising Device (wall sign)

5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. REFERRAL AGENCIES

Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
------------------------------	----------------	----------------	-----------------

STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)

Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor

<p>Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—</p> <p>(a) are within 25m of a State transport corridor; or</p> <p>(b) are a future State transport corridor; or</p> <p>(c) are—</p> <p>(i) adjacent to a road that intersects with a State-controlled road; and</p> <p>(ii) within 100m of the intersection</p>	<p>The chief executive of the department in which the <i>Planning Act 2016</i> is administered:</p> <p>Department of Housing, Local Government, Planning and Public Works (State Assessment and Referral Agency Department)</p>	<p>Concurrence</p>	<p><u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City</p> <p><u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/</p> <p><u>Email:</u> RockhamptonSARA@dsdilgp.qld.gov.au</p> <p><u>Postal:</u> PO Box 113 Rockhampton Qld 4700</p>
--	---	--------------------	--

It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.

7. IMPACT ASSESSMENT

<p>Will Impact Assessment be required?</p>	<p>YES</p>
<p>The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:</p>	
<ul style="list-style-type: none"> - Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and - Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and - Giving a notice to all owners of any lots adjoining the premises which are the subject of the application. 	

8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?

NO

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.

11. ASSESSMENT MANAGER

Name: **Sophie Muggeridge**
PLANNING OFFICER

Signature:

Date: 28 October 2024





Rockhampton Office
232 Bolsover St, Rockhampton
Gracemere Office
1 Ranger St, Gracemere
Mount Morgan Office
32 Hall St, Mount Morgan

31 October 2024

Our Reference: D/100-2024
Enquiries: Sophie Muggeridge
Telephone: 07 4936 8099

Department of Housing, Local Government, Planning and Public Works
RockhamptonSARA@dilgp.qld.gov.au

Dear Sir/Madam

NOTICE OF CHANGED APPLICATION – DEVELOPMENT APPLICATION D/100-2024 FOR A MATERIAL CHANGE OF USE AND OPERATIONAL WORKS FOR PLACE OF WORSHIP AND ADVERTISING DEVICE (WALL SIGN) LOCATED AT 5-7 FRASER STREET, PARK AVENUE - DESCRIBED AS LOT 77 ON SP142293 AND LOT A ON AP7235

Further to the above development application received by Council on the 8 August 2024. Council received a notice of changed application on 25 October 2024.

In accordance with section 52(1) of the *Planning Act 2016* and Part 6 (27) of the Development Assessment Rules, Council confirms the change cannot be considered a minor change and the development assessment process stops on the day the notice of the change was received and starts again at the beginning of the confirmation period.

Attached is a copy of the notice of the changed application.

If you have any queries regarding this matter please contact the undersigned on 07 4936 8099.

Yours faithfully

A handwritten signature in black ink, appearing to read "SM", is positioned above the typed name of the signatory.

Sophie Muggeridge
Planning Officer
Planning and Regulatory Services



SARA reference: 2408-42043 SRA
Council reference: D/100-2024
Applicant reference: GTP2420

1 November 2024

Oasis New Life Centre Property Ltd
c/- Gideon Town Planning
PO Box 450
ROCKHAMPTON QLD 4700
gg@gideontownplanning.com.au

Attention: Gideon Genade

Dear Mr Genade,

Other than minor change to development application

(Related to chapter 1, section 27.1 of *the Development Assessment Rules*)

The State Assessment and Referral Agency (SARA) received your notice of an other than minor change to your development application over the following premises on 31 October 2024.

Location details

Street address: 5-7 Fraser Street, Park Avenue
Real property description: Lot 77 SP142293
Local government area: Rockhampton Regional Council

Under chapter 1, section 27.1 of the Development Assessment Rules, the development assessment process has started again from the beginning of the assessment manager's confirmation period. Your changed development application must therefore be referred to SARA. SARA, on your behalf, is in the process of creating a new MyDAS2 record (2411-43219 SRA) containing your original application material as well as the change information recently provided. Please use 2411-43219 SRA to confirm payment of any required fees and complete your referral to SARA.

SARA will also withdraw your original record (2408-42043 SRA) from MyDAS2 and refund fees where appropriate.

For further information please the undersigned on (07) 4924 2914 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to be 'L. Costello', with a long horizontal stroke extending to the right.

Lawson Costello
Planning Officer

cc Rockhampton Regional Council, enquiries@rrc.qld.gov.au

From: "Info @ Gideon Town Planning" <info@gideontownplanning.com.au>
Sent: Thu, 31 Oct 2024 15:13:26 +1000
To: "Sophie Muggeridge" <Sophie.Muggeridge@rrc.qld.gov.au>
Cc: "Development Advice" <DevelopmentAdvice@rrc.qld.gov.au>; "Gideon Town Planning" <gg@gideontownplanning.com.au>
Subject: RE: D/100-2024 - Further Advice Request - MCU for Place of Worship - 5 - 7 Fraser Street, Park Avenue
Attachments: Proposal Plans with dimensions for wall sign.pdf

[External Email] This email was sent from outside the organisation – be cautious, especially with links and attachments.



Hi Sophie,

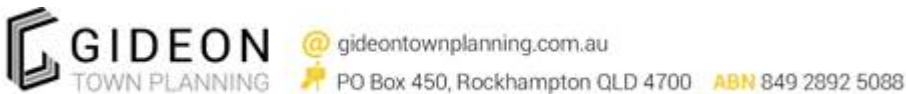
Please find the updated proposal plans in response to the further advice item requested in the email below. Dimensions have been added for the wall sign on the plan on page 7 in the attached plans package.

Kind regards,

Jacinta Wallenhoffer

Projects Administrator

E: info@gideontownplanning.com.au | P: 07 4806 6959



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From: Sophie Muggeridge <Sophie.Muggeridge@rrc.qld.gov.au>
Sent: Thursday, 31 October 2024 11:11 AM
To: Gideon Town Planning <gg@gideontownplanning.com.au>; Info @ Gideon Town Planning <info@gideontownplanning.com.au>
Subject: D/100-2024 - Further Advice Request - MCU for Place of Worship - 5 - 7 Fraser Street, Park Avenue

Good morning,

Please see below the further advice item in relation to the above application.

Please provide an updated plan for the proposed wall sign, specifically the dimensions of the sign.

No information request will be issued as per the DA form 1 part 6 request, however It is advised that Referral Agencies may still make an Information Request and the end of Part 3: Information Request does not occur until the applicant has:

1. Finished responding to all information requests in the way stated under section 14.1 of the Development Assessment Rules; or
2. All periods for the applicant to respond to all information requests as stated in section 13.1 have ended.

You are further advised that once Part 3: Information Request ends, Part 4: Public Notification starts. Public notification must be undertaken in accordance with the Planning Act 2016 and as described in the Development Assessment Rules.

If you have any further questions don't hesitate to contact me on the details below.

Kind regards,

Sophie Muggerridge

Planning Officer | Development Assessment

Rockhampton Regional Council

Ph: (07) 4932 9000 | E-mail: sophie.muggerridge@rrc.qld.gov.au

Address: PO Box 1860, Rockhampton Q 4700 | Web: www.rockhamptonregion.qld.gov.au

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Keeping you up to date with Council news, services, programs and events.

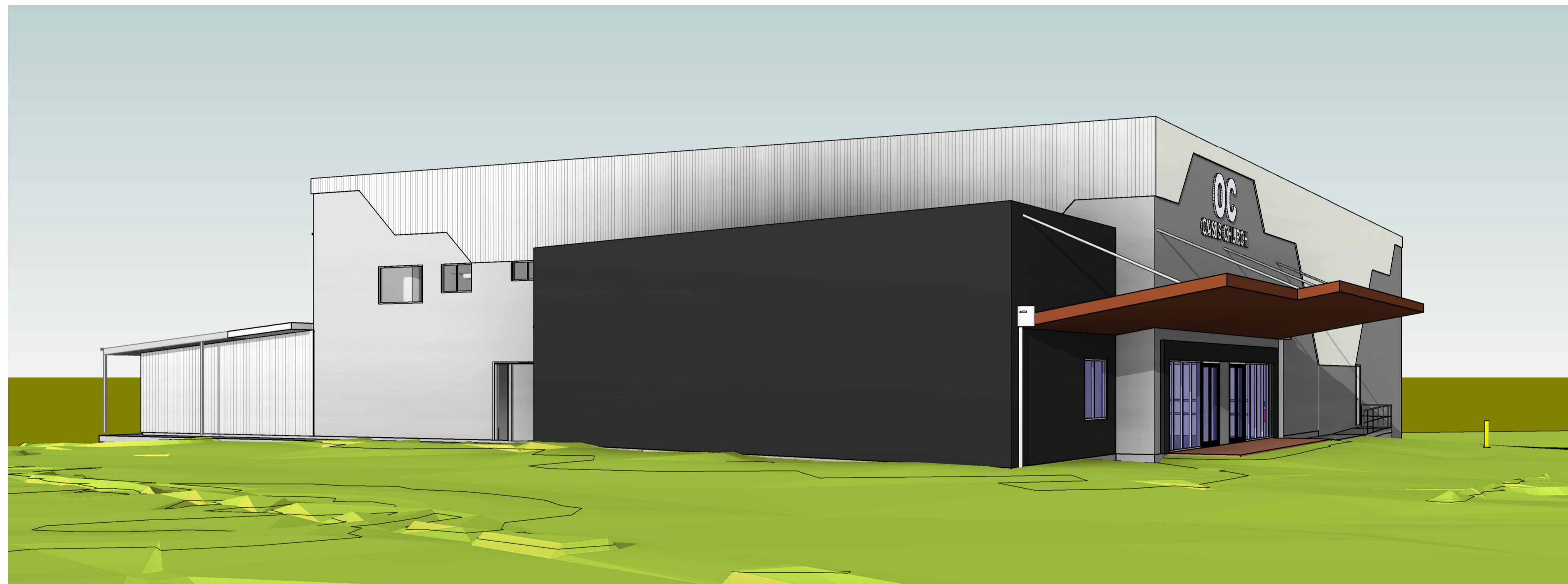
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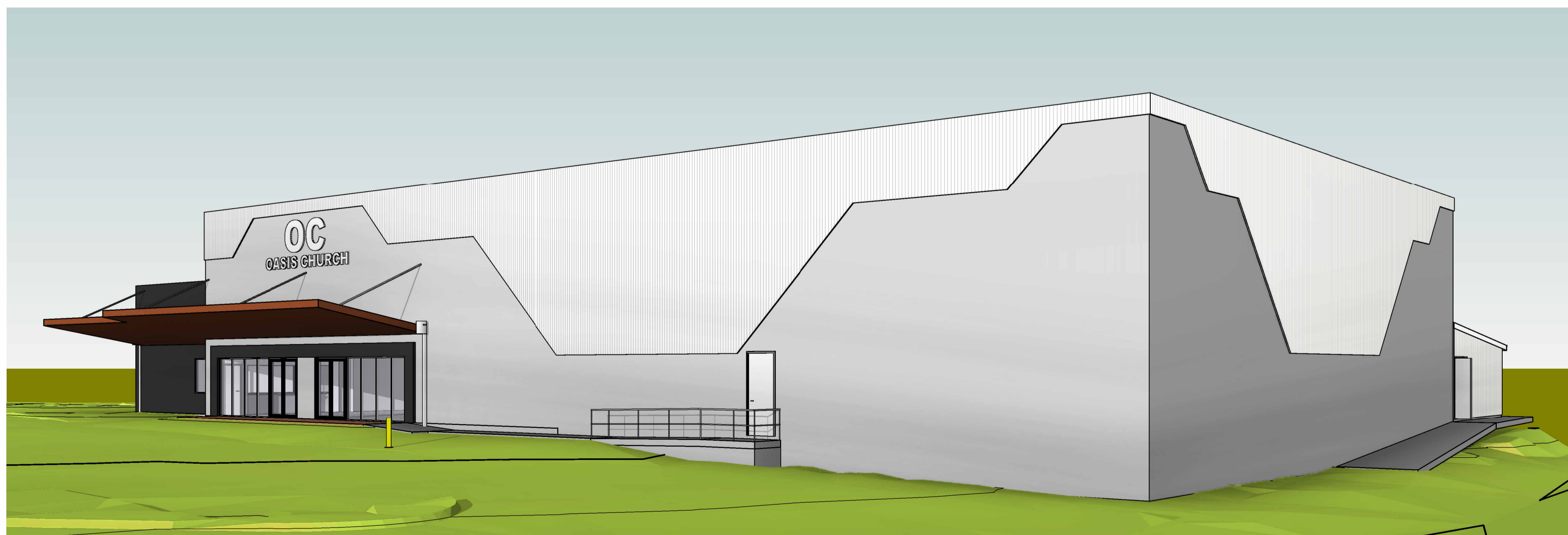
**PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE**



