

# PUBLIC NOTIFICATION



<b>Approval Sought:</b>	Material Change of Use
<b>Proposed Development:</b>	Multiple Dwelling (10 units) and Community Care Centre
<b>Where:</b>	13 Cavell Street, Wandal
<b>Lot Description:</b>	Lot 12 on SP320077, Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213
<b>Application Reference:</b>	D/113-2024

**Make a submission from:**

**19 December 2024 to 24 January 2025**

**You may make a submission to Rockhampton Regional Council**

PO BOX 1860, Rockhampton QLD 4700

Email: [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au)

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

For more information on planning requirements within the Rockhampton Region feel free to visit [www.rrc.qld.gov.au](http://www.rrc.qld.gov.au)



# GSPC

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**Our Ref: 241340**

**23<sup>rd</sup> August 2024**

Chief Executive Officer  
Rockhampton Regional Council  
PO Box 1860  
Rockhampton QLD 4700

**Attention: Development Assessment**

Dear Sir/Madam,

**RE: Application for Material Change of Use (MCU) for Additional Development to Community Care Centre over land described as Part of Lot 12 on SP320077, Part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, situated at 13 Cavell Street, 17 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal; respectively.**

We refer to the abovementioned proposed Material Change of Use (MCU) for Additional Development to Community Care Centre over land described as Part of Lot 12 on SP320077, Part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, situated at 13 Cavell Street, 17 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal; respectively and provide a full copy of the Development Application to Rockhampton Regional Council. This submission includes the following items:

- A full electronic copy of a Development Application with the relevant DA forms and landowner's consent.
- Please contact our Rockhampton office to provide details of payment of Council's Fees for the application.

We hope this information is satisfactory to your requirements. Please contact our Rockhampton office if you require further information.

Yours sincerely,  
**GSPC**



**Bristi Basak**  
**Urban & Regional Planner**

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) (individual or company full name)	Home Support Association Inc. A.B.N. 65 591 388 164
Contact name (only applicable for companies)	Bristi Basak / Nirmala Kumar
Postal address (P.O. Box or street address)	C/- GSPC, PO BOX 379
Suburb	Gracemere
State	QLD
Postcode	4702
Country	Australia
Contact number	(07) 4922 7033
Email address (non-mandatory)	admin@gspc.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	(07) 4922 7044
Applicant's reference number(s) (if applicable)	241340

### 1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		13	Cavell Street	Wandal
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	12	SP320077	Rockhampton Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		17	Cavell Street	Wandal
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	2	RP604752	Rockhampton Regional Council
c)	Unit No.	Street No.	Street Name and Type	Suburb
		36	Wandal Road	Wandal
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	25	RP602156	Rockhampton Regional Council
d)	Unit No.	Street No.	Street Name and Type	Suburb
		30	Wandal Road	Wandal
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	10	RP604213	Rockhampton Regional Council

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area <i>(if applicable)</i> :	
Name of port authority for tidal area <i>(if applicable)</i>	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

MCU for additional 6 Residential Units, a Staff Unit & Ancillary Structures for Home Support Inc. over Part of Lot 12 on SP320077, Part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213.

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed development are attached to the development application

### 6.3) Additional aspects of development

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

### 6.4) Is the application for State facilitated development?

Yes - Has a notice of declaration been given by the Minister?

No

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

Material change of use  Yes – complete division 1 if assessable against a local planning instrument

Reconfiguring a lot  Yes – complete division 2

Operational work  Yes – complete division 3

Building work  Yes – complete *DA Form 2 – Building work details*

## Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

### 8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Multiple dwelling	<i>Multiple dwelling</i> means a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.	6	1,294.9m <sup>2</sup>

### 8.2) Does the proposed use involve the use of existing buildings on the premises?

Yes

No

### 8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

Yes – provide details below or include details in a schedule to this development application

No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

## Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

### 9.1) What is the total number of existing lots making up the premises?

--

**9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

**10) Subdivision**

**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

**10.2) Will the subdivision be staged?**

Yes – provide additional details below  
 No

How many stages will the works include? \_\_\_\_\_

What stage(s) will this development application apply to? \_\_\_\_\_

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

\_\_\_\_\_

**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

**Note:** This division is only required to be completed if any part of the development application involves operational work.

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
<b>14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)</b>	
\$	

## PART 4 – ASSESSMENT MANAGER DETAILS

<b>15) Identify the assessment manager(s) who will be assessing this development application</b>
Rockhampton Regional Council
<b>16) Has the local government agreed to apply a superseded planning scheme for this development application?</b>
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

## PART 5 – REFERRAL DETAILS

<b>17) Does this development application include any aspects that have any referral requirements?</b>
<b>Note:</b> A development application will require referral if prescribed by the Planning Regulation 2017.
<input type="checkbox"/> No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6
<b>Matters requiring referral to the Chief Executive of the <i>Planning Act 2016</i>:</b> <input type="checkbox"/> Clearing native vegetation <input type="checkbox"/> Contaminated land ( <i>unexploded ordnance</i> ) <input type="checkbox"/> Environmentally relevant activities (ERA) ( <i>only if the ERA has not been devolved to a local government</i> ) <input type="checkbox"/> Fisheries – aquaculture <input type="checkbox"/> Fisheries – declared fish habitat area <input type="checkbox"/> Fisheries – marine plants <input type="checkbox"/> Fisheries – waterway barrier works <input type="checkbox"/> Hazardous chemical facilities <input type="checkbox"/> Heritage places – Queensland heritage place ( <i>on or near a Queensland heritage place</i> ) <input type="checkbox"/> Infrastructure-related referrals – designated premises <input type="checkbox"/> Infrastructure-related referrals – state transport infrastructure <input checked="" type="checkbox"/> Infrastructure-related referrals – State transport corridor and future State transport corridor <input type="checkbox"/> Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels <input type="checkbox"/> Infrastructure-related referrals – near a state-controlled road intersection <input type="checkbox"/> Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas <input type="checkbox"/> Koala habitat in SEQ region – key resource areas <input type="checkbox"/> Ports – Brisbane core port land – near a State transport corridor or future State transport corridor <input type="checkbox"/> Ports – Brisbane core port land – environmentally relevant activity (ERA) <input type="checkbox"/> Ports – Brisbane core port land – tidal works or work in a coastal management district <input type="checkbox"/> Ports – Brisbane core port land – hazardous chemical facility <input type="checkbox"/> Ports – Brisbane core port land – taking or interfering with water <input type="checkbox"/> Ports – Brisbane core port land – referable dams <input type="checkbox"/> Ports – Brisbane core port land – fisheries <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits ( <i>below high-water mark</i> ) <input type="checkbox"/> SEQ development area <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ rural living area – community activity <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation <input type="checkbox"/> SEQ regional landscape and rural production area or SEQ rural living area – urban activity



- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material *(from a watercourse or lake)*
- Water-related development – referable dams
- Water-related development – levees *(category 3 levees only)*
- Wetland protection area

**Matters requiring referral to the local government:**

- Airport land
- Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- Heritage places – Local heritage places

**Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:**

- Infrastructure-related referrals – Electricity infrastructure

**Matters requiring referral to:**

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

**Matters requiring referral to the Brisbane City Council:**

- Ports – Brisbane core port land

**Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:**

- Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- Ports – Strategic port land

**Matters requiring referral to the relevant port operator, if applicant is not port operator:**

- Ports – Land within Port of Brisbane’s port limits *(below high-water mark)*

**Matters requiring referral to the Chief Executive of the relevant port authority:**

- Ports – Land within limits of another port *(below high-water mark)*

**Matters requiring referral to the Gold Coast Waterways Authority:**

- Tidal works or work in a coastal management district *(in Gold Coast waters)*

**Matters requiring referral to the Queensland Fire and Emergency Service:**

- Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	D/24-2020	11/6/20	Rockhampton Regional Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

### 23) Further legislative requirements

#### Environmentally relevant activities

#### 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
 No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### **Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

Yes – the development application involves premises in the koala habitat area in the koala priority area

Yes – the development application involves premises in the koala habitat area outside the koala priority area

No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district?**

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title
- No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
- No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places.

*For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.*

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

**Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

**PART 8 – CHECKLIST AND APPLICANT DECLARATION**

**24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17  Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application  Yes  
 Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application  Yes

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Relevant plans of the development are attached to this development application  Yes

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)  Yes  
 Not applicable

**25) Applicant declaration**

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website. Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

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# **Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre**

over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, situated at 13 Cavell Street, 17 Cavell Street, 15 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal; respectively.

Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164

September 2024

GSPC

Ref: 241340

## Contents

1.	Application Details and Overview .....	3
2.	Introduction .....	3
3.	Plans and Illustrations .....	5
4.	Site Features and Real Property Description .....	5
5.	Certificates and Titles .....	7
5.1	Easements .....	7
5.1	Site Area and Shape .....	7
6.	Proposed Development .....	7
6.1	Existing and Proposed Use of Land .....	7
6.2	Urban Services & Infrastructure .....	8
7	Local Planning Instrument .....	8
7.1	Planning Act (PA) 2016 .....	8
7.1.1	Level of Assessment .....	8
7.1.2	Public Notification .....	9
7.1.3	Referral .....	9
7.2	State Planning Requirements .....	9
7.2.1	State Planning Policy (SPP) 2017 .....	9
8	Rockhampton Region Planning Scheme (2015) .....	10
8.1	Strategic Framework .....	10
8.2	Zoning .....	15
8.3	Surrounding Zoning of Land .....	15
8.4	Applicable Overlays .....	16
8.5	Relevant Planning Scheme Codes .....	19
9	Summary .....	19

### **Appendix A – Assessment against the Rockhampton Region Planning Scheme (2015)**

- Addressing Low-medium density residential zone code
- Addressing Access, parking and transport code
- Addressing Landscape code
- Addressing Stormwater management code
- Addressing Waste management code
- Addressing Water and sewer code
- Addressing Works Code

### **Appendix B – Proposal Plans**

### **Appendix C – Site Information**

### **Appendix D – Site Mapping**

### **Appendix E – Stormwater Management Strategy Report**

### **Appendix F – State code 1: Development in a state-controlled road environment**



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

## 1. APPLICATION DETAILS AND OVERVIEW

<b>Proposed Development:</b>	Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre
<b>Site Address:</b>	13 Cavell Street, 17 Cavell Street, 15 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal
<b>Real Property Description:</b>	Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213
<b>Existing Site Area:</b>	3693m <sup>2</sup> , 732m <sup>2</sup> , 732m <sup>2</sup> , 1095m <sup>2</sup> and 826m <sup>2</sup>
<b>Assessment Manager:</b>	Rockhampton Region Council
<b>Owner/Applicant Details:</b>	Home Support Association INC. A.B.N. 65 591 388 164
<b>Referral Agency</b>	A state referral may be required for this development

### PLANNING INSTRUMENT DETAILS

<b>Local Government &amp; Planning Scheme:</b>	Rockhampton Region Planning Scheme (2015)
<b>Zone:</b>	Low density residential zone
<b>Level of Assessment:</b>	Impact Assessment
<b>Applicable Overlay Codes:</b>	<ul style="list-style-type: none"> <li>• Acid Sulfate Soils - Above 5m and below 20m AHD</li> <li>• Airport Light Restriction Zone - Buffer 6km</li> <li>• Airport Light Restriction Zone - Zone C</li> <li>• Airport Light Restriction Zone - Zone D</li> <li>• Airport Obstacle - Height Limit 20m</li> <li>• Airport Wildlife Hazard Buffer Area - 3km</li> <li>• Property is within Sewer Supply Planning Area</li> <li>• Property is within Water Supply Planning Area</li> <li>• Road Hierarchy Overlay - State Controlled Road</li> <li>• Transport Noise Corridor - Main Roads Cat 0</li> <li>• Transport Noise Corridor - Main Roads Cat 1</li> </ul>
<b>State Planning Policy</b>	<p><b>NATURAL HAZARDS RISK AND RESILIENCE</b></p> <ul style="list-style-type: none"> <li>- Flood hazard area - Level 1 - Queensland floodplain assessment overlay</li> <li>- Flood hazard area - Local Government flood mapping area</li> </ul> <p><b>STRATEGIC AIRPORTS AND AVIATION FACILITIES</b></p> <ul style="list-style-type: none"> <li>- Obstacle limitation surface area</li> <li>- Light restriction zone</li> <li>- Lighting area buffer 6km</li> <li>- Wildlife hazard buffer zone</li> </ul>
<b>Zone Code</b>	<ul style="list-style-type: none"> <li>• Low density residential zone code</li> </ul>
<b>Development Codes</b>	<ul style="list-style-type: none"> <li>• Access, parking and transport code;</li> <li>• Landscape code;</li> <li>• Stormwater management code;</li> <li>• Waste management code;</li> <li>• Water and sewer code; and</li> <li>• Works Code</li> </ul>
<b>State Codes</b>	<ul style="list-style-type: none"> <li>• State code 1: Development in a state-controlled road environment</li> </ul>
<b>Referral Agency</b>	A State referral may be required for this development
<b>Primary Contact</b>	Gracemere Surveying and Planning Consultants Pty Ltd (GSPC)

## 2. INTRODUCTION

The proponent, Home Support Association (HSA), is proposing Multiple Dwelling and Extension of community care centre over lands described as Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, situated at 13 Cavell Street, 17 Cavell Street, 15 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal; respectively. The Subject is situated

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

within the Low density residential zone, where multi-units development near state controlled road and extension of community care centre is an Impact assessable development.

Home Support Association (HSA) is a non profit organisation. In order to support life skills care for people with disabilities in the community as well as accommodation services, HSA is looking to expand its community facilities with six (6) additional units & a staff accommodation unit along Wandal Road, a gazebo extension, a new storage shed, covered area and three (3) future units along Cavell Street. This is due to the rapid need in growth of the NDIS and community use facilities. As a result, proposed housing units and staff accommodation unit are necessary for the community. The proposed 10 additional housing units shall go some way to alleviate the national housing crisis as well. In the proposed multiple dwelling units, people with disability can live independently. The proposed staff unit will be used for support for cooking, personal care, packaging and living purposes of caretaker in case of emergency from 6:00 pm to 6:00 am. The new storage shed shall be used for keeping washing machines, storage purposes of records and general storage.

The proposed development has been phased into 2 stages. Stage 1 may be implemented first; however, approval is sought for insequential manner, to allow for flexibility of development. The proposed stages of the development are as follows:

Stage 1: Six (6) additional units, a staff unit, a gazebo extension, a new storage shed, covered area;

Stage 2: Three (3) future units

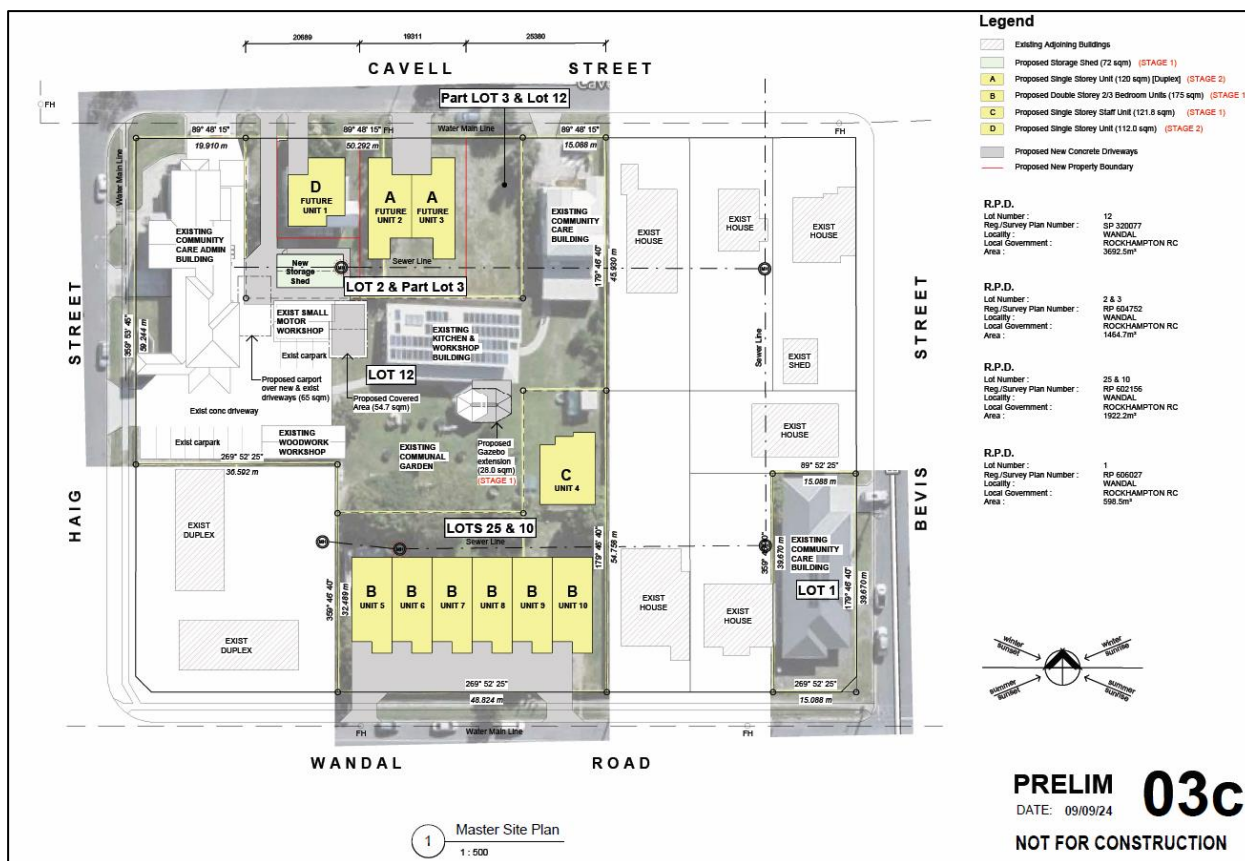


Figure 1: Proposed staging Plan (Rufus Design Group Plan; ref: 230704-01)

HSA's goal is to consolidate the organization at this site, which is close to all necessary services and amenities, is the perfect place to offer community support. It will contribute significantly to the use of the Neighbourhood Centre's services. Due to severe shortage of housing Australia wide and in community care facilities, this proposal seeks to value add to this community service, whilst also providing additional housing for people with disability.

The purpose of this report is to describe the site and the proposed Multiple Dwelling and Extension of the community care centre and address the relevant planning codes in respect of the proposed development. This report should be read in conjunction with the accompanying Development

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Application (DA) Form 1 and proposed additional development Plan prepared by Rufus Design Group. Other relevant plans and site information are attached within the Appendices of this submission.

### 3. PLANS AND ILLUSTRATIONS

In support of this application and proposal, the following documents are attached as Appendices:

Appendices	Document / Plan / Report
<b>Appendix A</b> – Assessment against the Rockhampton Region Planning Scheme (2015)	<ul style="list-style-type: none"> <li>Addressing Low density residential zone code;</li> <li>Addressing Access, parking and transport code;</li> <li>Addressing Landscape code;</li> <li>Addressing Stormwater management code;</li> <li>Addressing Waste management code;</li> <li>Addressing Water and sewer code; and</li> <li>Addressing Works Code.</li> </ul>
<b>Appendix B</b> – Proposal Plan	<ul style="list-style-type: none"> <li>Proposed plans of Additional Development for community care centre by Rufus Design Group.</li> </ul>
<b>Appendix C</b> – Site Information	<ul style="list-style-type: none"> <li>Current Title Searches;</li> <li>Smart Map;</li> <li>QLD Globe; and</li> <li>Copy of Survey Plans SP320077, RP604752, RP602156 and RP604213</li> </ul>
<b>Appendix D</b> – Site Mapping	<ul style="list-style-type: none"> <li>Council’s Services and Contours map;</li> <li>SARA DA Mapping;</li> <li>State Planning Policy Mapping;</li> <li>Ergon Energy Services plan;</li> <li>NBN Plans; and</li> <li>Telstra Plans.</li> </ul>
<b>Appendix E</b> - Stormwater Management Report	<ul style="list-style-type: none"> <li>Stormwater Management Strategy Report prepared by GSPC.</li> </ul>
<b>Appendix F</b> - State Codes	<ul style="list-style-type: none"> <li>State code 1: Development in a state-controlled road environment</li> </ul>

### 4. SITE FEATURES AND REAL PROPERTY DESCRIPTION

Proposed Site Setout Plan & Site Features Plan of proposed development is shown on Proposed Additional Development for Community Care Centre Plans from Rufus Design Group Plan Ref: 230704 -03 in **Appendix B** of this Report.

Real property descriptions is described below:

- Lot 12 on SP320077- 3693m<sup>2</sup>
- Lot 2 on RP604752- 732m<sup>2</sup>
- Lot 3 on RP604752- 732m<sup>2</sup>
- Lot 25 on RP602156 - 1095m<sup>2</sup>
- Lot 10 on RP604213- 826m<sup>2</sup>

**Table 1** – Site Characteristics

SITE CHARACTERISTICS	DESCRIPTION
<b>EXISTING ZONE</b>	The site is in Low density residential Zone.
<b>EXISTING LAND USE</b>	Existing use of Lot 12 on SP320077 is Community Care Admin building, Kitchen and workshop building, Communal garden & Ancillary Offices. Lot 25 on RP602156 has a shed, Lot 10 has a chicken coop and Lot 2 is

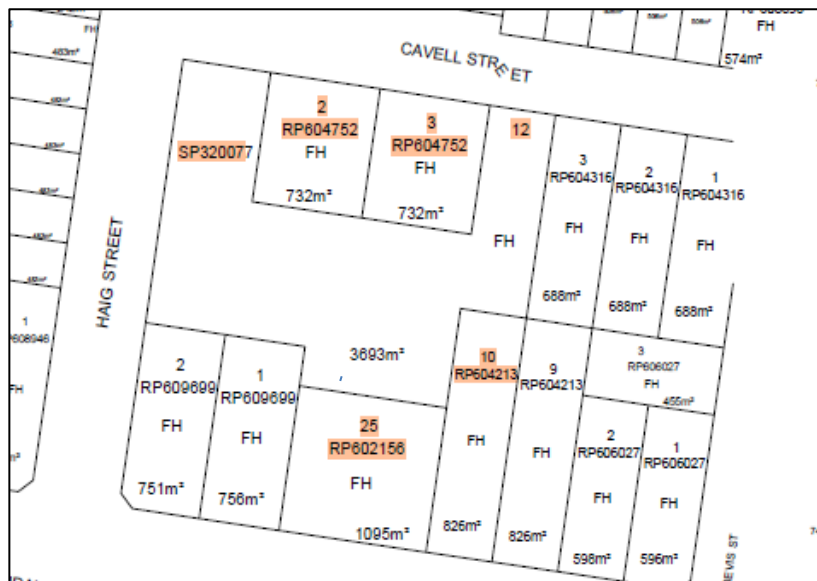
Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

	currently vacant. Please refer to <b>Figures 2 - QLD Globe image</b> of the allotments.
<b>FRONTAGE AND ACCESS</b>	Proposed access & frontage for the 6 dwelling units within Lot 25 on RP602156 and Lot 10 on RP604213 shall be from Wandal Road, and the access for staff unit within Lot 10 on RP604213 and the proposed storage shed within Lot 2 on RP604752, shall be from Cavell Street.

The following images depict the existing subject site in aerial and allotment mapping views:



**Figure 2:** QLD Globe image showing 13 Cavell Street, Wandal



**Figure 3:** An extract of the SmartMap showing 13 Cavell Street, Wandal

## 5. CERTIFICATES AND TITLES

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The subject allotments are owned by Home Support Association Inc.

Copies of Current Title Searches are in **Appendix C** of this Submission.

### 5.1 Easements

There are no existing easements on Site as shown in the attached SmartMap within **Appendix C** of this submission.

### 5.1 Site Area and Shape

The Lot is quadrilateral in shape. Area of the Lots are as follows:

- Lot 12 on SP320077- 3693m<sup>2</sup>
- Lot 2 on RP604752- 732m<sup>2</sup>
- Lot 3 on RP604752- 732m<sup>2</sup>
- Lot 25 on RP602156 - 1095m<sup>2</sup>
- Lot 10 on RP604213- 826m<sup>2</sup>

## 6. PROPOSED DEVELOPMENT

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### 6.1 Existing and Proposed Use of Land

The Existing use of Lot 12 on SP320077 is Community Care Admin building, Kitchen and workshop building, Communal garden & Ancillary Offices. Lot 25 on RP602156 has a shed, Lot 10 has a chicken coop and Lot 2 is currently vacant. Please refer to **Figure 2** - QLD Globe image of the allotment and **Appendix C**.

The Applicant proposes to further develop part of the site, fronting Wandal Road by providing for 6 additional residential units; a staff accommodation unit, a gazebo extension, a new storage shed, covered area and three (3) future units with access from between Wandal Road and Cavell Street.

The existing use of the building is for community care centre in a low density residential zone and the Multiple Dwelling and Extension of community care centre is considered to be Impact Assessable development against the *Rockhampton Region Planning scheme 2015*. Surrounding land is identified within low density residential zone under the current *Rockhampton Region Planning scheme 2015*. An assessment against the Codes have been undertaken and attached in **Appendix A** of this submission.

The proposed additional development of community care centre is expected to act as a well needed driver for economic growth in the Rockhampton region by providing employment opportunity to local residents. It is expected that the proposal can provide employment opportunities to support people with disability -support staff, clerks, receptionists, and other necessary support personnel.

**Table 2** – Development aspects for Proposed additional development

SITE CHARACTERISTICS	DESCRIPTION
Site access	The proposed Multiple Dwelling units have driveway access from Wandal Road, which is a State Controlled road. Please refer to the Site Setout Plan & Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The access for the proposed Staff Unit shall be from Cavell Street.

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<b>Proposed Development</b>	<p>Additional Development of Community Care Centre over-</p> <ul style="list-style-type: none"> <li>• Lot 12 on SP320077- 3693m<sup>2</sup></li> <li>• Lot 2 on RP604752- 732m<sup>2</sup></li> <li>• Lot 3 on RP604752- 732m<sup>2</sup></li> <li>• Lot 25 on RP602156 - 1095m<sup>2</sup></li> <li>• Lot 10 on RP604213- 826m<sup>2</sup></li> </ul>
<b>Infrastructure</b>	<p>The proposed Multiple Dwelling and Extension of Community Care Centre is connected to the Council's reticulated water supply system and reticulated sewer system. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b>. The site is facilitated by all urban infrastructure services such as Telstra, NBN and Ergon services. Please refer to <b>Appendix D</b> for site information maps. A stormwater management strategy report has been prepared by GSPC, and attached in <b>Appendix E</b> of this submission.</p>

## 6.2 Urban Services & Infrastructure

**Water** – There are existing water supply infrastructure services available to the subject land from Cavell Street & Wandal Road and is proposed to service the facilities. Please refer to Council's Contour and Services plan in **Appendix D** of this submission.

**Sewer** – The site has existing reticulated sewer infrastructure services available to the subject land. Please refer to the Contour and Services plan in **Appendix D** of this submission.

**Electricity & Telecommunication** – Telstra, NBN and Ergon energy connections are available to the site. Please refer to Telstra, NBN and Ergon Energy maps in **Appendix D** of this submission.

**Stormwater** – The proposed development currently has lawful point of discharge available to Wandal Street and also to Cavell Street and stormwater discharge strategies are discussed in Stormwater Management Report prepared by GSPC. Please refer to **Appendix E** of this submission.

## 7 LOCAL PLANNING INSTRUMENT

### 7.1 Planning Act (PA) 2016

The PA 2016 is the statutory instrument for the State of Queensland under which development applications are assessed by local and state government.

The proposal involves the Multiple Dwelling and Extension of Community Care Centre requiring an Impact Assessable Development Application to be lodged with Rockhampton Regional Council.

#### 7.1.1 Level of Assessment

The assessable development of this application is Impact assessment. In accordance with Section 45 (5) of the PA 2006:

*An impact assessment is an assessment that-*

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

(a) must be carried out—

(i) against the assessment benchmarks in a categorising instrument for the development; and

(ii) having regard to any matters prescribed by regulation for this subparagraph; and

(b) may be carried out against, or having regard to, any other relevant matter, other than a person's personal circumstances, financial or otherwise.

Examples of another relevant matter—

- a planning need
- the current relevance of the assessment benchmarks in the light of changed circumstances
- whether assessment benchmarks or other prescribed matters were based on material errors

This application includes an assessment against relevant assessment benchmarks in **Appendix A**.

## 7.1.2 Public Notification

Section 53(1) of the Planning Act (PA) 2016 states:

*An applicant must give notice of a development application if:*

(a) any part of the application requires impact assessment; or

(b) the application includes a variation request

The application requires **Impact assessment** and therefore notice of the application is required to be published under Section 53(1) of the PA2016.

## 7.1.3 Referral

Under Section 54(2) of the PA2016:

(2) A referral agency, for a development application, is:

(a) the person prescribed by regulation as a referral agency for applications of that type; or

(b) if that person's functions have been devolved or delegated to another person—the other person; or

(c) if the Minister has decided that a person is a referral agency under section 48(6)—that person.

Part 4, Section 22(1) of the Planning Regulation states that:

(1) Schedules 9 and 10 prescribe:

(a) for section 54(2)(a) of the Act, the referral agency for the development applications stated in the schedules.

The proposed development has frontage to State Controlled Road. Therefore, this application may need to be referred to SARA for further assessment.

## 7.2 State Planning Requirements

### 7.2.1 State Planning Policy (SPP) 2017

The SPP was released on 3 July 2017. It is a state planning instrument made under Chapter 2 Part 2, Section 10 of the PA2016.

The SPP outlines 17 state interests that must be considered in every planning scheme across Queensland. These state interests are arranged under five broad themes:

- livable communities and housing
- economic growth
- environment and heritage

## Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

- safety and resilience to hazards
- infrastructure.

As prescribed in Section 26(2)(a)(ii) of the Planning Regulation, the SPP represents an assessment benchmark and the assessment manager must have regard to SPP's, if it is not identified and addressed in the planning scheme.

The proposed development is to be assessed under the *Rockhampton Region Planning Scheme 2015*, and as such the proposal will be assessed against the assessment benchmarks in the SPP to the extent of any inconsistency (as set out by Section 8 of Act).

The SPP Interactive Mapping System (IMS) indicates that the subject site is located within the following overlays; refer to the Figure 4 –

- (a) Safety and resilience to hazards – Flood hazard area - (the site is not located in Council's Flood Hazard area, therefore, further assessment is not required).
- (b) Infrastructure – Obstacle limitation surface area, Light restriction zone, Lighting area buffer 6km and Wildlife hazard buffer zone (assessment against this matter has been provided in **(section 8.3** of this report).

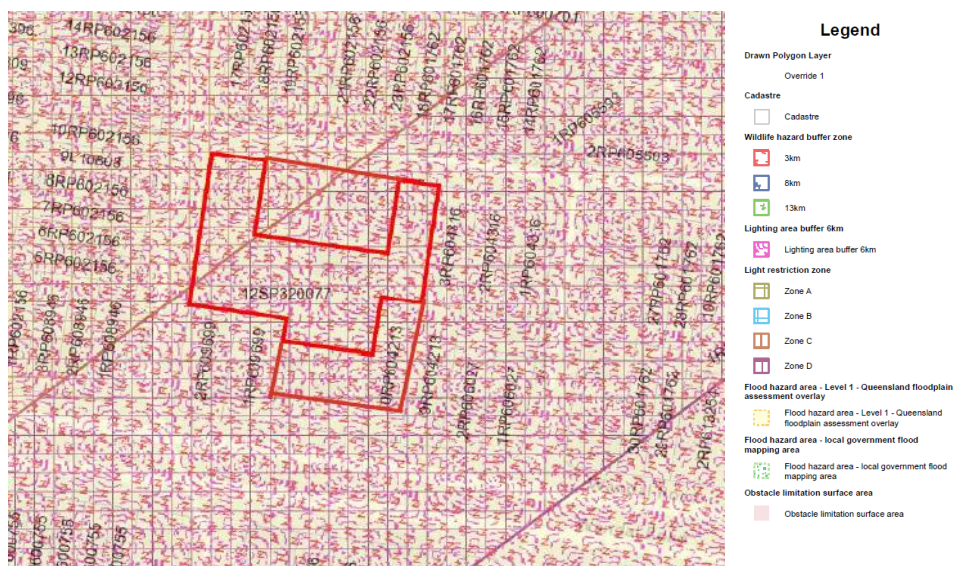


Figure 4. Extract of State interest (Source: SPP IMS)

## 8 ROCKHAMPTON REGION PLANNING SCHEME (2015)

### 8.1 Strategic Framework

#### 8.1.1 Settlement pattern

- (1) *The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions. Sufficient land has been allocated for residential, commercial, industrial and community uses to meet the needs of the region for at least twenty-five (25) years.*

**Proposal complies.** The Status Quo of the existing pattern of settlement is maintained by this proposal, as follows:



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

- (a) Cavell Street- 3 units are proposed over Lot 2 & Lot 3 on RP604752 totalling an area of 1,464 m<sup>2</sup> along Cavell Street, considering that dual occupancy is acceptable development in low density residential zone, this amounts to 1 unit per 488m<sup>2</sup>, which more than complies with the intent for the low density, residential zone, being 1 unit per 400m<sup>2</sup>;
- (b) Wandal Road- Lots 25 & 10 comprising of 1921m<sup>2</sup> are proposed to house 7 units; and in consideration of Council's intent to create 300m<sup>2</sup> allotments to tackle the nation wide housing shortage, the proposed 7 units would be over 274m<sup>2</sup> of land, per unit.

Moreover, proposed housing units and staff accommodation unit are necessary for the community; and the 10 additional housing units shall go some way to alleviate the national housing crisis as well. It is also noted that the proposal is for residential use in a designated residential zone.

- (2) *Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.*

**Proposal complies.** The proposed development of Multiple dwelling units is in urban areas shown on the strategic framework maps SFM-2 to SFM-3.

- (3) *Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.*

**N/A.** The proposal is not for urban development in Mount Morgan.

- (4) *Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.*

**Proposal complies.** The proposed development of Multiple dwelling units is contained in & around the established Community Care Centre and it will contribute significantly to the use of the Neighbourhood Centre's services. Due to severe shortage of housing Australia wide and in community care facilities, this proposal seeks to value add to this community service, whilst also providing additional housing for people with disability.

- (5) *Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.*

**N/A.** The proposal is not for industrial areas or centres.

- (6) *Future urban areas and future industrial areas are the preferred location for greenfield development beyond 2026.*

**N/A.** The proposal is not for future urban & industrial areas.

- (7) *The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services*

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

*and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.*

**Proposal complies.** The proposal is for housing people with disability, in 'independent living' environment; thereby providing for diversity in the range of housing to satisfy prevailing needs. Due to the severe shortage of housing Australia wide and in community care facilities, this proposal seeks to value add to this community service, whilst also providing additional housing for people with disability.

*(8) Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.*

**Proposal complies.** The proposal is for urban infill, close to the Wandal Centre, and is serviced by public transport along Wandal Road.

*(9) The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character of the area and buildings are oriented to the street and public places. Development is undertaken in accordance with urban design principles.*

**Proposal complies.** Please refer to plans from Rufus Design Group contained in **Appendix B** of this submission.

*(10) Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.*

**N/A.** The proposal is not for 'Centre,' however, it meets the needs of the residential community of people with disability and is well connected by the public transport network.

*(11) Centres are based on a hierarchy that ensures the scale and form of development is appropriate to the location, and that the centres' roles and functions are appropriate within the wider planning scheme area.*

**N/A.** The proposal is not for any Centre.

*(12) Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.*

**N/A.** The proposal is not for a local Centre.

*(13) An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.*

**N/A.** The proposal does not affect the open space network and is not located within higher density areas; and is serviced by landscape (open space) areas of 705m<sup>2</sup>.

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

*(14) The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.*

**N/A.** The proposal does not affect industrial & specific use areas.

*(15) Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.*

**N/A.** The proposal does not affect semi-rural living.

*(16) The productive capacity of all rural land is protected.*

**N/A.** No rural land has been identified in this submission.

*(17) Rural lands and natural areas are maintained for their rural and landscape values.*

**N/A.** The proposal does not affect rural lands and natural areas.

*(18) The scenic and environmental values of areas identified as nature conservation or natural corridor link are protected.*

**N/A.** The proposal does not affect the scenic & environmental values of any areas.

*(19) The cultural heritage of Rockhampton is conserved for present and future communities.*

**N/A.** The proposal does not affect the cultural heritage of Rockhampton.

*(20) Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.*

**N/A.** The subject land is not affected by natural hazards.

### **8.1.2 Natural environment and hazards**

*(1) The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area's biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.*

*(2) Development does not create unsustainable impacts on:*

*(a) the natural functioning of floodplains;*

*(b) environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and*

*(c) the quality of water entering waterways, wetlands and local catchments.*

*(3) Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding,*

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

*bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas, particularly greenfield areas and the mitigation of risks in existing built-up areas.*

*(4) Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.*

**N/A.** The proposal does not affect the natural environment, nor is it affected by natural hazards, as the subject land is in an already, long established, built-up area.

### **8.1.3 Community identity and diversity**

*(1) The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.*

*(2) The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.*

*(3) Cultural heritage including character housing and heritage buildings are conserved and enhanced.*

*(4) Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.*

**Proposal complies.** The proposal is for Multiple Dwelling and Extension of community care centre towards achieving the intents of Items (1) & (2) above, and it has no impacts on Items (3) & (4).

### **8.1.4 Access and mobility**

*(1) Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.*

*(2) The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.*

*(3) The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.*

*(4) The safety and efficiency of transport infrastructure, including the Bruce and Capricorn highways and other state and local roads, rail, airport and seaports, are not compromised by development.*

**N/A.** The proposal is not for transport network. However, the access & frontage for the proposed 6 dwelling units is from Wandal Road, and the access for staff unit and the proposed storage shed is from Cavell Street.

### **8.1.5 Infrastructure and services**

*(1) Infrastructure and services are planned and delivered in a logical and cost-efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:*

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

- a) *efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;*
- b) *the long-term needs of the community, industry and business are met; and*
- c) *the desired standards of service in Part 4 – Local government infrastructure plan are achieved.*

**Proposal complies** – All urban infrastructure and services are already available to the subject land due to the continuing existing use of Community Care Facility over the premises.

### **8.1.6 Natural resources and economic development**

- (1) *The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.*
- (2) *The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).*
- (3) *The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.*
- (4) *Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.*
- (5) *Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.*

**Proposal complies** – Although the proposal does not affect the natural resources of the region, it is poised to provide employment opportunities within Rockhampton, whilst providing multiple dwellings that are much needed in residential sector for people with disability to experience independent living.

## **8.2 Zoning**

The subject allotment is located within the Low density residential zone where a Material Change of Use for the proposed additional development is considered to be Impact Assessable development against the *Rockhampton Region Planning scheme 2015*.

## **8.3 Surrounding Zoning of Land**

The site is situated in the low density residential zone and surrounding lots are also located in the same zone.

The zoning map of the proposed development and its surrounding areas has been given below in Figure 5.