3 3D View 3



1 3D View 1



2 3D View 2

PRELIM 06
DATE: 31/10/24
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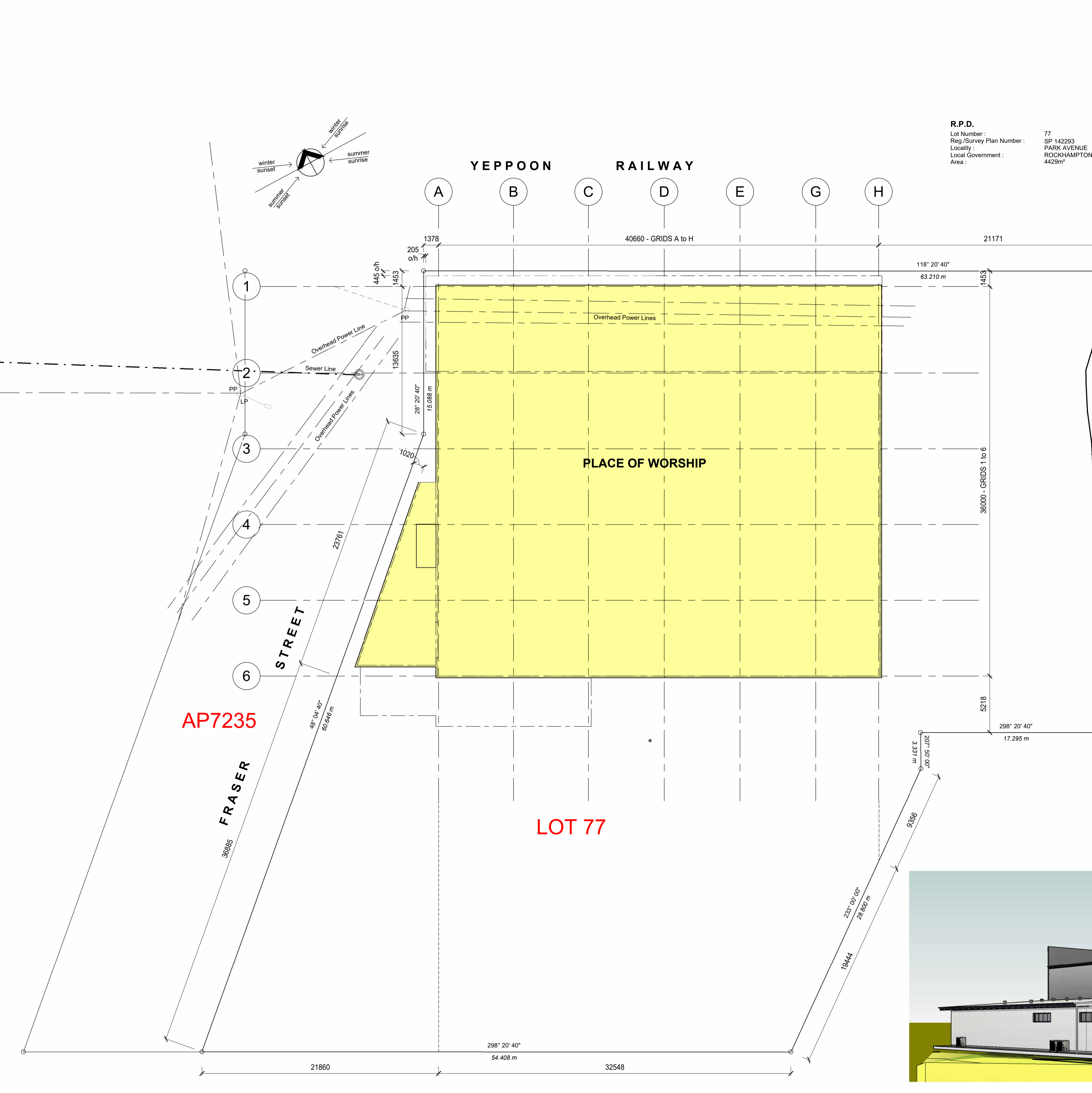
Plan Index	
Sheet Number	Sheet Name
00	Cover Sheet
01	Set Out Plan & Notes
02	Detailed Surveyor's Plan
03	Site Features Plan
04	Ground Floor Plan
05	First Floor Plan
06	Elevations
07	Slab Plan
08	Sections & Fire Rating Details
09	Roof Plan
10	Disabled Toilet Details
11	Floor Finishes Plans & Auditorium Seating Elevation
13	Ground Floor Electrical Plan
14	First Floor Electrical Plan
15	Schedules



Telephone 61 7 49288011
Facsimile 61 7 49266579
E-mail mailbox@rufusdesigngroup.com

Project No: 231008

Plan Set Revision :



R.P.D.
 Lot Number : 77
 Reg./Survey Plan Number : SP 142293
 Locality : PARK AVENUE
 Local Government : ROCKHAMPTON RC
 Area : 4429m²

General Notes
 CONST. TO BE IN ACCORD. WITH THE QLD. BUILDING ACT 1975-1998 & THE STANDARD BUILDING REGULATION 1993 AND SHALL COMPLY WITH ALL LOCAL AUTHORITY REGULATIONS AND REQUIREMENTS.
 DO NOT SCALE
 ALL WALL DIMENSIONS ARE TO STRUCTURAL COMPONENTS - NOT TO THE FACE OF LININGS/FINISHES
 VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE STARTING WORK.
 WHERE CAVITY SLIDER DOORS ARE FITTED IT IS RECOMMENDED TO USE STEEL FRAMED CAVITY SLIDERS OR 90mm WALL FRAMES FOR TIMBER FRAMED CAVITY SLIDERS.
 TOILET DOORS MUST OPEN OUTWARDS, SLIDE OR BE FITTED WITH DEMOUNTABLE HINGES IF THE DISTANCE BETWEEN THE PAN AND NEAREST PART OF THE DOORWAY IS LESS THAN 1200mm.

Timber Framing
 ALL TIMBER SIZES AND CONNECTIONS NOT SHOWN TO BE IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDS ON WIND SPEED).
 EXTERNAL TIMBER MEMBERS TO BE DURABILITY CLASS 1 OR 2 WITH SAPWOOD REMOVED OR PRESERVATIVE TREATED TO H3 UNLESS STATED OTHERWISE. ALL PINE TO BE LOSP TREATED TO H3 LEVEL.
 ALL STRUCTURAL PLY IS TO BE IN ACCORDANCE WITH AS/NZS 2269 AND FIXED TO MANUFACTURERS SPECIFICATIONS.
 ALL EXTERNAL NAILED AND SCREWED FIXING IN COASTAL AREAS FOR (BUT NOT LIMITED TO) CLADDING, FLOORING, SHEET LININGS, WINDOWS, DOOR FRAMES AND HINGES TO BE STAINLESS STEEL OR SILICON BRONZE.
TIMBER ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH AS 1684.2 OR AS 1684.3 (DEPENDS ON WIND SPEED) AND WPHS REQUIREMENTS.
METAL ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.
TILE ROOF BATTENS TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND WPHS REQUIREMENTS.
ROOF TRUSSES - THE DOWN, CONNECTIONS AND BRACING TO TRUSS MANUFACTURERS DETAILS
WALL FRAMES - TO BE DESIGNED, CERTIFIED & SUPPLIED BY WALL FRAME MANUFACTURER UNLESS DETAILED ON PLAN.
FLOOR FRAMING - FOR LVL MEMBERS IT IS RECOMMENDED THAT THE TOP EDGE BE PROTECTED FROM WATER PENETRATION DURING CONSTRUCTION. THIS CAN BE ACHIEVED BY THE APPLICATION OF A WATERPROOF TAPE OR PAINTING THE TOP EDGE OF THE MEMBER WITH DURAM "DURABIT" ACRYLIC. (PAINTING IS RECOMMENDED WHILE MEMBERS ARE STACKED).
 ALL OTHER MEMBERS EXCLUDING HARDWOOD SHOULD BE PROTECTED AS PER MANUFACTURERS SPECIFICATIONS.
 INTERNAL STRIP FLOORING IS TO BE WEATHER PROTECTED AT ALL TIMES AND TO HAVE A MOISTURE CONTENT NOT GREATER THAN 15%.

Masonry
 ALL MASONRY WORK TO COMPLY WITH AS 3700.
 CONSTRUCT MASONRY CONTROL JOINTS AT LOCATIONS SHOWN ON ENGINEERS FOOTING PLAN.
Slab & Footings
 CONCRETE WORK TO BE IN ACCORDANCE WITH AS 3600.
Roofing
 METAL ROOFING TO BE IN ACCORDANCE WITH AS 1562.1 AND FIXED TO MANUFACTURERS SPECIFICATIONS.
 TILE ROOFING TO BE IN ACCORDANCE WITH AS 2049 AND FIXED TO MANUFACTURERS SPECIFICATIONS.
Wall Cladding
 WALL CLADDING TO BE FIXED TO MANUFACTURERS SPECIFICATIONS.
Aluminium Windows & Doors
 ALUMINIUM WINDOWS AND DOORS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS 2947/48.
Structural Steel
 RHS & SHS STEEL SECTIONS TO BE FIRST GRADE STEEL COMPLYING WITH AS 1163 AND HOT ROLLED SECTIONS TO COMPLY WITH AS 3679.
 ALL STRUCTURAL STEEL MATERIALS, WORKMANSHIP, FABRICATION & ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS 4100, AS 1538, AS 1564 AND ANY OTHER RELEVANT SPECIFICATIONS.
 ALL BOLTS, NUTS, WASHERS, BRACKETS ETC. IN COASTAL AREAS TO BE HOT DIPPED GALVANIZED.
Wet Areas
 WATER PROOFING OF WET AREAS IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA AND AS 3740.
 FLOORS TO WET AREAS - CERAMIC TILES OR OTHER APPROVED MATERIALS.
 SPLASH BACKS-

MIN. HEIGHT	FIXTURE	MATERIAL
150mm	BATHS, BASINS & SINKS	CERAMIC TILES*
180mm	SHOWERS	CERAMIC TILES*

 * OR OTHER APPROVED MATERIAL
Insulation
 - REFER TO THE ATTACHED ENERGY EFFICIENCY REPORT FOR DETAIL
Other Consultants
 REFER TO DETAILS BY OTHER CONSULTANTS FOR:
 - SLAB & FOOTING DESIGN
 - SOIL TEST
 - SITE CONTOURS
 - BITUMEN DRIVEWAY MODIFICATION INCLUDING FALLS
 - ALL STRUCTURAL DETAILS
 - RETAINING WALL DETAILS
 - ROOF DRAINAGE DESIGN
 - SITE DRAINAGE DESIGN
 - SEWER DRAINAGE DESIGN
 - WATER RETICULATION DESIGN
 - ELECTRICAL, AUDIO AND COMMUNICATIONS DESIGN
 - LIGHTING DESIGN
 - ENERGY EFFICIENCY REPORT
 - MECHANICAL VENTILATION DESIGN

Working At Heights
 FOR CONSTRUCTION, CLEANING AND MAINTENANCE PROCEDURES WHERE THERE IS A RISK OF FALLING, COMPLY WITH THE FOLLOWING CLAUSE FROM DIV 4 OF PART 18 OF THE "WORKPLACE HEALTH AND SAFETY REGULATION"
 (CLASS 188 - FALL ARREST HARNESS SYSTEM)

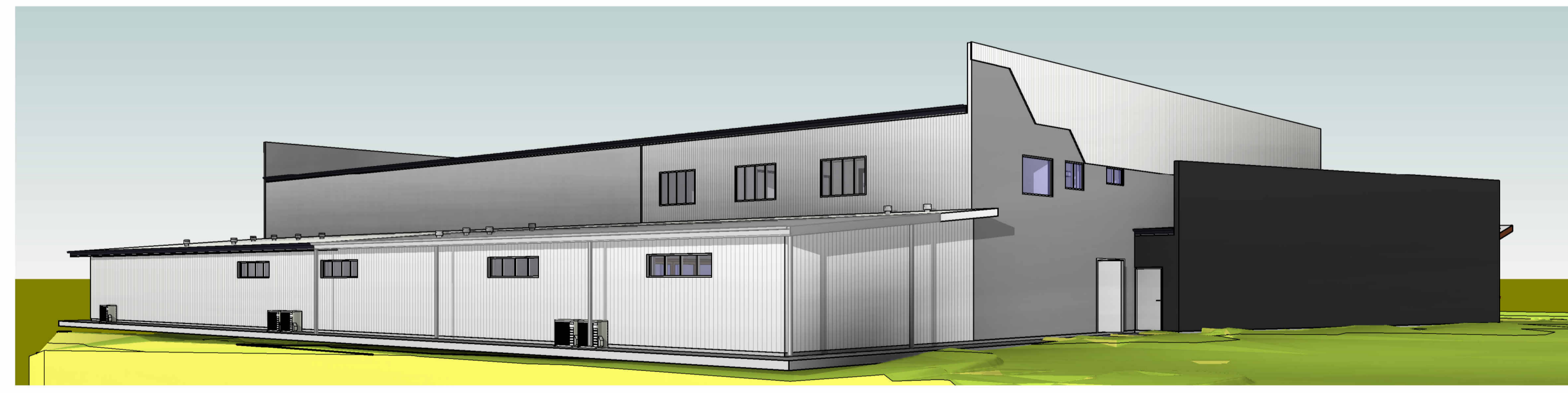
Stair Treads, Landings & Ramps
 TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS AND EDGE OF LANDINGS IN ACCORD. WITH NCC VOL. 2 PART 3.9.1.4 SLIP-RESISTANCE.