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

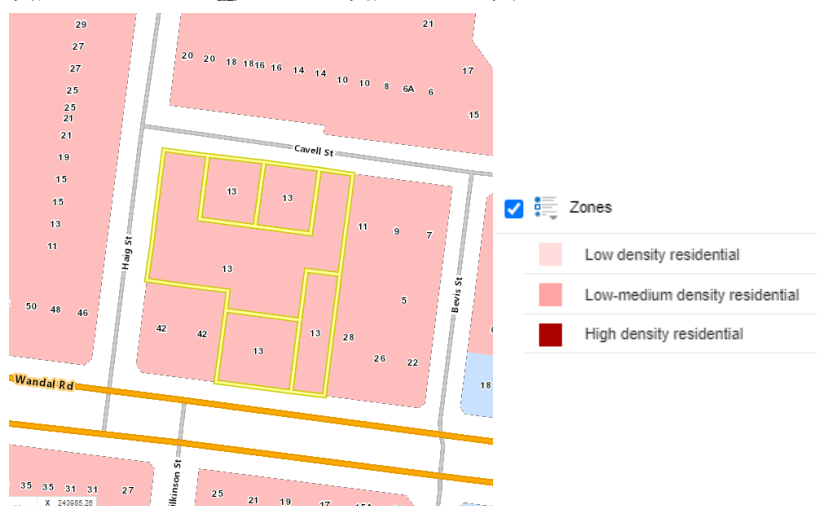


Figure 5. Zoning Map of Proposed development (Source: Rockhampton Region Planning Scheme (2015) Interactive Mapping)

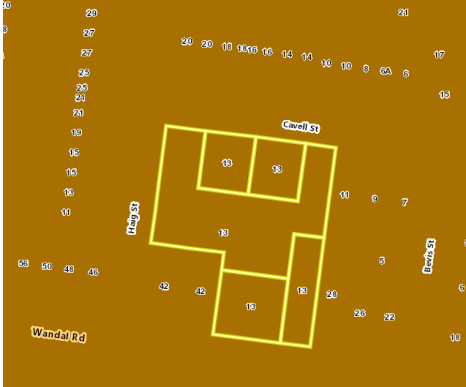
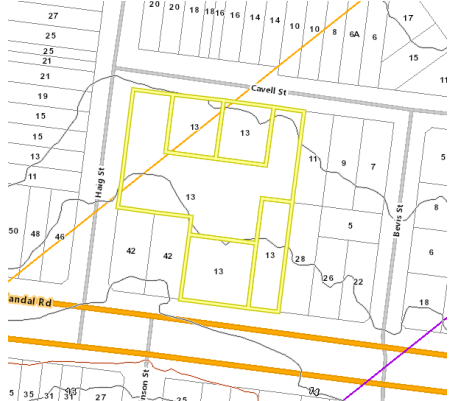
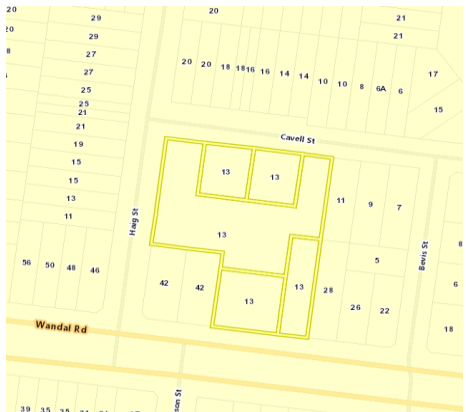
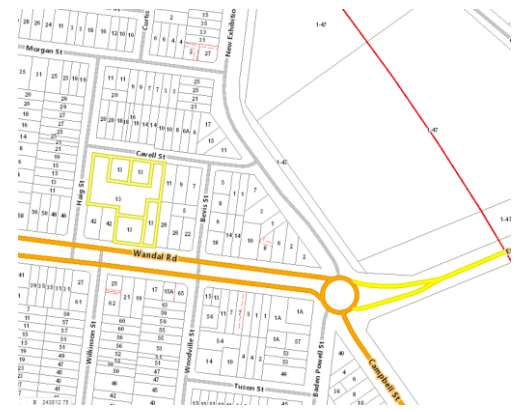
The existing use of Lot 12 on SP320077 is Community Care Admin building, Kitchen and workshop building, Communal garden & Ancillary Offices. Existing use of Lot 25 on RP602156 has a shed, Lot 10 has a chicken coop and Lot 2 is currently vacant. Overall, the result of this proposed multiple dwelling units, shed, and staff unit shall continue to uphold the existing character and shall have no adverse effect towards existing and surrounding land uses.

#### 8.4 Applicable Overlays

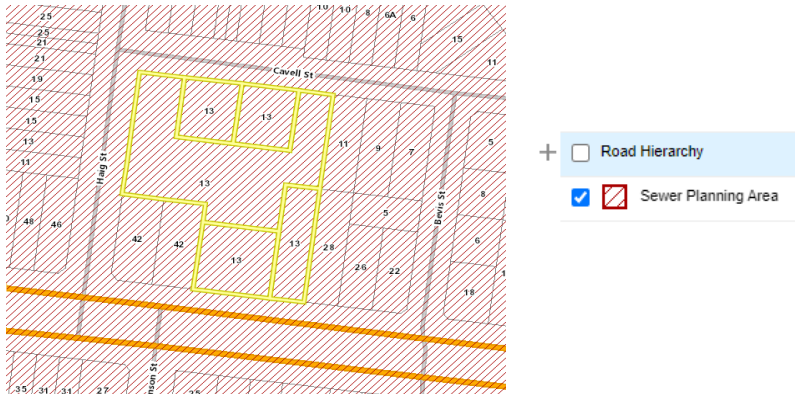


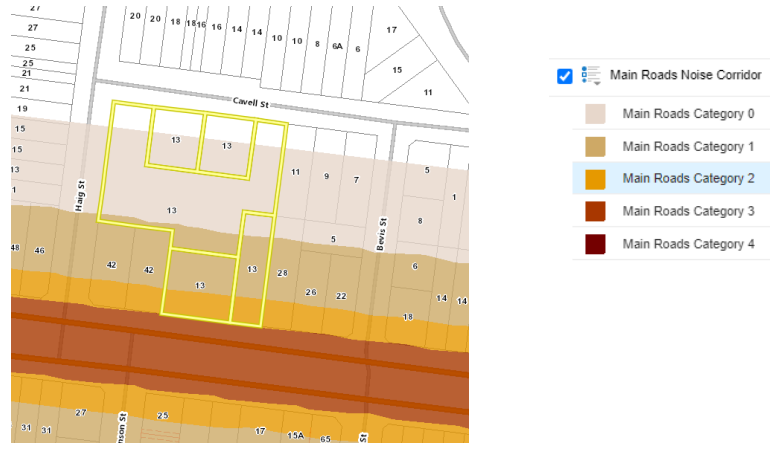
Rockhampton Region Planning Scheme (2015) and relevant planning maps reveal that the subject land is triggered by applicable overlays as listed below:

- Acid Sulfate Soils - Above 5m and below 20m AHD
- Airport Light Restriction Zone - Buffer 6km
- Airport Light Restriction Zone - Zone C
- Airport Light Restriction Zone - Zone D
- Airport Obstacle - Height Limit 20m
- Airport Wildlife Hazard Buffer Area - 3km
- Property is within Sewer Supply Planning Area
- Property is within Water Supply Planning Area
- Road Hierarchy Overlay - State Controlled Road
- Transport Noise Corridor - Main Roads Cat 0
- Transport Noise Corridor - Main Roads Cat 1

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Overlays	Comment
<p><b>Acid Sulfate Soils - Above 5m and below 20m AHD</b></p>  <p>Legend:</p> <ul style="list-style-type: none"> <li>Acid Sulfate Soils</li> <li>Land above 5m AHD and below 20m AHD</li> <li>Land at or below 5m AHD</li> </ul>	<p>The proposed development is above 5m AHD, at around 12m -13m AHD. Therefore, it is anticipated that the proposed development for Community Care Centre shall not have any adverse impact on the Acid Sulfate Soil. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Airport Light Restriction Zone - Buffer 6km, Zone C and D</b></p>  <p>Legend:</p> <ul style="list-style-type: none"> <li>Light Restriction Zone</li> <li>A</li> <li>B</li> <li>C</li> <li>D</li> </ul>	<p>The hours of operation for the development site shall be limited to:</p> <ul style="list-style-type: none"> <li>(i) 0700 hours to 1900 hours on Monday to Saturday; and</li> <li>(ii) 0800 hours to 1900 hours on Sundays or Public Holidays.</li> </ul> <p>Hence, residential units shall not operate till late at night. Therefore, the Airport Light Restriction Zone overlay has not been addressed in this submission.</p>
<p><b>Airport Obstacle - Height Limit 20m</b></p>  <p>Legend:</p> <ul style="list-style-type: none"> <li>Obstacle Limitations Surface</li> <li>0 metres - All new buildings refer to Airport</li> <li>Up to 8.5 metres above ground level</li> <li>Up to 10 metres above ground level</li> <li>Up to 15 metres above ground level</li> <li>Up to 20 metres above ground level</li> <li>Up to 30 metres above ground level</li> <li>Up to 45 metres above ground level</li> </ul>	<p>The proposed residential units shall be a two-storey building, approx 7.48m in height. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Airport Wildlife Hazard Buffer Area - 3km</b></p>  <p>Legend:</p> <ul style="list-style-type: none"> <li>Wildlife Hazard Buffer Area</li> <li>3km</li> <li>8km</li> <li>13km</li> </ul>	<p>The proposed development has allocated area for bin storage and collection. Waste shall be covered and collected regularly to minimise the risk of wildlife hazards including flying vertebrates, such as birds and bats, intruding into the airport's operational airspace. Therefore, this overlay has not been addressed in this submission. please refer to Additional Development for Community Care Centre Plans from Rufus Design Group Plan Ref: 230704-03 in <b>Appendix B</b> of this Report.</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<p><b>Property is within Sewer Supply Planning Area</b></p> 	<p>The proposed development is located in the Council's sewer supply planning area and connected to the Council's sewer supply network. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b>. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Property is within Water Supply Planning Area</b></p> 	<p>The proposed development is located in the Council's water supply planning area and connected to the Council's water supply network. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b>. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Road Hierarchy Overlay – State Controlled Road</b></p> 	<p>The proposed development of residential units has road frontage to Wandal Road, which is State Controlled Road. The proposed development shall not generate greater than 100 vehicle movements per day. Therefore, this overlay has not been addressed in this submission.</p>
<p><b>Transport Noise Corridor</b></p> 	<p>The proposal is for the expansion of an existing facility which has already existed for a couple of years, without any road traffic noise issues; and it is nestled amongst residential uses on all sides, and some of these surrounding houses have been here for, many years, without having road traffic noise issues. The reason being that this stretch of Wandal Road is primarily a 'district road' that connects Rockhampton to Alton Downs, and its predominant use is by 'passenger' motor vehicle.</p>



## 8.5 Relevant Planning Scheme Codes

The relevant Planning scheme codes are as follows:

**Table 5:** Planning Scheme Overview

<b>Zone Code</b>	<ul style="list-style-type: none"> <li>• Low-medium density residential zone code</li> </ul>
<b>Development Codes</b>	<ul style="list-style-type: none"> <li>• Access, parking and transport code;</li> <li>• Landscape code;</li> <li>• Stormwater management code;</li> <li>• Waste management code; and</li> <li>• Water and sewer code; and</li> <li>• Works Code.</li> </ul>
<b>State Codes</b>	<ul style="list-style-type: none"> <li>• State code 1: Development in a state-controlled road environment</li> </ul>

Development codes triggered as part of the subject development, are listed below and addressed in the following sections:

- Low-medium density residential zone code (attached in **Appendix A**)
- Access, parking and transport code (attached in **Appendix A**)
- Landscape code (attached in **Appendix A**)
- Stormwater management code (attached in **Appendix A**)
- Waste management code (attached in **Appendix A**)
- Water and sewer code (attached in **Appendix A**)
- State code 1: Development in a state-controlled road environment (attached in **Appendix F**)

## 9 SUMMARY

The proposed development is for Multiple Dwelling and Extension of community care centre over lands described as Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, situated at 13 Cavell Street, 17 Cavell Street, 15 Cavell Street, 36 Wandal Road and 30 Wandal Road, Wandal; respectively. The Subject site is situated within the Low density residential zone, where multi-units development near state controlled road is an Impact assessable development.

The development proposal generally meets the planning scheme requirements for code and overlay requirements. The nature of the proposed development shall provide much needed growth to the NDIS facility by expanding the current number of housing units adding a staff unit and a facilities storage shed which shall, somewhat, alleviate national housing crisis as well.

This report and its relevant attachments are provided as a comprehensive submission to the Council and we look forward to receiving Council's favorable consideration for a development permit subject to reasonable and relevant conditions.

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## **Appendix A – Assessment against the Rockhampton Region Planning Scheme 2015**

- Addressing Low-medium density residential zone code;
- Addressing Access, parking and transport code;
- Addressing Landscape code;
- Addressing Stormwater management code;
- Addressing Waste management code;
- Addressing Water and sewer code; and
- Addressing Works Code

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**September 2024**

**GSPC Ref: 241340**

## 6.2.1 Addressing Low density residential zone code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the low density residential zone code is to:</p> <ul style="list-style-type: none"> <li>(a) provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;</li> <li>(b) provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;</li> <li>(c) minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and</li> <li>(d) ensure that development within the zone has appropriate standards of infrastructure and essential services.</li> </ul>	<p>1. Proposal complies.</p> <p>The proposed Multiple Dwelling and Extension of Community Care Centre is a much-needed extension to the NDIS facility, that shall function to service the needs of the nearby &amp; local residential community within low density residential zone. The proposed residential units shall, somewhat, alleviate national housing crisis as well. The proposed residential units shall be a two-storey building, approx 7.48m in height, therefore, the proposal shall remain consistent with amenities and neighbourhood characteristics continuing within the surrounding area. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. The allotments are connected to the Council's services and other infrastructures. Please refer to <b>Appendix D</b> for council's infrastructure and contour map; and Ergon Energy, Telstra &amp; NBN Plans.</p>	✓
<p>(2) The purposes of the zone will be achieved through the following overall outcomes:</p> <ul style="list-style-type: none"> <li>(a) development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally a low-rise, 1-2 storey built form and low density character with small scale, detached buildings;</li> <li>(b) residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);</li> <li>(c) low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university, etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;</li> <li>(d) short-term accommodation only occurs where it: <ul style="list-style-type: none"> <li>(i) is established in an existing dwelling;</li> <li>(ii) does not adversely impact on the amenity of the surrounding residential area;</li> </ul> </li> </ul>	<p>1.</p> <ul style="list-style-type: none"> <li>(a) Proposal Complies. The proposed six (6) residential units of Stage -1 shall be a two-storey building, approx 7.48m in height. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. All 6 units are detached buildings with garage. Please refer to the Site Setout Plan &amp; Site features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</li> <li>(b) Proposal complies. The proposed additional development for Community Care Centre is a much-needed NDIS facility and shall, somewhat alleviate national housing crisis and provide for the long-term accommodation, for people with disability &amp; some of their carers.</li> <li>(c) Proposal complies. The Multiple Dwelling and Extension of Community Care Centre proposes six (6) residential units for much-needed NDIS Facility and has driveway access from and to Wandal Road, which is a State Controlled road. The proposed Staff unit shall have access from the Cavell Street.</li> </ul>	<p>✓</p> <p>✓</p> <p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<p>(iii) maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and</p> <p>(iv) is limited in scale and duration;</p> <p>Note—Use of a dwelling for short-term accommodation in this context may take the form of short term stay, rental or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.</p> <p>(e) non-residential uses only occur within the zone where they:</p> <p>(i) do not compromise the residential character and existing amenity of the surrounding area;</p> <p>(ii) are small-scale and consistent with the surrounding urban form;</p> <p>(iii) primarily function to service the needs of the immediate local residential community;</p> <p>(iv) do not detract from the role and function of centres;</p> <p>(v) do not result in the expansion of a centre zone; and</p> <p>(vi) have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;</p> <p>(f) no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;</p> <p>(g) neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;</p> <p>(h) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;</p> <p>Editor's note—To remove any doubt specialised centres are a centre zones category.</p> <p>(i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;</p> <p>(j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;</p>	<p>(d) Not applicable. The proposal is not for short-term accommodation.</p> <p>(e) Proposal complies. The proposed Multiple Dwelling and Extension of Community Care Centre is a much-needed extension to the NDIS facility, that shall function to service the needs of the nearby &amp; local residential community within low density residential zone. The proposed residential units shall, somewhat, alleviate national housing crisis as well. The proposed residential units shall be two-storey buildings, approx 7.48m in height, therefore, the proposal shall remain consistent with amenities and neighbourhood characteristics continuing within the surrounding area. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. The proposed development has driveway access from Wandal Road, which is a State Controlled road. The proposed Staff unit shall have access from the Cavell Street.</p> <p>(f) Not applicable. No local centre or industrial areas have been proposed in this submission.</p> <p>(g) Not applicable. No neighbourhood centres are proposed in this submission.</p> <p>(h) Not applicable. No new centres are proposed in this submission.</p> <p>(i) Proposal complies. The proposed landscaping with turf provides a safe, comfortable and visually pleasing environment for all users.</p> <p>(j) Proposal complies. The proposed development shall maintain all amenities of residential areas.</p> <p>(k) Proposal complies. The proposed multiple dwelling units are located within the low density residential zone. There is an existing 1.8m high timber picket fence on the eastern boundary and another 1.8m high timber picket fence has been proposed on the western boundary to provide screening from the adjacent Lots. Please refer to the Site Setout Plan &amp; Site</p>	<p>N/A</p> <p>✓</p> <p>N/A</p> <p>N/A</p> <p>✓</p> <p>✓</p> <p>✓</p>
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Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<p>(k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;</p> <p>(l) new residential developments are located and integrated with existing neighbourhoods;</p> <p>(m) development is sited and designed to respond to the region’s climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;</p> <p>(n) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;</p> <p>(o) development is serviced by infrastructure that is commensurate with the needs of the use; and</p> <p>(p) the establishment of one (1) precinct within the zone where particular requirements are identified:          (i) Fitzroy River accommodation precinct; and          (ii) Residential stables precinct.</p>	<p>Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p> <p>(l) Proposal complies. The Multiple Dwelling and Extension of Community Care Centre is a much-needed NDIS facility, that shall function to service the needs of the nearby &amp; local residential community within the neighbourhoods of proximity.</p> <p>(m) Proposal complies. The proposed development is well-sited and well designed, therefore, the proposal shall remain consistent with amenities and neighbourhood characteristics continuing within the zone. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p> <p>(n) Proposal complies. The proposed development has access from Wandal Road, which is a State Controlled road and provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use.</p> <p>(o) Proposal complies. The site has all infrastructure connections in place, and the proposed development shall retain all the infrastructure and services.</p> <p>(p) Not applicable. The proposal is not for establishing any precinct.</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>N/A</p>
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### 6.2.1.3 Specific benchmarks for assessment

Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes	Applicant’s Response	Compliance
Where involving a new building or expansion to an existing building			
Built form			

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
(1) Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.	(a) The height of buildings and structures does not exceed: <ol style="list-style-type: none"> <li>1. two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and</li> <li>2. two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent.</li> </ol>	<b>PP1.1.</b> Proposal complies. The proposed residential units shall be a two-storey building, approx 7.48m in height. Please refer to the Elevations & Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B.</b>  <b>PP1.2.</b> Proposal complies. Total site coverage by the proposed residential units is 44.4%. Please refer to the Site Setout Plan & Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B.</b>	✓
	<b>AND</b> (b) Site cover does not exceed fifty (50) per cent of the total site area.		✓
<b>Land use</b>			
<b>Caretaker's accommodation</b>		<b>PO2.</b> Not applicable. The proposal is for Multiple Dwelling and Extension of Community Care Centre.	<b>N/A</b>
<b>Dual occupancy</b>		<b>PO3 to PO4.</b> Not applicable. The proposal is not for a Dual occupancy dwelling house.	<b>N/A</b>
<b>Home-based business</b>		<b>PO5.</b> Not applicable. The proposal is not for Home based business activity.	<b>N/A</b>
<b>Sales office</b>		<b>PO6.</b> Not applicable. The proposal is not for Sales office activity.	<b>N/A</b>
<b>Short-term accommodation</b>		<b>PO7 to PO9.</b> Not applicable. The proposal is not for Short-term accommodation.	<b>N/A</b>
<b>Where in the residential stables precinct when involving an animal keeping (stables only) use</b>  Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.		<b>PO10 to PO12.</b> Not applicable. The proposal is not located in the residential stables precinct.	<b>N/A</b>
<b>Built form — additional provisions</b>			
<b>PO13</b>	<b>AO13.1</b>	<b>PP13.1.</b>	

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> <li>(a) an appropriate scale and size that reflects the purpose of the zone;</li> <li>(b) access to natural light and ventilation;</li> <li>(c) landscaping;</li> <li>(d) privacy and noise attenuation;</li> <li>(e) screening of materials when stored outside buildings;</li> <li>(f) integration with the streetscape and built form;</li> <li>(g) orientated to the street frontage;</li> <li>(h) landscape features of the site; and</li> <li>(i) access to open space.</li> </ul> <p>Editor's note—Figure 6.2.1.3.2a — Development site plan provides guidance.</p>	<p>Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) carports and garages are set back a minimum of six (6) metres from all road frontages;</li> <li>(b) building walls are set back a minimum of three (3) metres from all road frontages;</li> <li>(c) verandahs are set back a minimum of one (1) metre from all road frontages;</li> <li>(d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> <li>(i) 1.5 metres for a wall up to 4.5 metres high; or</li> <li>(ii) two (2) metres for a wall up to 7.5 metres high; or</li> <li>(iii) 2.5 metres for any part of a wall over 7.5 metres;</li> </ul> </li> <li>(e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</li> <li>(f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</li> </ul> <p><b>AND</b> <b>AO13.2</b> The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p><b>AND</b> <b>AO13.3</b> The maximum length of any exterior wall is twelve (12) metres.</p> <p><b>AND</b> <b>AO13.4</b> Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> <li>(a) a maximum height of 1.2 metres; or</li> </ul>	<ul style="list-style-type: none"> <li>(a) Proposal complies. All garages are at ground floor level and have 7.1m setback from the front boundary. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</li> <li>(b) Proposal complies. The proposed residential units are 7.1 m setback from the front boundary. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</li> <li>(c) Proposal complies. The proposed residential units have porches at ground level, which are 5.0 m setback from the front boundary. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</li> <li>(d) Proposal complies. The proposed residential units shall be two-storey buildings, approx 7.48m in height. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. The proposed units are 2.6m setback from the side boundaries. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</li> <li>(e) Proposal complies. The proposed residential units are well setback from the rear boundary. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b></li> </ul>	<ul style="list-style-type: none"> <li>✓</li> <li>✓</li> <li>✓</li> <li>✓</li> <li>✓</li> </ul>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>(b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p><b>AND</b> <b>AO13.5</b> New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>	<p>(f) Not applicable. No garages or carports are proposed along the side boundaries.</p> <p><b>PP13.2.</b> Proposal complies. There is a footpath along Wandal Road, which is visible and accessible from the street. The pedestrian entrance is not accessed through a garage or carport.</p> <p><b>PP13.3.</b> Proposal complies. The maximum length of any exterior wall, without articulation, of the proposed Multiple Dwelling and Extension of Community Care Centre is 11.3m. Please refer to the Ground Floor Plan prepared by Rufus Design Group and Building Design Queensland ref: 230704-04 attached in <b>Appendix B</b>.</p> <p><b>PP13.4.</b> Proposal complies. A 1.5m high concrete mass block fence is proposed along the front boundary. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b></p> <p><b>PP13.5.</b> not applicable. No building plant is proposed in this submission.</p>	<p>N/A</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>N/A</p>
<p><b>PO14</b> Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p><b>AO14.1</b> Vehicle parking structures are located: (a) behind the front building setback; or (a) below the front building.</p>	<p><b>PP14.</b> Proposal complies. All residential units have a garage at ground level. Staff unit shall use the existing parking of community care centre. Please refer to the Ground Floor Plan prepared by Rufus Design Group and Building Design Queensland ref: 230704-04 attached in <b>Appendix B</b></p>	<p>✓</p>
<p><b>PO15</b></p>	<p>No acceptable outcome is nominated.</p>	<p><b>PP15.</b> Proposal complies. The proposed Multiple Dwelling and Extension of Community Care Centre is well designed</p>	<p>✓</p>



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> <li>(a) mass and proportion;</li> <li>(b) use of materials, patterns, textures, colours and decorative elements;</li> <li>(c) reflective glass material is not used as the principle construction material;</li> <li>(d) roof shapes include pitches and gables to break up the repetitiveness of buildings;</li> <li>(e) buildings incorporate articulation through the use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</li> <li>(f) roof structures are designed to screen any mechanical plant;</li> <li>(g) facade articulation, detailing and window and door proportions;</li> <li>(h) provision made for balconies, verandahs, eaves and parapets;</li> <li>(i) driveway crossovers, fence style and alignment;</li> <li>(j) emphasis on entry points; and</li> <li>(k) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage.</li> </ul> <p>Note—Where a conflict exists PO15 (k) takes precedence.</p>		<p>structure within low density residential zone. Please refer to the Site Setout Plan &amp; Site Features plan, drawing no. 230704-03, Ground Floor Plan ref: 230704-04, Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p>	
<b>Land use</b>			
<b>Non-residential development</b>			
<p><b>PO16</b> Non-residential development may locate in the low density residential zone when the use can demonstrate the following:</p> <ul style="list-style-type: none"> <li>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</li> </ul>	<p>No acceptable outcome is nominated.</p>	<p><b>PP16.</b> Proposal complies. The proposed Multiple Dwelling and Extension of Community Care Centre is a much-needed NDIS facility, that shall function to service the needs of the nearby &amp; local residential community within low density residential zone. The proposed residential units shall somewhat alleviate national housing crisis as well. The proposed residential units shall be</p>	<p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(c) is small in scale;</p> <p>(d) is consistent with the surrounding built form and streetscape;</p> <p>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</p> <p>(f) does not adjoin an existing centre zone;</p> <p>(g) located in proximity to public transport facilities and public transport routes; and</p> <p>(h) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>		<p>two-storey buildings, approx 7.48m in height, therefore, the proposal shall remain consistent with amenities and neighbourhood characteristics continuing within the surrounding area. Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>. The proposed development has driveway access from Wandal Road, which is a State Controlled road.</p>	
<p><b>PO17</b> The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p><b>AO17.1</b> Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>	<p><b>PP17.1.</b> Proposal complies. The proposed development has driveway accesses to &amp; from Wandal Road, which is a State controlled road and capable of accommodating traffic generated by the proposed additional residential units.</p>	<p>✓</p>
<p><b>Multiple dwelling, relocatable home park, residential care facility or retirement facility</b></p>		<p><b>PO18 to &amp; PO20</b> Not applicable. The proposal is not for multiple dwelling, relocatable home park, residential care facility or retirement facility</p>	<p><b>N/A</b></p>
<p><b>Effects of development</b></p>			
<p><b>PO21</b> The development minimises adverse impacts on the amenity of adjoining land uses and the surrounding area.</p>	<p><b>AO21.1</b> Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p><b>AND</b></p> <p><b>AO21.2</b> For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>	<p><b>PP21.1.</b> Proposal complies. The hours of operation for the development site must be limited to: (i) 0700 hours to 1900 hours on Monday to Saturday; and (ii) 0800 hours to 1900 hours on Sundays or Public Holidays.</p> <p><b>PP21.2.</b> Proposal Complies. There is an existing 1.8m high timber picket fence on the eastern boundary and another</p>	<p>✓</p> <p>✓</p>



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(d) screen components of development from adjoining sensitive land use(s) or from the street;</p> <p>(e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and</p> <p>(f) allow shading for pedestrian comfort.</p>	<p>(a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and</p> <p>(b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary.</p> <p><b>AND</b></p> <p><b>AO24.3</b> Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>	<p><b>PP24.3.</b> Not applicable. The proposal is located within the low density residential zone.</p>	<p><b>N/A</b></p>
<p><b>PO25</b> Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p><b>AO25.1</b> Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p><b>PP25.1</b> Proposal complies. Landscaping is proposed in this submission. Please refer to the Landscape Plan prepared by Rufus Design Group ref: 230704-09 attached in <b>Appendix B</b>. Additional units are compliant to residential use.</p>	<p>✓</p>
<p><b>Structure planning for urban development</b></p>			
<p><b>PO26</b> New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <p>(a) is well sequenced;</p> <p>(b) promotes an efficient and coordinated use of land and infrastructure;</p> <p>(c) is highly integrated with existing and proposed development in the immediate area;</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>	<p><b>PP26.</b> Not applicable. The proposal is not for new development within the greenfield areas.</p>	<p><b>N/A</b></p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(d) is highly accessible and well serviced by a network of pedestrian, bicycle, public transport and private vehicle connections;</p> <p>(e) provides linkages between residential areas and open space, centres and public facilities;</p> <p>(f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area);</p> <p>(g) collocates higher density residential uses in and around centres, high order roads and other transport facilities;</p> <p>(h) avoids and manages impacts of natural hazards;</p> <p>(i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site;</p> <p>(j) facilitates environmentally and climate responsive design; and</p> <p>(a) provides a well dispersed network of open space.</p>			
<p><b>Where in the Fitzroy River accommodation precinct</b></p> <p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>		<p><b>PO27 to PO29. Not applicable.</b></p>	<p><b>N/A</b></p>
<p><b>Where in the residential stables precinct when involving an animal keeping (stables only) use</b></p> <p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>		<p><b>PO30. Not applicable.</b></p>	<p><b>N/A</b></p>

### 9.3.1 Addressing Access, parking and transport code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the access, parking and transport code is to ensure that parking, access and transport facilities for vehicles, pedestrians and cyclists are provided to service development in a safe, equitable and sustainable way.</p> <p>(2) The purpose of the code will be achieved through the following overall outcomes:</p> <ul style="list-style-type: none"> <li>(a) the function, safety and efficiency of the transport network is optimised;</li> <li>(b) pedestrians and cyclists are provided with a high level of accessibility which is equitable, safe and convenient;</li> <li>(c) on-site access, transport and parking facilities are integrated with external walking and cyclist networks and public transport nodes;</li> <li>(d) the use of public transport is facilitated wherever practicable;</li> <li>(e) vehicle parking and access is provided, which is functional and sufficient to meet the demand likely to be generated by the development;</li> <li>(f) vehicle parking and access achieves a high standard of urban design and integration with the function and appearance of the development; and</li> <li>(g) adverse impacts on the environment and the amenity of the locality are avoided.</li> </ul>	<p>1. &amp; 2. Proposal complies.</p> <p>The proposed Multiple Dwelling and Extension of Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213 has road frontage and driveway access from Wandal Road. There are a total 6 garages on the ground floor level of the additional 6 units, which shall be functional and sufficient to meet the demand. No external parking areas have been proposed in this submission. Staff unit shall use the existing parking of community care centre. The existing concrete footpath shall be retained. Please refer to Site Setout Plan &amp; Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>. A new concrete crossover is proposed to be built to access the proposed metal storage shed and covered area over Lot 12 on SP320077 from Cavell Street. Please refer to the New Carport Floor Plan &amp; Elevations Ref 230704-08 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	<p style="text-align: center;">✓</p>

### 9.3.1.3 Specific benchmarks for assessment

**Table 9.3.1.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Access driveways</b>			
<p><b>PO1</b> Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> <li>(a) the size of the parking area;</li> <li>(b) the volume, frequency and type of vehicle traffic;</li> <li>(c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access;</li> <li>(d) the type of use and the implications on parking and circulation, for example long-term or short-term car parking;</li> <li>(e) frontage road function and conditions; and</li> <li>(f) the capacity and function of the adjoining street system.</li> </ul>	<p><b>AO1.1</b> Access driveways are not located within:</p> <ul style="list-style-type: none"> <li>(a) twenty-five (25) metres of a signalised road intersection;</li> <li>(b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and</li> <li>(c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.</li> </ul>	<p><b>PP1.1. Proposal Complies.</b> The access driveway of Lot 25 on RP602156 is approximately 50 metres away from the un-signalised intersection of Haig Street and Wandal Road. The access driveway of Lot 10 on RP604213 is approximately 60 metres away from the un-signalised road intersections of Bevis Street and Wandal Road. The new concrete driveway over Lot 12 on SP320077 is approximately 40 metres away from the un-signalised road intersections of Haig Street and Cavell Street.</p>	✓
<p><b>PO2</b> Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p><b>AO2.1</b> Access driveways:</p> <ul style="list-style-type: none"> <li>(a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;</li> <li>(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway;</li> <li>(c) must be sealed and to a formed road;</li> <li>(d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and</li> <li>(e) are raised or lowered to match the surface level of the driveway, where an access</li> </ul>	<p><b>PP2.1. Proposal Complies.</b> Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposed two driveways are practically co-incidental to the existing driveways and do not require the modification, relocation or removal of any infrastructure Please refer to Site Setout Plan &amp; Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B.</b></p> <p>A new concrete crossover is proposed to be built to access the proposed metal storage shed and covered area over Lot 12 on SP320077; and does not require any modification in street infrastructure. Please refer to the New Carport Floor Plan &amp; Elevations Ref 230704-08 prepared</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	chamber is to be incorporated within the driveway.	by Rufus Design Group attached in <b>Appendix B</b> of this submission.	
<b>PO3</b> Access driveways are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	<b>AO3.1</b> Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.	<b>PP3.1.</b> Proposal Complies. The access driveways shall maintain the provisions of Capricorn Municipal Development Guidelines to enable safe and functional vehicular access from the street to the property.	✓
<b>PO4</b> A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	<b>AO4.1</b> A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.	<b>PP4.1.</b> Proposal Complies. Please refer to <b>Appendix E</b> for the Stormwater Management Report for details.	✓
<b>Parking</b>		<b>PO5 to PO10.</b> Not applicable. There are a total 6 garages on the ground floor level of the additional 6 units proposed in this submission. No external parking areas are proposed in this submission. Staff unit shall use the existing parking of community care centre. Please refer to Site Setout Plan & Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> .	<b>N/A</b>
<b>Transport impact</b>			
Editor's note—Applicants should note that the Department of Transport and Main Roads may have additional requirements.			
<b>PO11</b> Development contributes to the creation of a transport network which is designed to: (a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and (b) encourage people to walk, cycle or use public transport to and from the site instead of using a car.	No acceptable outcome is nominated.  Editor's note—Refer to SC6.19 – Structure plan planning scheme policy for guidance.	<b>PP11.</b> Proposal complies. The proposal is for multiple dwelling and extension of the Community Care Centre with existing connections to all existing transport networks.	✓
<b>PO12</b> Development is located on roads that are appropriate for the nature of traffic (including	<b>AO12.1</b> Traffic generated by the development is safely accommodated within the design capacity of	<b>PP12.1.</b> Proposal Complies. There are a total 6 garages on the ground floor level of the additional 6 units proposed in this	✓



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p>roads as provided in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p> <p><b>AND</b> <b>AO12.2</b> A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p> <p><b>AND</b> <b>AO12.3</b> The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p>	<p>submission, which shall satisfy the on-site parking requirement of the additional development. Access is proposed to and from Wandal Road, which is State-controlled road for the district.</p> <p>The proposal is for 'left-in' &amp; 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.</p> <p><b>PP12.2.</b> Not applicable. The proposal is for for multiple dwelling and extension of the Community Care Centre and does not propose any new road hierarchy.</p> <p><b>PP12.3.</b> Not applicable. The proposal is for multiple dwelling and extension of the Community Care Centre and does not propose any upgrade to existing external infrastructure.</p>	<p>N/A</p> <p>N/A</p>
<p><b>PO13</b> Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> <li>(a) are safe for pedestrians and vehicles;</li> <li>(b) are conveniently connected to the main component of the development by pedestrian pathway; and</li> <li>(c) provide for pedestrian priority and clear sightlines.</li> </ul>	<p>No acceptable outcome is nominated.</p>	<p><b>PP13.</b> Proposal Complies. The proposed multiple dwelling and extension of the Community Care Centre shall maintain the existing pedestrian pathway along Wandal Road.</p>	<p>✓</p>
<p><b>Site access</b></p>			

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>PO14</b> Development does not impact on the safety, operation or function of the road network or system.	<b>AO14.1</b> Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with Australian Standard AS 2890, as updated from time to time.	<b>PP14.1.</b> Proposal Complies. The vehicle manoeuvring into and from the site shall be designed in accordance with the standards. Please refer to Vehicle Swept Path Plan Ref 230704-10 prepared by Rufus Design Group attached in <b>Appendix B.</b>	✓
	<b>AND</b>  <b>AO14.2</b> No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.	<b>PP14.2.</b> Proposal does not comply. The proposed residential units for people with disability have road frontage and driveway access from and to Wandal Road, which is a State controlled road. However, this is a historically existing scenario where all adjoining allotments and allotments fronting the opposite side of Wandal Road, have accesses from the state controlled road. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	X
	<b>AND</b>  <b>AO14.3</b> Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy.	<b>PP14.3.</b> Not applicable Proposal does not generate greater than 100 vehicle movements per day.	N/A
<b>PO15</b> Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport network improvements.	No acceptable outcome is nominated.	<b>PP15.</b> Not applicable The proposal is for multiple dwelling and extension of the Community Care Centre and does not propose any upgrade to the transport network.	N/A
<b>PO16</b> On-site transport network infrastructure integrates safely and effectively with surrounding networks.	<b>AO16.1</b> Intersections, connections and access arrangements are designed in accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.	<b>PP16.1.</b> Not applicable Same as <b>PP15.</b>	N/A
<b>Pedestrian and cyclist facilities</b>			

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p><b>PO17</b> Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.</p>	<p><b>AO17.1</b> Pedestrian and cyclist movements are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.</p>	<p><b>PP17.1.</b> Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre shall maintain the existing pedestrian pathway along Wandal Road.</p>	✓
<p><b>PO18</b> Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.</p>	<p>No acceptable outcome is nominated.  Editor's note—Provisions are made for parking and end of trip facilities in accordance with the SC6.4 – Bicycle network planning scheme policy.</p>	<p><b>PP18.</b> Not applicable. The nature of the facility is for disabled people; therefore, patients are not expected to cycle to the facility.</p>	N/A
<b>Servicing</b>			
<p><b>PO19</b> Refuse collection vehicles are able to safely access on-site refuse collection facilities.</p>	<p><b>AO19.1</b> Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.</p>	<p><b>PP19.1.</b> Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213 has designated bin storage areas near the access driveways. Please refer to the Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. However, no on-site refuse collection is proposed in this submission. The refuse bins of the proposed residential units will be serviced by Council's weekly refuse collection vehicles from the kerbside of Wandal Road.</p>	✓

### 9.3.4 Addressing Landscape code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the landscape code is to ensure landscaping in both the private and public domain is designed and constructed to a high standard, provides a strong contribution to the image of the local government area, is responsive to the local character, site and climatic conditions and remains fit for purpose over the long-term.</p> <p>(2) The purpose of the code will be achieved by the following overall outcomes:</p> <ul style="list-style-type: none"> <li>(a) a high quality streetscape and on-site landscape enhances the character of the urban areas;</li> <li>(b) landscape design is integrated with the natural and built form elements of the site and the surrounding area;</li> <li>(c) landscaping creates a legible and attractive street frontage, and enhances the continuity of the streetscape;</li> <li>(d) screening is used to soften built form, hide unsightly elements of development and provide privacy and character;</li> <li>(e) plant species and landscaping materials are used which suit the sub-tropical cyclone prone climate;</li> <li>(f) plant species, landscaping materials and surface treatments are suited to their intended function and user requirements;</li> <li>(g) plant species, landscaping materials and surface treatments are designed to remain attractive, fit for purpose and be cost effectively maintained over the long-term;</li> <li>(h) landscaping design provides an accessible, safe and comfortable environment for all users; and</li> <li>(i) significant on-site vegetation is retained, protected and integrated into the site design wherever practicable.</li> </ul>	<p>(1) Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre over Lot 12 on SP320077 has a new landscaped garden (18.0 sqm) and new selected turf (75.8 sqm) along a new concrete crossover and proposed metal storage shed. Approximately, 705.3 sqm landscaped area has been provided in proposed development of the Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed landscape shall remain fit for purpose over the long-term.</p> <p>1.</p> <ul style="list-style-type: none"> <li>(a) Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre shall not have any adverse impact on the streetscape. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed landscape shall remain fit for purpose over the long-term.</li> <li>(b) Proposal complies. The proposed landscaping shall be compatible with the natural and built-form elements of the site and the surrounding area.</li> <li>(c) Proposal complies. The proposed landscaping shall not have any impacts on the existing streetscape. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</li> <li>(d) Proposal complies. The proposal has a 1.8m high timber picket fence along the boundaries and driveways. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</li> </ul>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

	<p>(e) Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre over Lot 12 on SP320077 has a new landscaped garden (18.0 sqm) and new selected turf (75.8 sqm) along a new concrete crossover and proposed metal storage shed. Approximately, 705.3 sqm landscaped area has been provided in additional development of the Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed plant species and landscaping materials are suitable to the sub-tropical cyclone prone climate.</p> <p>(f) Proposal complies. The proposed landscaping is visually pleasing and suited to the user's requirements.</p> <p>(g) Proposal complies. The proposed landscaping with turf is cost-effective, visually pleasing and suitable for the proposed function of the development.</p> <p>(h) Proposal complies. The proposed landscaping with turf provides a safe, comfortable and visually pleasing environment for all users.</p> <p>(i) Proposal complies. Any significant on-site vegetation shall be retained, and protected.</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
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### 9.3.4.3 Specific benchmarks for assessment

**Table 9.3.4.3.1 Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Design</b>			
<p><b>PO1</b> Landscaping is professionally designed and provides a suitably sized area to:</p> <p>(a) create an attractive visual addition to a building or place;</p> <p>(b) soften the built form;</p> <p>(c) provide a space for on-site recreation; and</p> <p>(d) enable landscaping to establish and thrive under the local conditions.</p>	<p><b>AO1.1</b> Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p>	<p><b>PP1.</b> Proposal complies. The proposed multiple dwelling and extension of the Community Care Centre over Lot 12 on SP320077 has a new landscaped garden (18.0 sqm) and new selected turf (75.8 sqm) along a new concrete crossover and proposed metal storage shed. Approximately, 705.3 sqm landscaped area has been provided in additional development of the Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213. Please refer to</p>	<p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>	<p>the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed landscape shall remain fit for purpose over the long-term. The proposed landscaping with turf is cost-effective, visually pleasing and suitable for the proposed function of the development.</p>	
<p><b>PO2</b> Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas and the road verge.</p>	<p>No acceptable outcome is nominated.</p>	<p><b>PP2.</b> Not applicable. No shade trees are proposed in this submission.</p>	<p><b>N/A</b></p>
<p><b>PO3</b> On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p><b>AO3.1</b> Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses. <b>AND</b> <b>AO3.2</b> Landscaping maximises opportunities for on-site infiltration by: (a) minimising impervious surfaces and incorporating semi-permeable paving products; (b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; (c) maximising the opportunity for turf and planting areas; (d) aligning planting areas parallel to contours to slow the flow of surface water; and (e) ensuring the planting palette comprises canopy tree species. <b>AND</b> <b>AO3.3</b> Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p>	<p><b>PP3.</b> Not applicable. No on-site Stormwater harvesting &amp; reuse has been proposed in this submission.</p>	<p><b>N/A</b></p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p><b>AND</b> <b>AO3.4</b> The landscape design incorporates sediment and erosion control measures.</p>		
<p><b>PO4</b> Design of pedestrian paths and places reinforces the desired character of the area and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p><b>AO4.1</b> The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>	<p><b>PP4. Proposal Complies.</b> The proposed multiple dwelling and extension for Community Care Centre shall not have any adverse impact on the existing design of pedestrian paths. Please refer to the Site Setout Plan &amp; Site Features Plan prepared by Rufus Design Group ref: 230704-03 attached in <b>Appendix B</b>.</p>	✓
<p><b>PO5</b> Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> <li>(a) maximising casual surveillance of public spaces;</li> <li>(b) increasing opportunity for public interaction; and</li> <li>(c) minimising opportunity for concealment and criminal activity through environmental design principles.</li> </ul>	<p><b>AO5.1</b> Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> <li>(a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces;</li> <li>(b) clear sight lines from private to public space;</li> <li>(c) visually permeable screens and fencing;</li> <li>(d) lighting of landscaped areas;</li> <li>(e) public facilities (toilets, shelters etcetera) located to promote use;</li> <li>(f) dual access points to public spaces;</li> <li>(g) clearly defined public and private spaces;</li> <li>(h) measures to protect solid and blank walls from graffiti;</li> <li>(i) legible universal signage;</li> <li>(j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and</li> <li>(k) plant species that do not exacerbate impacts such as bushfire or flash flooding.</li> </ul>	<p><b>PP5. Proposal Complies.</b> The proposed multiple dwelling and extension of the Community Care Centre over Lot 12 on SP320077 has a new landscaped garden (18.0 sqm) and new selected turf (75.8 sqm) along a new concrete crossover and proposed metal storage shed. Approximately, 705.3 sqm landscaped area has been provided in additional development of the Community Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed landscape shall remain fit for purpose over the long-term. The proposed landscaping with turf is cost-effective, visually pleasing and suitable for the proposed function of the development.</p>	✓
<b>Species selection</b>			
<p><b>PO6</b> Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> <li>(a) suit the local climatic conditions;</li> </ul>	<p><b>AO6.1</b> Plant species are chosen from sources recommended by SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p><b>PP6. Proposal complies.</b> The proposed plant species and landscaping materials are suitable to the sub-tropical cyclone prone climate. Please refer to the Site Setout Plan</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(b) have low water usage needs or are provided with water harvested on-site;</p> <p>(c) include locally native species;</p> <p>(d) are of a suitable size and density to achieve the purposes of this code;</p> <p>(e) complement the proposed development;</p> <p>(f) are not classified as a pest species or a noxious or invasive weed;</p> <p>(g) preserve existing vegetation where desirable and protect existing environmental values of the land; and</p> <p>(h) do not exacerbate bushfire or flood hazards.</p>	<p><b>AND</b> <b>AO6.2</b> Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p><b>AND</b> <b>AO6.3</b> At least fifty (50) per cent of all new plantings are locally native species.</p> <p><b>AND</b> <b>AO6.4</b> Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p><b>AND</b> <b>AO6.5</b> Unless forming part of a landscaping concept approved by Council, planting is carried out to create a 'three-tier' landscaping treatment at the following minimum density rates: (a) trees at five (5) metre intervals; (b) shrubs at two (2) metre intervals; and (c) groundcovers at 0.5 metre to one (1) metre intervals.</p> <p><b>AND</b> <b>AO6.6</b> Existing vegetation is retained and integrated into landscaping.</p> <p><b>AND</b> <b>AO6.7</b> The use of palms is avoided in proximity to overland flow paths and watercourses.</p>	<p>&amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	
<b>Character and streetscaping</b>			
<p><b>PO7</b> Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p> <p>(a) the hierarchy and function of the street;</p> <p>(b) the selection of appropriate species;</p>	<p><b>AO7.1</b> Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p><b>PP7.</b> Not applicable. No street planting is proposed.</p>	<p><b>N/A</b></p>



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) avoidance of conflict between the street tree and utilities and services within the road reserve;</p> <p>(d) soil conditions;</p> <p>(e) existing street trees;</p> <p>(f) solar access; and</p> <p>(g) driveway access.</p>			
<p><b>PO8</b> Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.</p>	<p><b>AO8.1</b> For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below:</p> <div data-bbox="862 619 1176 877" data-label="Diagram"> </div> <p><b>Figure 9.3.4.3.1a — Height restriction for corner sites</b></p>	<p><b>PP8.1.</b> Not applicable. The proposed development is not situated on a corner bounded by two or more road frontages.</p>	<p><b>N/A</b></p>
<p><b>PO9</b> Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.</p>	<p>No acceptable outcome is nominated.</p>	<p><b>PP9.</b> Proposal complies. The proposed plant species and landscaping materials are suitable within the surrounding area. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	<p>✓</p>
<p><b>PO10</b> Fencing (including walls) and acoustic barriers are designed to:</p> <p>(a) be compatible with the existing streetscape;</p> <p>(b) minimise adverse effects on the amenity of an adjoining property; and</p>	<p><b>AO10.1</b> Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.</p> <p><b>AND</b></p>	<p><b>PP10.</b> Proposal Complies. The proposal has a 1.8m high timber picket fence along the boundaries and driveways. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	<p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) complement, but not dominate, the development.</p>	<p><b>AO10.2</b> Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height equal to or above the height of the acoustic fencing.</p>		
<b>Car parking and internal access</b>			
<p><b>PO11</b> Car parks and internal access (both on and off-street) are landscaped to:</p> <ul style="list-style-type: none"> <li>(a) reduce their visual appearance;</li> <li>(b) provide shade;</li> <li>(c) reduce glare;</li> <li>(d) reduce heat stored in hard surfaces;</li> <li>(e) harvest storm water; and</li> <li>(f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff.</li> </ul>	<p><b>AO11.1</b> Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> <li>(a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and</li> <li>(b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks.</li> </ul> <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p> <p><b>AND</b> <b>AO11.2</b> Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p><b>AND</b> <b>AO11.3</b> Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p><b>AND</b> <b>AO11.4</b> Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p>	<p><b>PP11.</b> Not applicable. No shade trees are proposed, as no external parking area is proposed in this submission.</p>	<p><b>N/A</b></p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p><b>AND</b> <b>AO11.5</b> Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.</p> <p><b>AND</b> <b>AO11.6</b> Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>		
<b>Utilities and other infrastructure</b>			
<p><b>PO12</b> The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> <li>(a) overhead wires and equipment;</li> <li>(b) underground pipes and cables; and</li> <li>(c) inspection chambers, transformers, poles and drainage infrastructure.</li> </ul>	<p><b>AO12.1</b> A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10) metres.</p> <p><b>AND</b> <b>AO12.2</b> Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p><b>AND</b> <b>AO12.3</b> The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>	<p><b>PP12.</b> Not applicable. No major electricity transmission corridor has been identified along the boundary.</p>	<b>N/A</b>
<p><b>PO13</b> Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <ul style="list-style-type: none"> <li>(a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather;</li> </ul>	<p><b>AO13.1</b> Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p><b>AND</b> <b>AO13.2</b></p>	<p><b>PP13.</b> Not applicable. No new landscaping is proposed to offset any utilities or other infrastructure.</p>	<b>N/A</b>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(b) provide an appropriate turn around area for vehicles and secure access entrance; and</p> <p>(c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits.</p>	Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.		

### 9.3.6 Stormwater management code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(2) The purpose of the stormwater management code is to provide for sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.</p> <p>(3) The purpose of the code will be achieved through the following overall outcomes:</p> <p>(a) acceptable levels of stormwater run-off quality and quantity are achieved by applying water sensitive urban design principles;</p> <p>(b) public health and safety are protected and development avoids damage or nuisance caused by stormwater flows;</p> <p>(c) development includes a stormwater management system which minimises impacts on natural catchment hydrological processes;</p> <p>(d) development ensures that the environmental values of waterways are protected or enhanced;</p> <p>(e) development maintains or enhances the efficiency and integrity of the stormwater infrastructure network;</p> <p>(f) the whole of life-cycle cost of stormwater infrastructure is minimised; and</p> <p>(g) new development infrastructure is designed to support and complement existing and planned stormwater infrastructure.</p>	<p><b>1 &amp; 2.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E.</b></p>	✓

### 9.3.6.3 Specific benchmarks for assessment

**Table 9.3.6.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Stormwater management — General</b>			
<p><b>PO1</b> Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ul style="list-style-type: none"> <li>(a) ensure that flooding impacts do not increase, including upstream or downstream of the development site;</li> <li>(b) avoid net worsening of stormwater peak discharges and runoff volumes;</li> <li>(c) utilises the use of water sensitive urban design principles; and</li> <li>(d) ensure the site maximises opportunities for capture and reuse.</li> </ul> <p>Editor's note—A stormwater management plan may be required to demonstrate compliance with the performance outcome.</p>	<p><b>AO1.1</b> Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, SC6.10 — Flood hazard planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p><b>AND</b></p> <p><b>AO1.2</b> Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p>	<p><b>PP01.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E.</b></p>	✓
<p><b>PO2</b> Development provides a stormwater management system which:</p> <ul style="list-style-type: none"> <li>(a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments;</li> <li>(b) maximises the use of natural waterway corridors and natural channel design principles; and</li> <li>(c) efficiently integrates with existing stormwater treatments upstream and downstream.</li> </ul>	<p><b>AO2.1</b> Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p>	<p><b>PP02.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E.</b></p>	✓
<p><b>PO3</b> Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <ul style="list-style-type: none"> <li>(a) minimise risk to people and property;</li> <li>(b) provide for safe access and maintenance; and</li> </ul>	<p><b>AO3.1</b> Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p><b>AND</b></p>	<p><b>PP03.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E.</b></p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) provide for the safe recreational use of stormwater management features.</p>	<p><b>AO3.2</b> Development provides for stormwater detention in accordance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p><b>AND</b></p> <p><b>AO3.3</b> Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy – Guideline – Water Quality.</p>		
<b>Environmental values</b>			
<p><b>PO4</b> Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p> <p>Editor's note—Compliance with the performance outcomes and acceptable outcomes should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p><b>AO4.1</b> Development ensures natural waterway corridors and drainage paths are retained.</p> <p><b>AND</b></p> <p><b>AO4.2</b> Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p> <p><b>AND</b></p> <p><b>AO4.3</b> Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p>	<p><b>PP04.</b> Proposal Complies. All existing drainage paths are to be retained, and no natural waterway corridor is affected by this proposal.</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p><b>PO5</b> Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or external to the site.</p> <p>Editor's note—The State Planning Policy – Guideline – Water Quality and Section 9 of the <i>Environmental Protection Act 1994</i> define environmental values as 'a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety.'</p>	No acceptable outcome is nominated.	<p><b>PP05.</b> Proposal Complies. All existing drainage paths are to be retained; and no natural waterway corridor is affected by this proposal.</p>	✓
<b>Overland flow path tenure</b>			
<p><b>PO6</b> All overland flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.</p> <p>Editor's note—As a guide, Council prefers that the location of Council owned assets are contained within a road reserve, drainage system is contained within a road reserve, drainage easement, drainage reserve, public reserve, public pathway, park or waterway corridor.</p>	No acceptable outcome is nominated.	<p><b>PP06.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓
<b>Detention Systems</b>			
<p><b>PO7</b> Detention basins are designed, located and constructed on land solely dedicated for stormwater management.</p>	<p><b>AO7.1</b> Detention basins are designed in accordance with SC6.18 Stormwater management planning scheme policy.</p>	<p><b>PP07.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓
<p><b>PO8</b> Development ensures that location and design of stormwater detention and water quality treatment:</p> <ol style="list-style-type: none"> <li>minimises risk to people and property;</li> <li>provides for safe access and maintenance; and</li> <li>minimises ecological impacts to creeks and waterways.</li> </ol>	<p><b>AO8.1</b> Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater management planning scheme policy.</p>	<p><b>PP08.</b> Proposal Complies. Same as <b>PP07</b>.</p>	✓
<p><b>PO9</b> Flood plain storage and function, and detention</p>	No acceptable outcome is nominated.	<p><b>PP09.</b> Proposal Complies. Same as <b>PP07</b>.</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>system functions are maintained. This shall include ensuring that:</p> <ul style="list-style-type: none"> <li>a. detention system design does not remove floodplain storage; and</li> <li>b. detention systems continue to operate effectively during a major storm event.</li> </ul>			
<p><b>PO10</b> Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.</p>	<p><b>AO10.1</b> The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy.</p>	<p><b>PP010.</b> Proposal Complies. Same as <b>PP07</b>.</p>	✓
<b>Efficiency and whole of life cycle cost</b>			
<p><b>PO11</b> Development ensures that there is sufficient site area to accommodate an effective stormwater management system.</p> <p>Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	No acceptable outcome is nominated.	<p><b>PP11.</b> Proposal Complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓
<p><b>PO12</b> Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:</p> <ul style="list-style-type: none"> <li>(a) existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades;</li> <li>(b) safe management of stormwater discharge from existing and future upslope development; and</li> <li>(c) implications for adjacent and down-slope development.</li> </ul>	No acceptable outcome is nominated.	<p><b>PP12.</b> Proposal complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓
<p><b>PO13</b> Development provides proposed stormwater infrastructure which:</p>	No acceptable outcome is nominated.	<p><b>PP13.</b> Proposal complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and</p> <p>(b) can be safely accessed and maintained in a cost effective way.</p>			
<b>Erosion and sediment control</b>			
<p><b>PO14</b> Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <p>(a) the environmental values and water quality objectives of waters;</p> <p>(b) waterway hydrology; and</p> <p>(c) the maintenance and serviceability of stormwater infrastructure.</p>	<p><b>AO14.1</b> Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>	<p><b>PP14.</b> Proposal will comply. This is going to be addressed in future Operational Works and/or Building Works Applications.</p>	✓
<b>Water quality within catchment areas</b>			
<p><b>PO15</b> For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p><b>AO15.1</b> Development complies with the provisions of the State Planning Policy – Guideline – Water Quality.</p> <p><b>AND</b></p> <p><b>AO15.2</b> Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <p>(a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and</p> <p>(b) fencing and water troughs installed on the land to prevent encroachment of animals</p>	<p><b>PP15.</b> Not applicable. As no waterway is being designed in this submission, water quality within catchment areas has not been affected by this proposal.</p>	N/A

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	within 100 metres of the full supply height above the barrage.		
<b>Protecting water quality</b>			
<p><b>PO16</b> The development is compatible with the land use constraints of the site for:</p> <p>(a) achieving stormwater design objectives; and</p> <p>(b) avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater.</p>	<p><b>AO16.1</b> Development is undertaken in accordance with a stormwater management plan that:</p> <p>(a) incorporates stormwater quality control measures to achieve the design objectives set out in the State Planning Policy – Guideline – Water Quality;</p> <p>(b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and</p> <p>(c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives.</p> <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 — Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>	<p><b>PP16.</b> Proposal complies. Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E.</b></p>	✓
<b>Protecting water quality in existing natural waterways</b>			
<p><b>PO17</b> The waterway is designed for stormwater flow management, stormwater quality management and the following end use purposes:</p> <p>(a) amenity including aesthetics,</p> <p>(b) landscaping and recreation;</p> <p>(c) flood management;</p> <p>(d) stormwater harvesting as part of an integrated water cycle management plan;</p> <p>(e) as a sustainable aquatic habitat; and</p> <p>(f) the protection of water environmental values.</p>	No acceptable outcome is nominated.	<p><b>PP17.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.</p>	N/A

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p><b>PO18</b> The waterway is located in a way that is compatible with existing tidal waterways.</p>	<p><b>AO18.1</b> Where the waterway is located adjacent to, or connected to, a tidal waterway by means of a weir, lock, pumping system or similar: (a) there is sufficient flushing or a tidal range of more than 0.3 metres; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments.</p>	<p><b>PP18.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.</p>	<p><b>N/A</b></p>
<p><b>PO19</b> The construction phase for the waterway is compatible with protecting water environmental values in existing natural waterways.</p>	<p><b>AO19.1</b> Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy – Guideline – Water Quality.  Editor's note—Erosion and sediment control is to be designed and implemented in accordance with the International Erosion Control Association Best Practice Erosion and Sediment Control Guidelines.</p>	<p><b>PP19.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.</p>	<p><b>N/A</b></p>
<p><b>PO20</b> Stormwater overflows from the waterway do not result in lower water quality objectives in existing natural waterways.</p>	<p><b>AO20.1</b> Stormwater run-off entering non-tidal waterways is pre-treated prior to release in accordance with the guideline design objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.</p>	<p><b>PP20.</b> Not applicable. As no waterway is being designed nor is any existing waterway affected by this proposal.</p>	<p><b>N/A</b></p>

### 9.3.7 Addressing Waste management code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(4) The purpose of the waste management code is to ensure that development is provided with on-site waste management facilities including waste collection, storage, disposal and cleaning facilities which maintain public health and streetscape amenity.</p> <p>(5) The purpose of the code will be achieved through the following overall outcomes:</p>	<p>1 &amp; 2. Bin storage areas have been allocated near the proposed driveways. Landscaping is proposed to provide screening and maintain the streetscape in the bin storage area. There is an existing 1.8m high timber picket fence on the eastern boundary and another 1.8m high timber picket fence has been proposed on the western boundary to provide screening from the adjacent Lots as well. Please refer to the Site Setout Plan &amp; Site Features Plan Ref 230704-03</p>	<p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<p>(a) development provides for adequate on-site waste management to deal with the expected volume and nature of waste generated by the development;</p> <p>(b) waste facilities are screened from view from adjoining lots, streets and public spaces;</p> <p>(c) waste management is conducted in a safe and ecologically sustainable manner; and</p> <p>(d) waste facilities are located on-site in a manner which facilitates waste removal in a safe and efficient way.</p>	<p>prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. However, no on-site refuse collection is proposed in this submission. The refuse bins of the proposed residential units will be serviced by Council’s weekly refuse collection vehicles from the kerbside of Wandal Road.</p>	
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### 9.3.7.3 Specific benchmarks for assessment

**Table 9.3.7.3.1 — Development outcomes for assessable development**

Performance outcomes	Acceptable outcomes	Applicant’s Response	Compliance
<b>Design of waste storage areas</b>			
<p><b>PO1</b> For on-site waste collection, waste storage areas are located and designed so that:</p> <p>(a) they are easily accessed and convenient to use;</p> <p>(b) sufficient space is provided for safe entry and exit and servicing by service vehicles without the need for manual handling;</p> <p>(c) sufficient height clearance is provided for the safe operation of both front and side bin lifting operations;</p> <p>(d) they are clear of car parking bays, loading bays and similar areas; and</p> <p>(e) they are clear of footpaths and pedestrian access.</p>	<p><b>AO1.1</b> Waste storage areas are designed and maintained in accordance with SC6.20 — Waste management planning scheme policy.</p>	<p><b>PP1.</b> Proposal Complies.</p> <p>Bin storage areas have been allocated near the proposed driveways. Waste bins shall be easily carried out to the kerbside for council’s waste collection weekly. Please refer to the Site Setout Plan &amp; Site Features Plan Ref. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	<p>✓</p>
<b>Kerbside waste servicing</b>			
<p><b>PO2</b> Kerbside collection of waste containers ensures the safety and amenity of road and footpath users.</p>	<p><b>AO2.1</b> Waste bins are located on the footpath so that:</p> <p>(a) bins are located one (1) metre apart from other bins and obstructions;</p> <p>(b) all bins are accommodated within the street frontage of the site;</p> <p>(c) a clear pedestrian access way two (2) metres wide is retained; and</p>	<p><b>PP2.</b> Proposal complies.</p> <p>Same as <b>PP1.</b></p>	<p>✓</p>

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	(d) bins are capable of being serviced by the collection vehicle travelling forward, without having to reverse the vehicle.		
<b>PO3</b> Waste storage minimises adverse impacts on adjoining properties.	<b>AO3.1</b> Waste storage areas are: (a) integrated with the building design; or (b) set back a minimum of two (2) metres from any boundary; and (c) screened from neighbouring properties and the street by a fence of 1.8 metres minimum height; and (d) not located directly adjoining dwelling units on the site and on neighbouring properties.  <b>AND</b> <b>AO3.2</b> Waste bins are fitted with lids.	<b>PP3.</b> Proposal Complies.  Bin storage areas have been allocated near the proposed driveways. There is an existing 1.8m high timber picket fence on the eastern boundary and another 1.8m high timber picket fence has been proposed on the western boundary to provide screening from the adjacent Lots. Please refer to the Site Setout Plan & Site Features Plan Ref. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.	✓
<b>PO4</b> Waste storage areas: (a) have a level area on impermeable, durable materials so that they are easily cleaned; and (b) have adequate clearance between and around waste storage bins to allow for manoeuvring and washing of bins.	No acceptable outcome is nominated.	<b>PP4.</b> Proposal Complies.  The proposed bin storage areas have adequate clearance between waste storage bins and are proposed to be made of durable construction material. Please refer to the Site Setout Plan & Site Features Plan Ref. 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.	✓
<b>Water management</b>			
<b>PO5</b> Waste storage areas are designed to separate stormwater and wash-down water.	<b>AO5.1</b> Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.  <b>AND</b> <b>AO5.2</b> Wash-down areas are: (a) provided with a tap and water supply; and (b) provided with a stormwater diversion valve and arrestor trap.	<b>PP5.</b> Proposal Complies.  Wash-down water shall drain to the reticulated sewerage system.	✓

### 9.3.8 Addressing Water and sewer code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the water and sewer code is to ensure that development is provided with potable water and sewerage infrastructure in an efficient and sustainable way, which maintains public health.</p> <p>(2) The purpose of the code will be achieved through the following overall outcomes:</p> <p>(a) development facilitates the efficient provision of water, including infrastructure for supply, treatment, storage and reticulation;</p> <p>(b) development facilitates the efficient provision of sewerage infrastructure, including reticulation, treatment, storage and disposal;</p> <p>(c) whole of life cycle costs for water and sewerage infrastructure are minimised; and</p> <p>(d) adverse impacts on the environment and the amenity of the locality are avoided and optimal use of water resources is maintained.</p>	<p>1. &amp; 2. Proposal Complies.</p> <p>The site has connection to the Council's reticulated water supply system and sewerage network. Please refer to <b>Appendix D</b> for the Council's services and contour map.</p>	✓

#### 9.3.8.3 Specific benchmarks for assessment

Table 9.3.8.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Water</b>			
<p><b>PO1</b></p> <p>A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p><b>AO1.1</b></p> <p>Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p>	<p><b>PP1.1.</b> Proposal complies.</p> <p>The site is located within the water supply planning area and is already connected to the council's reticulated water supply system.</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.		
<b>PO2</b> Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.	<b>AO2.1</b> Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.  Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome. <b>AND</b> <b>AO2.2</b> Where within a water supply planning area, staged developments are connected to the water supply network and operational prior to the commencement of the use or endorsement of the survey plan.	<b>PP2.</b> Proposal complies. Same as <b>PP1.1.</b>	✓
<b>Sewer</b>			
<b>PO3</b> Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.	<b>AO3.1</b> Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.  Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.  Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.	<b>PP3.1.</b> Proposal complies. The proposal is for multiple dwelling and extension of the Community Care Centre and shall maintain available connection to Council's reticulated sewerage system.	✓
<b>PO4</b> Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.	<b>AO4.1</b> Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.	<b>PP4.</b> Proposal complies. The site is located within the Sewer supply planning area and shall maintain available connection to Council's reticulated sewerage system.	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	<p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p> <p><b>AO4.2</b></p> <p>Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>		
<b>Point source waste water management</b>			
<p><b>PO5</b></p> <p>The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <p>(a) avoids waste water discharge to waterways; or</p> <p>(b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways can not practically and reasonably be avoided.</p>	<p><b>AO5.1</b></p> <p>A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <p>(a) waste water type;</p> <p>(b) climatic conditions;</p> <p>(c) water quality objectives; and</p> <p>(d) best practice environmental management.</p>	<p><b>PP5.</b> Proposal complies. Same as <b>PP4.</b></p>	✓

### 9.3.9 Addressing Works code

Specific Outcomes	Proposal	Compliance
Purpose		
<p>(1) The purpose of the works code is to ensure development is provided with a level of infrastructure which maintains or enhances community health, safety and amenity and which avoids or minimises impacts on the natural environment.</p> <p>(2) The purpose of the code will be achieved through the following overall outcomes:</p> <p>(a) premises are provided with a level of services which are appropriate to the intended character and function of the zone;</p> <p>(b) risk to life and property is avoided;</p>	<p>1. Proposal Complies.</p> <p>The proposed multiple dwelling and extension for the community care centre is connected to the Council's reticulated water supply system and sewer supply system. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b>. The site is facilitated by all urban infrastructure services such as Telstra, NBN and Ergon services. Please refer to <b>Appendix D</b> for site information maps. A stormwater management strategy report has been prepared by GSPC attached in <b>Appendix E</b> of this submission.</p> <p>2.</p>	<p>✓</p> <p>✓</p>



Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

<p>(c) development does not detract from environmental values or from the desired visual and amenity characteristics of the locality;</p> <p>(d) the integrity of existing infrastructure is maintained;</p> <p>(e) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and meet the reasonable demands generated by the development;</p> <p>(f) development facilitates an efficient provision of infrastructure and use of resources; and</p> <p>(g) whole of life cycle costs for infrastructure are minimised.</p>	<p>a. Proposal Complies. The proposed development is located in the low density residential zone and shall maintain the existing character function of the zone.</p> <p>b. Proposal Complies. The proposed multiple dwelling (6 units) has a 2.6 m setback from the side boundaries to the adjacent Lots. The proposed plant species and landscaping are suitable for the sub-tropical cyclone prone climate and the neighbourhood. A 1.8m high timber picket fence is proposed along the side boundaries to provide screening from the adjacent lots. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref. 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p> <p>c. Proposal complies. The proposed landscaping with turf is cost-effective, visually pleasing and suitable for the proposed function of the development. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref. 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p> <p>d. Proposal complies. The proposed development shall not have any adverse impact on existing infrastructures connected to the site.</p> <p>e. Proposal complies. The proposed multiple dwelling and extension over Lot 25 on RP602156 and Lot 10 on RP604213 has road frontage and driveway access to and from Wandal Road. Lock-up garages are proposed for the additional units, which shall be functional and sufficient to meet the demand. The existing concrete footpath shall be retained. Please refer to Site Setout Plan &amp; Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p> <p>f. Proposal complies. The site has Council's water supply connection sewer supply system, nbn network connections and Teltra &amp; Ergon energy connections. Please refer to <b>Appendix D</b> for site information maps and Council's Infrastructure and Contour Map.</p> <p>g. Proposal complies. The proposed development shall minimise the whole of life cycle costs for infrastructure.</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
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### 9.3.9.3 Specific benchmarks for assessment

**Table 9.3.9.3.1 Development outcomes for assessable development and requirements for accepted development (part)**

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<b>Access driveways</b>			
<p><b>PO1</b> Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> <li>(a) the size of the parking area;</li> <li>(b) the volume, frequency and type of vehicle traffic;</li> <li>(c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access;</li> <li>(d) the type of use and the implications on parking and circulation for example long-term or short-term car parking;</li> <li>(e) frontage road function and conditions; and</li> <li>(f) the capacity and function of the adjoining street system.</li> </ul>	<p><b>AO1.1</b> New access driveways are not located within:</p> <ul style="list-style-type: none"> <li>(a) twenty-five (25) metres of a signalised road intersection;</li> <li>(b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and</li> <li>(c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.</li> </ul>	<p><b>PP1.1.</b> Proposal complies. The access driveways of Lot 25 on RP602156 are approximately 50 metres away from the un-signalized intersection of Haig Street and Wandal Road. The access driveway of Lot 10 on RP604213 is approximately 60 metres away from the un-signalised road intersections of Bevis Street and Wandal Road. The new concrete driveway over Lot 12 on SP320077 is approximately 40 metres away from the un-signalised road intersections of Haig Street and Cavell Street.</p>	✓
<p><b>PO2</b> Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p><b>AO2.1</b> New access driveways:</p> <ul style="list-style-type: none"> <li>(a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;</li> <li>(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway;</li> <li>(c) must be sealed and to a formed road;</li> <li>(d) are not constructed over an access point to equipment under the control of a regulatory authority, including stormwater pits, water meters, hydrants and telephone pits; and</li> <li>(e) where an access chamber is to be incorporated within the driveway, are raised</li> </ul>	<p><b>PP2.1.</b> Proposal complies. Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposed two driveways are practically co-incident to the existing driveways and do not require the modification, relocation or removal of any infrastructure. Please refer to Site Setout Plan &amp; Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p> <p>A new concrete crossover is proposed to be built to access the proposed metal storage shed and covered area over Lot 12 on SP320077; and does not require any</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	or lowered to match the surface level of the driveway and are provided with a trafficable lid.	modification in street infrastructure. Please refer to the New Carport Floor Plan & Elevations Ref 230704-08 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.	
<p><b>PO3</b> Access driveways and cross-falls within the verge are designed and constructed so as to:</p> <p>(a) enable safe and functional vehicular access from the street to the property; and</p> <p>(b) not cause a change in the level of a footpath.</p>	<p><b>AO3.1</b> New access driveways and cross-falls within the verge are constructed in compliance with the Capricorn Municipal Development Guidelines.</p>	<p><b>PP3.1.</b> Proposal complies. All access driveways and concrete crossover shall be constructed in compliance with the Capricorn Municipal Development Guidelines.</p>	✓
<p><b>PO4</b> An access driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.</p>	<p><b>AO4.1</b> New access driveways have a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.</p>	<p><b>PP4.1.</b> Proposal complies. The proposed access driveways shall not contribute to ponding adjacent to any buildings. Please refer to the Stormwater Management Strategy Report prepared by GSPC and attached in <b>Appendix E</b> of this submission.</p>	✓
<b>Parking, access and transport</b>			
<p><b>PO5</b> Provision is made for on-site vehicle parking:</p> <p>(a) to meet the demand likely to be generated by the development; and</p> <p>(b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.</p> <p>Editor's note—SC6.6 – Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.</p>	<p><b>AO5.1</b> AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code.</p> <p>OR</p> <p>AO5.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing number of on-site car parks is retained or increased.</p>	<p><b>PP5.1.</b> Proposal complies. There are a total 6 garages on the ground floor level of the additional 6 units. No external parking areas have been proposed in this submission. Staff unit shall use the existing parking of community care centre. Please refer to Site Setout Plan &amp; Site Features Plan ref. 230704-03 and Ground Floor Plan ref. 230704-04 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	✓
<p><b>PO6</b> Car parking areas are designed to:</p> <p>(a) be clearly defined, marked and signed;</p> <p>(b) be convenient and accessible;</p>	<p><b>AO6.1</b> AO6.1.1 The car parking areas are sealed and designed in accordance with Australian Standard AS 2890, as updated from time to time.</p>	<p><b>PP6.1.</b> Proposal complies. There are a total 6 garages on the ground floor level of the additional 6 units. No external parking areas have been proposed in this submission. Staff unit shall use the</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p>(c) be safe for vehicles, pedestrians and cyclists; and</p> <p>(d) provide spaces which meet the needs of people with disabilities.</p>	<p>OR</p> <p>AO6.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of on-site car parks is maintained or improved.</p>	<p>existing parking of community care centre. Please refer to the Site Setout Plan &amp; Site features plan, drawing no. 230704-03 of proposed industrial development prepared by Rufus Design Group attached in <b>Appendix B</b>.</p>	
<p><b>PO7</b> Parking access arrangements are appropriate for:</p> <p>(a) the capacity of the parking area;</p> <p>(b) the volume, frequency and type of vehicle usage; and</p> <p>(c) the function and characteristics of the access road and adjoining road network.</p>	<p><b>AO7.1</b> AO7.1.1 Parking access is provided in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>OR</p> <p>AO7.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing parking access is maintained or improved.</p>	<p><b>PP7.1.</b> Proposal complies. All access driveways have been proposed according to the Capricorn Municipal Development Guidelines. Please refer to Site Setout Plan &amp; Site features plan, drawing no. 230704-03 of proposed development prepared by Rufus Design Group attached in <b>Appendix B</b>.</p>	✓
<p><b>PO8</b> Landscaping is provided to soften the visual impact of car parking areas and to provide shading.</p>	<p><b>AO8.1</b> AO8.1.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <p>(a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and</p> <p>(b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks.</p> <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy provides sources for determining appropriate species and planting standards.</p> <p>OR</p> <p><b>AO8.1.2</b> Where a change of use of existing premises is proposed and involves not more than minor</p>	<p><b>PP8.1.</b> Not applicable. No shade trees are proposed in this submission, as no external parking areas are proposed, either.</p>	N/A

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	building work, the existing standard of landscaping is maintained or improved.		
<p><b>PO9</b> Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that:</p> <p>(a) is adequate to meet the demands generated by the development;</p> <p>(b) is designed to accommodate service vehicle requirements;</p> <p>(c) is wholly contained within the site; and</p> <p>(d) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the site.</p>	<p><b>AO9.1</b> AO9.1.1 New development is designed to ensure service vehicles do not perform reversing movements onto public roads. AND AO9.1.2 Access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.</p> <p><b>OR</b></p> <p><b>AO9.2</b> Where a change of use of existing premises is proposed and involves not more than minor building work, the existing provision for service vehicles is maintained or improved.</p>	<p><b>PP9.1.</b> Proposal complies. Access driveways are designed to be safe, functional and to meet the reasonable demands generated by the proposed proposed multiple dwelling and extension for the community care centre</p> <p><b>PP9.2.</b> Not applicable. The proposal is not for change of use of existing premises.</p>	<p>✓</p> <p>N/A</p>
<p><b>PO10</b> Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p><b>AO10.1</b> AO10.1.1 The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO10.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing infrastructure fronting the proposed development is maintained or improved.</p>	<p><b>PP10.</b> Proposal complies. The proposed additional 6 units have road frontage to Wandal Road, which is a State controlled road and appropriate for the nature of traffic generated in the zone.</p>	<p>✓</p>
<b>Infrastructure</b>			
<b>PO11</b>	<b>AO11.1</b>	<b>PP11.</b> Proposal complies.	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
A water supply is provided that is adequate for the current and future needs of the development.	<p>Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>	The proposed additional development is located in the Council's water supply planning area and connected to the Council's reticulated water supply system. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b> .	
<p><b>PO12</b> Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p><b>AO12.1</b> Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p> <p><b>AO12.2</b> Where within a water supply planning area, staged developments are connected to the water supply network and operational, prior to the commencement of the use or endorsement of the survey plan.</p>	<p><b>PP12.</b> Proposal complies. Same as <b>PP11</b>.</p>	✓
<p><b>PO13</b> Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p><b>AO13.1</b> Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p>	<p><b>PP13.</b> Proposal complies. The proposed development is located in the Council's sewer supply planning area and connected to the Council's sewer supply network. Please refer to the council's infrastructure and contour map attached in <b>Appendix D</b>.</p>	✓

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
	Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.		
<p><b>PO14</b> Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p><b>AO14.1</b> Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p><b>AND</b></p> <p><b>AO14.2</b> Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p><b>PP14.</b> Proposal complies. Same as <b>PP13.</b></p>	✓
<p><b>PO15</b> Development is located and designed in a manner that does not result in adverse flood affects to the site and on adjoining properties.</p>	<p><b>AO15.1</b> The development does not result in an increase in flood level, flood water velocity or flood duration on upstream, downstream or adjacent properties.</p> <p><b>AND</b></p> <p><b>AO15.2</b> Roof and surface water is conveyed to the kerb and channel or an inter-allotment drainage system in accordance with Australian Standard AS/NZ 3500.3.2, and the Queensland Urban Drainage Manual as updated from time to time.</p>	<p><b>PP15.1.</b> Proposal complies. The proposed development shall not contribute to flooding to the site and on adjoining properties. Please refer to the Stormwater management strategy report prepared by GSPC and attached in <b>Appendix E</b> of this submission.</p>	✓
<b>Waste management</b>			

Material Change of Use (MCU) for Multiple Dwelling and Extension of Community Care Centre over Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Applicant's Response	Compliance
<p><b>PO16</b> Provision is made for waste management that is appropriate to the use, protects the health and safety of people and the environment.</p> <p>Editor's note—Applicants should also be aware that any provision for disposal of any trade waste is to be made in accordance Council's Trade Waste Policy supporting the <i>Water Act 2000, Water Supply (Safety and Reliability) Act 2008</i> and <i>Plumbing and Drainage Act 2018</i>.</p>	<p><b>AO16.1</b> The development provides a bin container storage area that has a sealed pad and is screened to the height of the bins.</p> <p><b>AND</b></p> <p><b>AO16.2</b> On sites in an industrial zone that are greater than 2,000 square metres in area, provision is made for refuse collection vehicles to access the collection area and to enter and leave the site in a forward direction without having to make more than a three-point turn.</p>	<p><b>PP16.</b> Proposal Complies. Bin storage areas have been allocated near the proposed driveways. Landscaping in the bin storage area is proposed to provide screening and maintain the streetscape. There is an existing 1.8m high timber picket fence on the eastern boundary and another 1.8m high timber picket fence has been proposed on the western boundary to provide screening from the adjacent Lots as well. Please refer to the Site Setout Plan &amp; Site Features Plan Ref 230704-03 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.</p>	✓
<b>Erosion and sediment control</b>			
<p><b>PO17</b> Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental values.</p>	<p><b>AO17.1</b> AO17.1.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO17.1.2 No filling or excavation is occurring on the site.</p>	<p><b>PP17.</b> Proposal will comply. This is going to be addressed in future Operational Works and/or Building works Applications.</p>	✓





## **Appendix B – Proposal Plans**

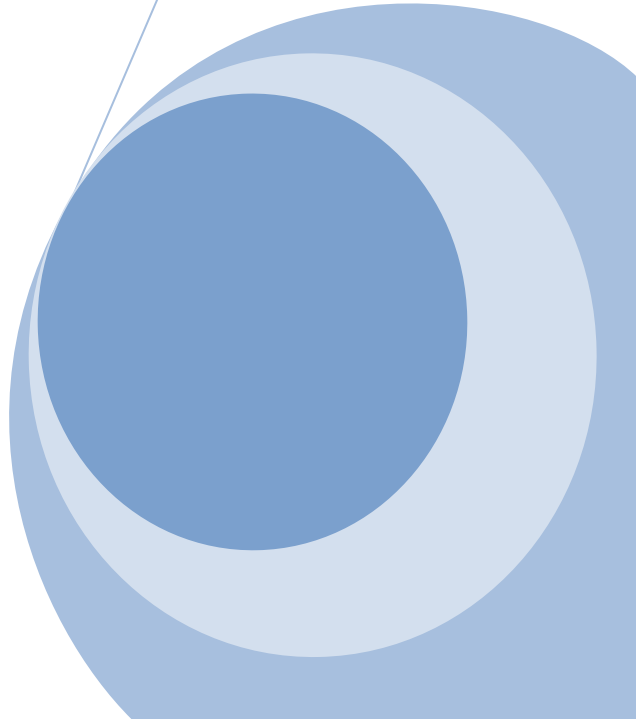
- Proposed Plans for Additional development to Community Care Centre prepared by Rufus Design Group

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**August 2024**

**GSPC**

**Ref: 241340**



**PROPOSED ADDITIONAL  
DEVELOPMENT FOR HOME  
SUPPORT ASSOC. AT 30-36  
WANDAL ROAD, WANDAL**



Plan Index	
Sheet Number	Sheet Name
00	Cover Sheet
01	Master Site Plan
02	Surveyor's Detailed Survey Plan
03	Site Setout Plan & Site Features Plan
04	Ground Floor Plan
05	First Floor Plan
06	Elevations & Section L
07	Staff Unit Floor Plan & Elevations
08	Storage Shed & Carport Floor Plan & Elevations
09	Landscape Plan
10	Vehicle Swept Path Plan



Telephone 61 7 49288011  
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E-mail mailbox@rufusdesigngroup.com

**PRELIM** **03**  
DATE: 16/08/24  
**NOT FOR CONSTRUCTION**

Project No: 230704  
Plan Set Revision :





**PRINCIPAL:**  
HOME SUPPORT ASSOCIATION INC

**DESCRIPTION:**  
DETAIL SURVEY OF PART OF LOT 12 ON SP320077 AND LOT 25 ON RP602156 & LOT 10 ON RP604213

**13 CAVELL STREET, WANDAL**

**REAL PROPERTY DESCRIPTION:**  
Lot/Plan: 12 / SP320077, 25 / RP602156 & 10 / RP604213  
Area: 3621m<sup>2</sup>, 1095m<sup>2</sup> & 826m<sup>2</sup> (Deed)  
Locality: Wandal  
Local Authority: Rockhampton Regional Council

**NOTES:**  
This plan was prepared for HOME SUPPORT ASSOCIATION INC from field survey for the purpose of designing new constructions on the subject land and should not be used by any other persons for any other purpose.  
Property boundaries have not been reinstated or marked at the time of survey and are approximate only, based on appropriate boundary connections.  
Where possible underground services have been located by field survey. Some services shown hereon are compiled from local authority and service provider plans and/or plans provided by the client and are noted accordingly on the plan.  
Prior to any design, excavation or construction on site, the relevant authorities, and a qualified service locator should be engaged to ensure all services that may be affected by any future works have been located.  
These plans have been prepared as verification plans only. Some text RL's have been omitted for clarity. Please refer to the relevant 3D data files for any spatial interrogation requirements.  
Any discrepancies should be verified in writing with Capricorn Survey Group (CSG) Pty Ltd.  
This note is an integral part of this plan.