APPLICATION	SURFACE CONDITIONS	
	DRY	WET
RAMP NOT STEEPER THAN 1:8	P4 or R10	P5 or R12
TREAD SURFACE	P3 or R10	P4 or R11
NOSING OR LANDING EDGE STRIP	P3	P4

Termitte Protection
 PROVIDE PROTECTION FOR NEW BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602.1 - 2000
 "TERMITE MANAGEMENT - NEW BUILDING WORK".
 PROVIDE PROTECTION FOR EXISTING BUILDINGS IN ACCORD. WITH THE B.C.A. - QUEENSLAND AMENDMENTS AND AS 3602.1 - 2000
 "TERMITE MANAGEMENT - IN AND AROUND EXISTING BUILDINGS AND STRUCTURES".
 OPTION SELECTED:
 GRADED STONE BARRIERS
 CHEMICAL IMPREGNATED PLASTIC SHEET
 STAINLESS STEEL MESH SHIELDING
 MONOLITHIC CONCRETE SLAB
 METAL TERMITE CAP/STRIP SHIELDING
 MINIMUM 75mm SLAB EDGE EXPOSURE
 CHEMICAL RETICULATION SYSTEM
 CHEMICAL PERIMETER & PENETRATIONS SYSTEM
 ALL PRIMARY BUILDING ELEMENTS OF TERMITE RESISTANT MATERIALS
 OTHER:
 SUBSEQUENT INSPECTIONS ARE TO BE CARRIED OUT TO INSTALLERS REQUIREMENTS

1 Site Setout Plan
 1 : 200

3 3D View 4



PRELIM 06
 DATE: 31/10/24
 NOT FOR CONSTRUCTION

REVISIONS NO. DESCRIPTION DATE	PROPOSED PLACE OF WORSHIP FOR OASIS CHURCH AT 5-7 FRASER STREET PARK AVENUE	this drawing Set Out Plan & Notes	RUFUS DESIGN GROUP STYLE · QUALITY · INNOVATION	MEMBER under the QBCC Act Lic No. 1180286 Licensed under the QBCC Act Lic No. 1180286 Telephone 61 7 49288011 E-mail mailbox@rufusdesigngroup.com	PROJECT MANAGER: <i>D Webb</i> WIND SPEED: C1	PROJECT NUMBER 231008 - 01 SHEET 01 OF 14 SHEETS REVISION
					DRAWN: <i>D Webb</i> PLAN SIZE: A1	



SERVICES DISCLAIMER

While every effort has been made to locate, identify, and where appropriate, indicate the extent & connectivity of all relevant visible and underground infrastructure within the survey area, no guarantee, either explicit or implied, can be given as to the correctness and completeness of such infrastructure shown hereon.

Due to the intrusive, high impact and potentially dangerous nature of exposing underground infrastructure, the risk of serious injury and damage to infrastructure is very high, therefore further investigation by suitably qualified personnel with the relevant skills, techniques and equipment will be required to comprehensively establish and qualify the true state of all infrastructure on site.

Please refer to each of the relevant service providers rules, procedures, guidelines, rights and responsibilities when designing or working in the vicinity of each respective plant or service.

This note is an integral part of this plan, being 1 sheet in total, and all subsequent iterations of this plan. ©

PRINCIPAL
OASIS CHURCH

DESCRIPTION
DETAIL SURVEY OF
LOT 77 ON SP142293 &
LOT 16 ON R26200

**5-7 FRASER STREET &
2 GLENMORE ROAD, PARK AVENUE**

REAL PROPERTY DESCRIPTION
Lot/Plan : Lot 77 on SP142293, Lot 16 on R26200
Area : 4429m2 (Deed), 1330m2 (Deed)
Locality : Park Avenue
Local Authority : Rockhampton Regional Council

NOTES
This plan was prepared for OASIS CHURCH from field survey for the purpose of designing new constructions on the subject land and should not be used for any other purposes for any other purposes.
Property boundaries have not been reinstated or marked at the time of survey and are approximate only, based on appropriate boundary connections.
Where possible underground services have been located by field survey. Some services shown hereon are compiled from local authority and service provider plans and/or plans provided by the client and are noted accordingly on the plan.
Prior to any design, excavation or construction on site, the relevant authorities, and a qualified service locator should be engaged to ensure all services that may be affected by any future works have been located.
These plans have been prepared as verification plots only. Some text RL's have been omitted for clarity. Please refer to the relevant 3D data files for any spatial interrogation requirements.
Any discrepancies should be verified in writing with Capricorn Survey Group (CQ) Pty Ltd.
This note is an integral part of this plan.

LEGEND

LINETYPE LEGEND

- S UG Sewerage Line
- SC UG Sewerage Line (Compiled)
- SW UG Stormwater Line
- SWC UG Stormwater Line (Compiled)
- OF Overland Flow Direction
- EC UG Electrical Line (Compiled)
- EC OH Electrical Line
- TC UG Communication Line (Compiled)
- TC OH Communication Line
- WC UG Water Line (Compiled)
- WC OH Water Line
- AG UG Gas Line
- GC UG Gas Line (Compiled)
- Top of Bank
- Toe of Bank
- CL of Bitumen
- Edge of Bitumen
- Retaining Wall
- Line Marking
- Fence Line
- Roof/Guttering

CONTOUR LEGEND

- 0.25m Interval
- 1.00m Interval

GENERAL SYMBOL LEGEND

- Comms Conduit Marker
- Comms Pit
- Elec Conduit Marker
- Elec Turret
- Elec Pit
- Elec Light Bollard
- Elec Light Pole
- Elec Power Pole
- Elec Power Pole + Light
- Elec Power Pole + Transformer
- Elec Stay Point
- Traffic Lights
- Gas Marker
- Gas Valve
- Gas Hot Water System
- Sewerage MH
- Sewerage Vent
- Sewerage IO
- Stormwater MH
- Stormwater Pit
- Stormwater DP / Outlet
- Stormwater IO
- Water Fire Hydrant
- Water Meter
- Water Valve
- Water Tap
- Water Control Tap
- Water Tee
- Water Conduit Marker
- Water Tapping Band
- Post
- Bollard
- Guide Sign
- Flag Pole
- Australia Post Box
- Shrub

DATUM
Vertical Datum : AHD Vide SmartNet Aus
Horizontal Datum : Cadastral Vide SP142293
Contour Interval : 0.25m, 1.0m Index
Co-ord System : Arbitrary

WARNING
LOCATION AND CONNECTIVITY OF UG SERVICES SHOWN HEREON HAVE BEEN DETERMINED BY DIRECT ACCESS OR COMPILED FROM LOCAL AUTHORITY AND SERVICE PROVIDER PLANS ONLY. FURTHER INVESTIGATION MAY BE REQUIRED TO DETERMINE LOCATIONS OF ALL INACCESSIBLE SERVICES.

REVISION	Issue	Date	Details	Authorized
A	18-12-2023	Initial Issue		RJFK

CREATED
capricornsurveygroup.com.au
SURVEYING & PLANNING SOLUTIONS
07 4627 5199 | reception@capricornsurvey.com.au | 152 Victoria Parade, Rockhampton QLD 4700

SCALE
1:200 @ A1

DRAWING NUMBER
9194-01-DTL (1/1)

ISSUE
A

PRELIM
DATE: 31/10/24
06
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP FOR OASIS CHURCH AT 5-7 FRASER STREET PARK AVENUE

this drawing
Detailed Surveyor's Plan

Rufus
Design Group
STYLE · QUALITY · INNOVATION

MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC.
Licensed under the QBCC Act Lic No. 11802886
Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

PROJECT NUMBER
231008 - 02

PROJECT
MANAGER: DJWebb
DRAWN: DJWebb
CHKD:

WIND SPEED
C1

PLAN SIZE:
A1

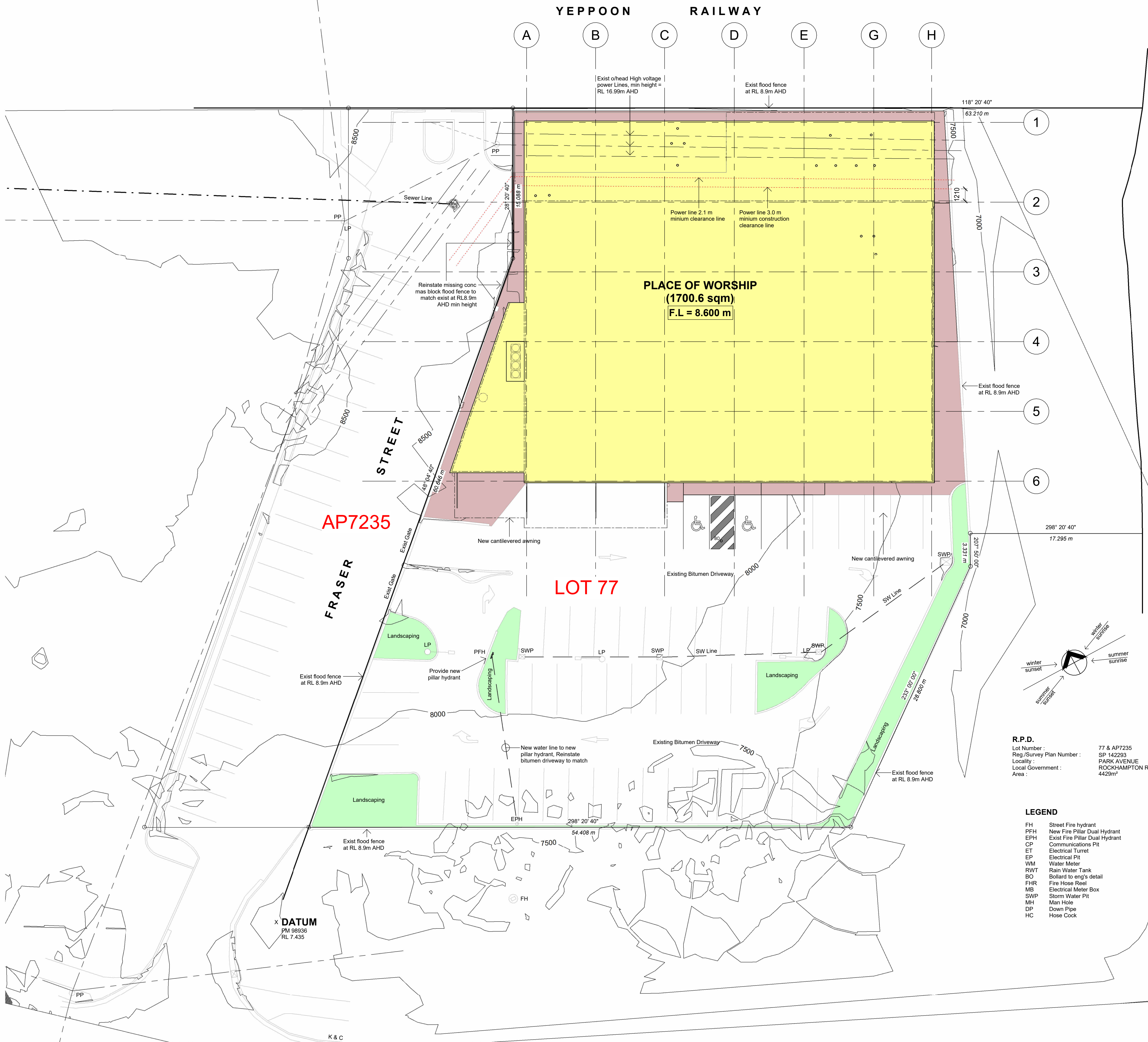
REVISION
SHEET 02 OF 14 SHEETS

PROJECT NUMBER
231008 - 02

REVISION
SHEET 02 OF 14 SHEETS

PRINT DATE : 31/10/2024 2:57:51 PM

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24



Site Analysis

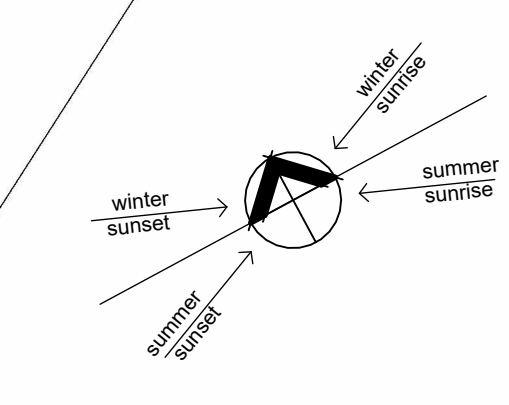
Existing Floor Area	=	1780 sqm (demolished)
Proposed Floor Area	=	1695.5 sqm
Total Building Footprint Area	=	1571.4 sqm
Total Site Coverage	=	35.5 %
Total Landscaped Area Required	=	2m to frontages
Total Landscaped Area Provided	=	198.7 sqm
Total Site Area	=	4429.0 sqm

Car Parking

Car parking spaces required	=	77 (existing)
Total car spaces provided	=	77 (existing)

Driveways

Existing concrete driveway area	=	1614.0 sqm
New concrete driveway area	=	236.5 sqm
Total driveway area	=	1850.5 sqm



R.P.D.
Lot Number : 77 & AP7235
Reg./Survey Plan Number : SP 142293
Locality : PARK AVENUE
Local Government : ROCKHAMPTON RC
Area : 4429m²

PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

Rufus Design Group
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Lic No. 1180286
Telephone 61 7 49289011
E-mail mailbox@rufusdesigngroup.com

this drawing Site Features Plan		PROJECT NUMBER 231008 - 03	
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	SHEET 03 OF 14 SHEETS	
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	REVISION 1	
CHKD :			

1 Site Features Plan
1 : 200

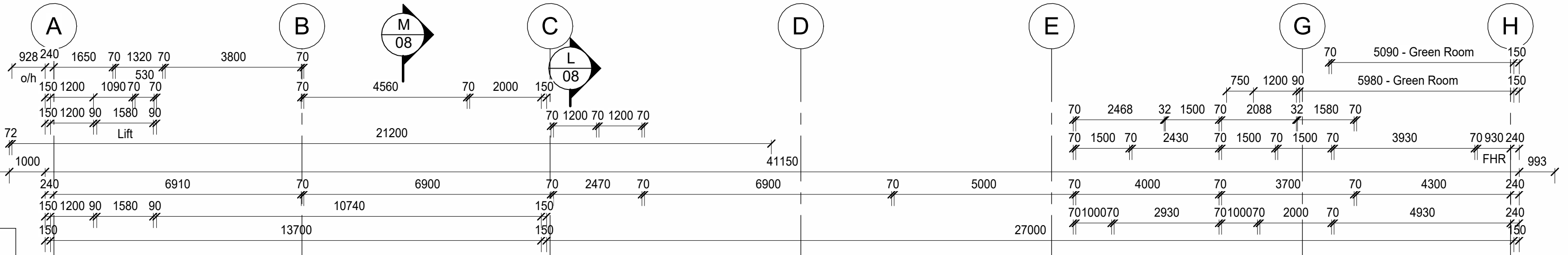
Window Legend

- 1218 - 1200 high x 1800 wide
 - XO - Sliding / Fixed
 - X - Sliding
 - O - Fixed
 - D - Double Hung
 - A - Awning
 - CMT - Casement
 - L - Louvre
 - FG - Fixed Glass
 - GSW - Gas Strut Window
- Glazing to wet areas to be obscure
Refer to EE table for remainder of Glazing

Number of People Accommodated

Venue is licensed for 750 people maximum
- 500 max seating capacity in Auditorium
- 250 max to remainder of premises

THRESHOLDS :
TO BE IN ACCORDANCE WITH AS 1428.1 "ACCESS FOR THE DISABLED", (MAX. STEP 5mm, THRESHOLD RAMP - MAX SLOPE 1 IN 8 FOR UP TO 35mm RISE, STEP RAMP - MAX SLOPE 1 IN 10 FOR UP TO 150mm RISE).



Floor Areas	
First Floor	129.2 m ²
Ground Floor	129.2 m ²
Kitchen & Cafe	77.6 m ²
Stage & Back Stage Area	224.8 m ²
Ancillary Rooms & Amenities	283.4 m ²
Public Hall	437.8 m ²
Auditorium 01	547.8 m ²
Grand total	1571.4 m ²

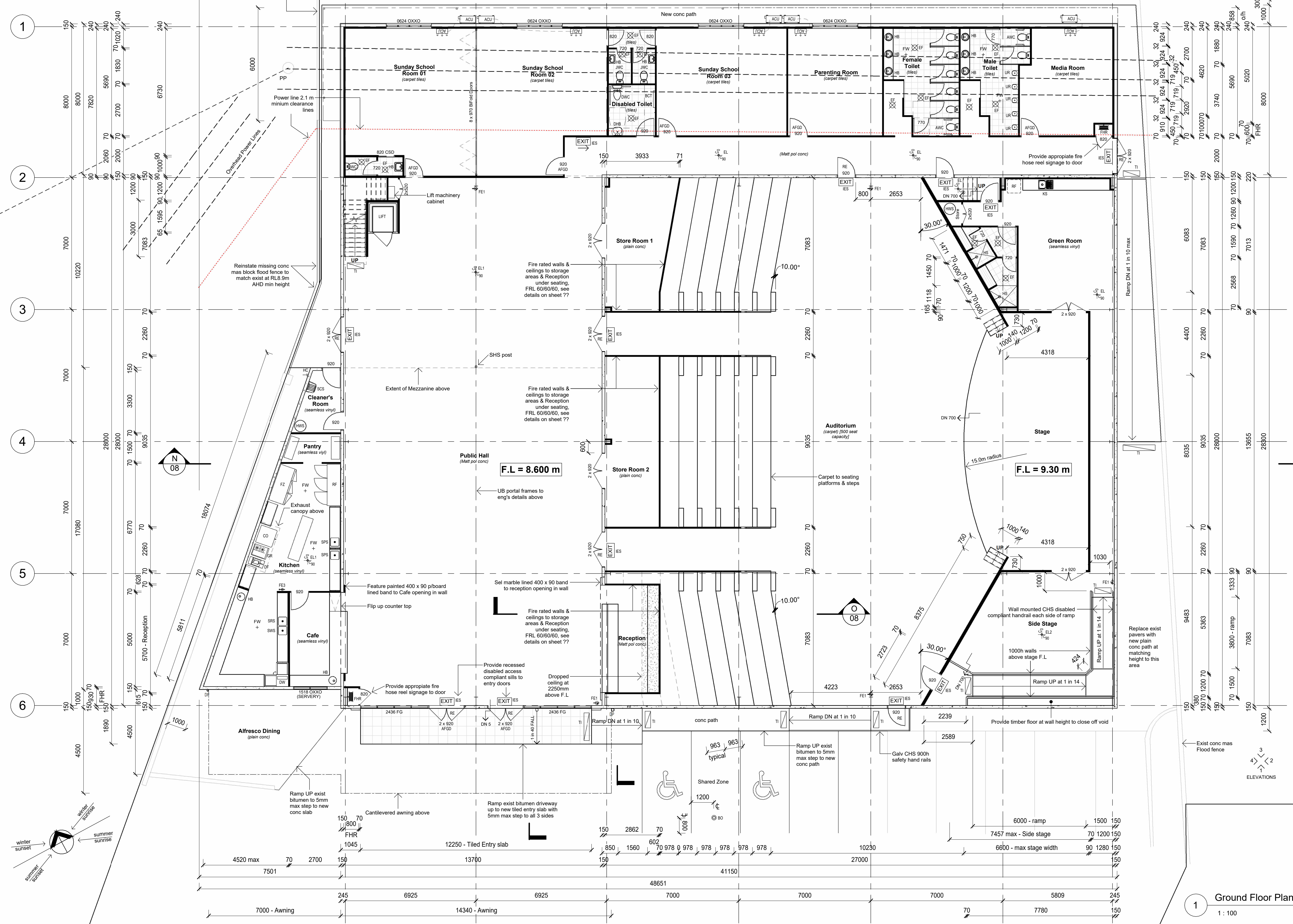
REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24

PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION

Energy Efficiency Details	
Roof Colour	Light
Wall Colour	Dark
Roof Insulation	R1.8 Anticon Blanket
Ceiling Insulation	R2.5 Batts
Wall Insulation	R1.0 Batts
Floor Insulation	R1.0 Batts to mezzanine only
Solar Power	5 kW system
Hot Water Unit	Electric instantaneous
Glazing	Alum framed, single, tinted
Floor Finishes	Refer to plan

Plan Legend

- 1200 CF 1200mm dia Ceiling Fan
- ACU Air Conditioner Unit
- AFGD Alum Framed Glass Door
- AWC Ambulant compliant Toilet
- BCT Wall mounted folding Baby change table
- BO Bollard
- CC Ceiling Cassette
- CO Convection Oven
- DF Deep Fryer
- DHB Disabled compliant Hand Basin
- DP Down Pipe
- DW Dishwasher
- DWC Disabled compliant Toilet
- EF Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
- EL Emergency Light in accord. with AS 2293.1 at 2700mm mount height above F.L.
- EL1 Emergency Light in accord. with AS 2293.1 at 3000mm mount height above F.L.
- EL2 Emergency Light in accord. with AS 2293.1 at 6500mm mount height above F.L.
- EL3 Emergency Light in accord. with AS 2293.1 at 7000mm mount height above F.L.
- FE1 9kg water fire extinguisher (rating: 2A)
- FE3 2.27kg carbon dioxide fire extinguisher (rating: 2B(E))
- FHR 36m Fire Hose Reel in accord. with AS 1221 and AS 2441 (for fire fighting purposes)
- FW Floor Waste
- FZ Freezer
- GR 600 x 800 gas Griddle
- HB Hand Basin with cold only over
- HC Hose Cock
- HS Hobless Shower
- HWS Electric Hot Water System
- IES Illuminated Exit Sign
- JWC Junior Toilet
- KS Kitchen Sink
- LIFT 1100 x 1400 min Passenger Lift in accord with AS 1735.12 & complying with NCC E3
- MH Man Hole
- RE Required EXIT with lever action escape latch
- RF Refrigerator
- SA Photoelectric Smoke Alarm
- SCS S/steel Cleaner's Sink with grate and hot & cold over
- SPS S/steel Prep Sink with hot & cold over
- SRS S/steel Rinse Sink with hot & cold over
- SWS S/steel Wash Up Sink with hot & cold over
- TI Tactile Indicator in accord with AS 1428.4
- UR Urinal