**LEGEND:**

**LINETYPE LEGEND**

- S UG Sewerage Line
- SC UG Sewerage Line (Completed)
- SW UG Stormwater Line
- SWC UG Stormwater Line (Completed)
- Overland Flow Direction
- E UG Electrical Line
- EC UG Electrical Line (Completed)
- OM UG Optical Line
- W UG Water Line
- WC UG Water Line (Completed)
- AG UG Gas Line
- G UG Gas Line (Completed)
- GC UG Gas Line (Completed)
- Top of Bank
- Toe of Bank
- CL of Bitumen
- Edge of Bitumen
- Retaining Wall
- Line Marking
- Fence Line
- Roof Outlining
- Eaves

**CONTOUR LEGEND**

- 0.25m Interval
- 1.00m Interval

**GENERAL SYMBOL LEGEND**

- Concess Conduit Marker
- Concess Pit
- Elec Conduit Marker
- Elec Turndown
- Elec Pit
- Elec Light Pole
- Elec Light Pole
- Elec Power Pole
- Elec Power Pole + Light
- Elec Power Pole + Transformer
- Elec Stay Point
- Traffic Lights
- Gas Marker
- Gas Valve
- Gas Hot Water System
- Sewerage MH
- Sewerage Vent
- Sewerage ID
- Stormwater MH
- Stormwater Pit
- Stormwater Kurb Outlet
- Stormwater ID
- Water Fire Hydrant
- Water Meter
- Water Valve
- Water Tap
- Water Control Tap
- Water Tap
- Water Conduit Marker
- Water Tapping Band
- Post
- Ballard
- Guide Sign
- Flag Pole
- Australia Post Box
- Shrub

**SERVICES DISCLAIMER:**  
While every effort has been made to locate, identify, and where appropriate, indicate the extent & connectivity of all relevant visible and underground infrastructure within the survey area, no guarantee, either explicit or implied, can be given as to the correctness and completeness of such infrastructure shown hereon.  
Due to the intrusive, high impact and potentially dangerous nature of exposing underground infrastructure, the risk of serious injury and damage to infrastructure is very high, therefore further investigation by suitably qualified personnel with the relevant skills, techniques and equipment will be required to comprehensively establish and qualify the true state of all infrastructure on site.  
Please refer to each of the relevant service providers rules, procedures, guidelines, rights and responsibilities when designing or working in the vicinity of each respective plant or service.  
This note is an integral part of this plan, being 1 sheet in total, and all subsequent iterations of this plan. ©

**WARNING:**  
LOCATION AND CONNECTIVITY OF UG SERVICES SHOWN HEREON HAVE BEEN DETERMINED BY DIRECT ACCESS OR COMPILED FROM LOCAL AUTHORITY AND SERVICE PROVIDER PLANS ONLY. FURTHER INVESTIGATION MAY BE REQUIRED TO DETERMINE LOCATIONS OF ALL INACCESSIBLE SERVICES.

**DATUM:**  
Vertical Datum: AHD Wide SmartNet Aus  
Horizontal Datum: MGA84 Wide SmartNet Aus  
Contour Interval: 0.25m, 1.0m Index  
Co-ord System: MGA84 Wide SmartNet Aus

REVISION	Issue	Date	Details	Authorized
A	Initial Issue	24-04-2024		RJRF

**capricornsurveygroup**  
SURVEYING & PLANNING SOLUTIONS

SCALE: 1:150 @ A1

DRAWING NUMBER: 9281-01-DTL (1/1)

ISSUE: A

**PRELIM**  
DATE: 16/08/24  
**03**  
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing  
Surveyor's Detailed Survey Plan

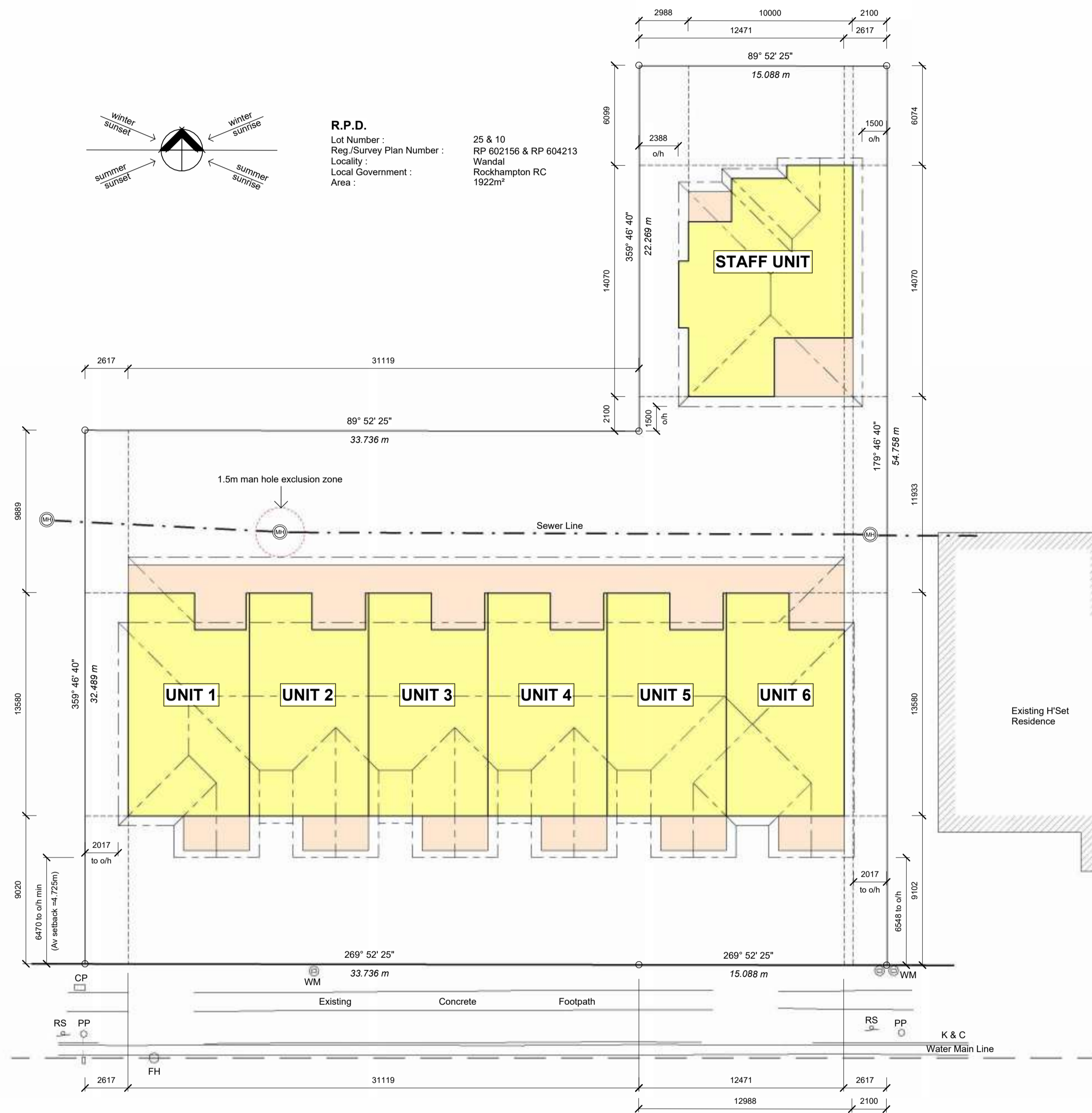
**Rufus**  
RESIDENTIAL GROUP  
STYLE · QUALITY · INNOVATION

MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC.

Licensed under the QBCC Act Lic No. 1180286

Telephone 61 7 49288011  
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>DJ Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 230704 - 02
DRAWN: <i>DJ Webb</i>	PLAN SIZE: A1	SHEET 02 OF 10 SHEETS
CHKD: <i>DJ Webb</i>		REVISION



WANDAL ROAD  
 2 Site Setout Plan  
 1 : 200

**Site Analysis**

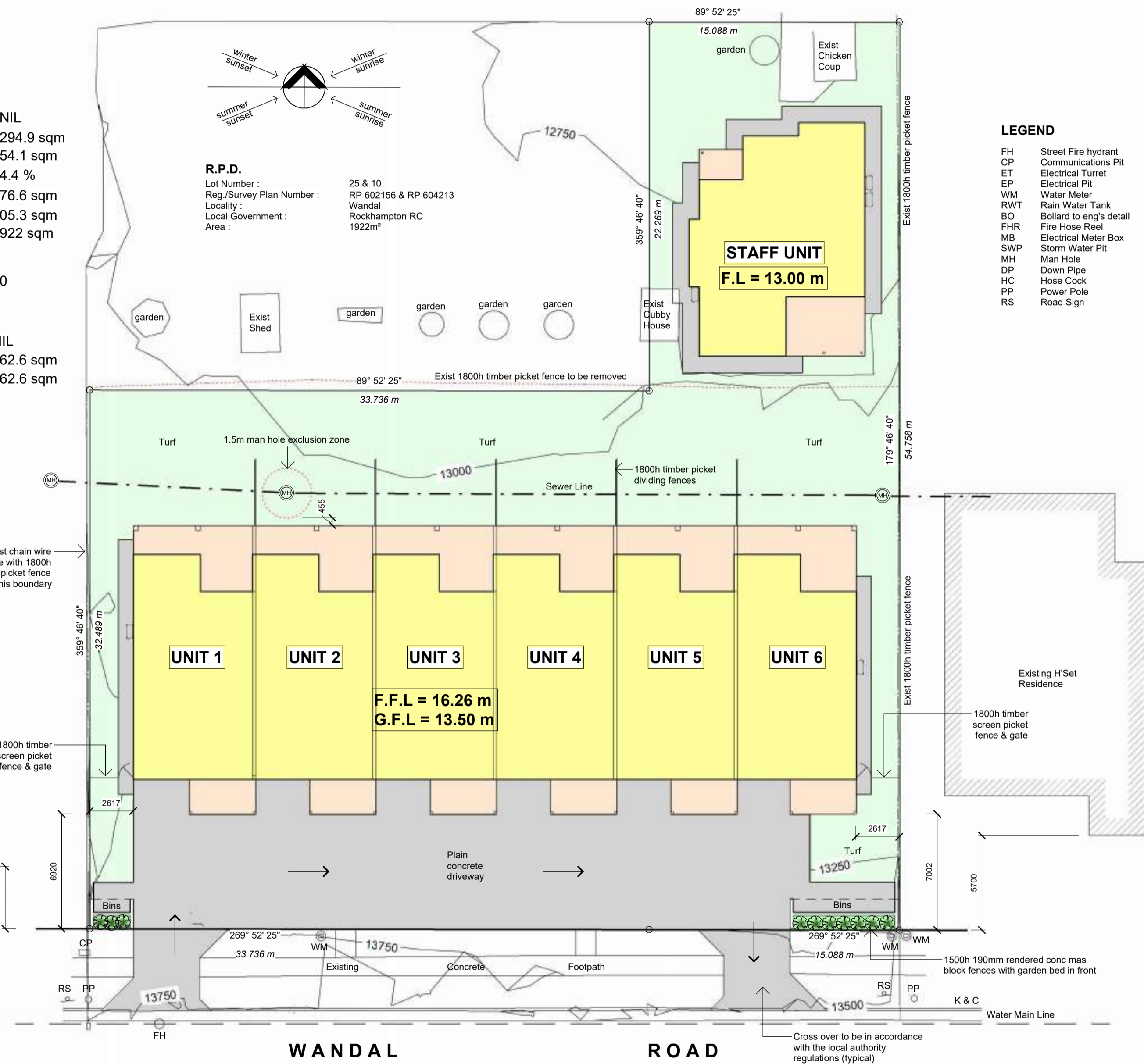
- Existing Floor Area = NIL
- Proposed Floor Area = 1294.9 sqm
- Total Building Footprint Area = 854.1 sqm
- Total Site Coverage = 44.4 %
- Total Landscaped Area Required = 576.6 sqm
- Total Landscaped Area Provided = 705.3 sqm
- Total Site Area = 1922 sqm

**Car Parking**

- Car parking spaces required = 10
- Total car spaces provided = 6

**Driveways**

- Existing concrete driveway area = NIL
- New concrete driveway area = 362.6 sqm
- Total driveway area = 362.6 sqm



1 Site Features Plan  
 1 : 200

- LEGEND**
- FH Street Fire hydrant
  - CP Communications Pit
  - ET Electrical Turret
  - EP Electrical Pit
  - WM Water Meter
  - RWT Rain Water Tank
  - BO Bolland to eng's detail
  - FHR Fire Hose Reel
  - MB Electrical Meter Box
  - SWP Storm Water Pit
  - MH Main Hole
  - DP Down Pipe
  - HC Hose Cock
  - PP Power Pole
  - RS Road Sign

**PRELIM 03**  
 DATE: 16/08/24  
 NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing  
 Site Setout Plan & Site Features Plan

**Rufus Design Group**  
 STYLE · QUALITY · INNOVATION

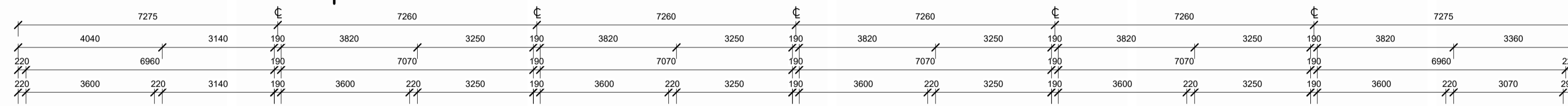
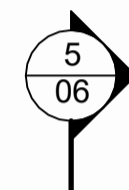
MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC.  
 Licensed under the QBCC Act Lic No. 11802886  
 Telephone 61 7 49288011  
 E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 230704 - 03
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 03 OF 10 SHEETS
CHKD: <i>D Webb</i>	REVISION:	REVISION



2 3D View 1

**PRELIM** **03**  
 DATE: 16/08/24  
 NOT FOR CONSTRUCTION



**Window Legend**

1218 - 1200 high x 1800 wide  
 XO - Sliding / Fixed  
 X - Sliding  
 O - Fixed  
 D - Double Hung  
 A - Awning  
 CMT - Casement  
 L - Louvre  
 FG - Fixed Glass  
 GSW - Gas Strut Window  
 Glazing to wet areas to be obscure  
 Refer to EE table for remainder of Glazing

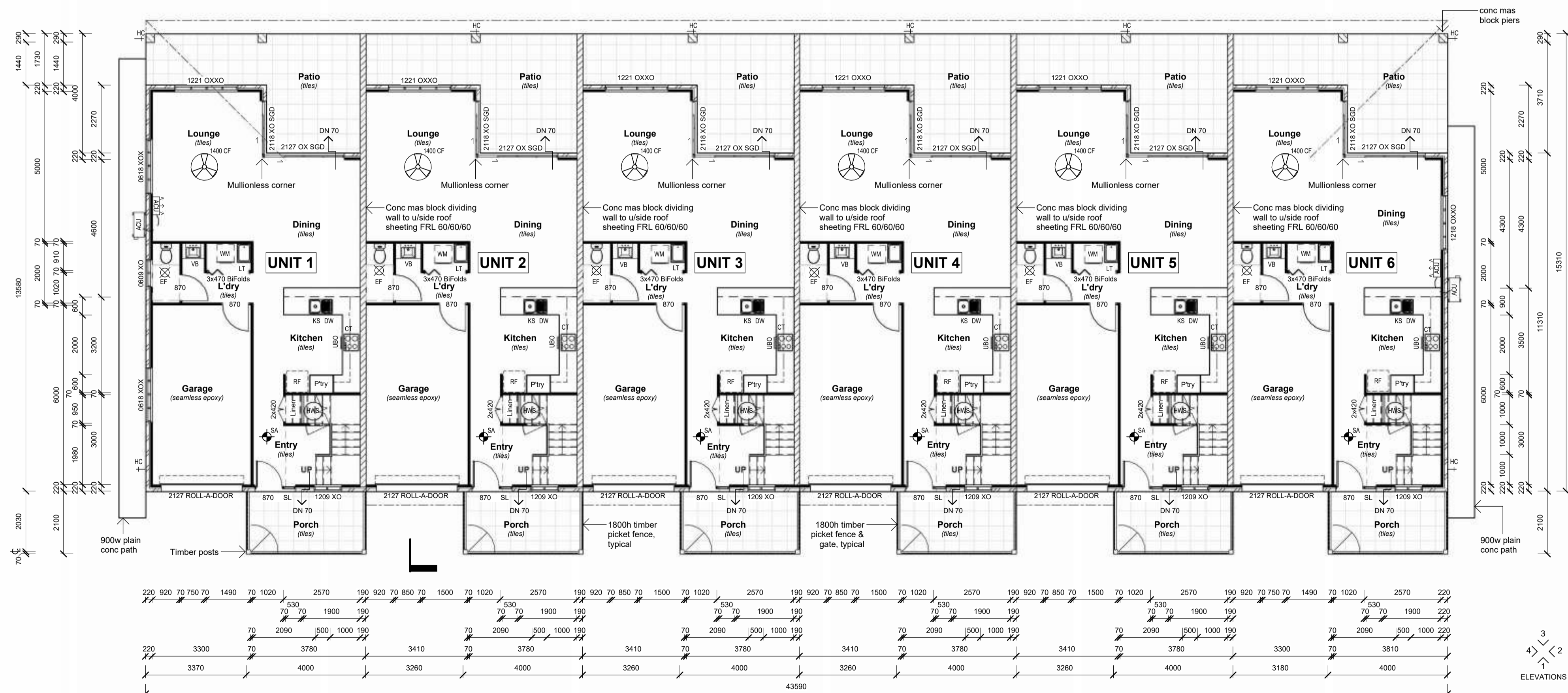
Floor Areas	
Unit 1 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	72.8 m <sup>2</sup>
81.2 m <sup>2</sup>	
Unit 1 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.0 m <sup>2</sup>
Garage	21.9 m <sup>2</sup>
Habitable	69.5 m <sup>2</sup>
119.8 m <sup>2</sup>	
Unit 2 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 2 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 3 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 3 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 4 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 4 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 5 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 5 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 6 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	72.4 m <sup>2</sup>
80.8 m <sup>2</sup>	
Unit 6 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.1 m <sup>2</sup>
Habitable	70.1 m <sup>2</sup>
119.8 m <sup>2</sup>	
Grand total	
1158.6 m <sup>2</sup>	

**Energy Efficiency Details**

Roof Colour	Light
Wall Colour	Light and Medium
Roof Insulation	Nil
Ceiling Insulation	R2.5 Batts
Wall Insulation	R2.0 Batts to external clad walls
Floor Insulation	Nil
Solar Power	Nil
Hot Water Unit	Electric
Glazing	Alum framed, single, tinted
Downlights	Sealed LED
Ventilation	Ceiling fans as per plans
Floor Finishes	Refer to plan
Concessions	1 star for patio ceiling fan
Energy Assessor - Lane Energy Assessments	
Accredited Assessor No. DMN/16/1733	

**Plan Legend**

1200 CF	1200mm dia Ceiling Fan
1400 CF	1400mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AHS	Accessible Hobless Shower with 5mm max step at entry
CC	Ceiling Cassette
CT	Cooktop
DP	Down Pipe
DW	Dishwasher
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
FW	Floor Waste
FZ	Freezer
HC	Hose Cock
HS	Hobless Shower
HWS	Electric Hot Water System
KS	Kitchen Sink
LT	Laundry Tub
MH	Man Hole
NW	Nib Wall - 1100 high with shr screen above
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SS	90w Tiled Shower shelf at 900mm above F.L.
TR	Towel Rail
UBO	Under Bench Oven
VB	Wall hung Vanity Basin
WM	Washing Machine with Clothes Dryer above



1 Ground Floor Plan  
 1 : 100

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing  
 Ground Floor Plan



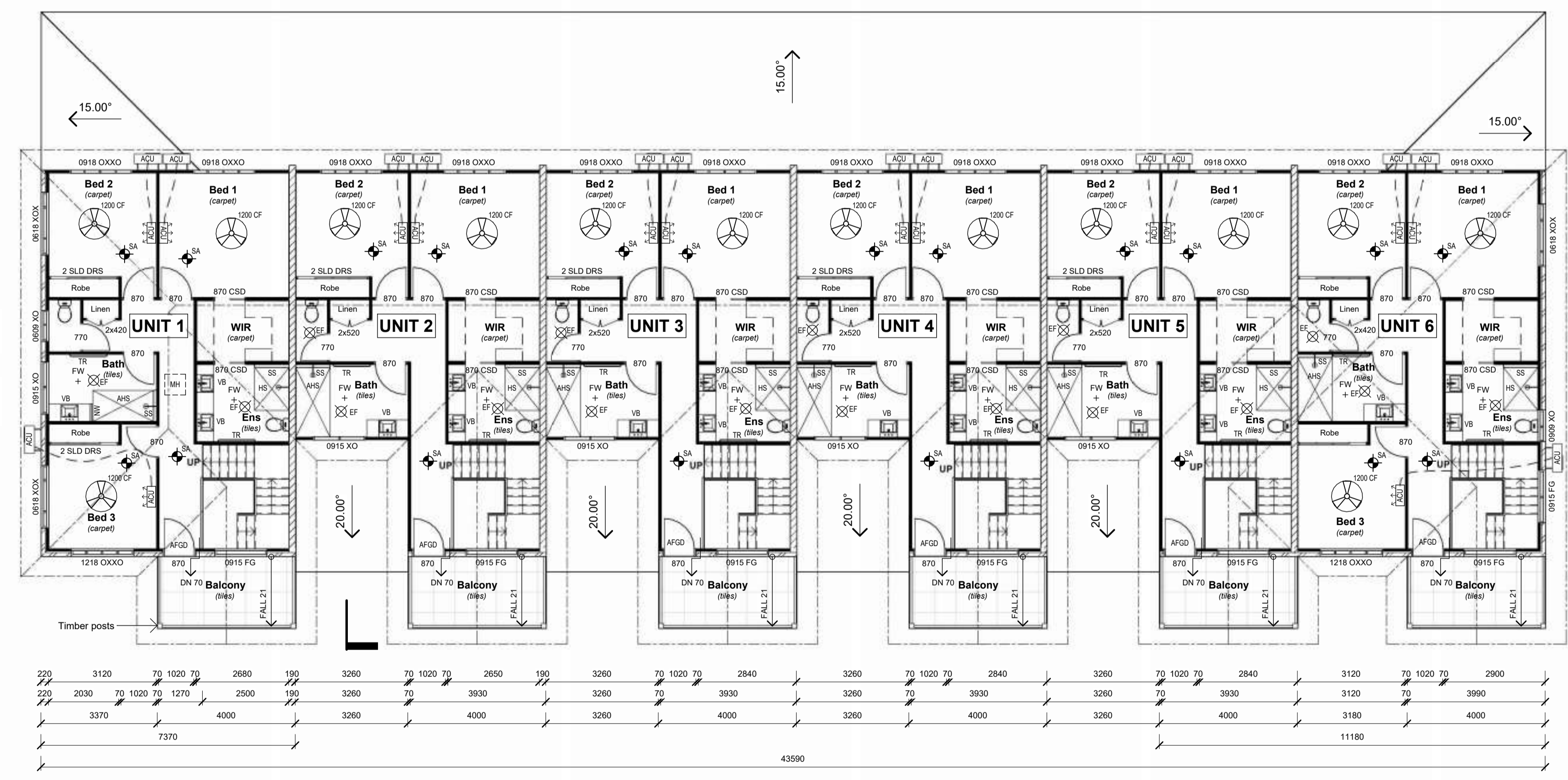
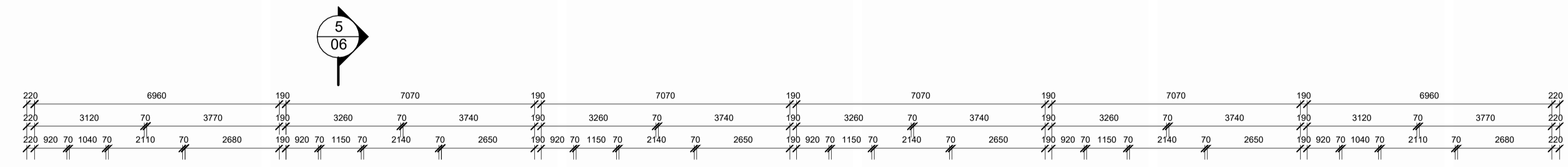
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 Telephone 61 7 49288011  
 E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER	WIND SPEED	PROJECT NUMBER 230704 - 04
DRAWN	C1	
CHKD	PLAN SIZE: A1	SHEET 04 OF 10 SHEETS REVISION



2 3D View 2

**PRELIM 03**  
 DATE: 16/08/24  
 NOT FOR CONSTRUCTION



1 First Floor Plan  
 1 : 100

Plan Legend	
1200 CF	1200mm dia Ceiling Fan
1400 CF	1400mm dia Ceiling Fan
ACU	Air Conditioner Unit
AFGD	Alum Framed Glass Door
AHS	Accessible Hobless Shower with 5mm max step at entry
CC	Ceiling Cassette
CT	Cooktop
DP	Down Pipe
DW	Dishwasher
EF	Mechanical exhaust fan discharging to outside air in accord. with AS 1668.2
FW	Floor Waste
FZ	Freezer
HC	Hose Cock
HS	Hobless Shower
HWS	Electric Hot Water System
KS	Kitchen Sink
LT	Laundry Tub
MH	Man Hole
NW	Nib Wall - 1100 high with str screen above
RF	Refrigerator
SA	Photoelectric Smoke Alarm
SS	90w Tiled Shower shelf at 900mm above F.L.
TR	Towel Rail
UBO	Under Bench Oven
VB	Wall hung Vanity Basin
WM	Washing Machine with Clothes Dryer above

Floor Areas	
Unit 1 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	72.8 m <sup>2</sup>
81.2 m <sup>2</sup>	
Unit 1 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.0 m <sup>2</sup>
Garage	21.9 m <sup>2</sup>
Habitable	69.5 m <sup>2</sup>
119.8 m <sup>2</sup>	
Unit 2 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 2 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 3 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 3 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 4 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 4 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 5 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	61.3 m <sup>2</sup>
69.7 m <sup>2</sup>	
Unit 5 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.8 m <sup>2</sup>
Habitable	69.2 m <sup>2</sup>
119.6 m <sup>2</sup>	
Unit 6 First Floor	
Balcony	8.4 m <sup>2</sup>
Habitable	72.4 m <sup>2</sup>
80.8 m <sup>2</sup>	
Unit 6 Ground Floor	
Porch	8.4 m <sup>2</sup>
Patio	20.2 m <sup>2</sup>
Garage	21.1 m <sup>2</sup>
Habitable	70.1 m <sup>2</sup>
119.8 m <sup>2</sup>	
Grand total	1158.6 m <sup>2</sup>

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing  
 First Floor Plan

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 E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 230704 - 05
DRAWN: <i>D Webb</i>	PLAN SIZE: A1	SHEET 05 OF 10 SHEETS
CHKD: <i>D Webb</i>	REVISION	REVISION



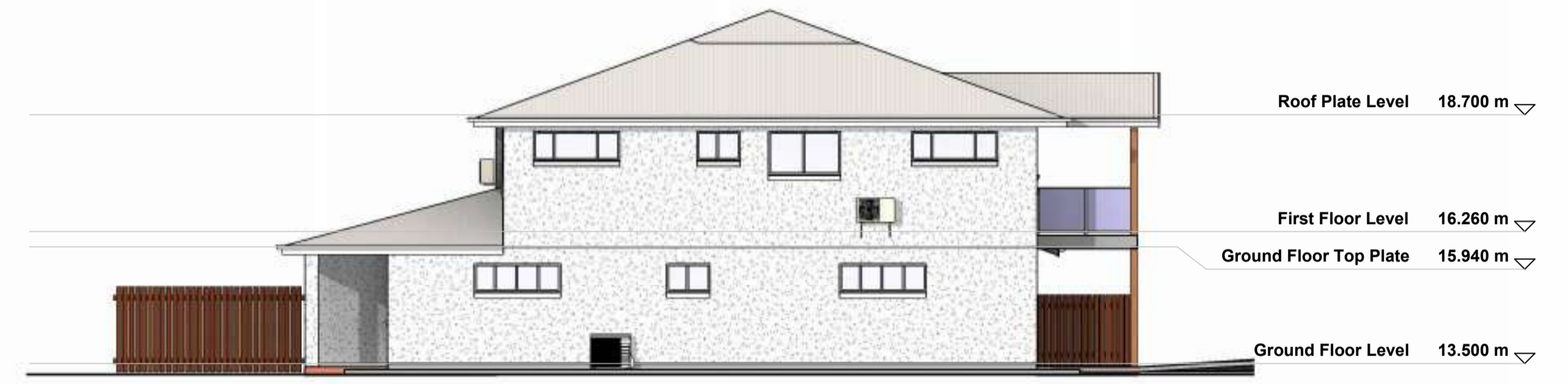
6 Elevation 1 - Street View  
1:100



1 Elevation 1 - Units  
1:100



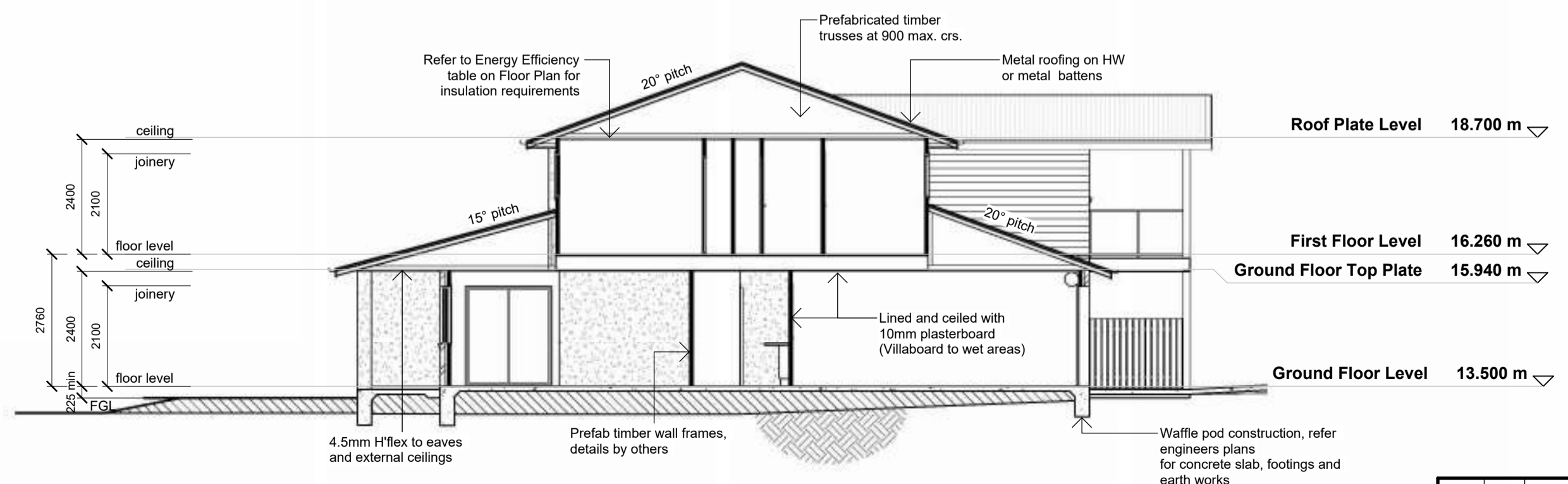
2 Elevation 2  
1:100



4 Elevation 4  
1:100



3 Elevation 3  
1:100



5 Section L  
1:100

**PRELIM**  
DATE: 16/08/24  
**03**  
NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing Elevations & Section L

**Rufus Design Group**  
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Telephone 61 7 49288011  
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER: <i>DJ Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 230704 - 06
DRAWN: <i>DJ Webb</i>	PLAN SIZE: A1	SHEET 06 OF 10 SHEETS
CHKD: <i>DJ Webb</i>	REVISION	REVISION





6 3D View 1

Plan Legend	
1200 CF	1200mm dia Ceiling Fan
1400 CF	1400mm dia Ceiling Fan
ACU	Air Conditioner Unit
AHS	Accessible Hobless Shower with 5mm max step at entry
CT	Cooktop
DP	Down Pipe
DW	Dishwasher
HB	Hand Basin
HC	Hose Cock
KS	Kitchen Sink
LT	Laundry Tub
MH	Man Hole
RF	Refrigerator
SA	Photoelectric Smoke Alarm
TR	Towel Rail
UBO	Under Bench Oven
VB	Vanity Basin
WM	Washing Machine with Clothes Dryer above



2 Elevation 1  
1:100



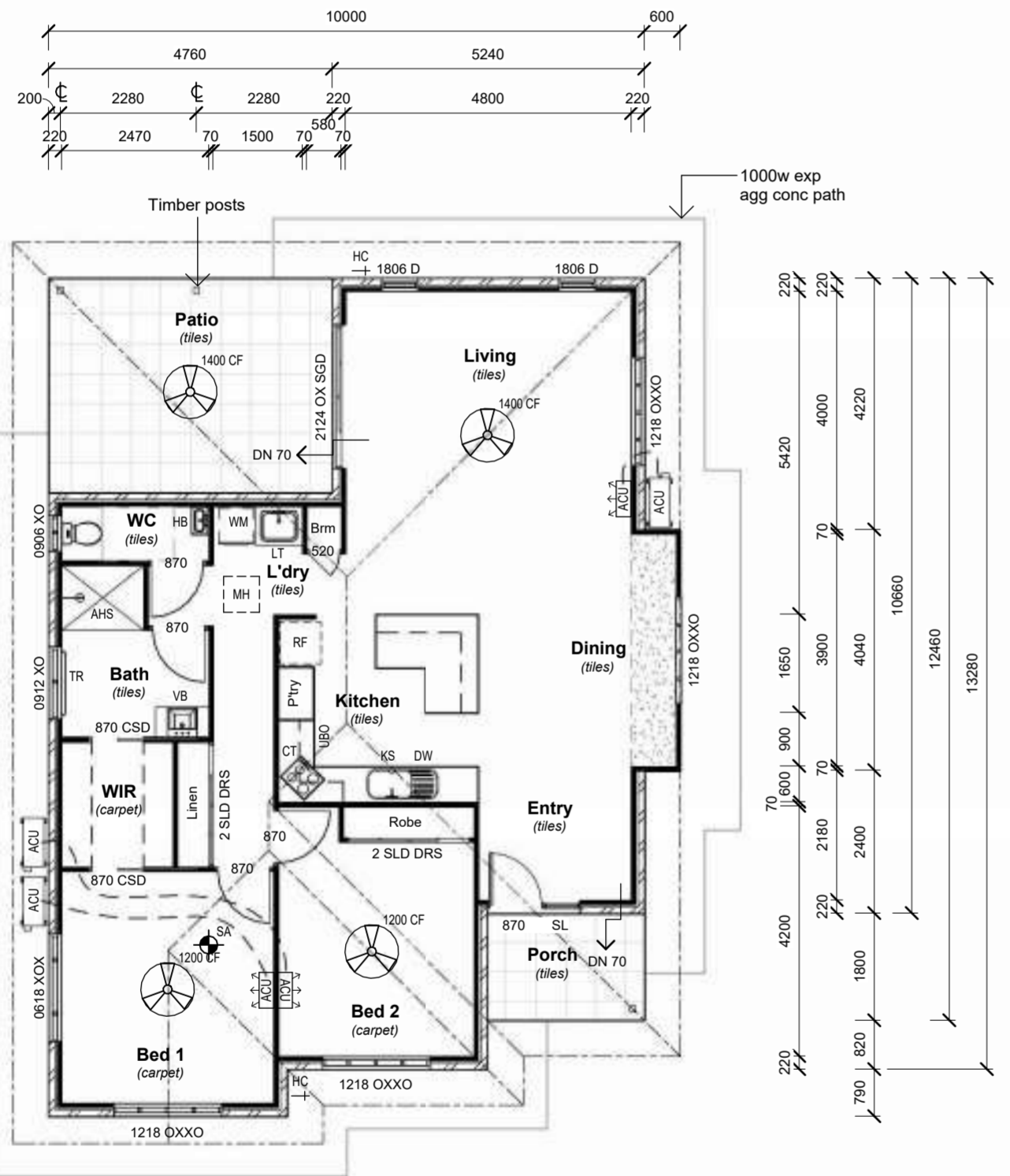
3 Elevation 2  
1:100



4 Elevation 3  
1:100



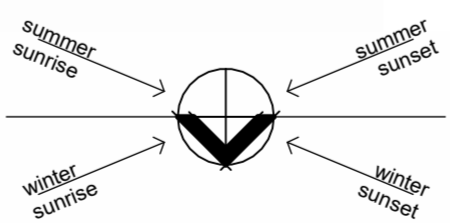
5 Elevation 4  
1:100



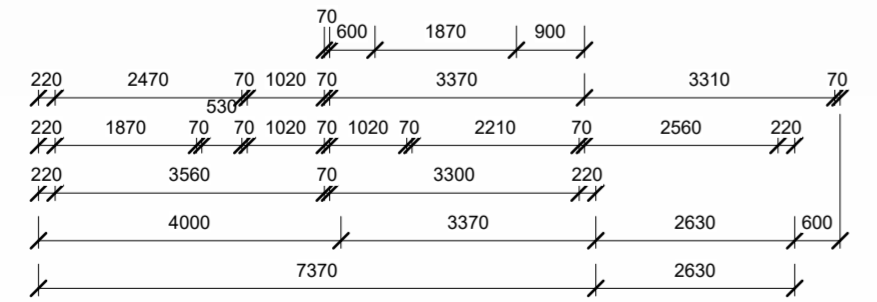
Energy Efficiency Details	
Roof Colour	Light
Wall Colour	Medium
Roof Insulation	Nil
Ceiling Insulation	R2.5 Batts
Wall Insulation	R1.0 Batts
Floor Insulation	Nil
Solar Power	Nil
Hot Water Unit	Heat pump
Glazing	Alum framed, single, tinted
Downlights	Sealed LED
Ventilation	As per floor plan
Floor Finishes	Refer to plan
Concessions	1 star for patio ceiling fan
Energy Assessor - Lane Energy Assessments	
Accredited Assessor No.	DMN/16/1733

Dropped ceiling at 2150mm above F.L.