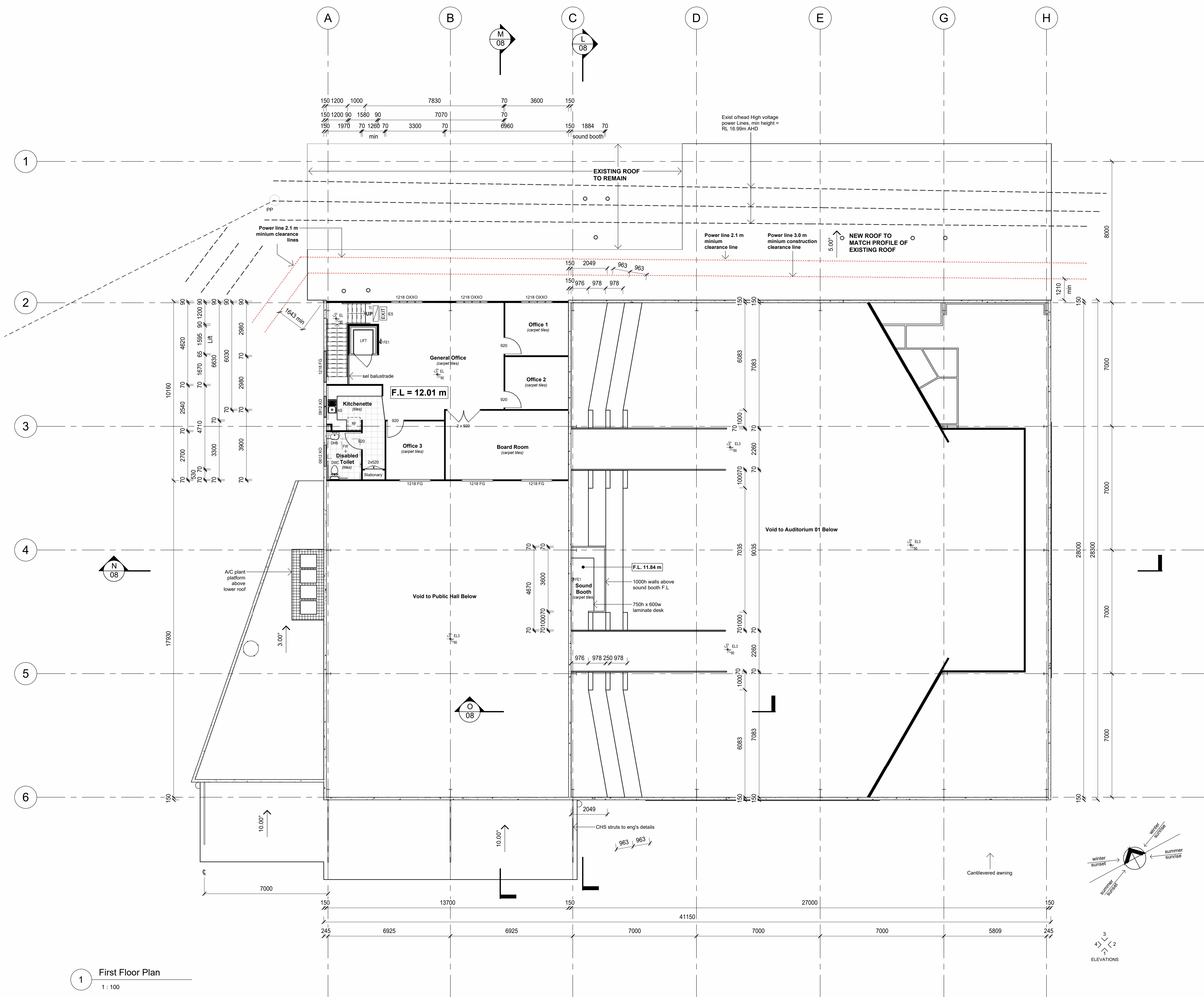
PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

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Licenced under the QBCC Lic No. 1180286
Telephone 61 7 49289011
E-mail mailbox@rufusdesigngroup.com

Ground Floor Plan			
PROJECT MANAGER	WIND SPEED	C1	PROJECT NUMBER
DRAWN	PLAN SIZE	A1	231008 - 04
CHKD			SHEET 04 OF 14 SHEETS
			REVISION 1

Ground Floor Plan
1 : 100

REVISIONS		
NO.	DESCRIPTION	DATE
1	Concept Floor Plans	12/02/24



Plan Legend	
1200 CF	1200mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AWC	Ambulant compliant Toilet
BCT	Wall mounted folding Baby change table
BO	Bollard
CC	Ceiling Cassette
CO	Convection Oven
DF	Deep Fryer
DHB	Disabled compliant Hand Basin
DP	Down Pipe
DW	Dishwasher
DWC	Disabled compliant Toilet
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
EL	Emergency Light in accord. with AS 2293.1 at 2700mm mount height above F.L.
EL1	Emergency Light in accord. with AS 2293.1 at 3000mm mount height above F.L.
EL2	Emergency Light in accord. with AS 2293.1 at 6500mm mount height above F.L.
EL3	Emergency Light in accord. with AS 2293.1 at 7000mm mount height above F.L.
FE1	9kg water fire extinguisher (rating: 2A)
FE3	2.27kg carbon dioxide fire extinguisher (rating: 2B:(E))
FHR	36m Fire Hose Reel in accord. with AS 1221 and AS 2441 (for fire fighting purposes)
FW	Floor Waste
FZ	Freezer
GR	600 x 800 gas Griddle
HB	Hand Basin with cold only over
HC	Hose Cock
HS	Hobless Shower
HWS	Electric Hot Water System
IES	Illuminated Exit Sign
JWC	Junior Toilet
KS	Kitchen Sink
LIFT	1100 x 1400 min Passenger Lift in accord with AS 1735.12 & complying with NCC E3
MH	Man Hole
RE	Required EXIT with lever action escape latch
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SCS	S/steel Cleaner's Sink with grate and hot & cold over
SPS	S/steel Prep Sink with hot & cold over
SRS	S/steel Rinse Sink with hot & cold over
SWS	S/steel Wash Up Sink with hot & cold over
TI	Tactile Indicator in accord with AS 1428.4
UR	Urinal

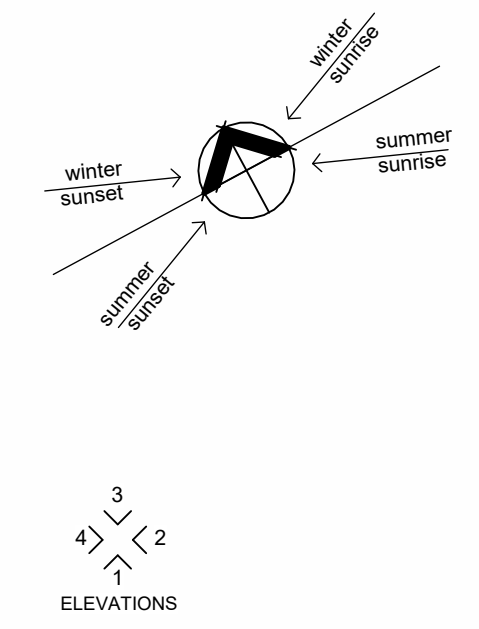
Floor Areas	
First Floor	
First Floor	129.2 m ²
Grand total	129.2 m ²
Ground Floor	
Kitchen & Cafe	77.6 m ²
Stage & Back Stage Area	224.8 m ²
Ancillary Rooms & Amenities	283.4 m ²
Public Hall	437.8 m ²
Auditorium 01	547.8 m ²
Grand total	1571.4 m ²
	1700.6 m ²

PRELIM 06
 DATE: 31/10/24
 NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

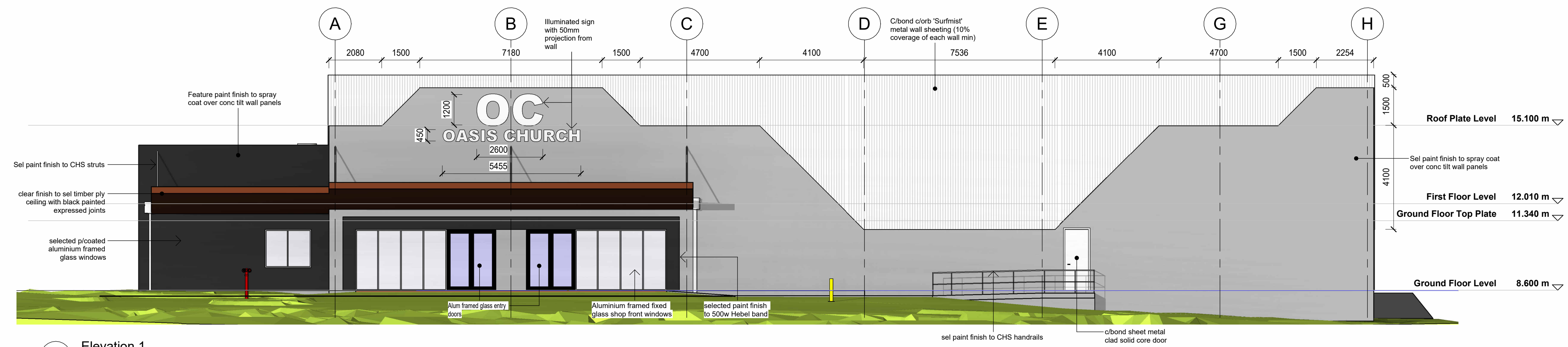
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 Telephone 61 7 49289011
 E-mail mailbox@rufusdesigngroup.com

this drawing		First Floor Plan	
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 05
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	SHEET 05 OF 14 SHEETS	REVISION 1
CHKD :			