Window Legend	
1218	- 1200 high x 1800 wide
XO	- Sliding / Fixed
X	- Sliding
O	- Fixed
D	- Double Hung
A	- Awning
CMT	- Casement
L	- Louvre
FG	- Fixed Glass
GSW	- Gas Strut Window
Glazing to wet areas to be obscure	
Refer to EE table for remainder of Glazing	



Floor Areas	
Porch	4.7 m <sup>2</sup>
Patio	17.1 m <sup>2</sup>
Habitable	114.4 m <sup>2</sup>
Grand total	136.2 m <sup>2</sup>



1 Floor Plan  
1:100

**PRELIM 01**  
DATE: 27/06/24  
**NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE

**PROPOSED STAFF UNIT  
FOR HOME SUPPORT ASSOC  
AT 13 CAVELL STREET  
WANDAL**

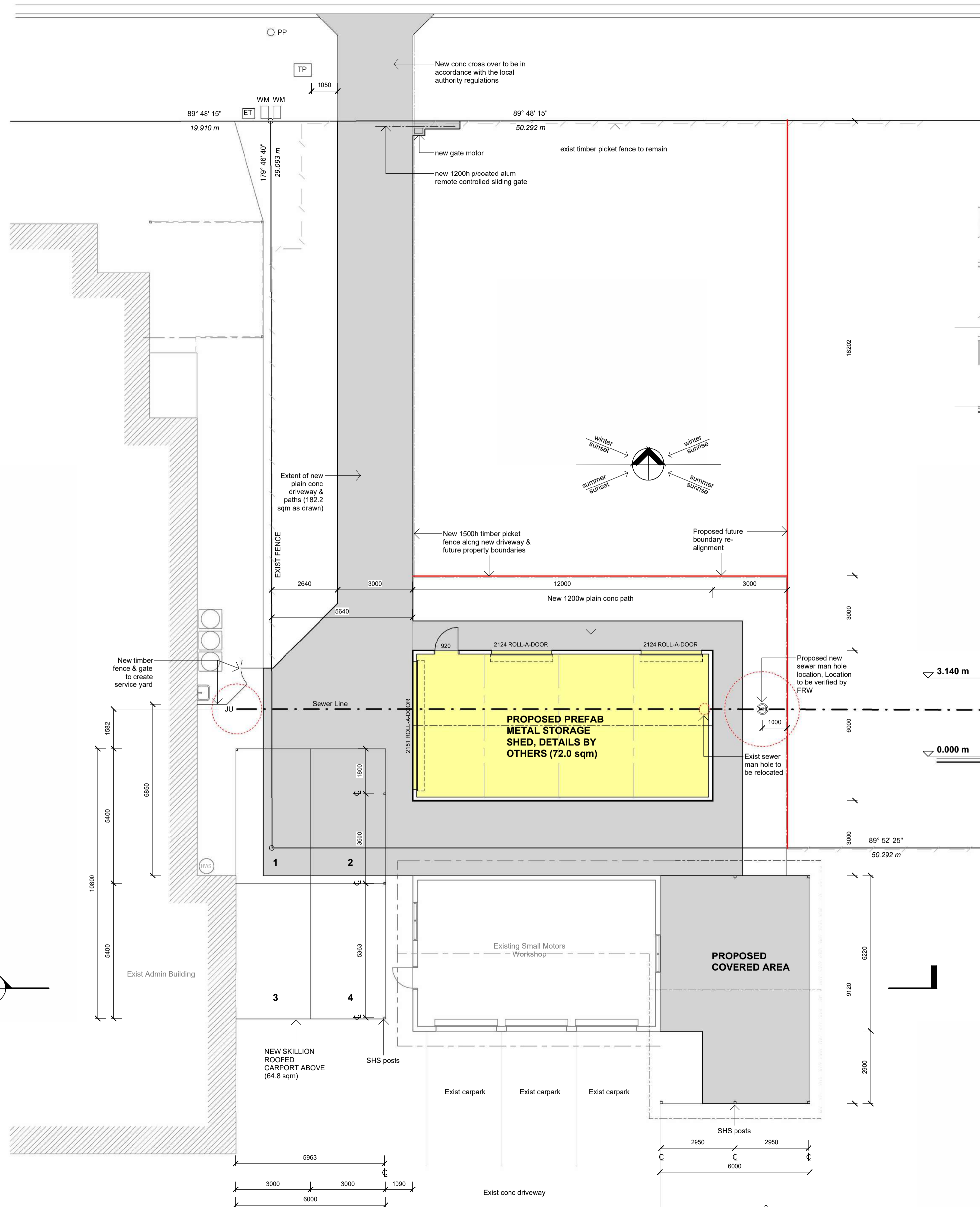
this drawing  
**Staff Unit Floor Plan & Elevations**



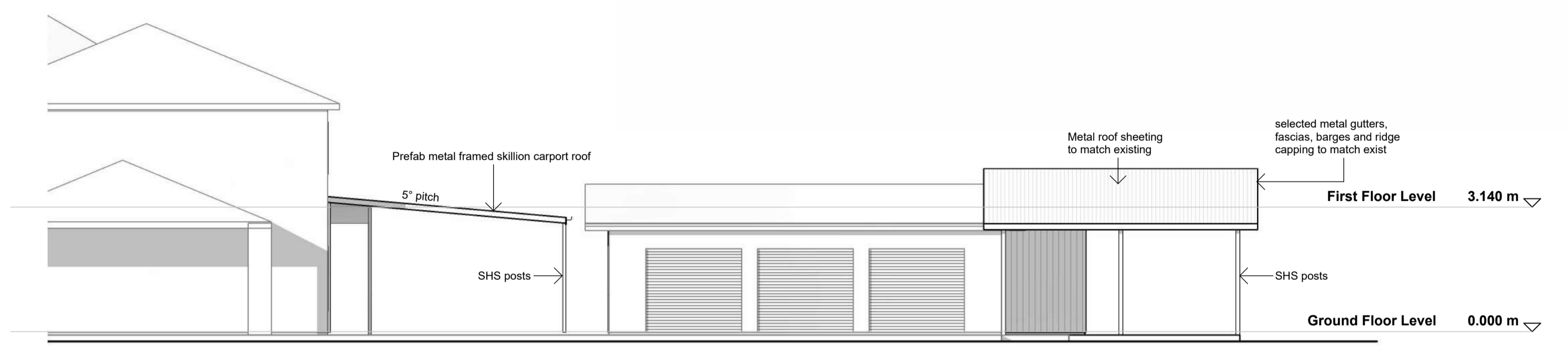
**Rufus**  
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BUILDING DESIGNERS  
ASSOC. OF QLD INC.  
Licenced under the  
QBSA Act Lic  
No. 1180286  
Telephone 61 7 49288011  
Facsimile 61 7 49266579  
E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER : <i>D Webb</i>	WIND SPEED: C1	PROJECT NUMBER: 230704 - 07
DRAWN : <i>D Webb</i>	PLAN SIZE: A2	SHEET 07 OF 09 SHEETS
CHKD :		REVISION

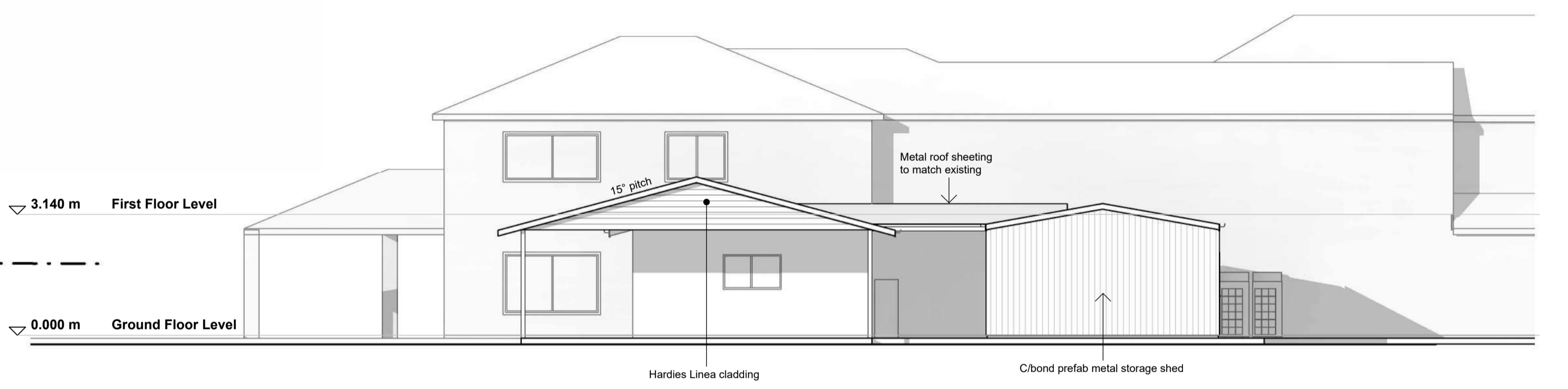
CAVELL STREET



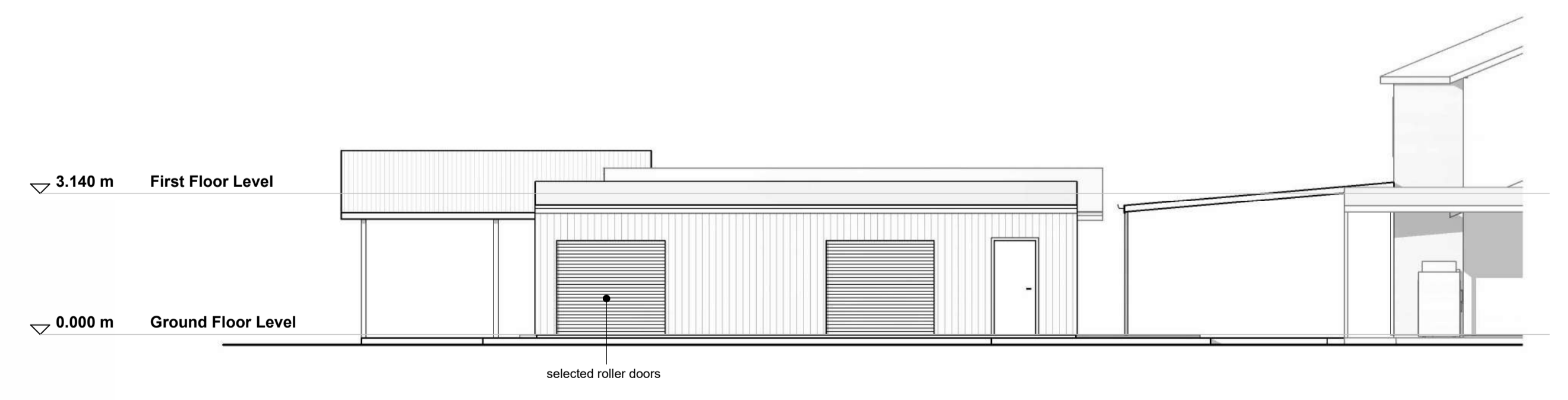
1 Ground Floor Plan - Shed & Carport  
1 : 100



2 Elevation 1 - Carport  
1 : 100



3 Elevation 2  
1 : 100



4 Elevation 3  
1 : 100

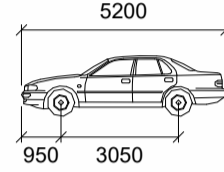
**PRELIM 03**  
DATE: 22/08/24  
NOT FOR CONSTRUCTION

<b>REVISIONS</b> NO. DESCRIPTION DATE	<b>PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 13 CAVELL STREET, WANDAL</b>		this drawing <b>New Carport Floor Plan &amp; Elevations</b>		 MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC. Licensed under the QBCC Act Lic No. 1180286 Telephone 61 7 49288011 E-mail mailbox@rufusdesigngroup.com	PROJECT MANAGER: <b>TJR</b> DRAWN: <b>DJ Webb</b> CHKD:	WIND SPEED: <b>C1</b> PLAN SIZE: <b>A1</b>	PROJECT NUMBER: <b>230704 - 08</b> SHEET 08 OF 09 SHEETS REVISION
	PRINT DATE: 22/08/2024 3:25:20 PM							

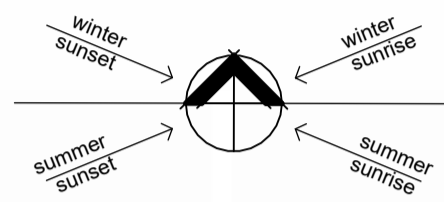


**VEHICLE SWEPT PATH'S**

Swept Path's Generated by AutoTURN Version 11.0



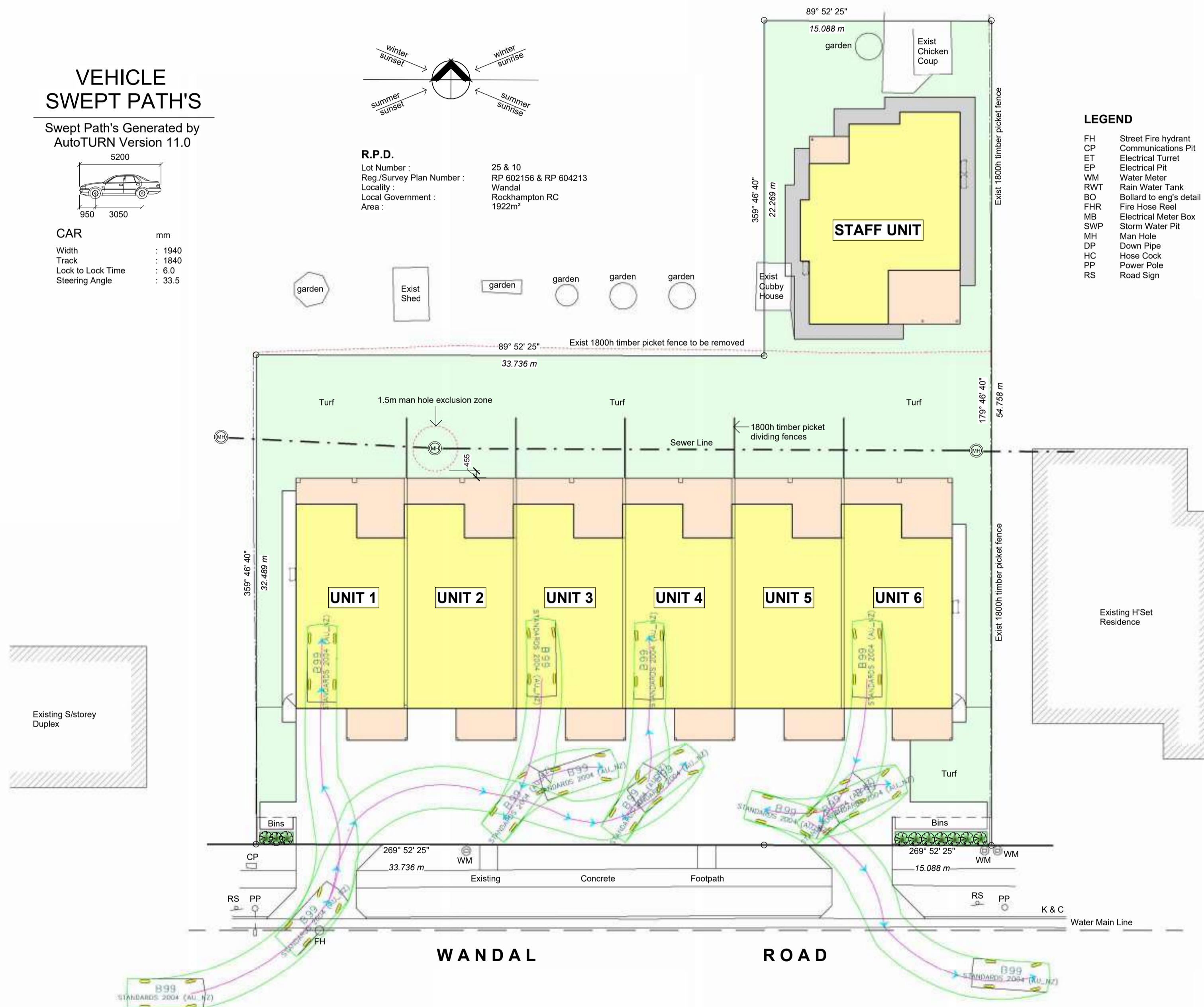
**CAR** mm  
 Width : 1940  
 Track : 1840  
 Lock to Lock Time : 6.0  
 Steering Angle : 33.5



**R.P.D.**  
 Lot Number : 25 & 10  
 Reg./Survey Plan Number : RP 602156 & RP 604213  
 Locality : Wandal  
 Local Government : Rockhampton RC  
 Area : 1922m<sup>2</sup>

**LEGEND**

- FH Street Fire hydrant
- CP Communications Pit
- ET Electrical Turret
- EP Electrical Pit
- WM Water Meter
- RWT Rain Water Tank
- BO Bollard to eng's detail
- FHR Fire Hose Reel
- MB Electrical Meter Box
- SWP Storm Water Pit
- MH Man Hole
- DP Down Pipe
- HC Hose Cock
- PP Power Pole
- RS Road Sign



1 Vehicle Swept Path Plan  
 1 : 200

**PRELIM 03**  
 DATE: 16/08/24  
 NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

PROPOSED ADDITIONAL DEVELOPMENT FOR HOME SUPPORT ASSOC. AT 30-36 WANDAL ROAD, WANDAL

this drawing  
 Vehicle Swept Path Plan

**Rufus Design Group**  
 MEMBER BUILDING DESIGNERS ASSOC. OF QLD INC.  
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 Telephone 61 7 49288011  
 E-mail mailbox@rufusdesigngroup.com

PROJECT MANAGER : <i>DJ Webb</i>	WIND SPEED : C1	PROJECT NUMBER : 230704 - 10
DRAWN : <i>DJ Webb</i>	PLAN SIZE : A1	SHEET 10 OF 10 SHEETS
CHKD :	REVISION	

The page features several decorative elements: a large blue circle with a gradient in the top right, a smaller similar circle below it, and a large blue circle with a gradient in the bottom right. Two thin blue lines cross the page diagonally from the top left towards the bottom right.

## **Appendix C – Site Information**

- Current Title Searches;
- Smart Map;
- QLD Globe; and
- Copy of Survey Plans SP320077, RP604752, RP602156 and RP604213

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**August 2024**

**GSPC**

**Ref: 241340**

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 30125194	<b>Search Date:</b> 21/08/2024 13:43
<b>Date Title Created:</b> 27/09/1917	<b>Request No:</b> 49066526
<b>Previous Title:</b> 30030051	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 25 REGISTERED PLAN 602156  
Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 716952774 14/12/2015

HOME SUPPORT ASSOCIATION INC

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 19502099 (POR 40)

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 30159249	<b>Search Date:</b> 21/08/2024 13:43
<b>Date Title Created:</b> 29/08/1928	<b>Request No:</b> 49066526
<b>Previous Title:</b> 30036235	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 10 REGISTERED PLAN 604213  
Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 712619993 24/07/2009

HOME SUPPORT ASSOCIATION INC A.B.N. 65 591 388 164

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by Deed of Grant No. 19502099 (POR 40)

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 30186207	<b>Search Date:</b> 21/08/2024 13:43
<b>Date Title Created:</b> 18/05/1939	<b>Request No:</b> 49066526
<b>Previous Title:</b> 30030051	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 2 REGISTERED PLAN 604752  
Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 721429144 24/01/2022

HOME SUPPORT ASSOCIATION INC

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by Deed of Grant No. 19502099 (POR 40)

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*



Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 51224933	<b>Search Date:</b> 02/08/2024 13:30
<b>Date Title Created:</b> 29/07/2020	<b>Request No:</b> 48870260
<b>Previous Title:</b> 30178109, 30206146, 50786959	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 12 SURVEY PLAN 320077

Local Government: ROCKHAMPTON

#### REGISTERED OWNER

Dealing No: 720179741 28/07/2020

HOME SUPPORT ASSOCIATION INC. A.B.N. 65 591 388 164

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by Deed of Grant No. 19502099 (POR 40)

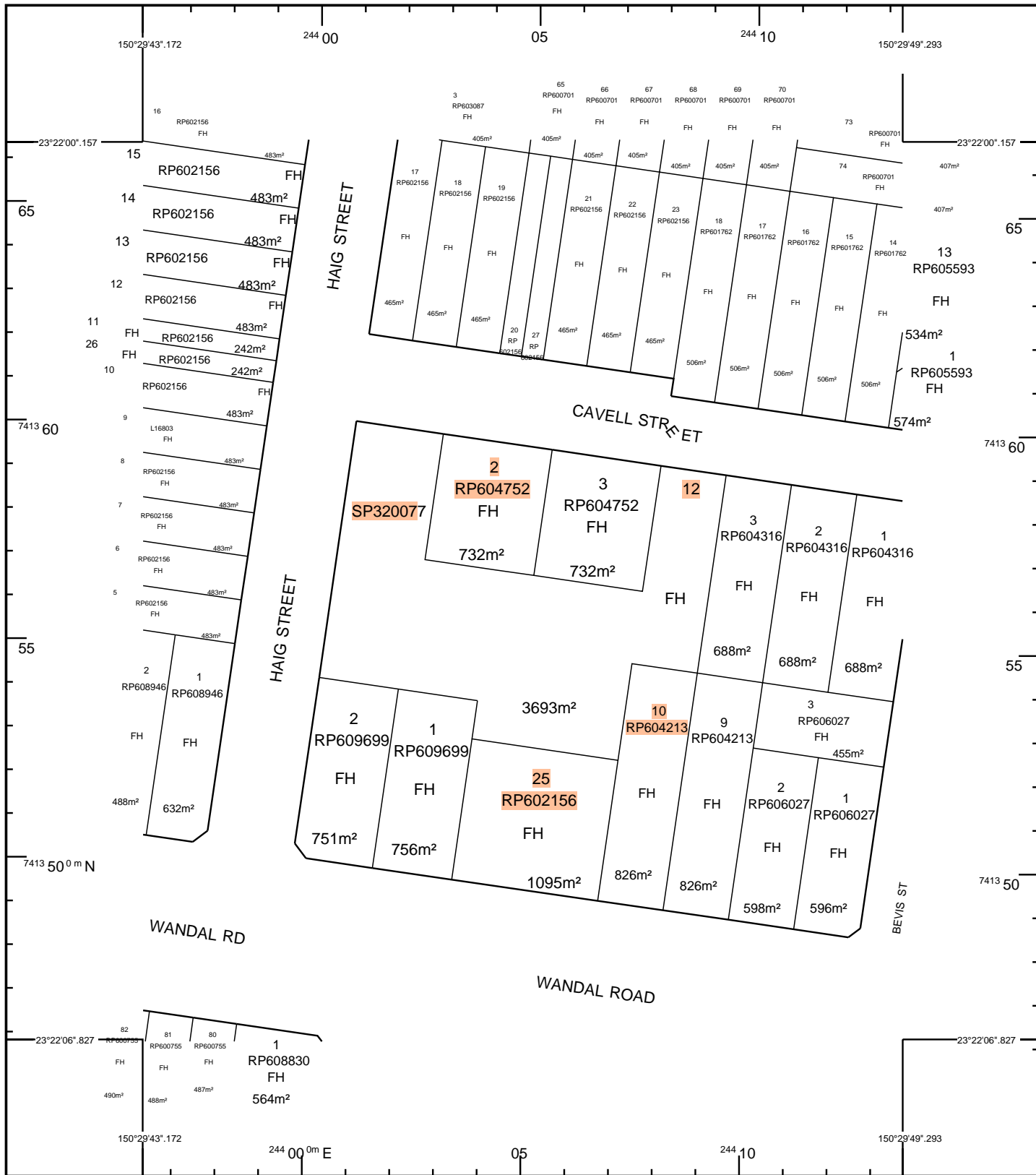
#### ADMINISTRATIVE ADVICES

NIL

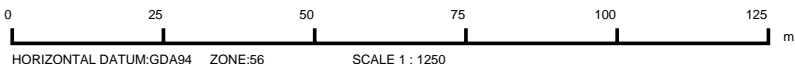
#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*

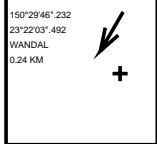


STANDARD MAP NUMBER  
8951-21222



**SmartMap**

MAP WINDOW POSITION & NEAREST LOCATION



**SUBJECT PARCEL DESCRIPTION**

DCDB	
Lot/Plan	12/SP320077
Area/Volume	3693m <sup>2</sup>
Tenure	FREEHOLD
Local Government	ROCKHAMPTON REGIONAL
Locality	WANDAL
Segment/Parcel	37243/211

**CLIENT SERVICE STANDARDS**

PRINTED 23/07/2024

DCDB 22/07/2024

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For further information on SmartMap products visit <https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

An External Product of SmartMap Information Services  
Based upon an extraction from the Digital Cadastral Data Base



**Queensland Government**  
(c) The State of Queensland, (Department of Resources) 2024.



# 13 CAVELL ST, WANDAL QLD 4700

23°21'57"S 150°29'39"E

23°21'57"S 150°29'56"E

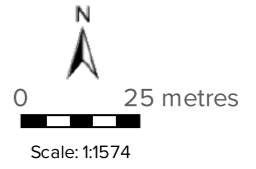


23°22'9"S 150°29'39"E

23°22'9"S 150°29'56"E



Legend located on next page



Printed at: A3  
Print date: 16/8/2024  
Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit <https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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## Legend

### Land parcel

 Parcel

### Land parcel - gt 1 ha

 Parcel

### Land parcel - gt 10 ha

 Parcel

### Land parcel - gt 1000 ha

 Parcel

### Land parcel label

### Land parcel label - gt 1 ha

### Land parcel label - gt 10 ha

### Land parcel label - gt 1000 ha

### Places: Land parcel

 12SP320077

 25RP602156

 10RP604213

 2RP604752

### Railway stations



### Railways



### Green bridges



### Roads and tracks

 Motorway

 Highway

 Secondary

 Connector

 Local

 Restricted Access Road

 Mall

 Busway

 Bikeway

 Restricted Access

 Bikeway

 Walkway

 Restricted Access

 Walkway

 Non-vehicular Track

 Track

 Restricted Access Track

 Ferry

 Proposed Thoroughfare

### Bridges



### Tunnels



## Attribution

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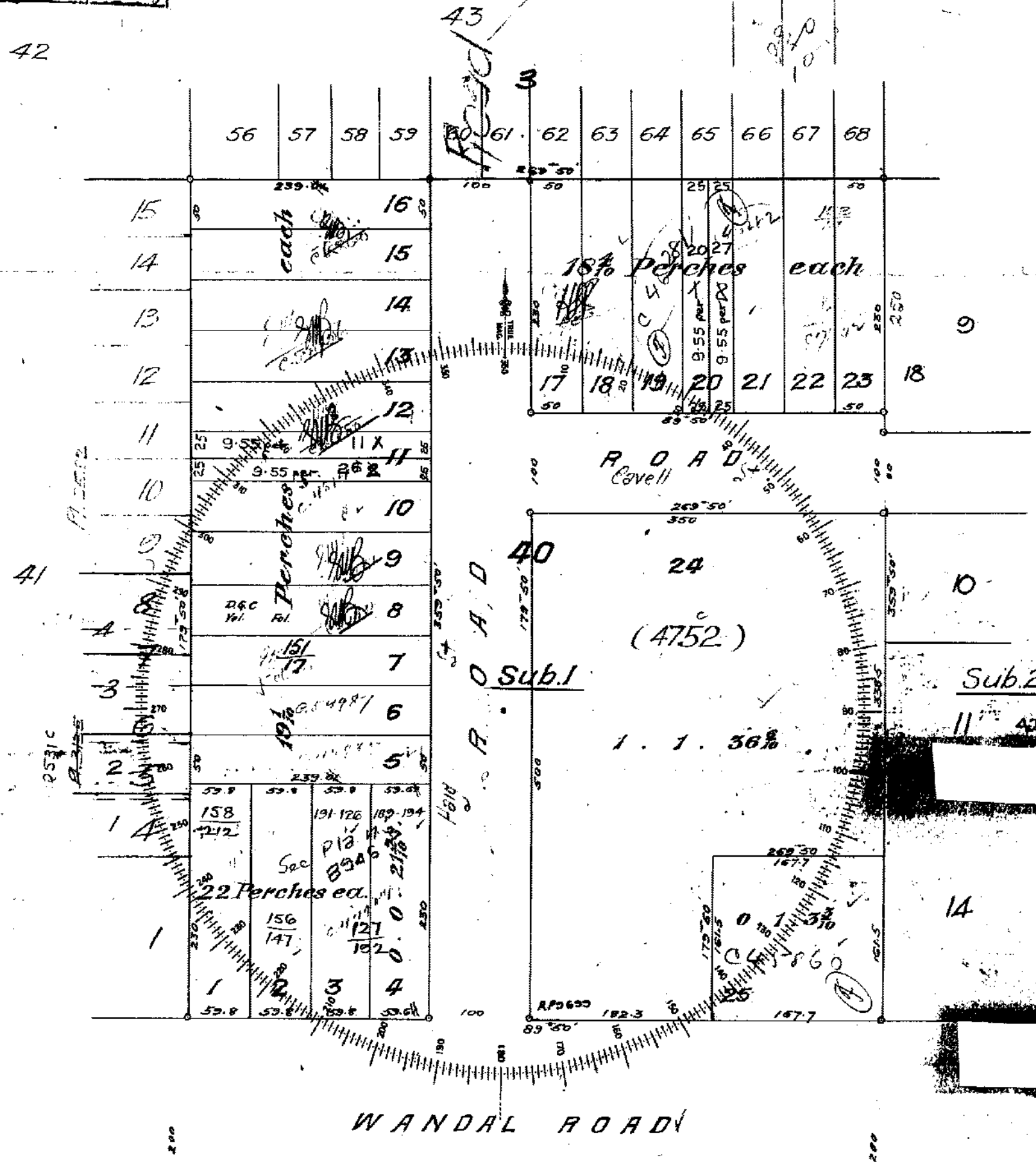
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New C.T. Ref.

	Vol.	Pat.
5	425	101
12	636	202
		207

FOR OFFICE USE ONLY  
Resub 2 to 4 See Plan No 8546  
Resub 9 Tr to Crown C74518

For Additional Plan & Document Notings Refer to CISP



Approved - Subject to Resubdivisions 60 and 61 of subdivision 3 of Portion 43 being dedicated for Road purposes.  
*Theo Kingel Mayor*  
*M Dean Town Clerk*  
 3/2/17

**AMENDED DESCRIPTION**  
 Note: This description takes effect upon amendment of the current Title Deed which will be evidenced by a further notation.  
 Survey of Lot (s) 1 to 27  
 TITLES CONVERTED  
 on R.P. 602156

AUG 8 1947  
 11:51 am

**SURVEY**

RE  
 OF SUBDIVISIONS 1 TO 25 OF SUBDIVISION 1  
 OF ALLOTMENT OR PORTION NO. 40  
 OF REGION  
 COUNTY OF Turingstone  
 PARISH OF ROCKHAMPTON

Cat. No. R.2. 2156

2655

As Proprietor of the Land I hereby state of subdivision, and dedicate the new roads to the use of public use.

*M. Hocking*  
 Signature of Proprietor

As mortgagees of this land we agree to this plan of subdivision and dedication of new roads.  
 Witness:  
*W. Hillman J.P.*  
 THE BANK OF NEW SOUTH WALES.



**THIS PLAN should be ROLLED not folded.**

Certificate of Title or Deed of Grant.

3205.  
C.T. 78932 - 36 - 235.  
Subs 7 & 8, See Plan 6027 A

James Thomas Turnbull of Rockhampton, Authorised Surveyor, do hereby solemnly and sincerely declare that I have faithfully and truly surveyed, measured, and marked on the ground the parcel of land herein referred to, and that the measurements and boundaries given in this plan are correct, and do not to the best of my belief in any way interfere with the rights or property of any persons, owners, or occupiers of land adjoining the above land, and described in the said plan; and I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of the "Oaths Act of 1867."

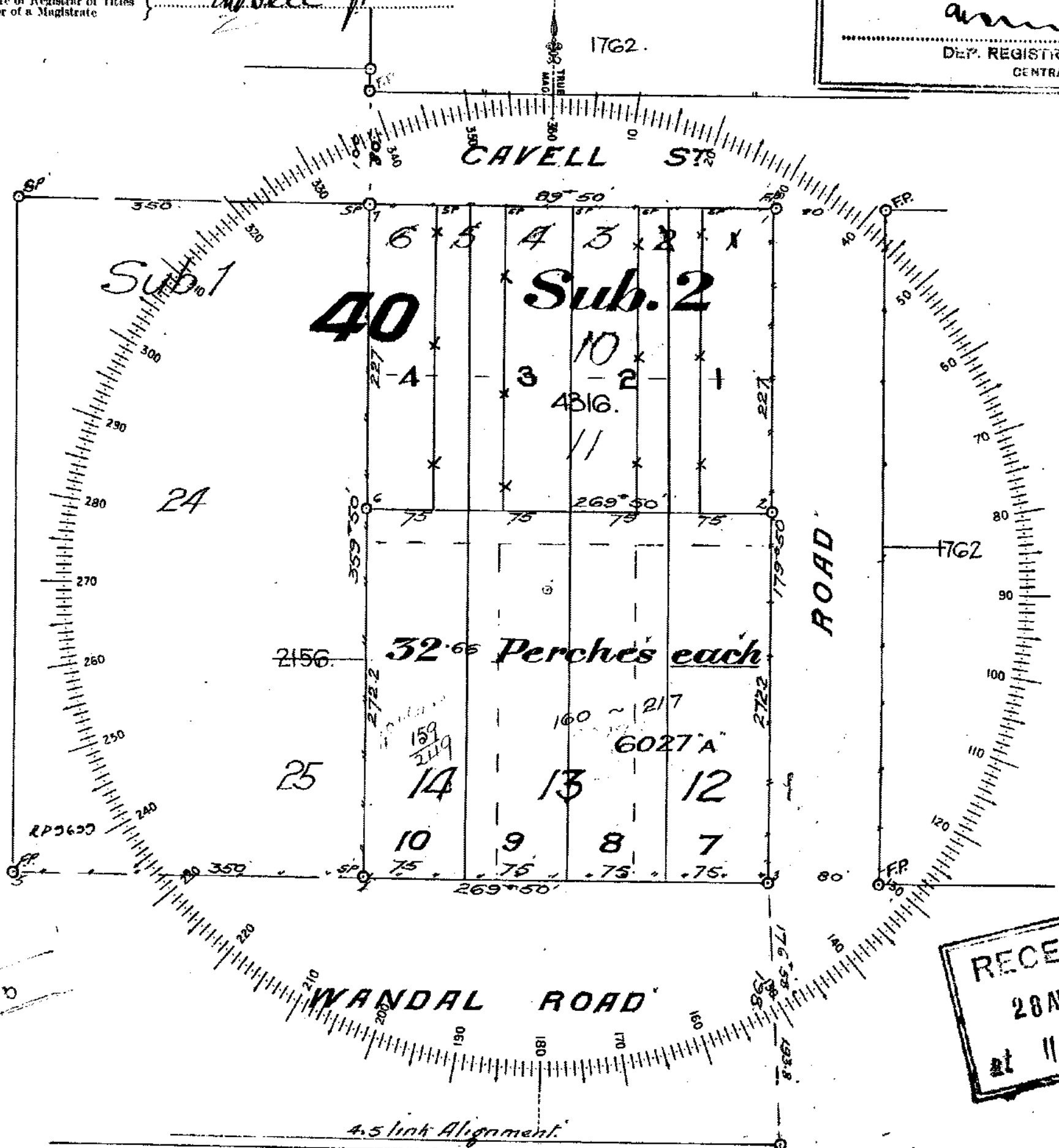
J. T. Turnbull  
Authorised Surveyor.

Made and Signed at Rockhampton this 13<sup>th</sup> day of April 1928, before me

Signature of Registrar of Titles or of a Magistrate } G. Bell J.P.

No. 6994  
PLAN examined, passed, and registered this 28<sup>th</sup> day of August 1928.  
amg  
DEP. REGISTRAR OF TITLES  
CENTRAL DISTRICT REGISTRY

For Additional Plan & Document Notices Refer to CISP



RECEIVED  
28 AUG. 1928  
at 11.10 a.m.

**AMENDED DESCRIPTION**  
Note:- This description takes effect upon amendment of the current Title Deed which will be evidenced by a further notation.  
Survey of Lot (s) 7 to 10  
TITLES CONVERTED  
on R.P. 604213

**SURVEY**  
SUBDIVISIONS 7 TO 10 OF RESUBS 11 TO 14  
OF SUBDIVISION 2

OF ALLOTMENT OR PORTION NO. 40

OF SECTION \_\_\_\_\_  
COUNTY OF **Livingstone**  
DISTRICT OF **ROCKHAMPTON**

SCALE 1 chain to an inch.

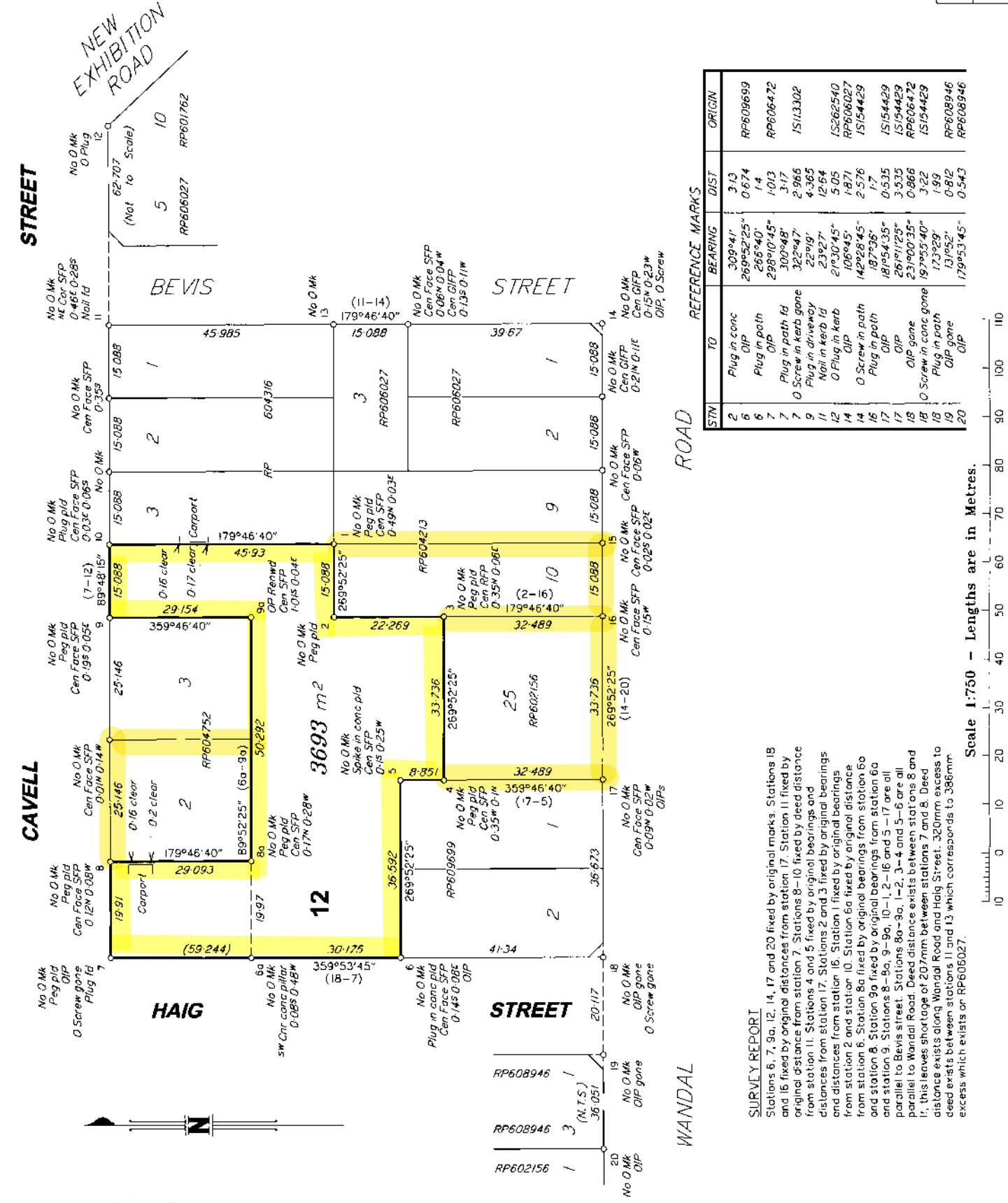
As Proprietor of this land, I agree to this Plan of subdivision, and dedicate the new roads shown hereon to public use.

Signature J. R. Hutchison

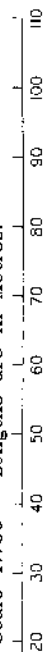
Cat No. 4218 CISP

604213





STN	TO	BEARING	DIST	ORIGIN
2	Plug in conc OIP	309°41'	3.13	RP608946
6	Plug in path OIP	269°52'25"	0.674	RP608946
6	Plug in path OIP	266°40'	1.4	RP608946
7	Plug in path Id	298°10'45"	1.013	IS113302
7	Plug in kerb gone	300°48'	3.17	IS113302
9	O Screw in kerb gone	322°47'	2.866	IS113302
9	Plug in driveway	22°19'	4.365	IS113302
11	Nail in kerb Id	232°7'	12.64	IS262540
12	O Plug in kerb	210°30'45"	5.05	IS262540
14	OIP	106°45'	1.871	RP606027
14	O Screw in path	142°28'45"	2.576	RP606027
16	Plug in path	187°36'	1.7	IS154429
17	OIP	181°54'35"	0.535	IS154429
17	OIP	261°11'25"	3.535	IS154429
18	OIP gone	231°00'35"	0.866	RP606472
18	O Screw in conc gone	197°05'40"	3.22	IS154429
18	Plug in path	173°29'	1.99	RP608946
19	OIP gone	131°52'	0.812	RP608946
20	OIP	179°53'45"	0.543	RP608946



Copricorn Survey Group (CG) Pty Ltd (ACN 154 830 565) hereby certify that the land comprised in this plan was surveyed by the corporation, by Philip Albert TANN, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Richard Jon Knox FORD, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 25-06-2020.

Director / Cadastral Surveyor  
 Date: 25-06-2020.

50mm 100mm 150mm State copyright reserved.

**Plan of Lot 12**

cancelling Lots 1 & 4 on RP604752 & Lot 12 on SP227126

LOCAL GOVERNMENT: Rockhampton R.C. LOCALITY: Wandal

Meridian: RP608946

Survey Records: No

Scale: 1:750

Format: STANDARD

SP320077

Drafted: CADASTRAL SOLUTIONS



**720179741**

**\$484.00**  
28/07/2020 16:23

**BE 400 NT**

**WARNING: Folded or Mutilated Plans will not be accepted.  
Plans may be rolled.  
Information may not be placed in the outer margins.**

5. Lodged by  
Copman Survey Group (P/L) Pty Ltd  
PO Box 1391  
Rockhampton Qld 4700  
(07) 49375119  
(07) 49375119  
(Rockhampton@copmansurvey.com.au) (U)  
(Include address, phone number, reference, and Lodger Code)

RN113

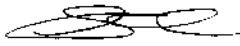
1. Certificate of Registered Owners or Lessees.  
I/We **HOME SUPPORT ASSOCIATION INC.**  
**A.B.N. 65 591 388 164.**

(Names in full)


\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan.

Signature of \*Registered Owners \*Lessees

  
**GRANT SEARIES**  
CHIEF EXECUTIVE OFFICER



  
**ROBYN DEATH**  
OPERATIONAL SERVICES MANAGER.

\* Rule out whichever is inapplicable

2 Planning Body Approval.

\*  
hereby approves this plan in accordance with the :  
%

Dated this ..... day of .....

..... #  
..... #

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

% Insert applicable approving legislation

3. Plans with Community Management Statement :

CMS Number :  
Name :

4. References :

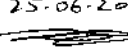
Dept File :  
Local Govt :  
Surveyor : R7721

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
30178109	Lot 1 on RP604752	12	-	-
30206146	Lot 4 on RP604752	12	-	-
50786959	Lot 12 on SP227126	12	-	-

12	Por 40
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By : Richard Jon Knox Ford  
Date : 25-06-20  
Signed :   
Designation : Cadastral Surveyor

9. Building Format Plans only.

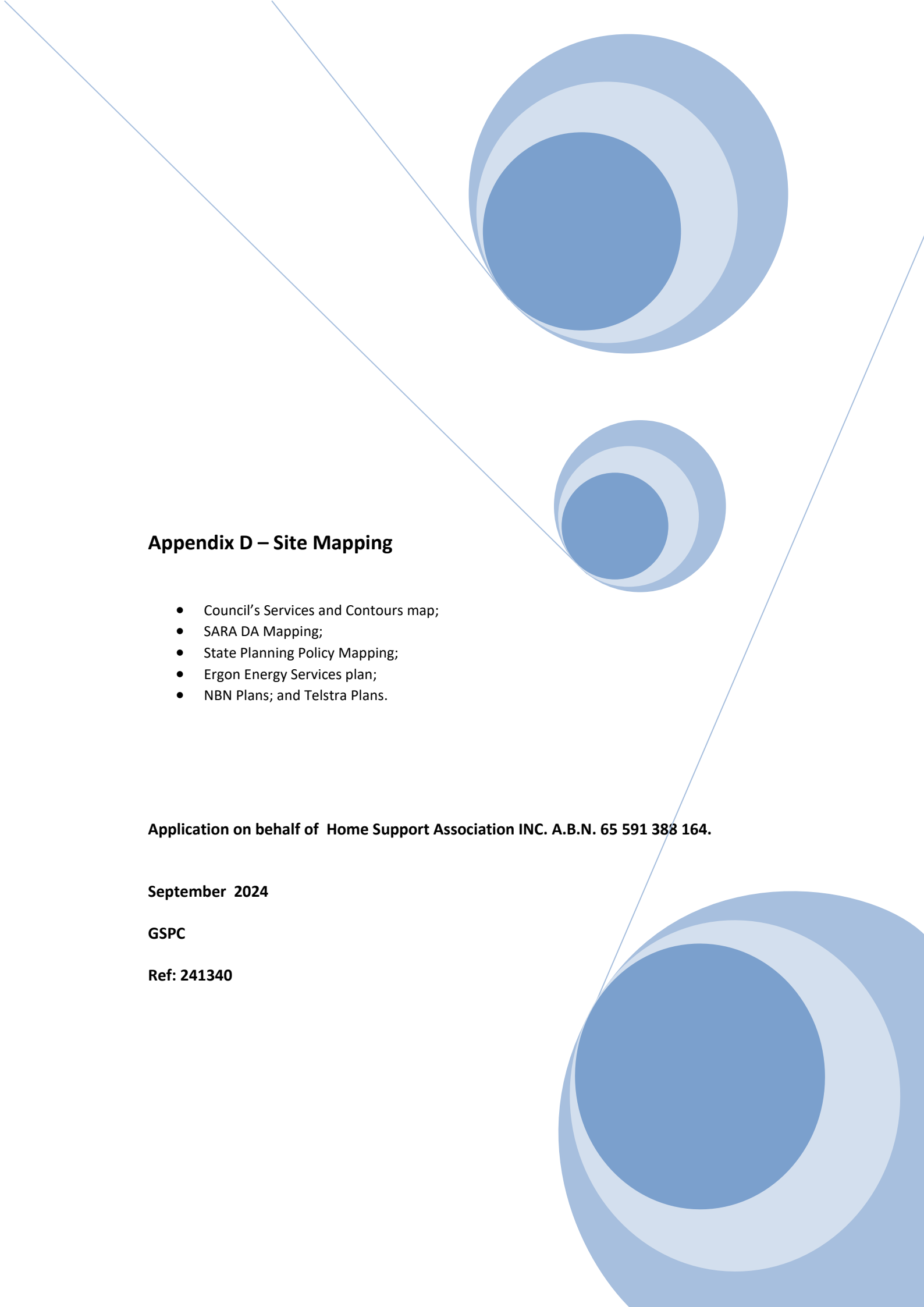
I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director\* Date  
\*delete words not required

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
... New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert Plan Number **SP320077**

The page features a decorative design with three overlapping blue circles of varying sizes and two thin blue diagonal lines. One circle is at the top right, a smaller one is in the middle right, and a large one is at the bottom right. The lines intersect to form a triangular shape on the left side of the page.

## **Appendix D – Site Mapping**

- Council’s Services and Contours map;
- SARA DA Mapping;
- State Planning Policy Mapping;
- Ergon Energy Services plan;
- NBN Plans; and Telstra Plans.

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**September 2024**

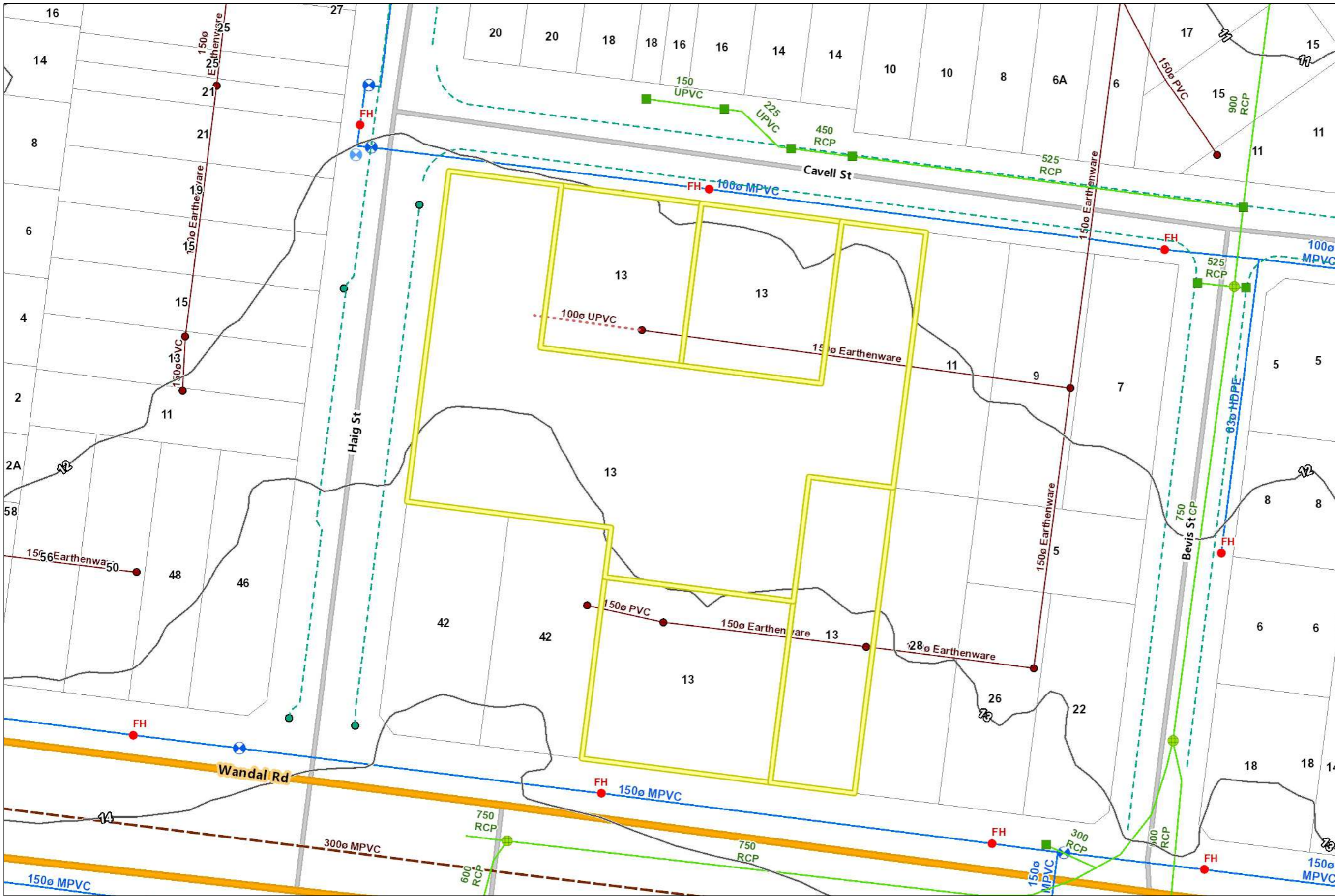
**GSPC**

**Ref: 241340**



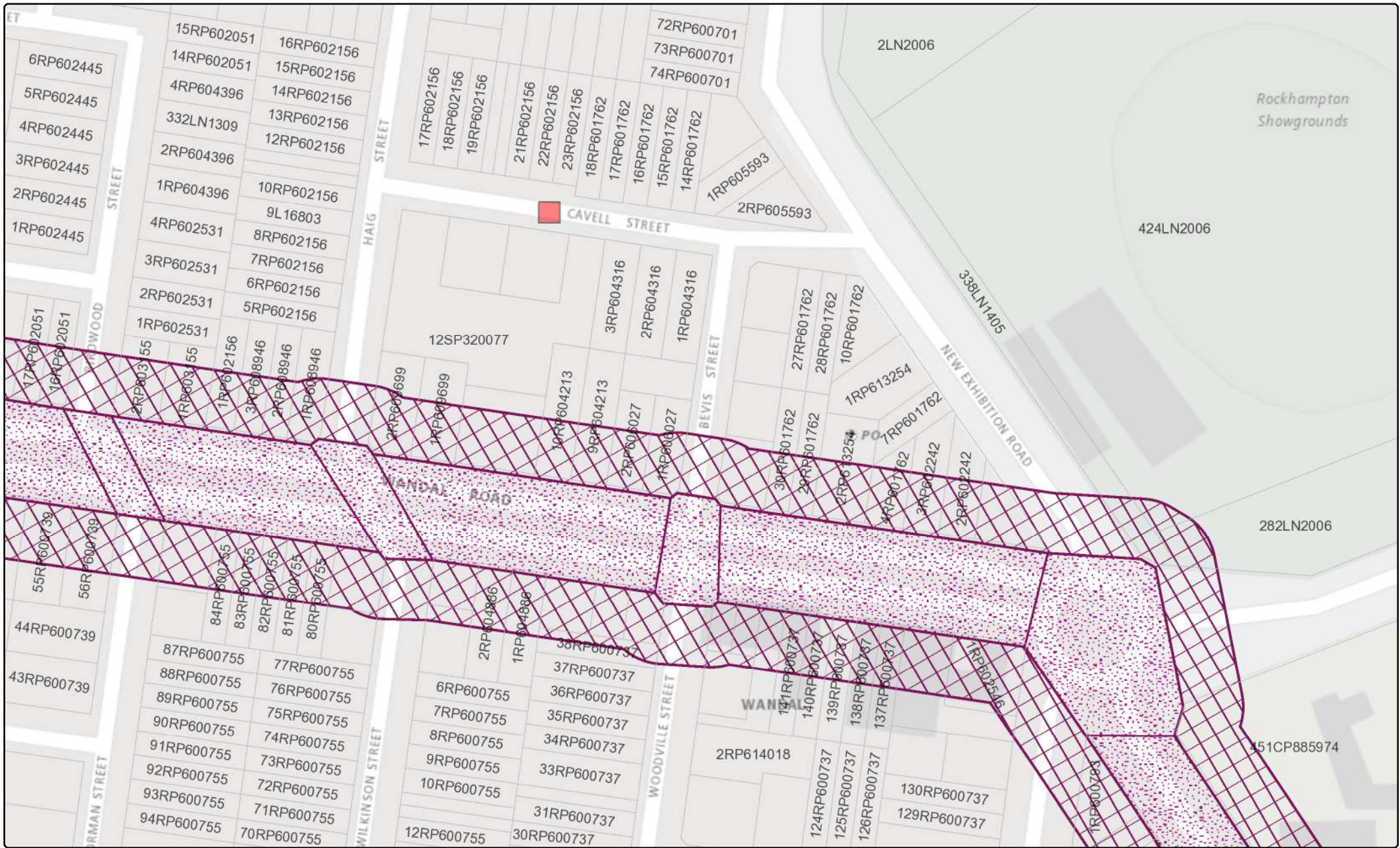
Legend

- 1m Intervals
- Major
- Basic
- Not Available
- Stormwater Main Labels
- Junctions Labels
- Culverts
- Stormwater Junctions
- Inlets
- Access Chambers
- Stormwater Pipes
- Open Channel
- Mains
- Culvert Pipes
- Inter-allotment
- Other
- Subsoil pipes
- Subsoil Clean Out pits
- Sewer Gravity Mains
- Combined Main
- Reticulation Main
- Trunk Main
- Sewer Rising Mains
- Sewer Access Chambers
- Access Chambers
- Roll Over
- Lamp Hole | Inspection Opening
- Overflow Chambers
- Not Available
- Hydrants
- Water Valves
- Other Valve Type
- Gate, Sluice, Butterfly
- Air Valve
- Ball Cock, Stop Cock
- Ball Valve
- Motor Sluice Valve
- Non Return Valve
- Pressure Reducing Valve
- RPZ Valve
- Reflux Valve
- Scour Valve
- Sluice Bypass Valve
- Tap
- Water Mains
- Other Main Type
- Trunk Main
- Reticulation Main
- Raw Water Main
- Scour Line
- Roads1
- Main roads
- Major council roads
- Standard council roads
- Access roads
- Private roads
- Easements
- Property Parcels
- Ocean
- DCDB Parks
- CQ LGA Boundaries



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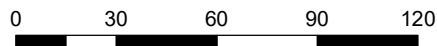


### DA Mapping System – Print Screen



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Metres

Date: 23/07/2024

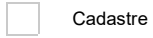
**Disclaimer:**  
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# Legend

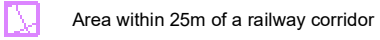
## Drawn Polygon Layer

Override 1

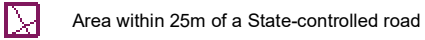
## Cadastral



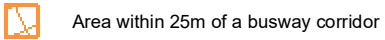
## Area within 25m of a railway corridor



## Area within 25m of a State-controlled road



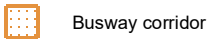
## Area within 25m of a busway corridor



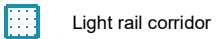
## Area within 25m of a light rail corridor



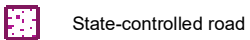
## Busway corridor



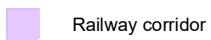
## Light rail corridor



## State-controlled road



## Railway corridor



Queensland Government

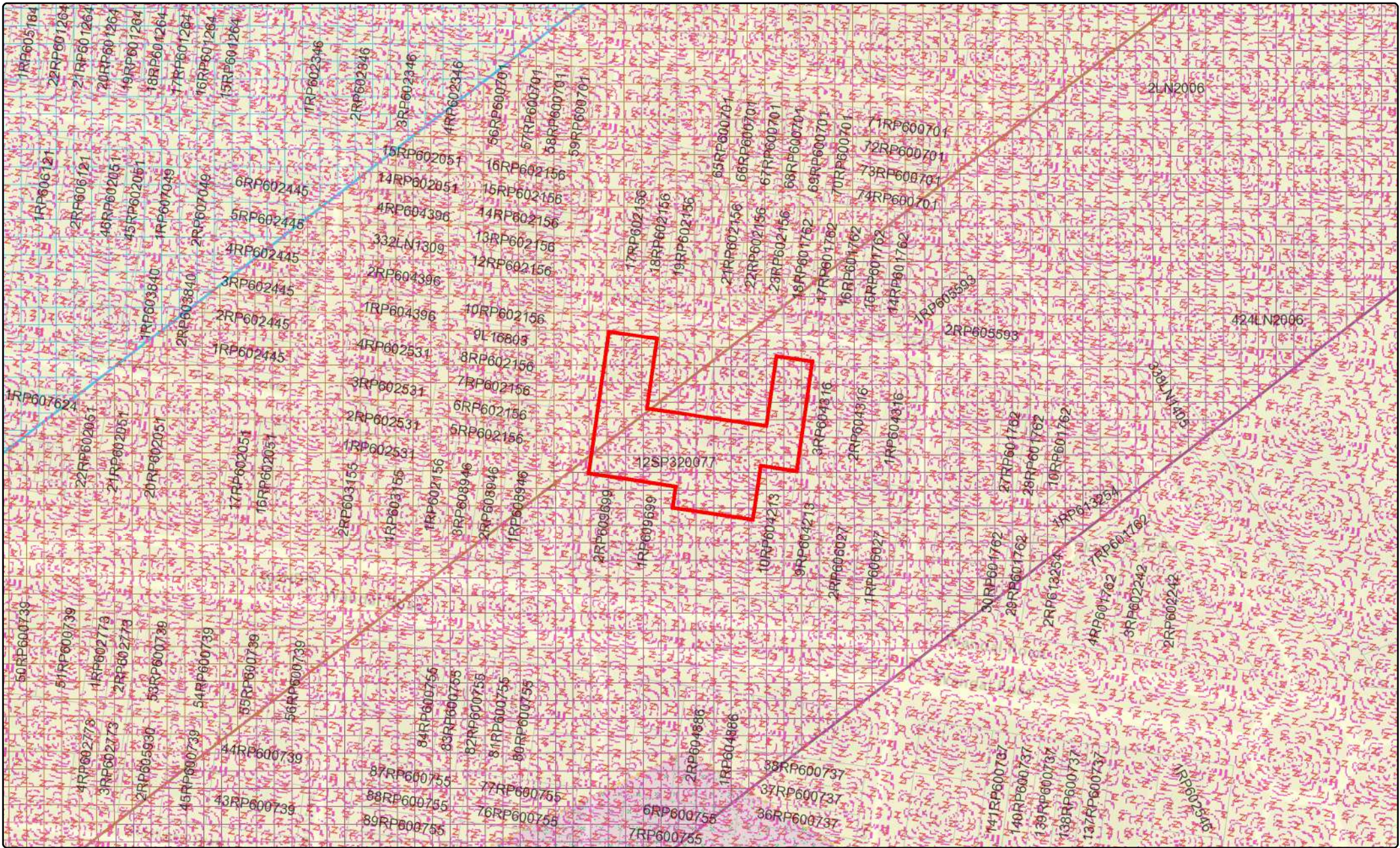
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## DA Mapping System – Print Screen

Date: 23/07/2024

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### State Planning Policy

Making or amending a local planning instrument and designating land for community infrastructure

0 30 60 90 120



Metres

Date: 08/08/2024

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# Legend

## Drawn Polygon Layer

Override 1


## Cadastral

 Cadastral


## Wildlife hazard buffer zone

 3km


 8km


 13km

## Lighting area buffer 6km


 Lighting area buffer 6km

## Light restriction zone


 Zone A

 Zone B


 Zone C

 Zone D


## Flood hazard area - Level 1 - Queensland floodplain assessment overlay

 Flood hazard area - Level 1 - Queensland floodplain assessment overlay

## Flood hazard area - local government flood mapping area

 Flood hazard area - local government flood mapping area

## Obstacle limitation surface area

 Obstacle limitation surface area



Queensland Government

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## State Planning Policy

Making or amending a local planning instrument and designating land for community infrastructure

Date: 08/08/2024

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# BYDA SYMBOLGY LEGEND

	Cross Bonding Link Box - <b>Critical</b>		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - <b>Critical</b>		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Remote Earth - New/Updated
	Pilot Cubicle		Planned Remote Earth - Remove
	Underground Asset 33kV and above		Planned Underground Warning Post - New/Updated
	Underground Asset below 33kV		Planned Underground Warning Post - Remove
	Underground Conduit with or without cable		Planned Pilot Cubicle - New/Updated
	Pit		Planned Pilot Cubicle - Remove
	Communication Boundary		Planned Fibre Patch Panel - New/Updated
	Reserve (RE)		Planned Fibre Patch Panel - Remove
	Water Resource (WR)		Planned Commercial Industrial Pillar - New/Updated
	Cadastral Parcels		Planned Commercial Industrial Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Distribution Cabinet - New/Updated
	Planned Jointing Pit - Remove		Planned Distribution Cabinet - Remove
	Planned Communication Boundary - New/Updated		Planned Link Pillar - New/Updated
	Planned Communication Boundary - Remove		Planned Link Pillar - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Service Pillar - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Service Pillar - Remove
			Planned Pole - New/Updated
			Planned Pole - Remove
			Planned Pole - New/Updated
			Planned Pole - Remove
			Planned Manhole - New/Updated
			Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ERGON ENERGY BYDA map, then ERGON ENERGY shall be contacted immediately.

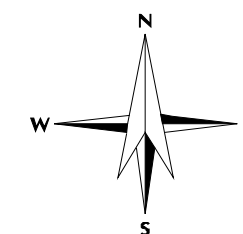
For Emergency Situations please call 13 16 70



Sequence: 243028368  
Date: 09/08/2024  
Scale: 1:1025  
**OVERVIEW**

**For a full list of Map Symbols, please refer to the supplied BYDA Symbology Legend page**

**AS5488 Category "D" Plan**



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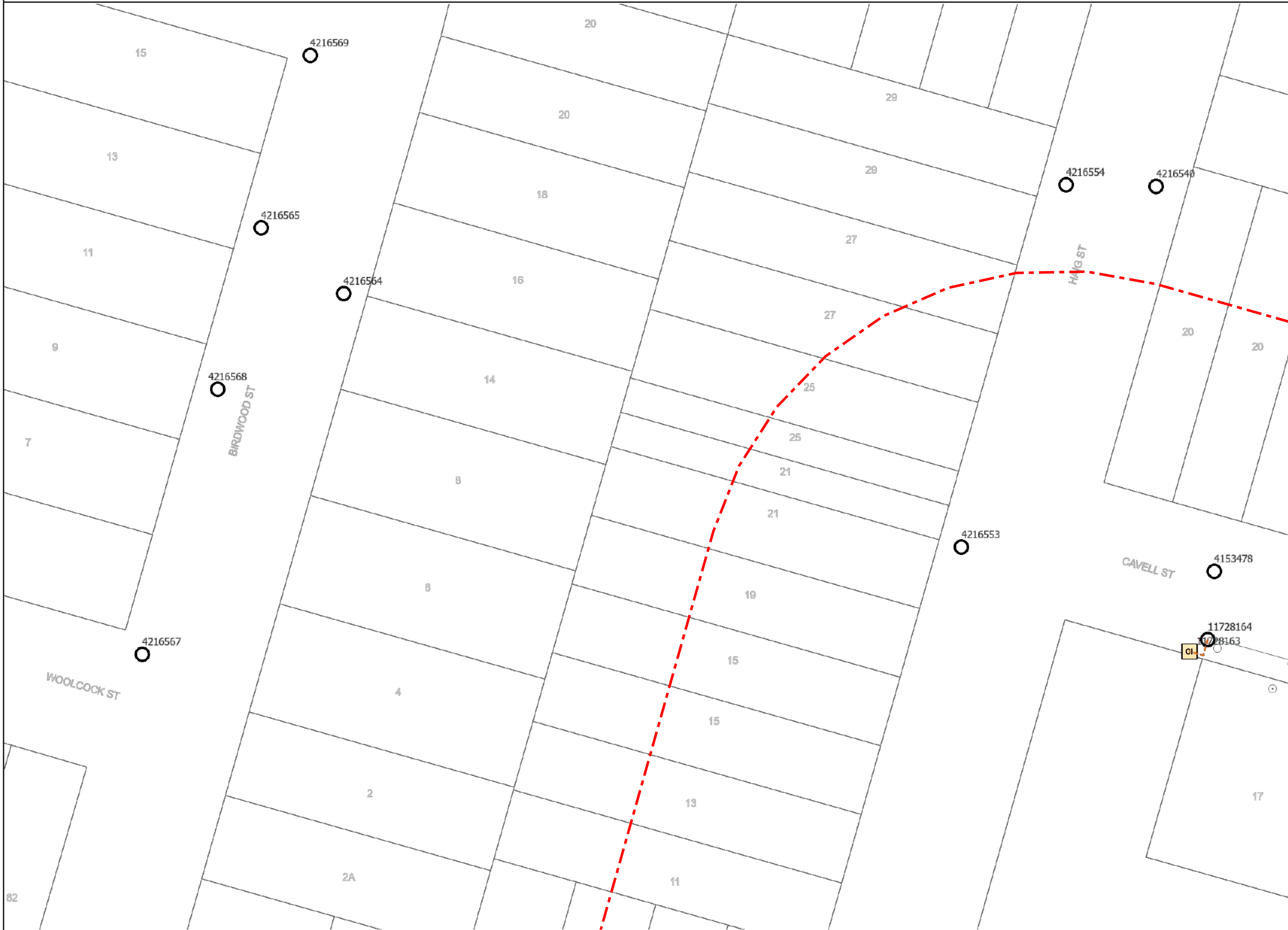
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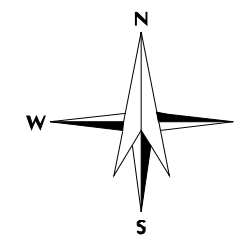


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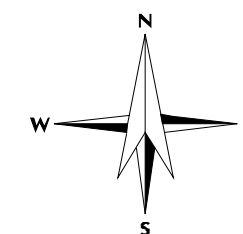
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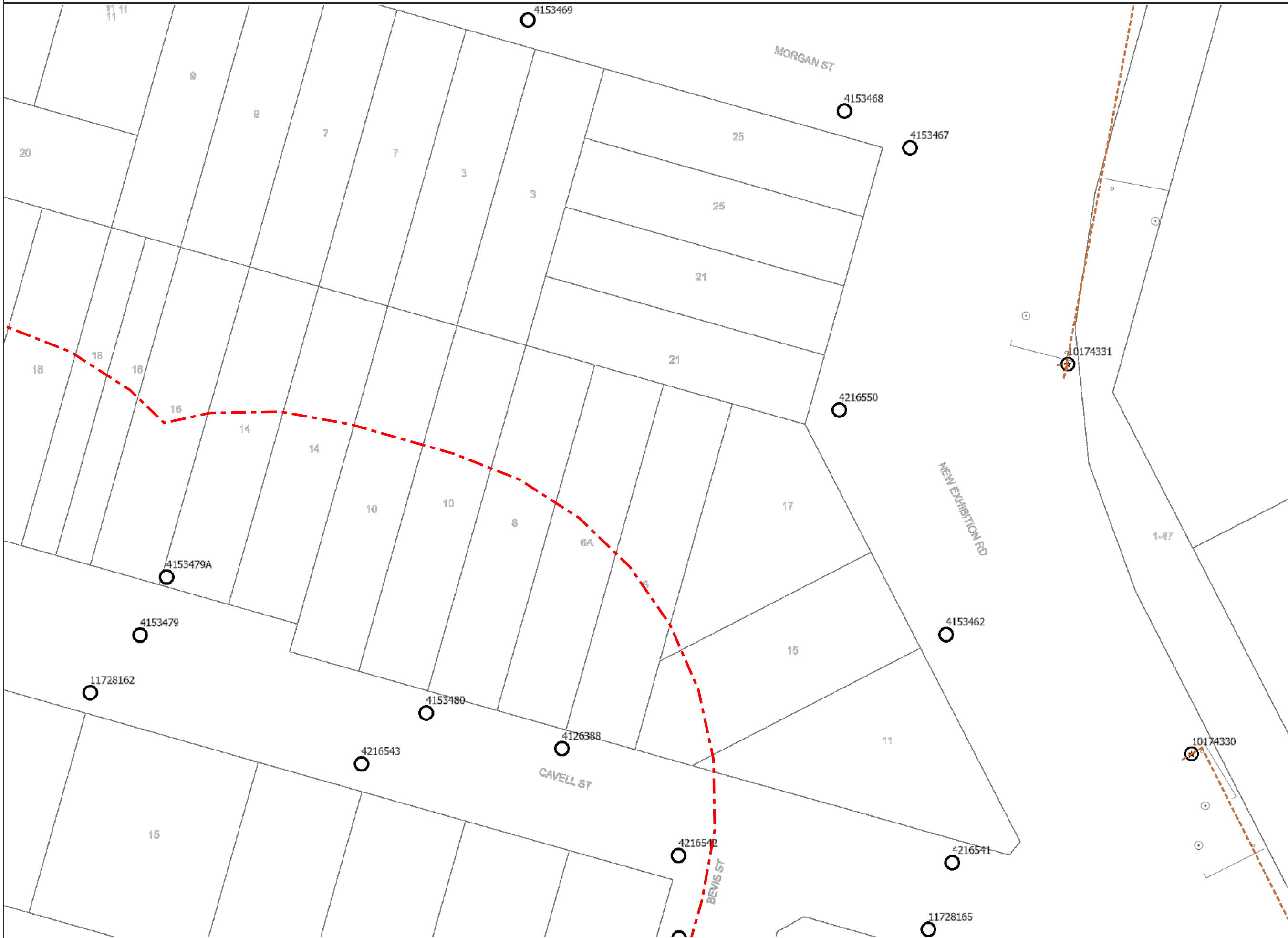
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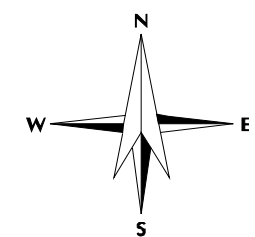
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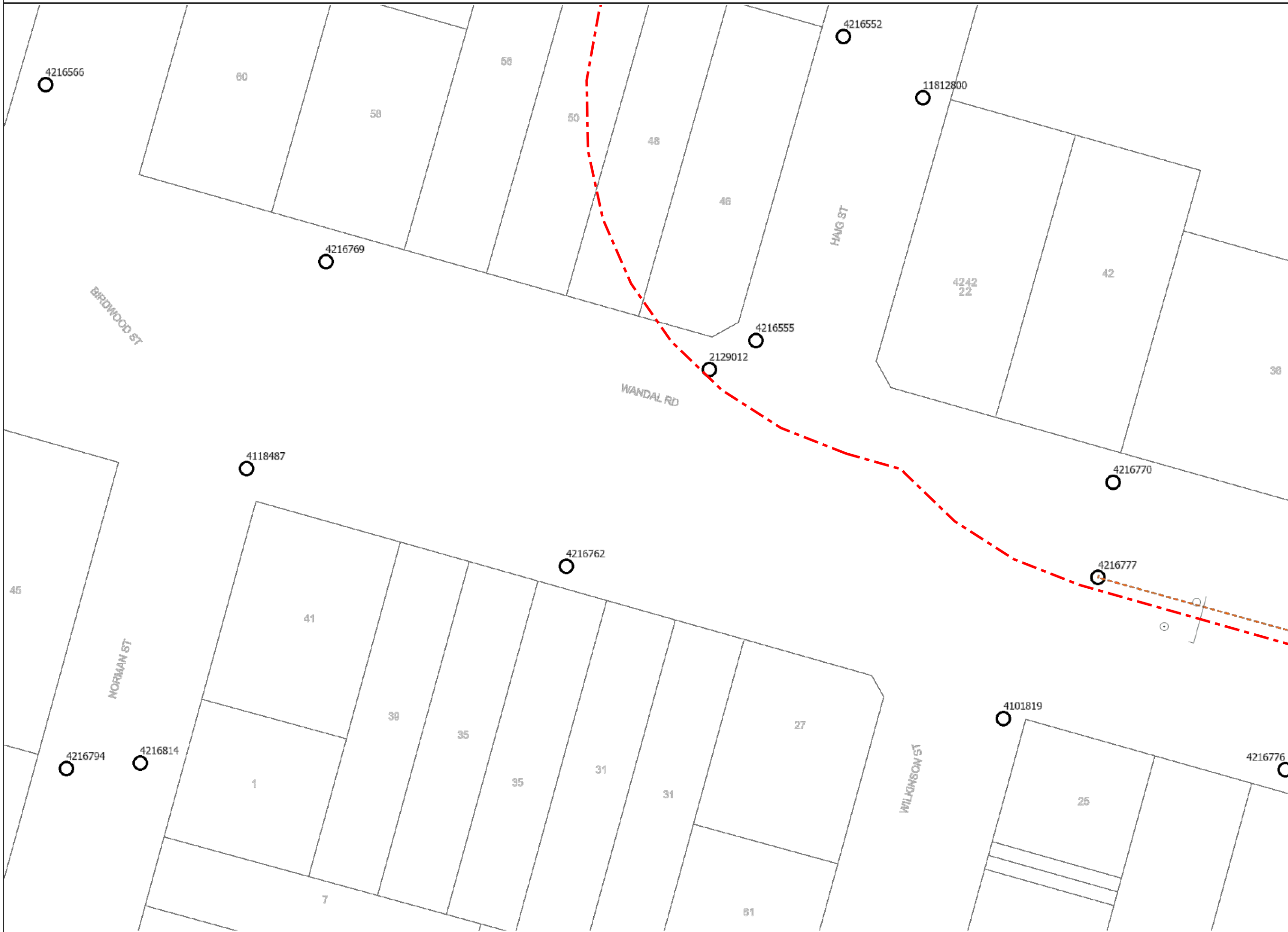
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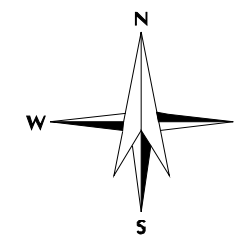
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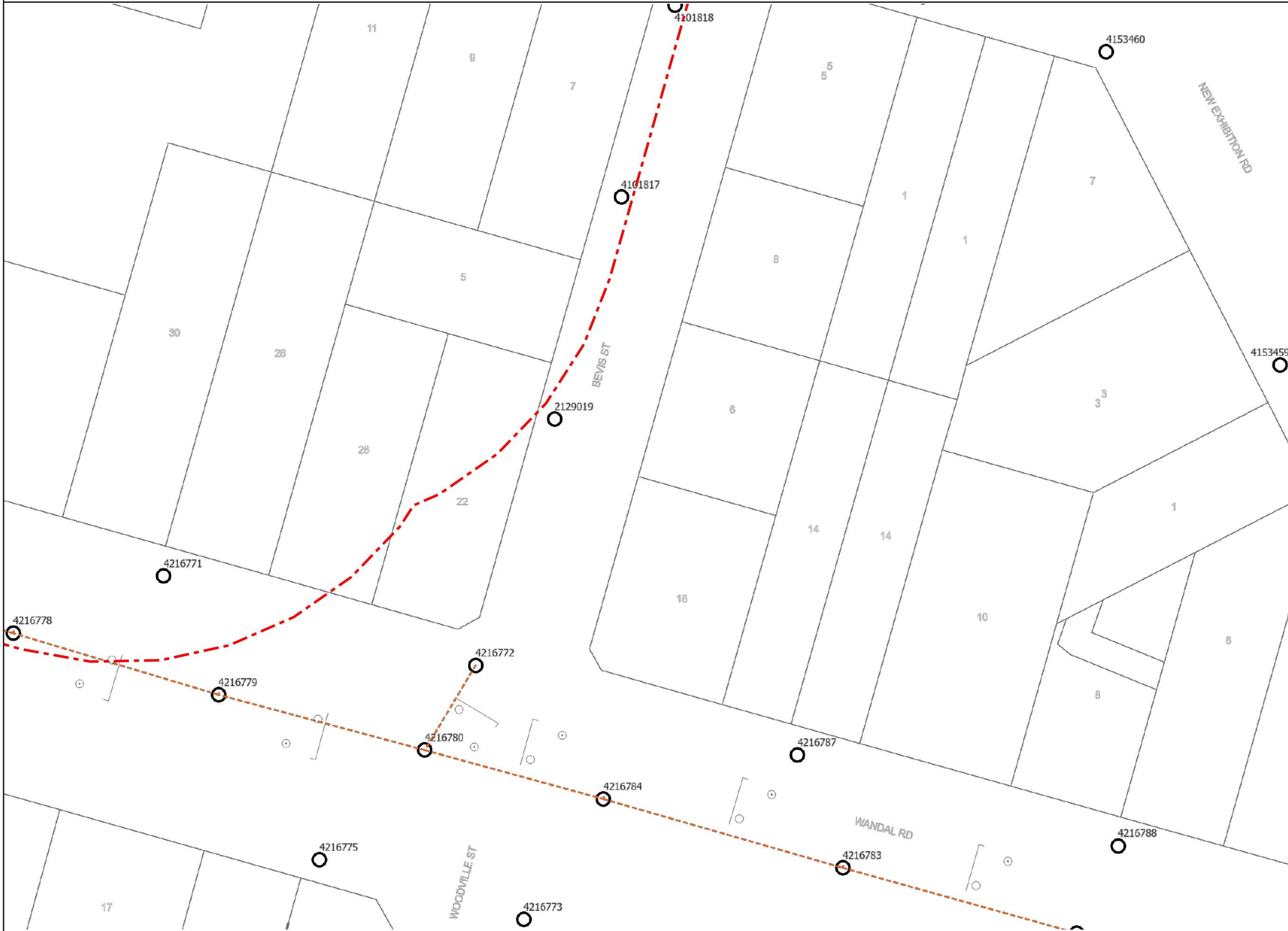
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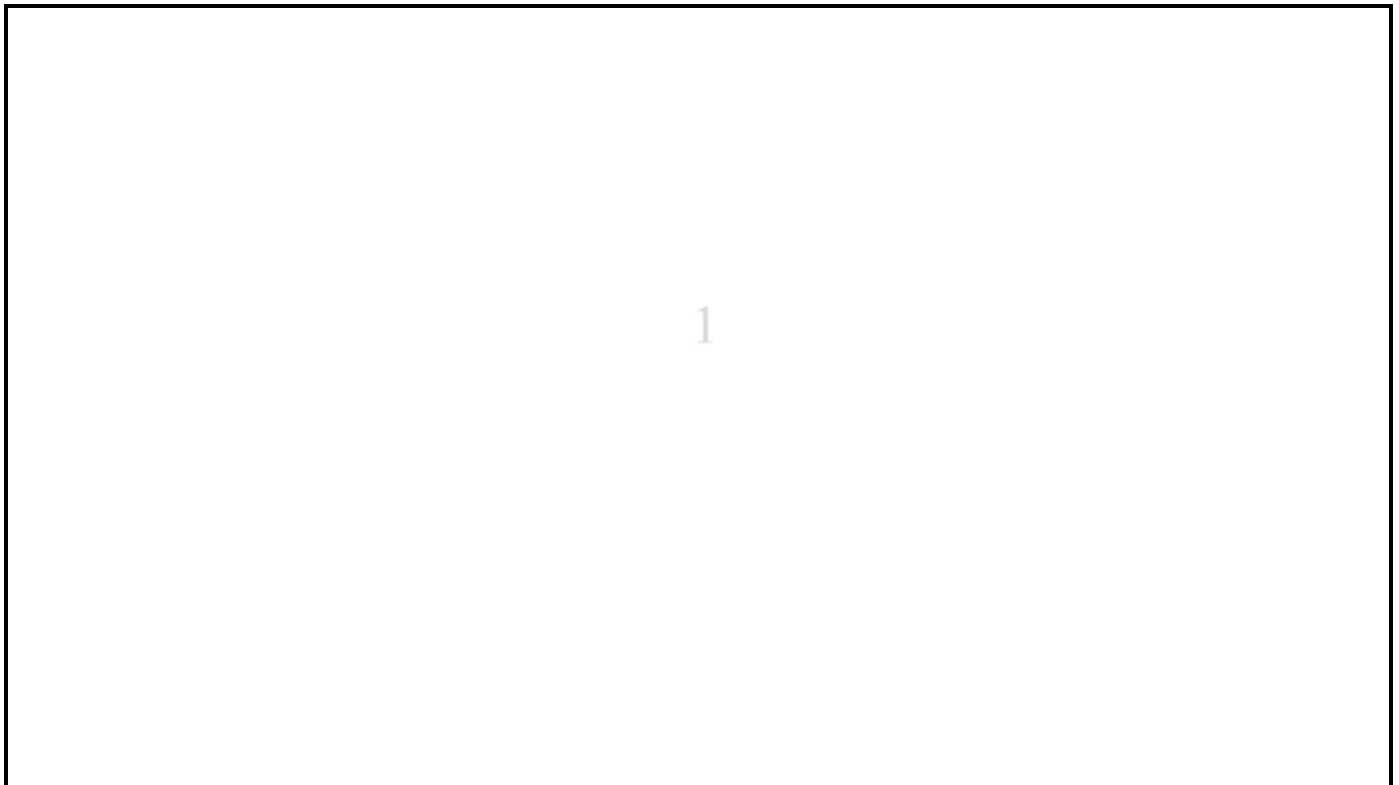