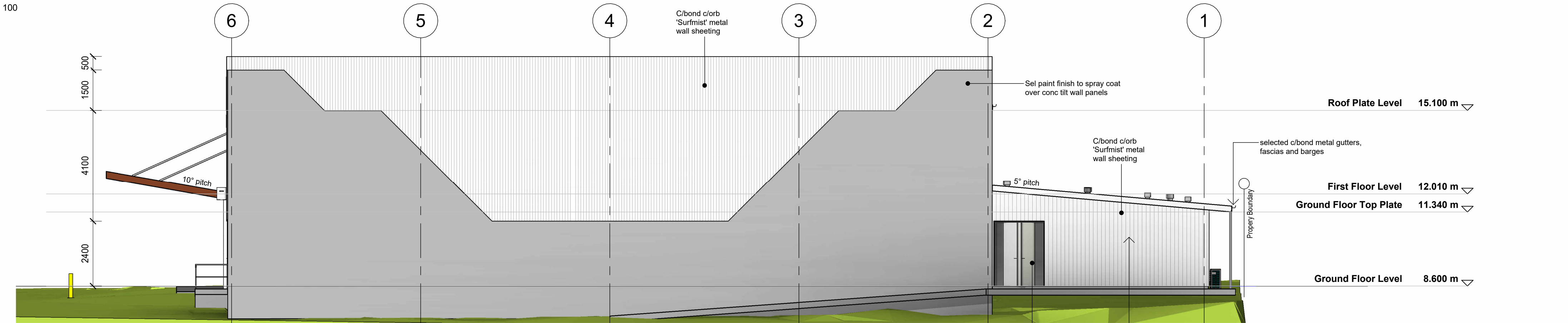


1 First Floor Plan
 1 : 100

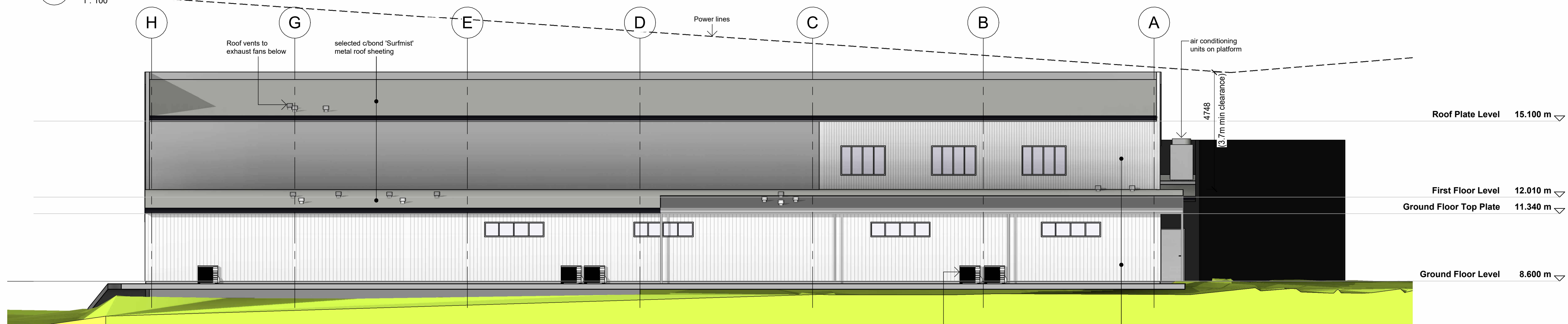
REVISIONS		
NO.	DESCRIPTION	DATE



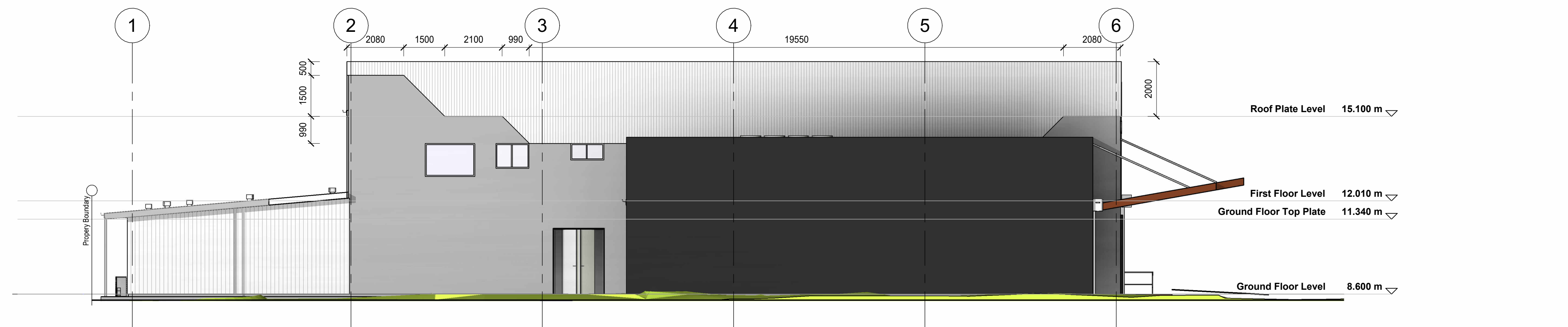
1 Elevation 1
1: 100



2 Elevation 2
1: 100



3 Elevation 3
1: 100



4 Elevation 4
1: 100

PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION

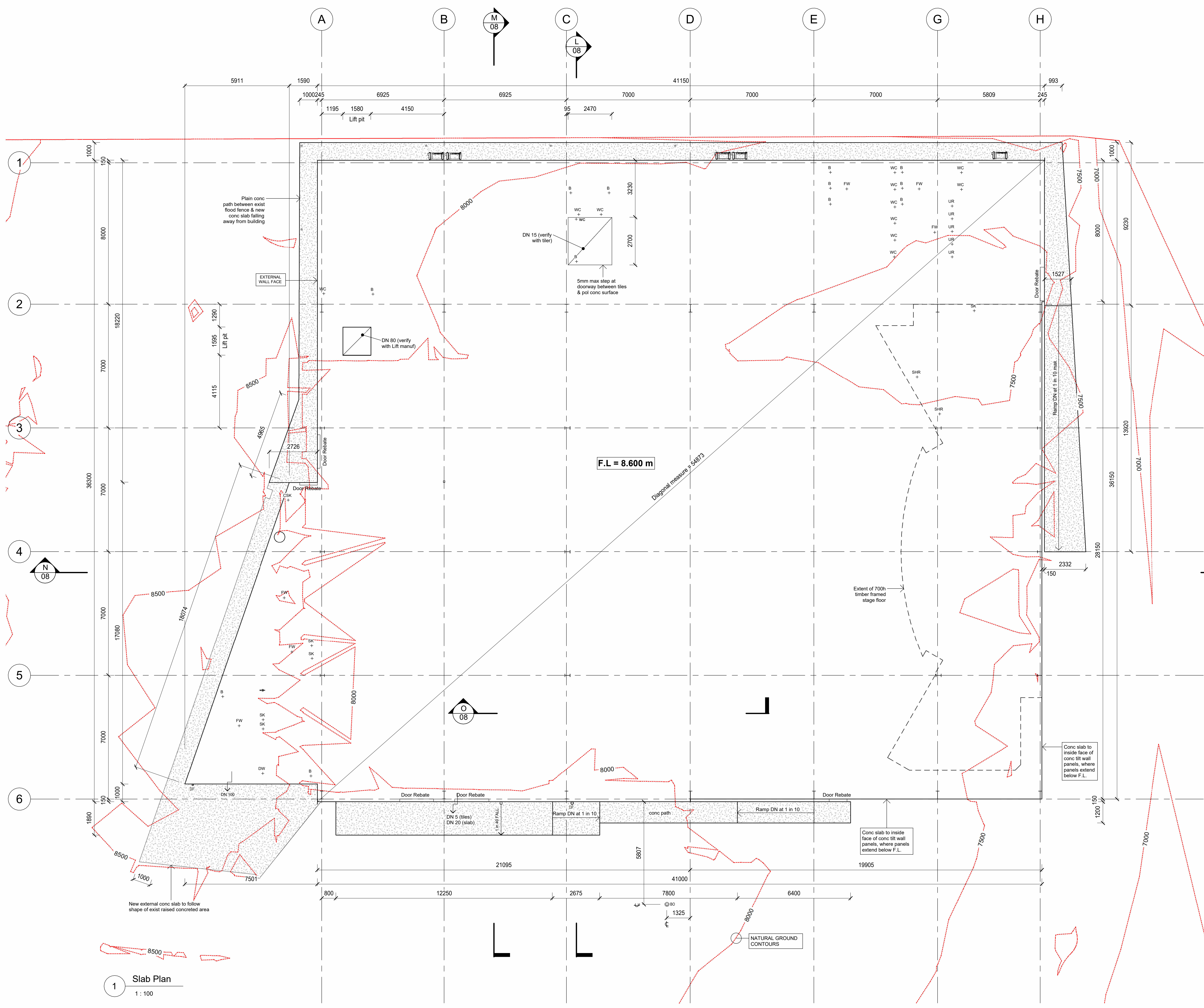
PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

Rufus Design Group
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ASSOC. OF QLD INC.
Telephone 61 7 49289011
E-mail mailbox@rufusdesigngroup.com

this drawing Elevations			
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 231008	- 06
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	SHEET 06 OF 14 SHEETS	REVISION
CHKD :			

REVISIONS		
NO.	DESCRIPTION	DATE

PRELIM
 DATE: 31/10/24
06
 NOT FOR CONSTRUCTION



- Plumbing Abbreviations :**
- B : Basin
 - BTH : Bath
 - CSK : Cleaners Sink
 - DF : Drinking Fountain
 - DW : Dishwasher
 - FW : Floor Waste
 - FWG : Floor Waste Gully
 - HWU : Hot Water Unit
 - IC : Inspection Opening
 - IO : Inspection Chamber
 - MH : Manhole
 - ORG : Overflow Relief Gully
 - SHR : Shower
 - SK : Sink
 - SW : Stormwater
 - SWP : Storm Water Pit
 - LT : Laundry Tub
 - TD : Tundish
 - UR : Urinal
 - VP : Vent Pipe
 - WC : Water Closet
 - WM : Washing Machine

PROPOSED PLACE OF WORSHIP
 FOR OASIS CHURCH
 AT 5-7 FRASER STREET
 PARK AVENUE

Rufus Design Group
 BUILDING DESIGNERS
 ASSOC. OF QLD INC.
 Lic No. 1180286
 Telephone 61 7 49289011
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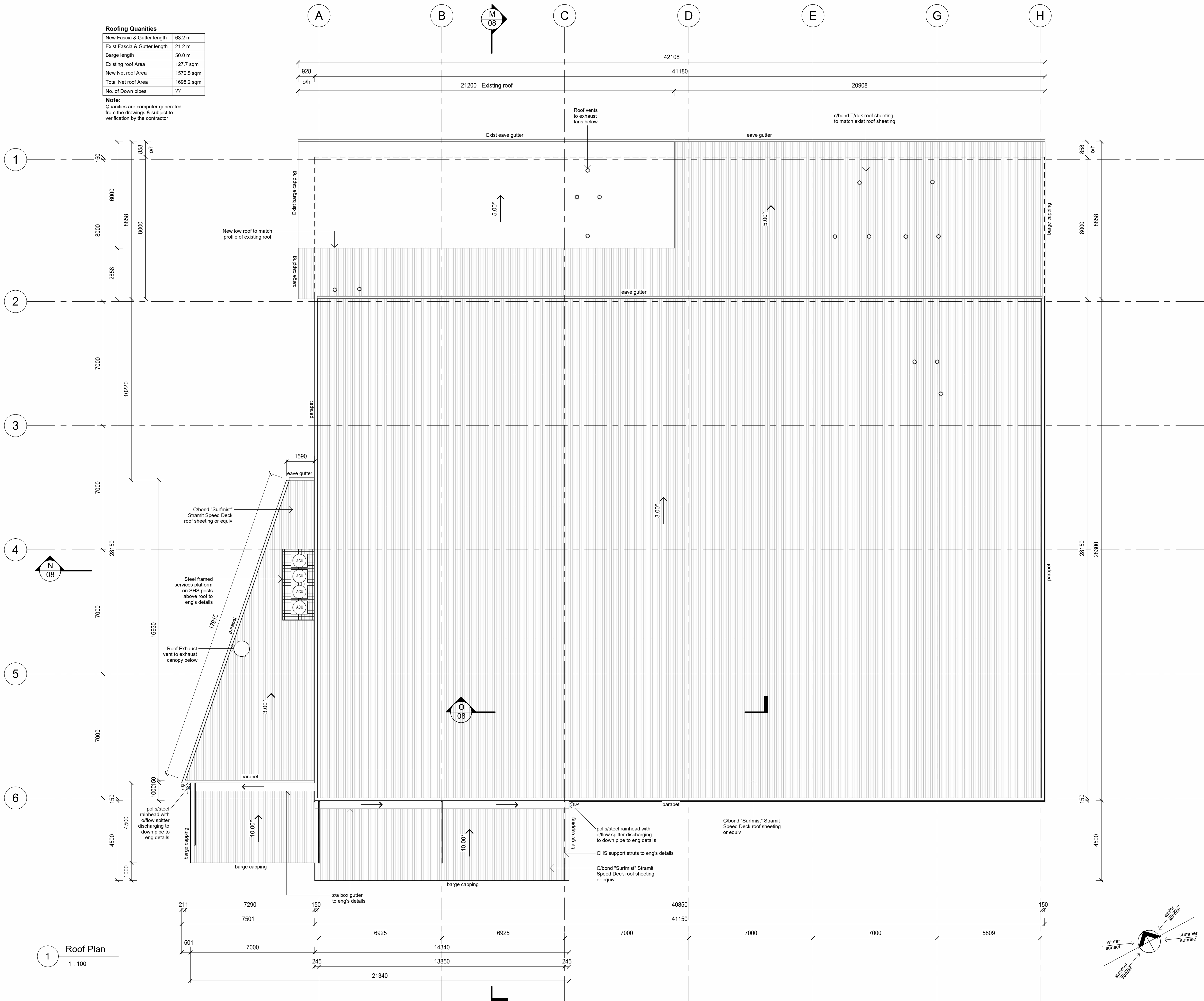
this drawing Slab Plan		PROJECT NUMBER 231008 - 07
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	SHEET 07 OF 14 SHEETS
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	REVISION
CHKD :		

1 Slab Plan
 1 : 100

Roofing Quantities	
New Fascia & Gutter length	63.2 m
Exist Fascia & Gutter length	21.2 m
Barge length	50.0 m
Existing roof Area	127.7 sqm
New Net roof Area	1570.5 sqm
Total Net roof Area	1698.2 sqm
No. of Down pipes	??

Note:
Quantities are computer generated from the drawings & subject to verification by the contractor

REVISIONS		
NO.	DESCRIPTION	DATE



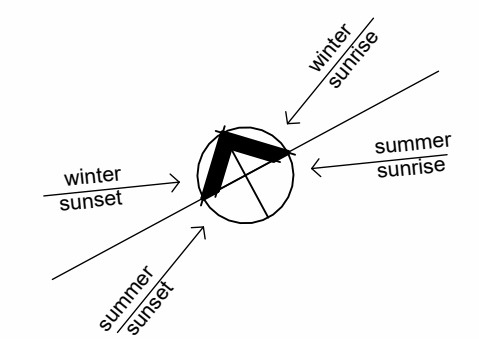
1 Roof Plan
1 : 100

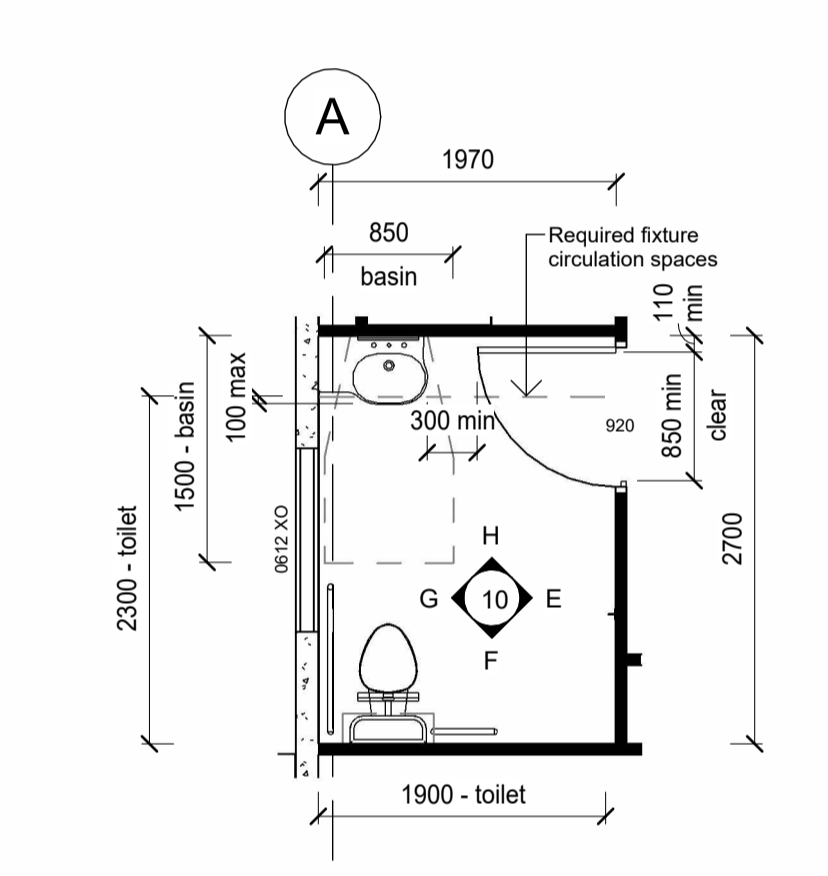
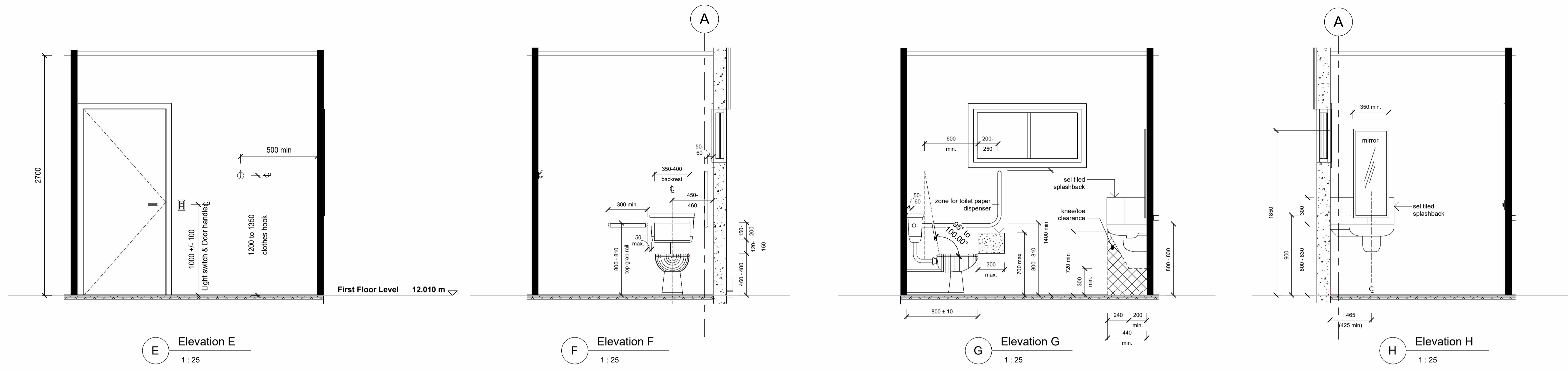
PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

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MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC. Lic No. 1180286
Telephone 61 7 49289011
E-mail mailbox@rufusdesigngroup.com

this drawing Roof Plan		PROJECT NUMBER 231008 - 09
PROJECT MANAGER : <i>D. Webb</i>	WIND SPEED : C1	SHEET 09 OF 14 SHEETS
DRAWN : <i>D. Webb</i>	PLAN SIZE : A1	REVISION
CHKD :		

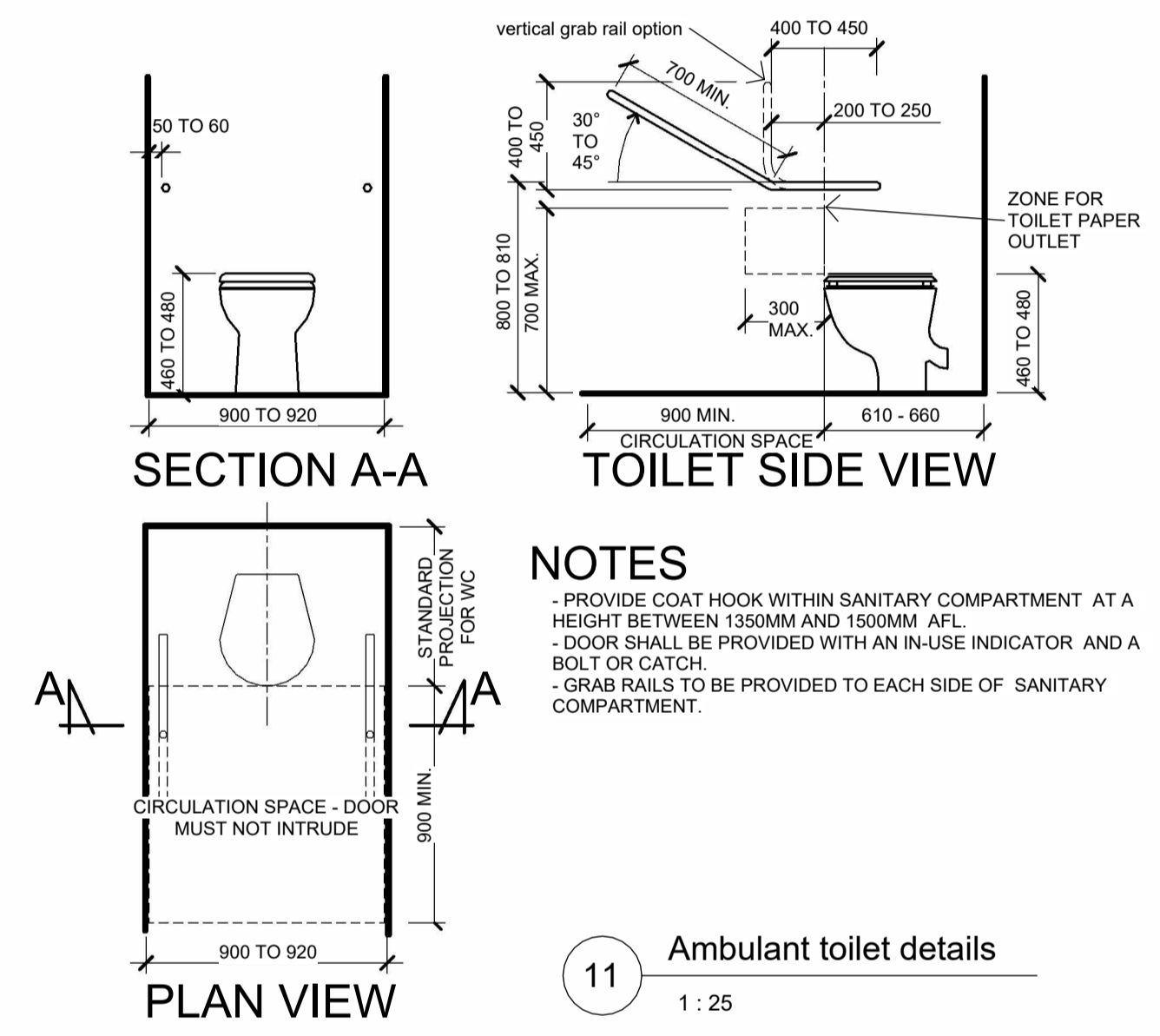
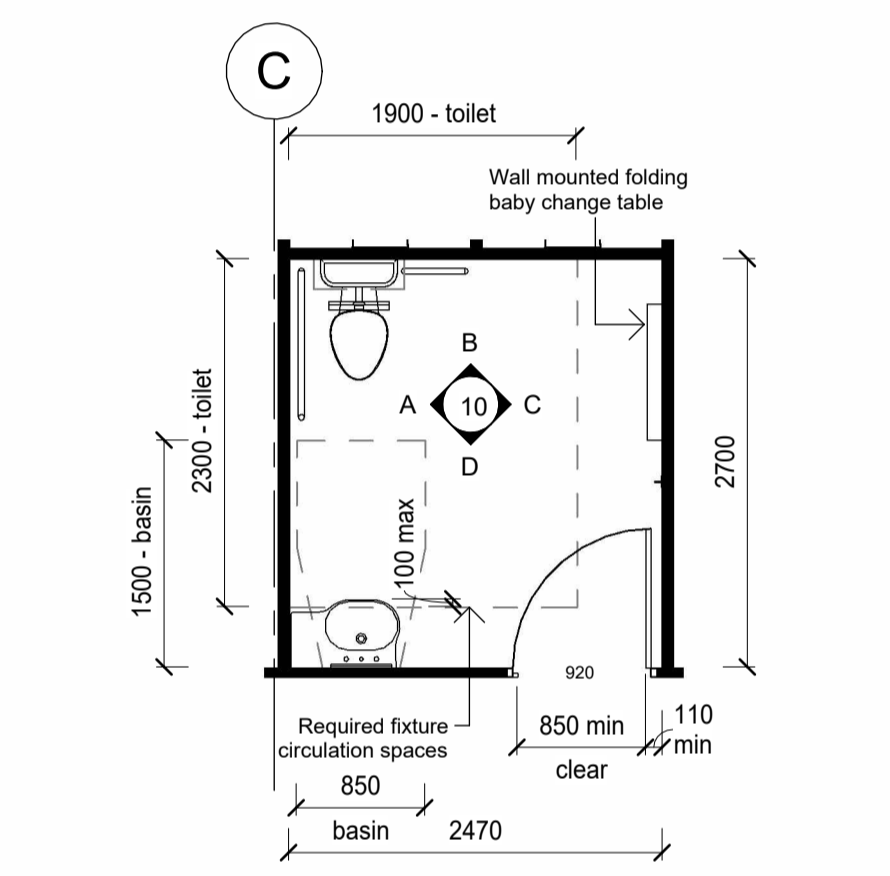




Disabled Amenities
All fixtures and fittings to be installed in accordance with AS 1428.1-2009. (see attached diagrams)
Basin to be Caroma "Oval 720 or Flora 500" or equivalent. Waste pipe to be positioned clear of under basin circulation spaces.
Pedestal to be Caroma Care "Trident" with "Colani" seat and Caroma "Sveigen 2000" China.
Cistern with screwed down lid, (or equivalent)
Tapware to be quarter turn ceramic pillar cock with extended lever action handle.
Light Switch and paper dispenser to be positioned in the zones shown.
Door Handle to be lever action.

Amenities Identification
Provide braille signage to the external face of entrance doors to all amenities in accordance with AS. 1428.1

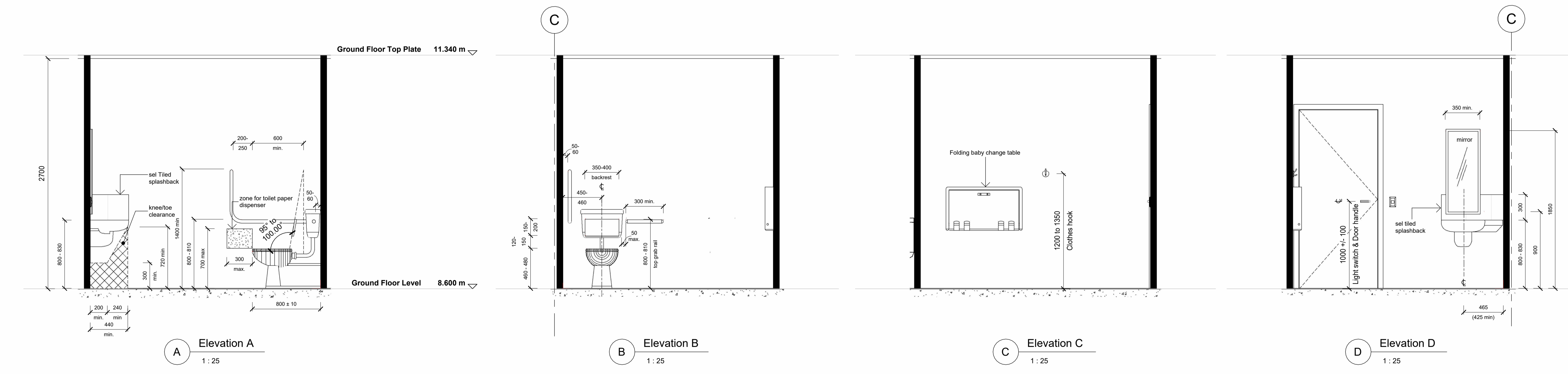
ALL DIMENSIONS THIS SHEET TO FACE OF WALL FINISHES



NOTES

- PROVIDE COAT HOOK WITHIN SANITARY COMPARTMENT AT A HEIGHT BETWEEN 1350MM AND 1500MM AFL
- DOOR SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH.
- GRAB RAILS TO BE PROVIDED TO EACH SIDE OF SANITARY COMPARTMENT.

PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION



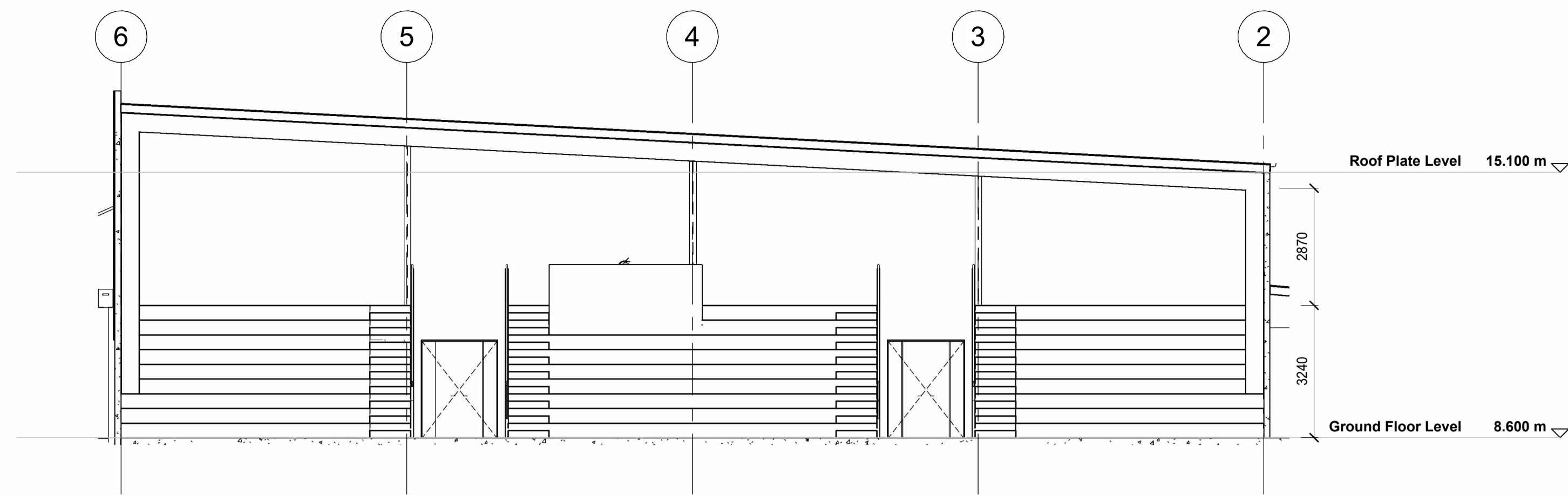
NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP FOR OASIS CHURCH AT 5-7 FRASER STREET PARK AVENUE

this drawing
Disabled Toilet Details

Rufus Design Group
MEMBER UNDER THE QBCC ACT LIC. No. 1180286
Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 231008 - 10
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 10 OF 14 SHEETS
CHKD: <i>D Webb</i>	REVISION	REVISION



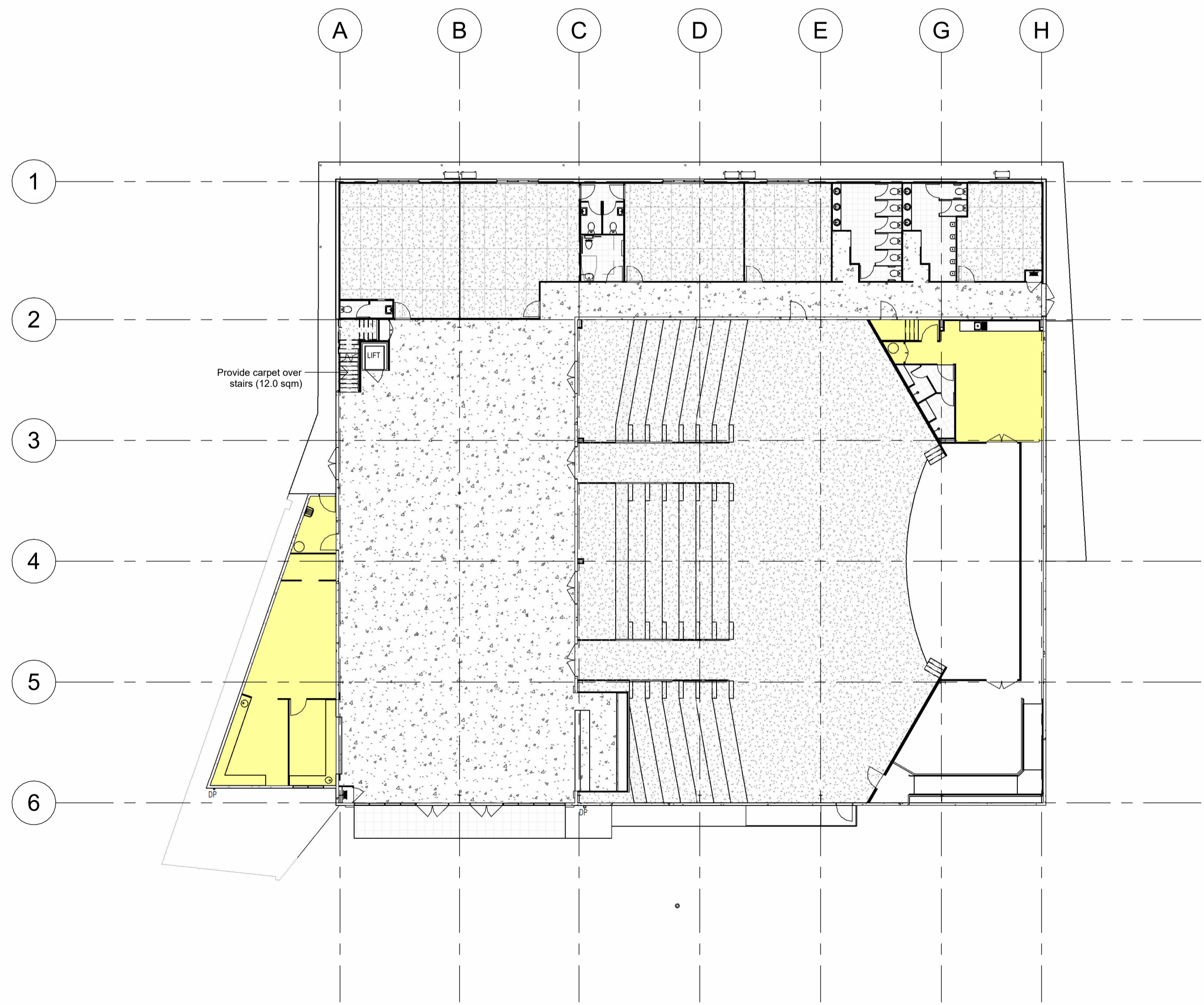
3 Auditorium Seating Elevation
1:100

Ground Floor Floor covering Legend

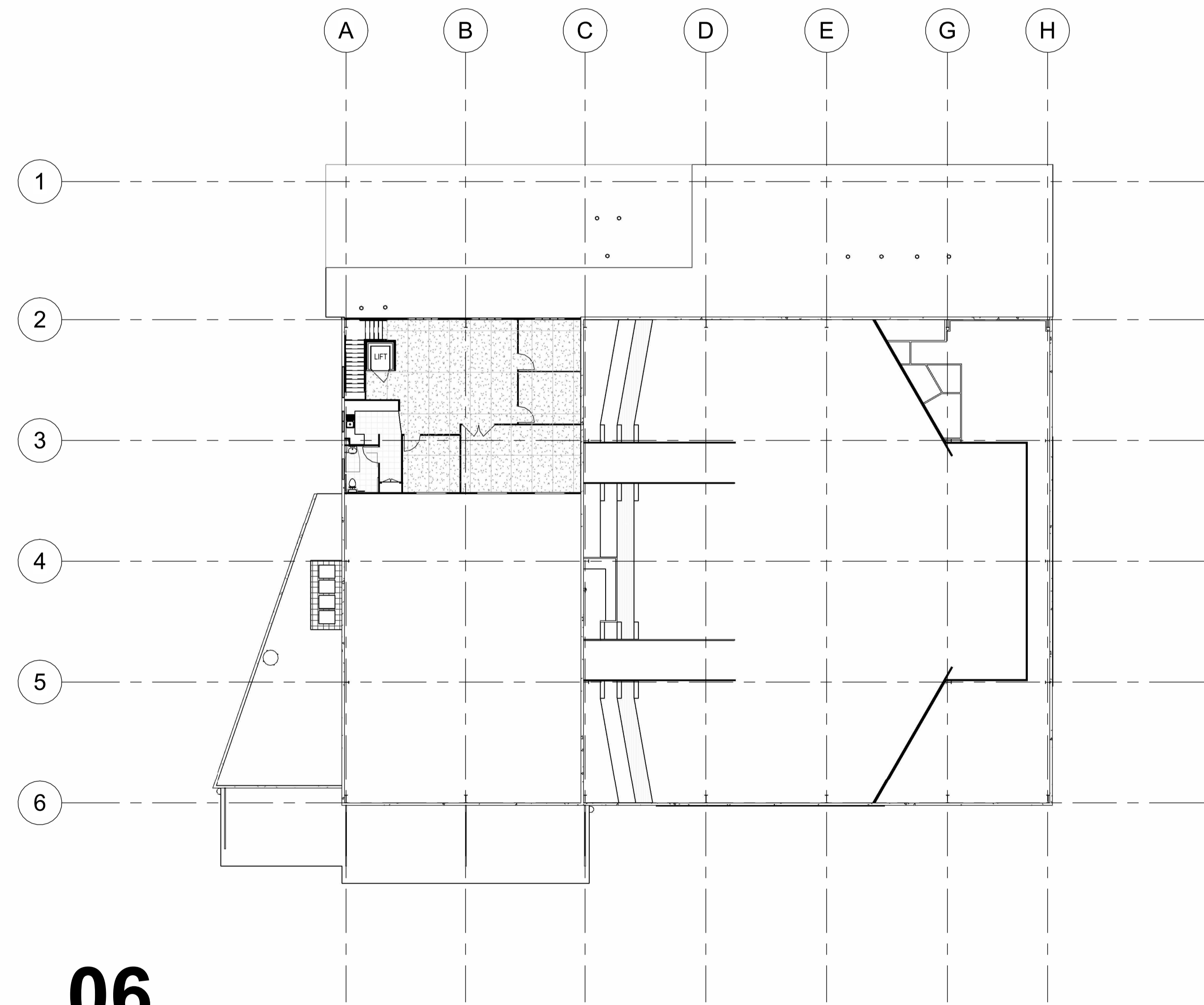
- Matt clear epoxy coating over polished concrete slab (451.1 sqm)
 - Selected ceramic floor tiles (83.9 sqm)
R10 slip rating internal
R12 slip rating external
 - Selected carpet (539.2 sqm, plan view only)
Critical radiant flux = 2.2 kW/sqm
 - Selected carpet tiles (194.5 sqm)
Critical radiant flux = 2.2 kW/sqm
 - Selected seamless vinyl (117.1 sqm)
Critical radiant flux = 2.2 kW/sqm
- STAGE & SIDE STAGE FLOORING??

First Floor Floor covering Legend

- Selected ceramic floor tiles (13.1 sqm)
R10 slip rating
- Selected carpet tiles (109.4 sqm)
Critical radiant flux = 2.2 kW/sqm



1 Ground Floor Floor Covering Plan
1:200



2 First Floor Floor Covering Plan
1:200

PRELIM 06
DATE: 31/10/24
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED PLACE OF WORSHIP
FOR OASIS CHURCH
AT 5-7 FRASER STREET
PARK AVENUE

this drawing
Floor Finishes Plans &
Auditorium Seating
Elevation

Rufus
Design Group
STYLE · QUALITY · INNOVATION

MEMBER
BUILDING DESIGNERS
ASSOC. OF QLD INC.
Licensed
under the
QBCC Act Lic
No. 1180286
Telephone 61 7 49288011
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 231008 - 11
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 11 OF 14 SHEETS
CHKD: <i>D Webb</i>	REVISION	REVISION

31 October 2024

Rockhampton Regional Council
PO Box 1830
ROCKHAMPTON QLD 4700



ATTENTION: Sophie Muggeridge

Via Email: DevelopmentAdvice@rrc.qld.gov.au

RE: NOTICE OF INTENTION TO COMMENCE PUBLIC NOTIFICATION – D/100-2024 FOR MATERIAL CHANGE OF USE FOR A PLACE OF WORSHIP AND OPERATIONAL WORKS FOR AN ADVERTISING DEVICE (WALL SIGN) – SITUATED AT 5-7 FRASER STREET, PARK AVENUE – DESCRIBED AS LOT 77 ON SP142293 AND Lot A ON AP7235.

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on Monday 4th November 2024.

At this time, I can advise that I intend to:

Publish a notice in: **CQ Today (hardcopy version) on Saturday 2nd November 2024.**

And

Place a notice on the premises in the way prescribed under the Development Assessment Rules on **Friday 1st November 2024.**

And

Notify the owners of all lots adjoining the premises the subject of the application on **Thursday 31st October 2024.**

If you wish to discuss this matter further, please contact me details below.

Yours faithfully,

Gideon Genade
Principal Town Planner