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**To:** Nirmala Kumar  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** nirmala@gspc.com.au

<b>Dial before you dig Job #:</b>	37317962	
<b>Sequence #</b>	243028366	
<b>Issue Date:</b>	08/08/2024	
<b>Location:</b>	13 Cavell St , Wandal , QLD , 4700	

**Indicative Plans are tiled below to demonstrate how to layout and read nbn asset plans**

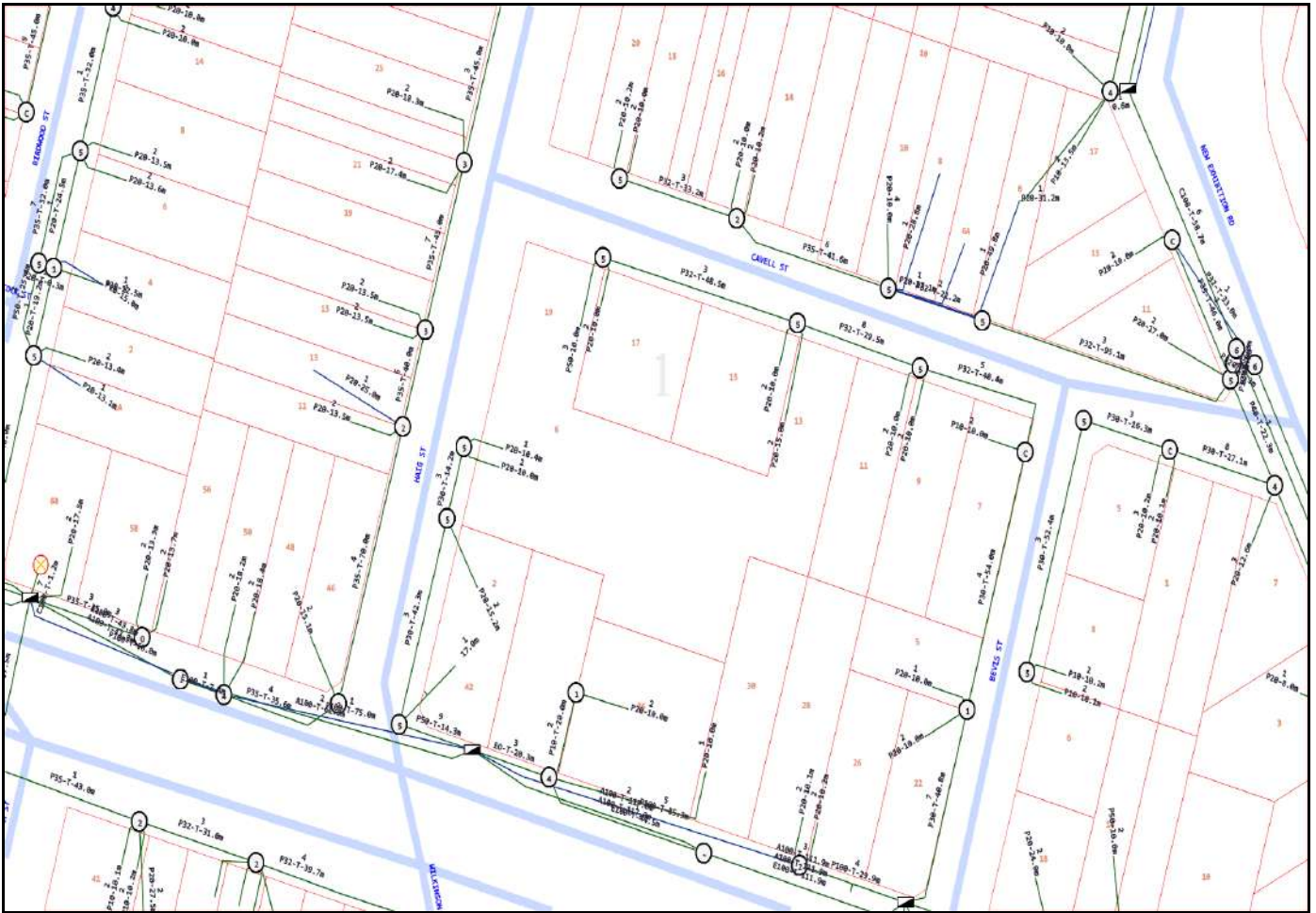




## LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m 

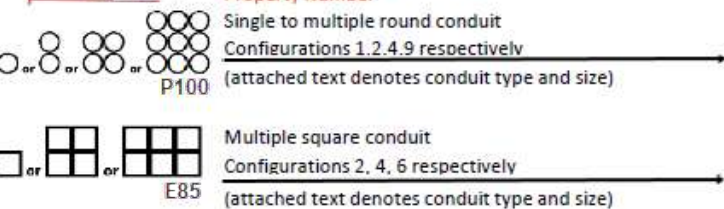
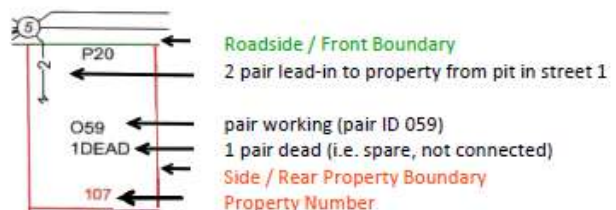
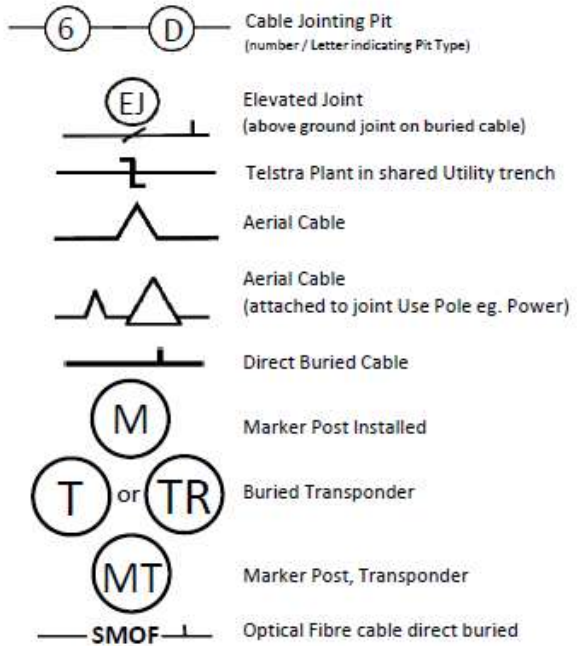
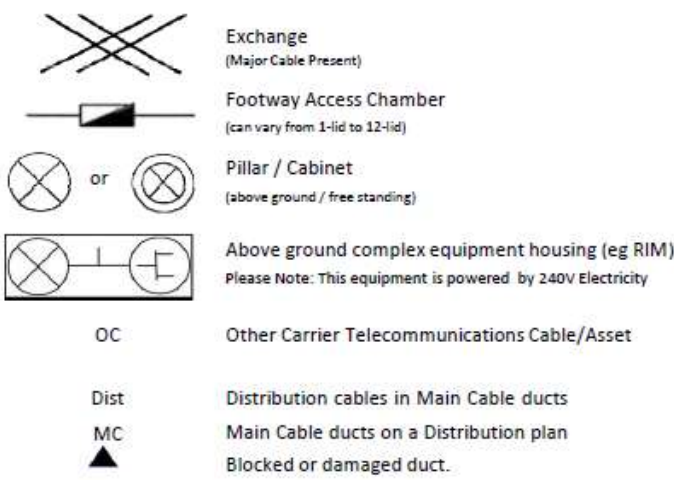


## Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



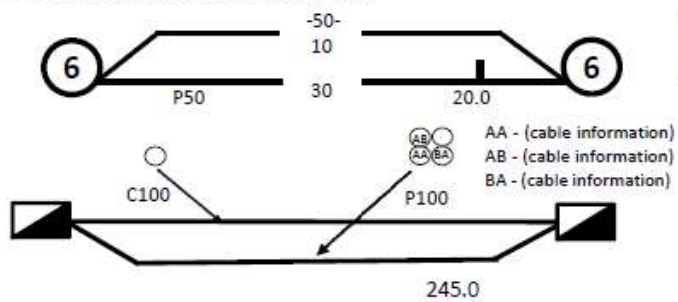
# LEGEND



Some examples of conduit type and size:

A - Asbestos cement, P - PVC / Plastic, C - Concrete,  
GI - Galanised iron, E - Earthenware  
Conduit sizes *nominally* range from 20mm to 100mm  
P50 50mm PVC conduit  
P100 100mm PVC conduit  
A100 100mm asbestos cement conduit

Some Examples of how to read Telstra Plans



One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two 6-pits, approximately 20.0m apart, with a direct buried 30-pair cable along the same route

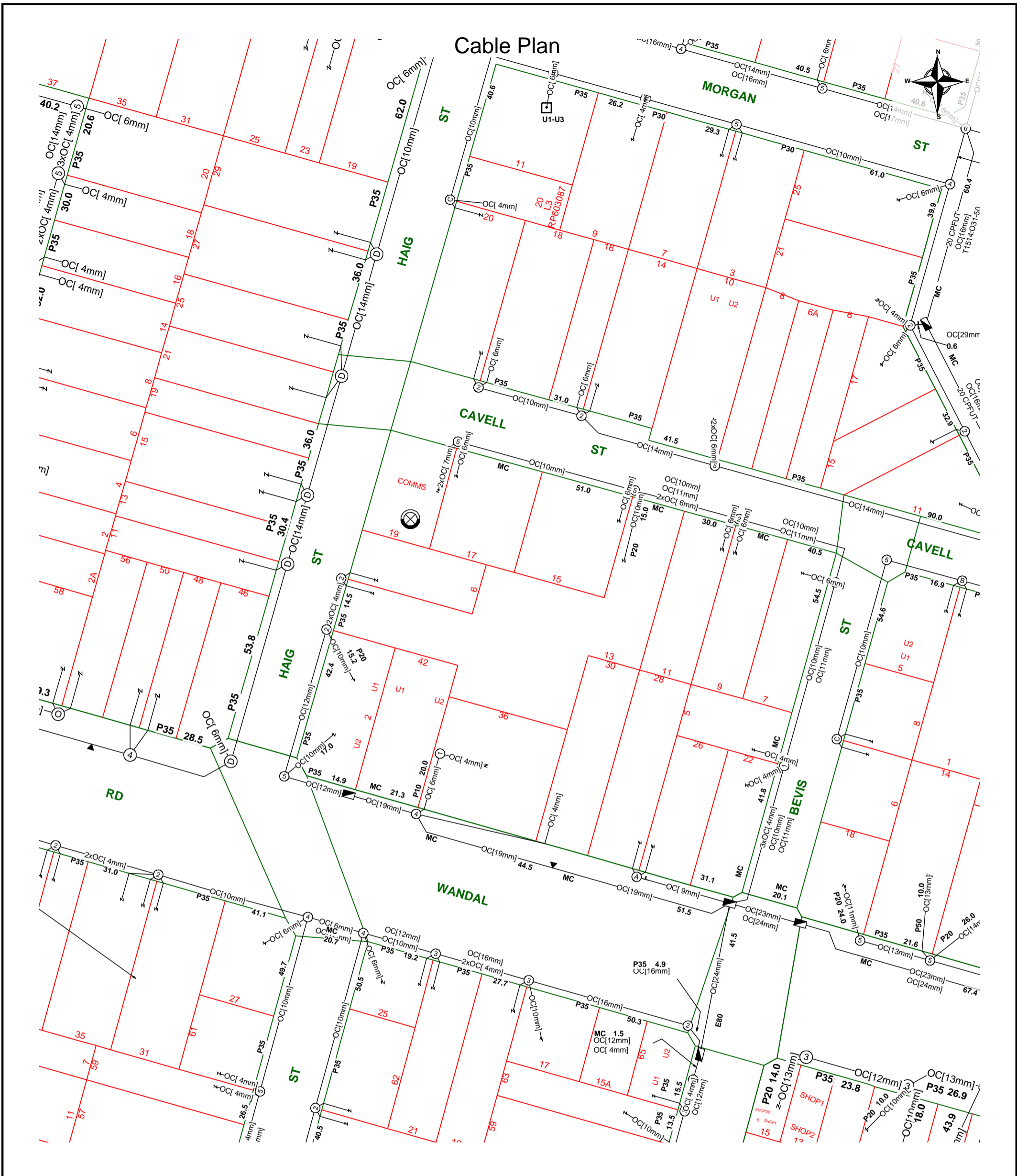
Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100) along

**Protect our Network:**

by maintaining the following distances from our assets:

- 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- 500mm Vibrating Plate or Wacker Packer Compactor
- 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant.
- 1.0m Jackhammers/Pneumatic Breakers
- 2.0m Boring Equipment (in-line, horizontal and vertical)

For more info contact a [Certified Locating Organisation](#) or [Telstra Plan Services 1800 653 935](#)



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>  
 Ph - 13 22 03  
 Email - Telstra.Plans@team.telstra.com  
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 243028367

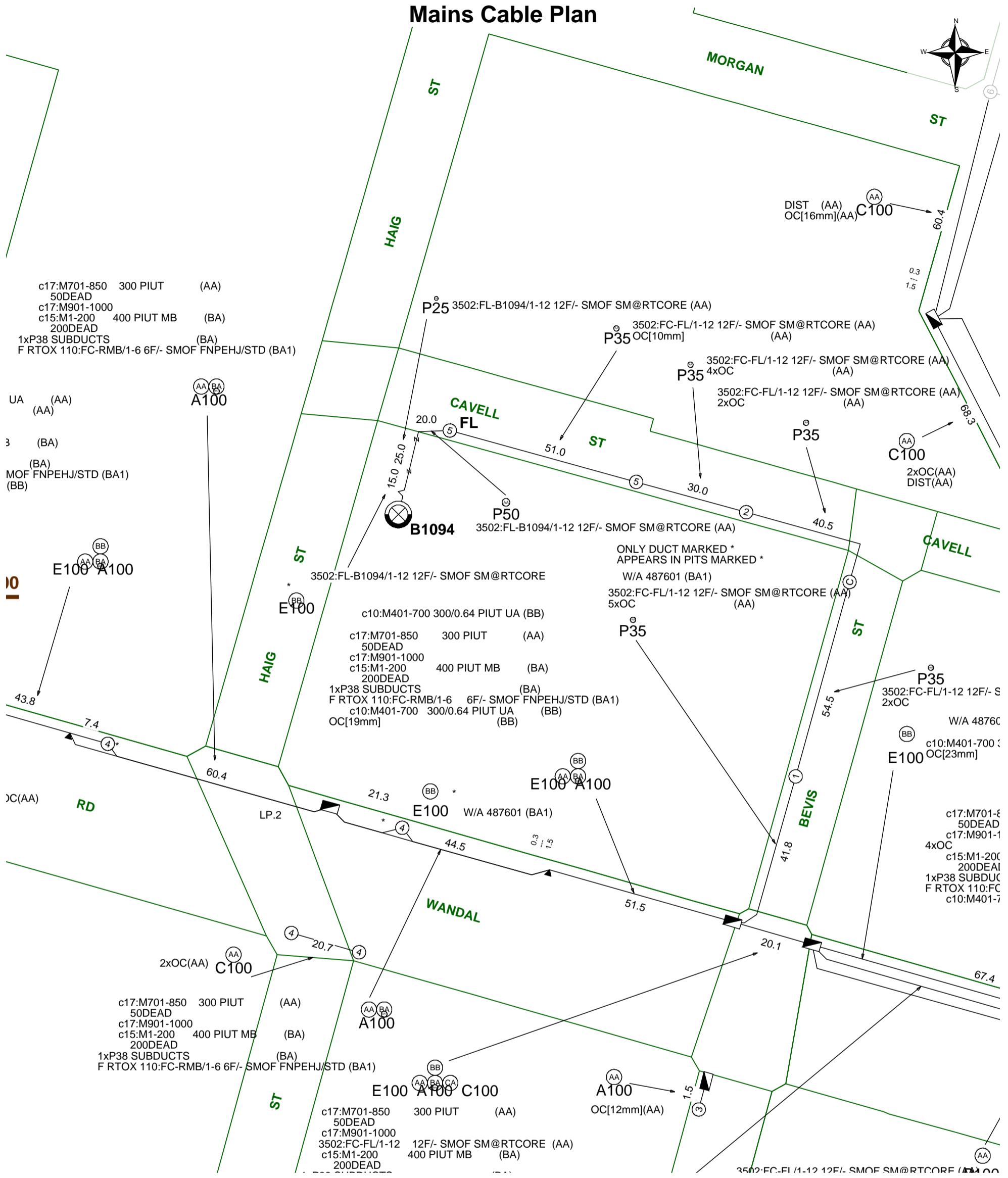
**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

TELSTRA LIMITED A.C.N. 086 174 781  
 Generated On 08/08/2024 15:39:59

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

**WARNING**  
 Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.  
 See the Steps- Telstra Duty of Care that was provided in the email response.

# Mains Cable Plan



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>  
 Ph - 13 22 03  
 Email - Telstra.Plans@team.telstra.com  
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 243028367

TELSTRA LIMITED A.C.N. 086 174 781

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**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

**WARNING**

Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



## **Appendix E – Stormwater Management Report**

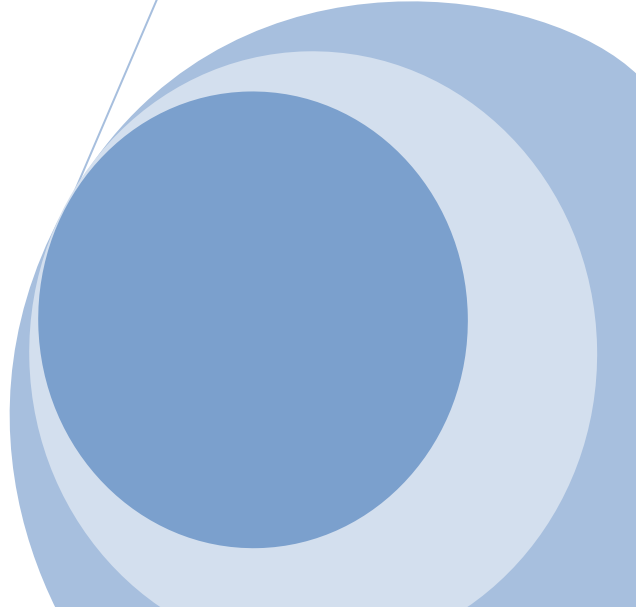
- Stormwater Management Strategy Report prepared GSPC

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**September 2024**

**GSPC**

**Ref: 241340**





# STORMWATER MANAGEMENT (STRATEGY) REPORT

FOR MCU OF MULTIPLE DWELLING AND EXTENSION OF  
COMMUNITY CARE CENTRE

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## Contents

General.....	1
Site Characteristics.....	1
Location & Description.....	1
Council Flood Risk Information .....	3
Proposed Development .....	3
Site Layout.....	3
Stormwater Quantity Management .....	7
Lawful Point of Discharge .....	7
General.....	8
BOM & ARR Datahub Info .....	8
Pre-Development Catchment Details .....	8
Post-Development Catchment Details.....	9
SWMM Results.....	10
Pre-Development Site Conditions.....	10
Post-Development Site Conditions .....	11
Discharge Flow Management .....	12
Stormwater Quality.....	13
Conclusion.....	14
Appendix .....	15

## Tables

Table 1 Pre-Development Catchment Details.....	9
Table 2 Post-Development Catchment Details. ....	10
Table 3 Pre-Development Discharge from The Site.....	10
Table 4 Post-Development Discharge from the site .....	11
Table 5 Comparison of Pre-Development & Post-Development Flows.....	11
Table 6 discharge flow of minor & major events.....	13
Table 7 Rainfall data table (ARR 2019).....	15
Table 8 Pre-Development Flow.....	18

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## Figures

Figure 1. Locality Plan. ....	2
Figure 2 Flood Hazard Information. ....	3
Figure 3 Site Layout Plan.....	4
Figure 4 Proposed Gazebo extension. ....	5
Figure 5 Site plan for the Proposed units. ....	5
Figure 6 Proposed Shed & Covered Area.....	6
Figure 7. The Lawful Point of Discharge Test (QUDM 2016) .....	7
Figure 8 Pre-Development Catchments.....	8
Figure 9 Post-Development Catchments.....	9
Figure 10 Post-Development Conditions After installing Detention Tank.....	12
Figure 11 Storage curve .....	13
Figure 12 Rainfall data chart (ARR 2019) .....	16
Figure 13 Fraction impervious vs development category (QUDM) .....	17
Figure 14 Overland Sheet flow times (Source: ARR, 1977).....	17
Figure 15 Peak flow for 1% AEP. ....	20
Figure 16 Peak flow 2% AEP .....	21
Figure 17 peak flow 5% AEP.....	22
Figure 18 peak flow 10% AEP.....	23
Figure 19 peak flow 20% AEP.....	24
Figure 20 peak flow 50% AEP.....	25
Figure 21 Peak flow 63.20% AEP.....	26
Figure 22 Time series for 1% AEP.....	27
Figure 23 Time series chart for 1% AEP .....	27
Figure 24 Time series for 2% AEP.....	28
Figure 25 time series chart for 2% AEP.....	28
Figure 26 time series for 5% AEP .....	29
Figure 27 time series chart for 5% AEP.....	29
Figure 28 time series for 10% AEP .....	30
Figure 29 time series chart for 10% AEP.....	30
Figure 30 time series for 20% AEP .....	31
Figure 31 time series chart for 20% AEP.....	31
Figure 32 time series 50% AEP.....	32
Figure 33 time series for 50 % AEP .....	32
Figure 34 time series 63.20% AEP.....	33
Figure 35 time series chart 63.20% AEP .....	33
Figure 36 Pre-Development outflow Graph for 10%AEP .....	34
Figure 37 Post-Development Outflow Graph for 10%AEP.....	34

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## General

This report provides a comprehensive analysis of both stormwater quantity and quality management associated with the proposed development.

For stormwater quantity, the report will address:

- The management of post-development stormwater discharge rates for the development, including:
  - SWMM stormwater modelling of the pre-development and post-development scenarios for standard including the 1% Annual Exceedance probability (AEP) storm event.
- Queensland Urban Drainage Manual (QUDM)
- Australian Rainfall and Runoff 2019 in appendix
- Bureau of Meteorology (BOM), Design Rainfall System 2016
- State Planning Policy (SPP)

## Site Characteristics

### Location & Description

The proposed development is located at 13 Cavell Street, Wandal, within the Low-Density Residential Zone. The Development is proposed over very small of Lot 12 on SP320077 over an area of 55m<sup>2</sup>, Lot 2 on RP604752 covering 254m<sup>2</sup>, Lot 3 on RP604752 covering 120m<sup>2</sup>, Lot 25 on RP602156 measuring 1095m<sup>2</sup>, and Lot 10 on RP604213 with an area of 826m<sup>2</sup>. The total site area combines to approximately 2230m<sup>2</sup>.

The existing land use includes a Community Care Administration building, kitchen and workshop building, communal garden, and ancillary offices on Lot 12. Lot 25 contains a shed, Lot 10 houses a chicken coop, and Lot 2 is currently vacant. The proposed development will see the expansion of these facilities, including the addition of six dwelling units, a staff unit, a gazebo, and a shed.

The site has a quadrilateral shape and offers frontage and access from both Wandal Road and Cavell Street. Access to the new dwelling units will be from Wandal Road, while access to the staff unit, single-storeyed duplex unit and shed will be provided via Cavell Street. The strategic location of this site in proximity to essential services and amenities makes it an ideal location for the proposed expansion of community care facilities.





Figure 1. Locality Plan.

## Council Flood Risk Information

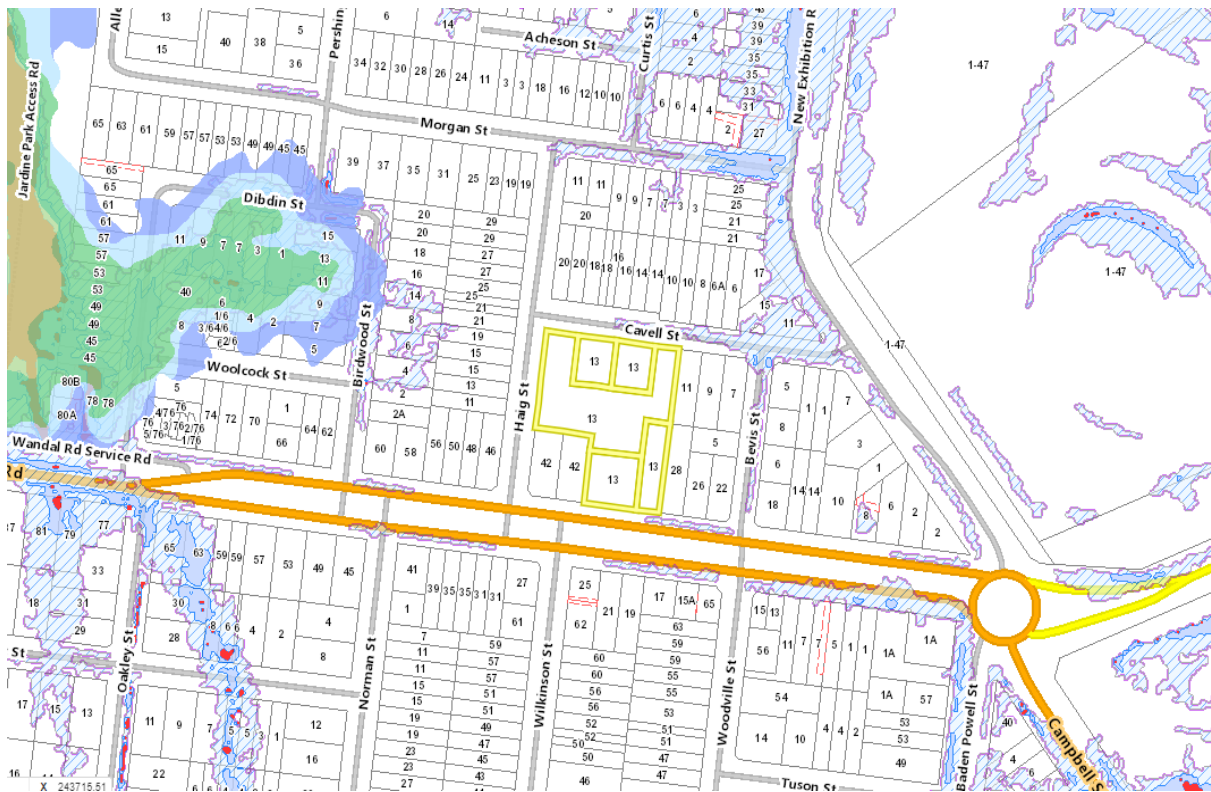


Figure 2 Flood Hazard Information.

## Proposed Development

### Site Layout

The proposed development at 13 Cavell Street, Wandal, will include six (6) additional units & a staff accommodation unit along Wandal road, a gazebo extension, a new storage shed covered area and three (3) future units along Cavell Street. This layout facilitates clear separation between residential and operational areas and ensures efficient access for both residents and staff. Another shed (72m<sup>2</sup>) is proposed over part of Lot 2 on RP6047525.

The site layout emphasizes functionality and community integration, featuring open spaces such as a communal garden and gazebo to foster interaction and provide a pleasant environment. Thoughtful landscaping and design will enhance the aesthetic appeal and ensure the new facilities blend seamlessly with the surrounding residential area, contributing positively to the local neighbourhood while supporting the Home Support Association's operational needs.

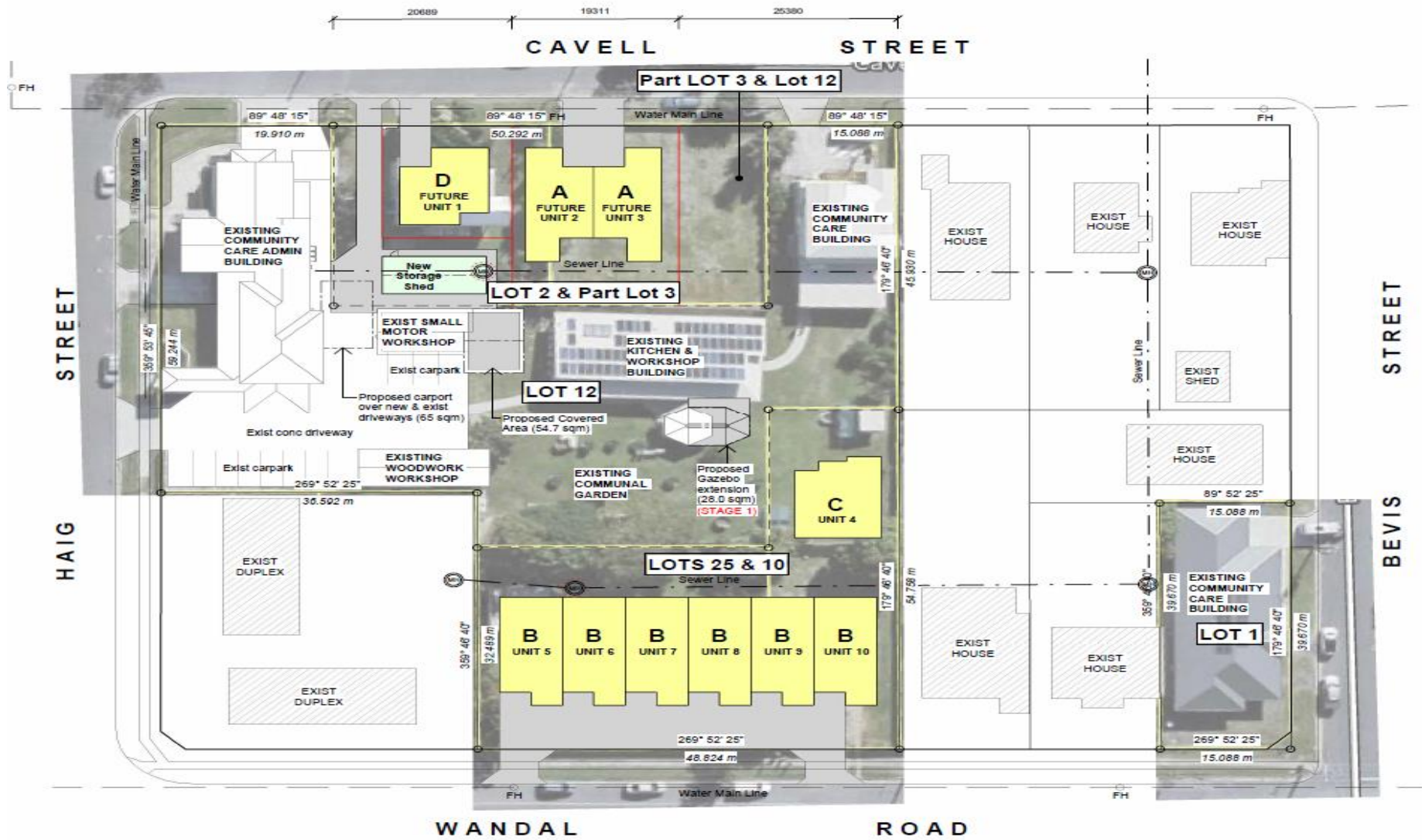
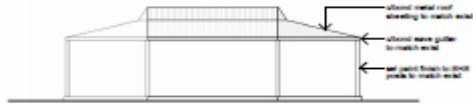
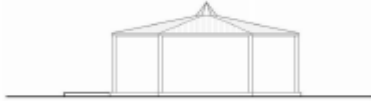


Figure 3 Site Layout Plan.



5 Elevation 1 & 3 - Gazebo  
1:100



6 Elevation 2 & 4 - Gazebo  
1:100

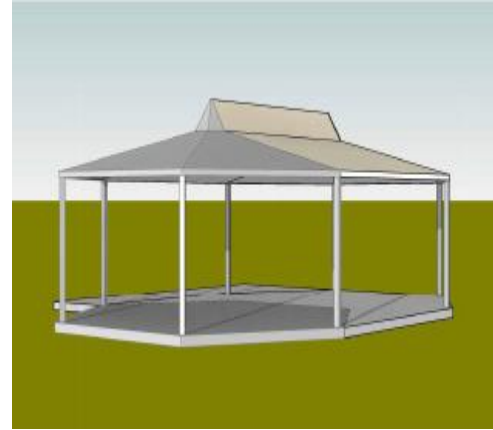
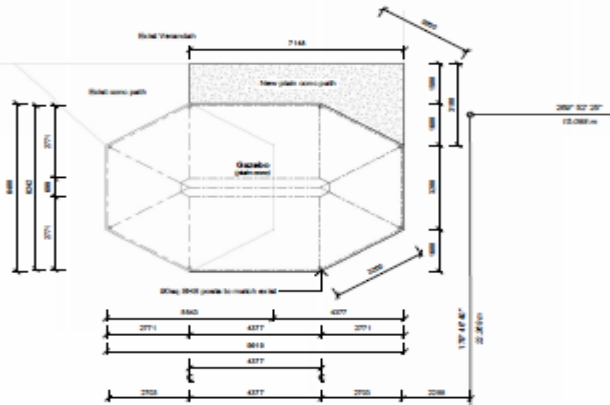


Figure 4 Proposed Gazebo extension.

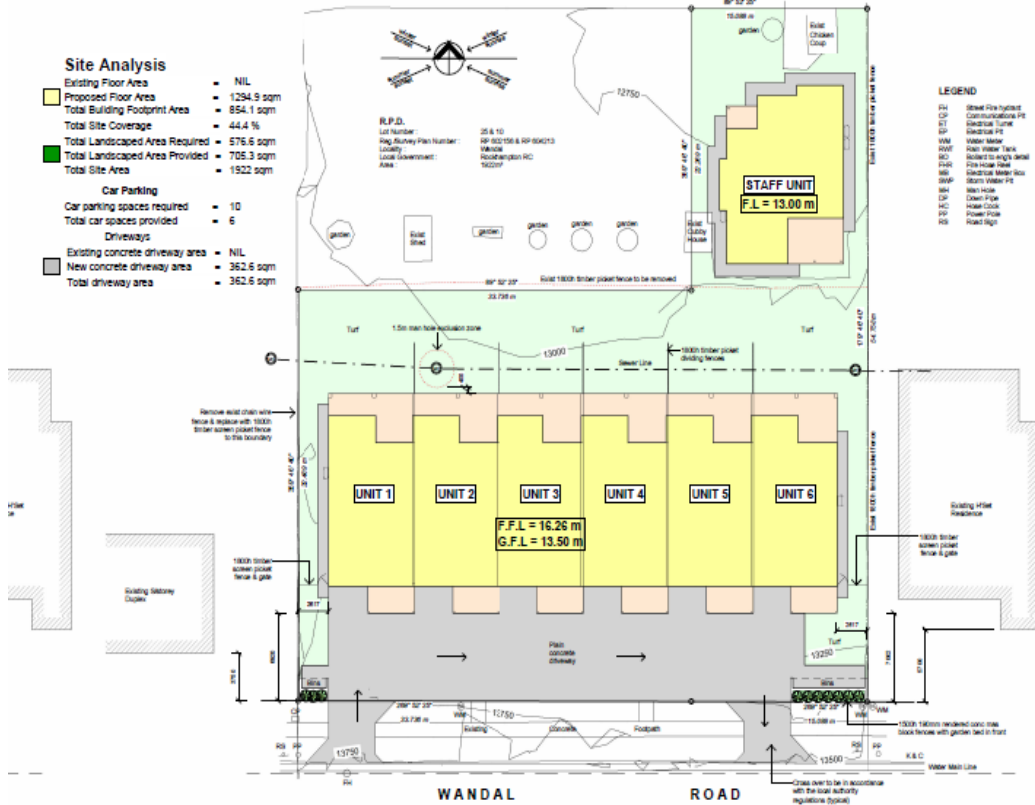


Figure 5 Site plan for the Proposed units.



# Stormwater Quantity Management

## Lawful Point of Discharge

The QUDM lawful point of discharge test was used to assess the potential impact of the development of the assessment location.

The following Figure shows the lawful point of discharge criteria as per **QUDM 2016**.

The Development does not propose to alter the discharge location from the existing scenario in a manner that would substantially damage a third-party property.

The criteria for determining the lawful point of discharge are:

- (i) Will the proposed development alter the site's stormwater discharge characteristics in a manner that may substantially damage a third party property<sup>ii</sup> (see Section 3.6)?
  - If not, then no further steps are required to obtain tenure for a lawful point of discharge (assuming any previous circumstances and changes were lawful).
  - If there is a reasonable risk of such damage, then consider issue (ii) or (iii).
- (ii) Is the location of the discharge from the development site under the lawful control of the local government or other statutory authority from whom permission to discharge has been received? This will include a park, watercourse, drainage or road reserve, stormwater registered drainage easement, or land held by local government (including freehold land).

**Note:** The regulatory authority (in its capacity as land holder) is likely to require information about the potential impact of the site's stormwater discharge characteristics on third party properties (particularly those downstream of the proposed discharge point) before it will consent to the discharge entering its land.

  - If so, then no further steps are required to obtain tenure for a lawful point of discharge.
  - If not, then consider issue (iii). A land owner or regulator may require that the developer obtain an authority to discharge as described in (iii) in order for the stormwater to ultimately flow to a location described in (ii).
- (iii) An authority to discharge over affected properties will be necessary. In descending order of certainty, an authority may be in the form of:
  - Dedication of a drainage reserve or park
  - A registered easement for stormwater discharge/works
  - Written discharge approval

Figure 7. The Lawful Point of Discharge Test (QUDM 2016)

## General

The stormwater program chosen for analysing the site's stormwater management is the EPA Stormwater Management Model (SWMM). The following sections describe the model parameters.

## BOM & ARR Datahub Info

The rainfall parameters adopted within models have been extracted from the Bureau of Meteorology and ARR datahub.

## Pre-Development Catchment Details

The pre-development catchment for the site at 13 Cavell Street, Wandal, encompasses a total area of about 6,378 m<sup>2</sup> across five lots. Runoff characteristics are influenced by these existing features and their associated impervious surfaces. The site's natural drainage paths and runoff patterns will be key factors in assessing the impact of the proposed development and guiding the design of effective stormwater management strategies. Fraction impervious values have been selected based on the existing development and by **Table 4.5.1** of QUDM 2016. Table 1 Summarizes the Pre-development catchment parameters used within the SWMM model.

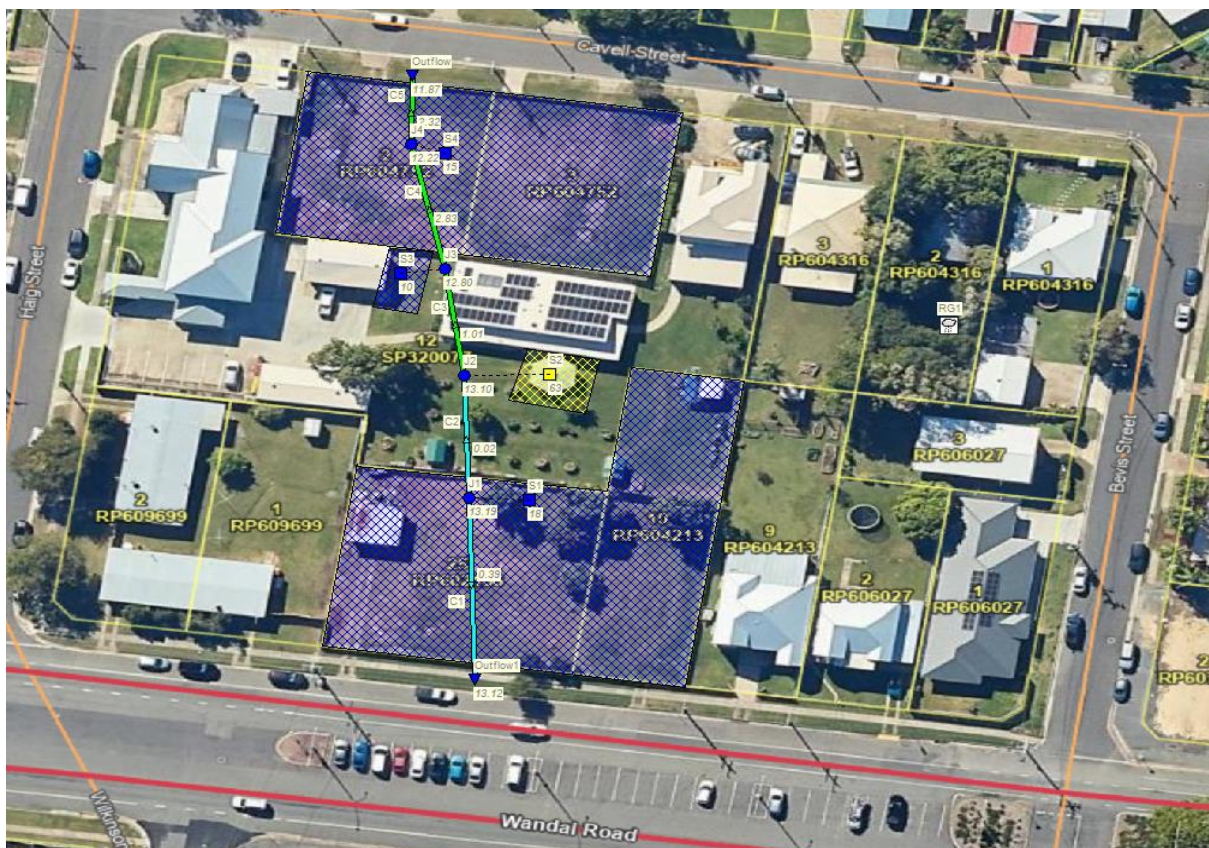


Figure 8 Pre-Development Catchments.

Table 1 Pre-Development Catchment Details.

Catchment	S1	S2	S3	S4
Area (ha)	0.19	0.003	0.07	0.14
Impervious (%)	18	63	10	12
Time of Concentration Pervious (mins)	5	5	5	5
Time of Concentration Impervious (mins)	5	5	5	5

### Post-Development Catchment Details

The development plan includes six additional housing units, a single-storeyed duplex unit, a staff unit, a gazebo, and a shed, altering the land use across the site. The new impervious surfaces, including building roofs and paved areas, will increase runoff rates and volumes. Fraction impervious values have been selected based on the existing development and by **Table 4.5.1** of QUDM 2016. Table 2 Summarizes the Post-development catchment parameters used within the SWMM model.



Figure 9 Post-Development Catchments.



Table 2 Post-Development Catchment Details.

Catchment	S1	S2	S3	S4
Area (ha)	0.19	0.003	0.005	0.14
Impervious (%)	50	75	76	41
Time of Concentration Pervious (mins)	5	5	5	5
Time of Concentration Impervious (mins)	5	5	5	5

## SWMM Results

The SWMM (Storm Water Management Model) results provide a detailed comparison of the pre-development and post-development conditions, highlighting the impact of the proposed stormwater management measures.

### Pre-Development Site Conditions

In the pre-development scenario, the SWMM model simulated the natural hydrological response of the site, characterized by higher infiltration rates and lower runoff volumes due to the largely pervious nature of the landscape. The model indicated moderate peak discharge rates, which are typical for undeveloped land where natural vegetation and soil absorb much of the rainfall. The time of concentration was relatively high, reflecting the slower movement of water across the landscape before reaching the drainage channels. Overall, the pre-development conditions demonstrated a balanced hydrological cycle, with minimal surface runoff and low risk of erosion or flooding.

Table 3 Pre-Development Discharge from The Site.

AEP %	ARI (Years)	C Coefficient	Q m <sup>3</sup> /s
63.20	1	0.962	0.278
50	2	0.967	0.315
20	5	0.978	0.436
10	10	0.983	0.521
5	20	0.988	0.606
2	50	0.992	0.719
1	100	0.996	0.809

## Post-Development Site Conditions

The post-development scenario, however, revealed significant changes in the hydrological response due to the introduction of impervious surfaces such as rooftops, driveways, and pavements. The SWMM results showed an increase in runoff volumes and peak discharge rates, which is common in urbanised areas where natural infiltration is reduced. The model incorporated various stormwater management strategies, including detention tanks and controlled outlet structures. The post-development results demonstrated that these measures effectively reduced peak discharges to levels comparable to the pre-development conditions, thereby managing the increased runoff and protecting downstream areas from potential adverse effects.

*Table 4 Post-Development Discharge from the site.*

<b>AEP %</b>	<b>ARI (Years)</b>	<b>C Coefficient</b>	<b>Q m<sup>3</sup>/s</b>
63.20	1	0.995	0.392
50	2	0.996	0.443
20	5	0.997	0.608
10	10	0.998	0.723
5	20	0.999	0.836
2	50	1.001	0.985
1	100	1.002	1.101

When compared to the pre-developed peak flows, there is a notable increase in flow for all recurrence intervals. The following table illustrates this increase:

*Table 5 Comparison of Pre-Development & Post-Development Flows*

<b>Comparison of Pre-development &amp; Post-Development Flows</b>				
<b>Event AEP</b>	<b>Pre-Development</b>	<b>Post-Development</b>	<b>Difference</b>	<b>Change</b>
<b>%</b>	<b>m<sup>3</sup>/s</b>	<b>m<sup>3</sup>/s</b>	<b>m<sup>3</sup>/s</b>	<b>%</b>
63.20	0.278	0.392	0.114	41.01%
50	0.315	0.443	0.128	40.63%
20	0.436	0.608	0.172	39.45%
10	0.521	0.723	0.202	38.77%
5	0.606	0.836	0.230	37.95%
2	0.719	0.985	0.266	37.00%
1	0.809	1.101	0.292	36.10%

This comparison between pre- and post-development conditions underscores the importance of integrating effective stormwater management practices in urban planning to preserve the natural hydrological balance and prevent flooding and erosion in developed areas.

## Discharge Flow Management

To address the increase in site runoff, it is proposed to install roof water detention tanks. Specifically, 2 x 10,000L tanks will be provided, with each tank designed to capture half of the roof runoff. The captured flows will be directed through suitable kerb adaptors located on Cavell Street and Wandall Street. This strategy aims to effectively manage the increased runoff by reducing peak discharge rates.

The implementation of these detention tanks results in a significant reduction in overall site runoff. For the minor event with a 20% AEP, the post-development site flow is reduced by 61.34%, from 0.608 m<sup>3</sup>/s to 0.373 m<sup>3</sup>/s. Similarly, for the major event with a 1% AEP, the flow reduction is 50.77%, decreasing from 1.101 m<sup>3</sup>/s to 0.559 m<sup>3</sup>/s. These reductions demonstrate the effectiveness of the proposed tanks in mitigating the impact of development on stormwater runoff, ensuring better management and reduced risk of flooding.



Figure 10 Post-Development Conditions After installing Detention Tank

Table 6 discharge flow of minor & major events

	Minor Event (20% AEP)	Major Event (1% AEP)
Pre-Development Site Total (m <sup>3</sup> /s)	0.436	0.809
Post-Development Site Total (m <sup>3</sup> /s)	0.608	1.101
Total Post-Development Flow Reduction from Tanks Detention (m <sup>3</sup> /s)	0.373	0.559
% Reduction in Flow	<b>-61.34%</b>	<b>-50.77%</b>

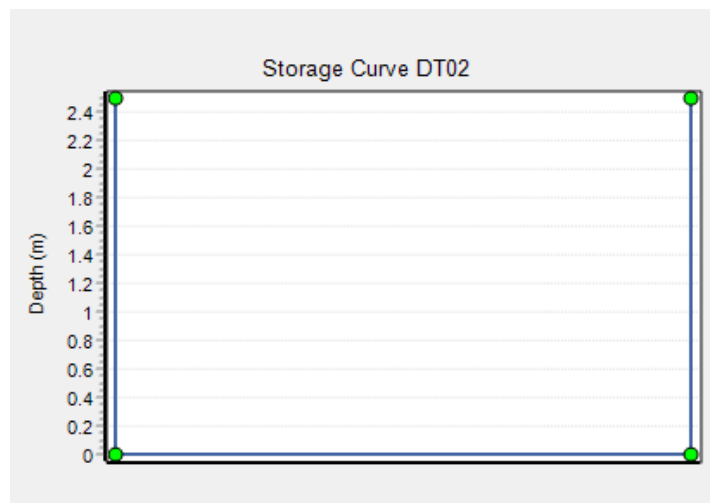


Figure 11 Storage curve

## Stormwater Quality

The State Planning Policy (SPP) released in July 2017 provides guidelines on the application of stormwater quality treatment.

The SPP states that the pollutant reduction design objectives for the subtropical climatic region apply to:

- A Material Change of use for an urban purpose that involves premises 2,500m<sup>2</sup> or greater in size and:
  - Will result in six or more dwellings; or
  - An impervious area greater than 25 per cent of the net developable area
- Reconfiguring a lot for urban purposes that involves premises 2,500m<sup>2</sup> or greater in size and will result in six or more lots.
- Operational works for an urban purpose that involves disturbing a land area 2,500m<sup>2</sup> or greater in size.

The Proposed development over Lot 12 on SP320077, Lot 2 on RP604752, , Lot3 on RP604752, Lot 25 on RP602156, and Lot 10 on RP604213 at 13 Cavell Street, Wandal, QLD 4700, Comprises an area of 0.1989 ha (1989m<sup>2</sup>). This development does not trigger the SPP requirements for achieving pollutant reduction design objectives as the total area is less than 2,500m<sup>2</sup>.

## Conclusion

The proposed stormwater management strategy effectively addresses both quantity and quality considerations, ensuring that the development aligns with all relevant guidelines and standards, including the Queensland Urban Drainage Manual (QUDM) and the State Planning Policy (SPP). By incorporating roof water detention tanks and maintaining a lawful point of discharge, the development mitigates potential increases in peak discharge rates, thereby protecting downstream properties from adverse impacts.

Furthermore, the implementation of stormwater quality treatment measures ensures compliance with pollutant reduction objectives, contributing to the sustainability of the project. Overall, the proposed measures provide a balanced approach to managing stormwater, supporting the development's successful integration into the surrounding environment while minimizing its environmental footprint.

## Appendix

Table 7 Rainfall data table (ARR 2019).

Duration	Duration in min	Annual Exceedance Probability (AEP)						
		63.20%	50%	20%	10%	5%	2%	1%
1 min	1	2.61	2.91	3.85	4.48	5.09	5.89	6.49
2 min	2	4.48	5.02	6.7	7.82	8.92	10.2	11.2
3 min	3	6.3	7.05	9.39	11	12.5	14.3	15.7
4 min	4	7.99	8.94	11.9	13.8	15.8	18.1	19.9
5 min	5	9.55	10.7	14.2	16.5	18.7	21.6	23.8
10 min	10	15.8	17.6	23.3	27	30.7	35.5	39.2
15 min	15	20.3	22.6	29.9	34.7	39.4	45.6	50.4
20 min	20	23.7	26.5	35	40.7	46.2	53.5	59.1
25 min	25	26.5	29.6	39.1	45.5	51.7	59.9	66.2
30 min	30	28.8	32.2	42.6	49.6	56.4	65.4	72.2
45 min	45	34	38	50.5	59	67.2	77.9	86.1
1 hour	60	37.6	42.1	56.2	65.8	75.1	87.2	96.4
1.5 hour	90	42.7	47.9	64.4	75.6	86.7	101	112
2 hour	120	46.2	52	70.3	82.9	95.3	111	124
3 hour	180	51.1	57.8	79	93.7	108	128	143
4.5 hour	270	56.1	63.8	88.4	106	123	147	165
6 hour	360	59.9	68.3	95.7	115	135	162	184
9 hour	540	65.7	75.4	107	130	154	188	216
12 hour	720	70.3	81	117	143	170	210	243
18 hour	1080	77.5	89.8	132	164	198	247	289
24 hour	1440	83.3	96.8	144	181	220	279	328
30 hour	1800	88.1	103	154	195	240	305	361
36 hour	2160	92.3	108	163	207	257	329	391
48 hour	2880	99.2	116	178	228	285	368	439
72 hour	4320	109	128	199	257	325	422	506
96 hour	5760	116	137	212	276	349	455	546
120 hour	7200	121	143	222	287	363	473	568
144 hour	8640	125	147	228	294	370	481	577
168 hour	10080	128	150	231	297	371	481	578

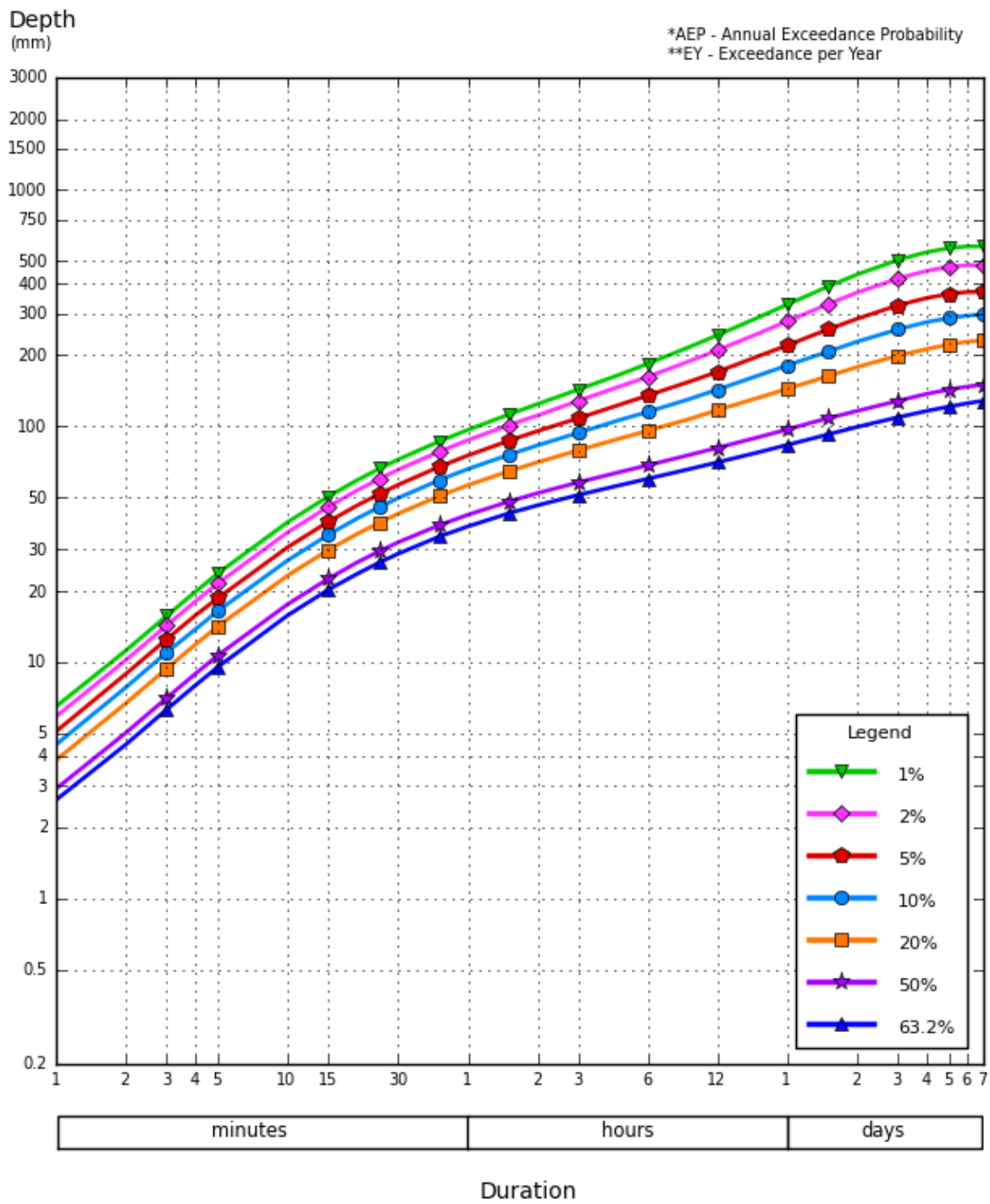


Figure 12 Rainfall data chart (ARR 2019)

Development category	Fraction impervious ( $f_i$ )
Central business district	1.00
Commercial, local business, neighbouring facilities, service industry, general industry, home industry	0.90
Significant paved areas e.g. roads and car parks	0.90
Urban residential – high density	0.70 to 0.90
Urban residential – low density (including roads)	0.45 to 0.85
Urban residential – low density (excluding roads)	0.40 to 0.75
Rural residential	0.10 to 0.20
Open space and parks etc.	0.00

**Notes:**

- The fraction impervious should be determined for each development. Local governments may specify default values.
- Typically for urban residential high density developments:
  - townhouse type development  $f_i = 0.7$
  - multi-unit dwellings > 20 dwellings per hectare  $f_i = 0.85$
  - high-rise residential development  $f_i = 0.9$
- In urban residential low density areas  $f_i$  will vary depending upon road width, allotment size, house size and extent of paths, driveways etc.

Figure 13 Fraction impervious vs development category (QUDM)

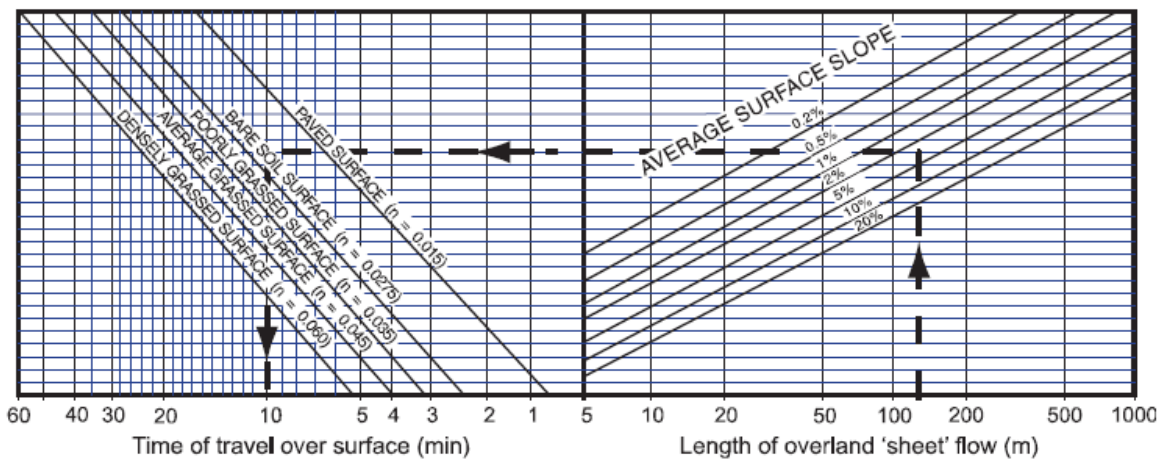


Figure 4.4 – Overland sheet flow times (shallow sheet flow only) (source: ARR, 1977)

Figure 14 Overland Sheet flow times (Source: ARR, 1977)



Table 8 Pre-Development Flow

Table - Link Flow				Table - Link Flow				Table - Link Flow				Table - Link Flow			
Elapsed	Elapsed	Link	Link	Elapsed	Elapsed	Link	Link	Elapsed	Elapsed	Link	Link	Elapsed	Elapsed	Link	Link
Days	Hours	C1	C5	Days	Hours	C1	C5	Days	Hours	C1	C5	Days	Hours	C1	C5
0	0:15:00	0.34	0.33	0	0:15:00	0.31	0.29	0	0:15:00	0.26	0.24	0	0:15:00	0.23	0.21
0	0:30:00	0.39	0.42	0	0:30:00	0.35	0.37	0	0:30:00	0.3	0.31	0	0:30:00	0.26	0.26
0	0:45:00	0.02	0.06	0	0:45:00	0.02	0.05	0	0:45:00	0.02	0.05	0	0:45:00	0.02	0.04
0	1:00:00	0	0.05	0	1:00:00	0	0.04	0	1:00:00	0	0.03	0	1:00:00	0	0.03
0	1:15:00	0.02	0.07	0	1:15:00	0.02	0.06	0	1:15:00	0.02	0.05	0	1:15:00	0.02	0.04
0	1:30:00	0.04	0.1	0	1:30:00	0.04	0.09	0	1:30:00	0.04	0.08	0	1:30:00	0.03	0.06
0	1:45:00	0.01	0.06	0	1:45:00	0.01	0.06	0	1:45:00	0.01	0.05	0	1:45:00	0.01	0.04
0	2:00:00	0	0.05	0	2:00:00	0	0.05	0	2:00:00	0	0.04	0	2:00:00	0	0.03
0	2:15:00	0.03	0.08	0	2:15:00	0.03	0.07	0	2:15:00	0.02	0.06	0	2:15:00	0.02	0.05
0	2:30:00	0.01	0.06	0	2:30:00	0.01	0.05	0	2:30:00	0.01	0.04	0	2:30:00	0.01	0.04
0	2:45:00	0	0.05	0	2:45:00	0	0.04	0	2:45:00	0	0.04	0	2:45:00	0	0.03
0	3:00:00	0	0.04	0	3:00:00	0	0.03	0	3:00:00	0	0.03	0	3:00:00	0	0.03
0	3:15:00	0.03	0.08	0	3:15:00	0.03	0.07	0	3:15:00	0.03	0.06	0	3:15:00	0.02	0.05
0	3:30:00	0.01	0.05	0	3:30:00	0.01	0.05	0	3:30:00	0.01	0.04	0	3:30:00	0.01	0.04
0	3:45:00	0	0.04	0	3:45:00	0	0.04	0	3:45:00	0	0.03	0	3:45:00	0	0.03
0	4:00:00	0	0.03	0	4:00:00	0	0.03	0	4:00:00	0	0.03	0	4:00:00	0	0.02
0	4:15:00	0	0.03	0	4:15:00	0	0.03	0	4:15:00	0	0.02	0	4:15:00	0	0.02
0	4:30:00	0.05	0.09	0	4:30:00	0.04	0.08	0	4:30:00	0.04	0.07	0	4:30:00	0.04	0.06
0	4:45:00	0.01	0.05	0	4:45:00	0.01	0.05	0	4:45:00	0.01	0.04	0	4:45:00	0.01	0.03
0	5:00:00	0	0.04	0	5:00:00	0	0.04	0	5:00:00	0	0.03	0	5:00:00	0	0.03
0	5:15:00	0	0.03	0	5:15:00	0	0.03	0	5:15:00	0	0.03	0	5:15:00	0	0.02
0	5:30:00	0	0.03	0	5:30:00	0	0.03	0	5:30:00	0	0.02	0	5:30:00	0	0.02
0	5:45:00	0	0.02	0	5:45:00	0	0.02	0	5:45:00	0	0.02	0	5:45:00	0	0.02
0	6:00:00	0	0.02	0	6:00:00	0	0.02	0	6:00:00	0	0.02	0	6:00:00	0	0.02

Table - Link Flow				Table - Link Flow				Table - Link Flow			
Elapsed	Elapsed	Link	Link	Elapsed	Elapsed	Link	Link	Elapsed	Elapsed	Link	Link
Days	Hours	C1	C5	Days	Hours	C1	C5	Days	Hours	C1	C5
0	0:15:00	0.2	0.17	0	0:15:00	0.15	0.12	0	0:15:00	0.13	0.11
0	0:30:00	0.22	0.21	0	0:30:00	0.16	0.15	0	0:30:00	0.15	0.13
0	0:45:00	0.01	0.03	0	0:45:00	0.01	0.02	0	0:45:00	0.01	0.02
0	1:00:00	0	0.02	0	1:00:00	0	0.02	0	1:00:00	0	0.01
0	1:15:00	0.02	0.04	0	1:15:00	0.02	0.03	0	1:15:00	0.02	0.02
0	1:30:00	0.03	0.05	0	1:30:00	0.03	0.04	0	1:30:00	0.02	0.03
0	1:45:00	0.01	0.03	0	1:45:00	0.01	0.02	0	1:45:00	0.01	0.02
0	2:00:00	0	0.03	0	2:00:00	0	0.02	0	2:00:00	0	0.02
0	2:15:00	0.02	0.05	0	2:15:00	0.02	0.03	0	2:15:00	0.02	0.03
0	2:30:00	0.01	0.03	0	2:30:00	0	0.02	0	2:30:00	0	0.02
0	2:45:00	0	0.03	0	2:45:00	0	0.02	0	2:45:00	0	0.02
0	3:00:00	0	0.02	0	3:00:00	0	0.02	0	3:00:00	0	0.01
0	3:15:00	0.02	0.04	0	3:15:00	0.02	0.03	0	3:15:00	0.02	0.03
0	3:30:00	0.01	0.03	0	3:30:00	0	0.02	0	3:30:00	0	0.02
0	3:45:00	0	0.02	0	3:45:00	0	0.02	0	3:45:00	0	0.02
0	4:00:00	0	0.02	0	4:00:00	0	0.02	0	4:00:00	0	0.01
0	4:15:00	0	0.02	0	4:15:00	0	0.01	0	4:15:00	0	0.01
0	4:30:00	0.03	0.05	0	4:30:00	0.03	0.04	0	4:30:00	0.03	0.03
0	4:45:00	0.01	0.03	0	4:45:00	0.01	0.02	0	4:45:00	0.01	0.02
0	5:00:00	0	0.02	0	5:00:00	0	0.02	0	5:00:00	0	0.02
0	5:15:00	0	0.02	0	5:15:00	0	0.02	0	5:15:00	0	0.01
0	5:30:00	0	0.02	0	5:30:00	0	0.01	0	5:30:00	0	0.01
0	5:45:00	0	0.02	0	5:45:00	0	0.01	0	5:45:00	0	0.01
0	6:00:00	0	0.01	0	6:00:00	0	0.01	0	6:00:00	0	0.01

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C0  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\*..... 0.083  
Minimum Value ..... 0.373  
Maximum Value ..... 0.373  
Mean Value ..... 0.373  
Std. Deviation ..... 0.000  
Skewness Coeff. .... 0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C6  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\*..... 1.000  
Minimum Value ..... 0.186  
Maximum Value ..... 0.186  
Mean Value ..... 0.186  
Std. Deviation ..... 0.000  
Skewness Coeff. .... 0.000

\*Fraction of all reporting periods belonging to an event.

Figure 15 Peak flow for 1% AEP.

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C6
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	1.000
Minimum Value .....	0.187
Maximum Value .....	0.187
Mean Value .....	0.187
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C0
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	0.083
Minimum Value .....	0.332
Maximum Value .....	0.332
Mean Value .....	0.332
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

Figure 16 Peak flow 2% AEP

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C6  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\* ..... 1.000  
Minimum Value ..... 0.188  
Maximum Value ..... 0.188  
Mean Value ..... 0.188  
Std. Deviation ..... 0.000  
Skewness Coeff. ..... 0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C0  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\* ..... 0.083  
Minimum Value ..... 0.272  
Maximum Value ..... 0.272  
Mean Value ..... 0.272  
Std. Deviation ..... 0.000  
Skewness Coeff. ..... 0.000

\*Fraction of all reporting periods belonging to an event.

Figure 17 peak flow 5% AEP

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C6  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\* ..... 1.000  
Minimum Value ..... 0.191  
Maximum Value ..... 0.191  
Mean Value ..... 0.191  
Std. Deviation ..... 0.000  
Skewness Coeff. ..... 0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C0  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\* ..... 0.083  
Minimum Value ..... 0.230  
Maximum Value ..... 0.230  
Mean Value ..... 0.230  
Std. Deviation ..... 0.000  
Skewness Coeff. ..... 0.000

\*Fraction of all reporting periods belonging to an event.

Figure 18 peak flow 10% AEP

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C6
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	1.000
Minimum Value .....	0.186
Maximum Value .....	0.186
Mean Value .....	0.186
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C0
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	0.083
Minimum Value .....	0.187
Maximum Value .....	0.187
Mean Value .....	0.187
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

Figure 19 peak flow 20% AEP

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C6
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	1.000
Minimum Value .....	0.185
Maximum Value .....	0.185
Mean Value .....	0.185
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object .....	Link C0
Variable .....	Flow (CMS)
Event Period .....	Variable
Event Statistic .....	Peak (CMS)
Event Threshold .....	Flow > 0.0000 (CMS)
Event Threshold .....	Event Volume > 0.0000 (m3)
Event Threshold .....	Separation Time >= 6.0 (hr)
Period of Record .....	08/05/2024 to 08/05/2024

Number of Events .....	1
Event Frequency*.....	0.083
Minimum Value .....	0.123
Maximum Value .....	0.123
Mean Value .....	0.123
Std. Deviation .....	0.000
Skewness Coeff. ....	0.000

\*Fraction of all reporting periods belonging to an event.

Figure 20 peak flow 50% AEP



S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C6  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\*..... 1.000  
Minimum Value ..... 0.186  
Maximum Value ..... 0.186  
Mean Value ..... 0.186  
Std. Deviation ..... 0.000  
Skewness Coeff. .... 0.000

\*Fraction of all reporting periods belonging to an event.

S U M M A R Y   S T A T I S T I C S

=====

Object ..... Link C0  
Variable ..... Flow (CMS)  
Event Period ..... Variable  
Event Statistic ..... Peak (CMS)  
Event Threshold ..... Flow > 0.0000 (CMS)  
Event Threshold ..... Event Volume > 0.0000 (m3)  
Event Threshold ..... Separation Time >= 6.0 (hr)  
Period of Record ..... 08/05/2024 to 08/05/2024

Number of Events ..... 1  
Event Frequency\*..... 0.083  
Minimum Value ..... 0.102  
Maximum Value ..... 0.102  
Mean Value ..... 0.102  
Std. Deviation ..... 0.000  
Skewness Coeff. .... 0.000

\*Fraction of all reporting periods belonging to an event.

Figure 21 Peak flow 63.20% AEP

Time Series Editor ✕

Time Series Name

Description

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	23.8
	00.10	39.2
	00.15	50.4
	00.20	59.1
	00.25	66.2
	00.30	72.2
	00.45	86.1
	01.00	96.4
	01.30	112
	02.00	124
	03.00	143

View

OK

Cancel

Help

Figure 22 Time series for 1% AEP

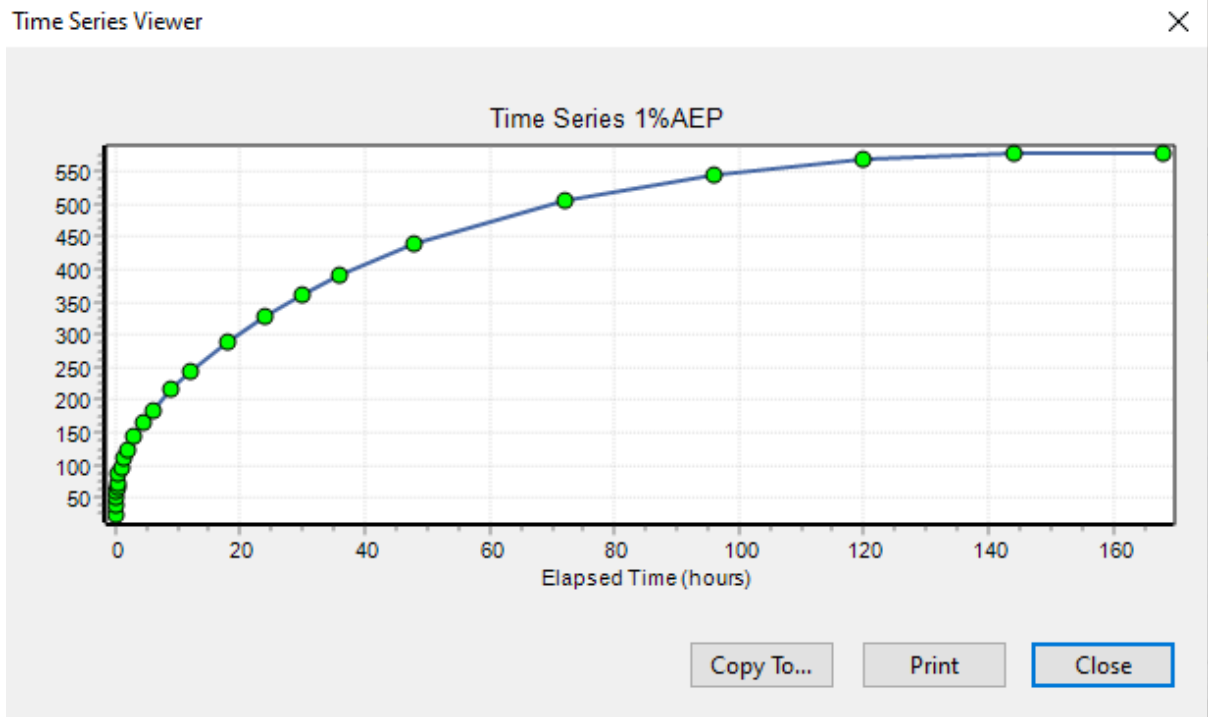


Figure 23 Time series chart for 1% AEP

Time Series Editor ✕

Time Series Name

Description

Use external data file named below

Enter time series data in the table below  
 No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	21.6
	00.10	35.5
	00.15	45.6
	00.20	53.5
	00.25	59.9
	00.30	65.4
	00.45	77.9
	01.00	87.2
	01.30	101
	02.00	111
	03.00	128

View

OK

Cancel

Help

Figure 24 Time series for 2% AEP

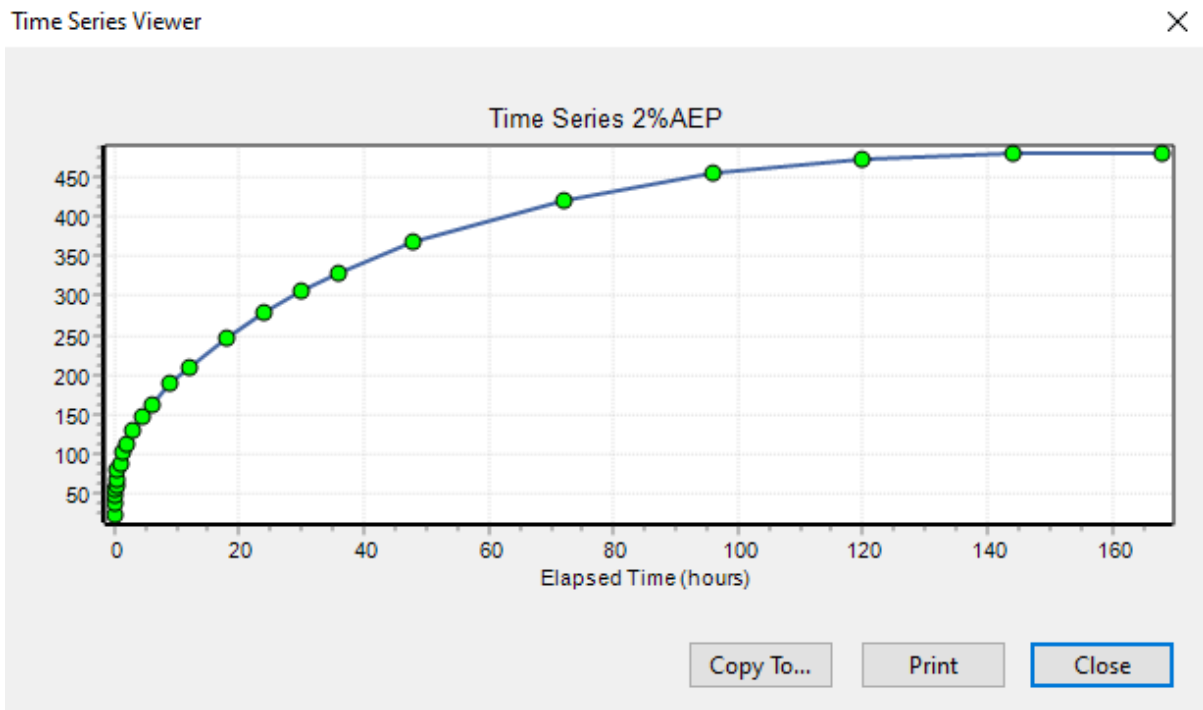


Figure 25 time series chart for 2% AEP

Time Series Editor ✕

Time Series Name

Description

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	18.7
	00.10	30.7
	00.15	39.4
	00.20	46.2
	00.25	51.7
	00.30	56.4
	00.45	67.2
	01.00	75.1
	01.30	86.7
	02.00	95.3
	03.00	108

View

OK

Cancel

Help

Figure 26 time series for 5% AEP

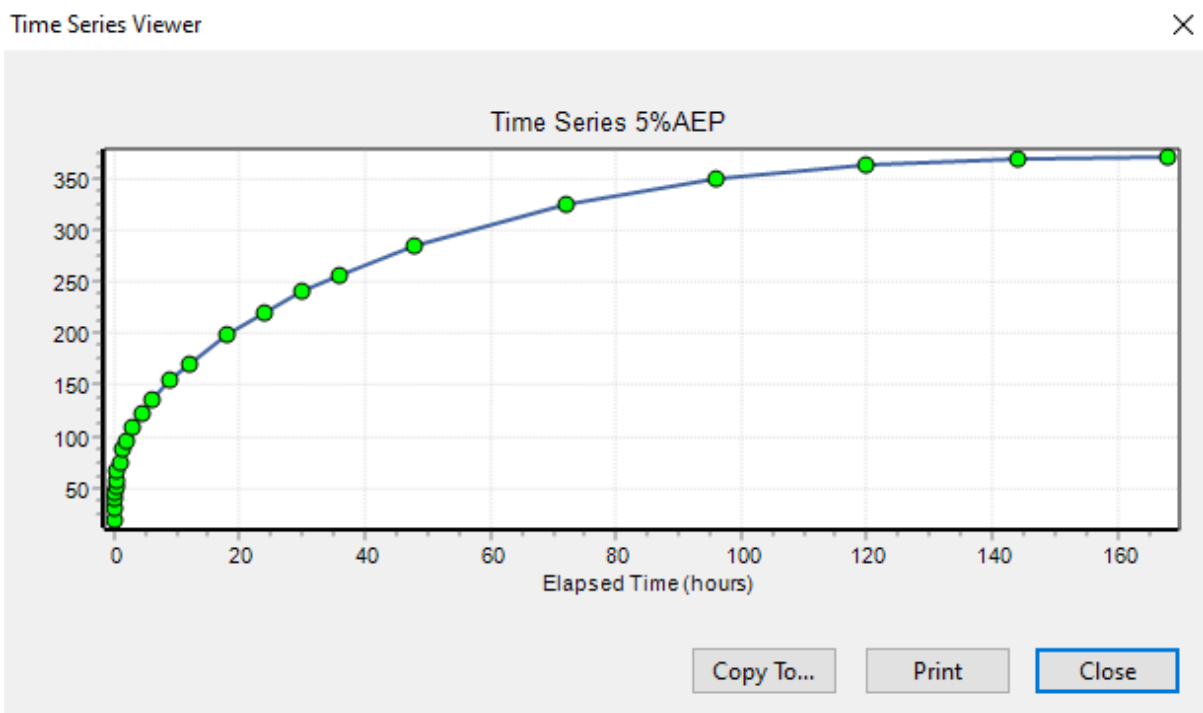


Figure 27 time series chart for 5% AEP

Time Series Editor ×

Time Series Name

Description

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	16.5
	00.10	27
	00.15	34.7
	00.20	40.7
	00.25	45.5
	00.30	49.6
	00.45	59
	01.00	65.8
	01.30	75.6
	02.00	82.9
	03.00	93.7

View

OK

Cancel

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Figure 28 time series for 10% AEP

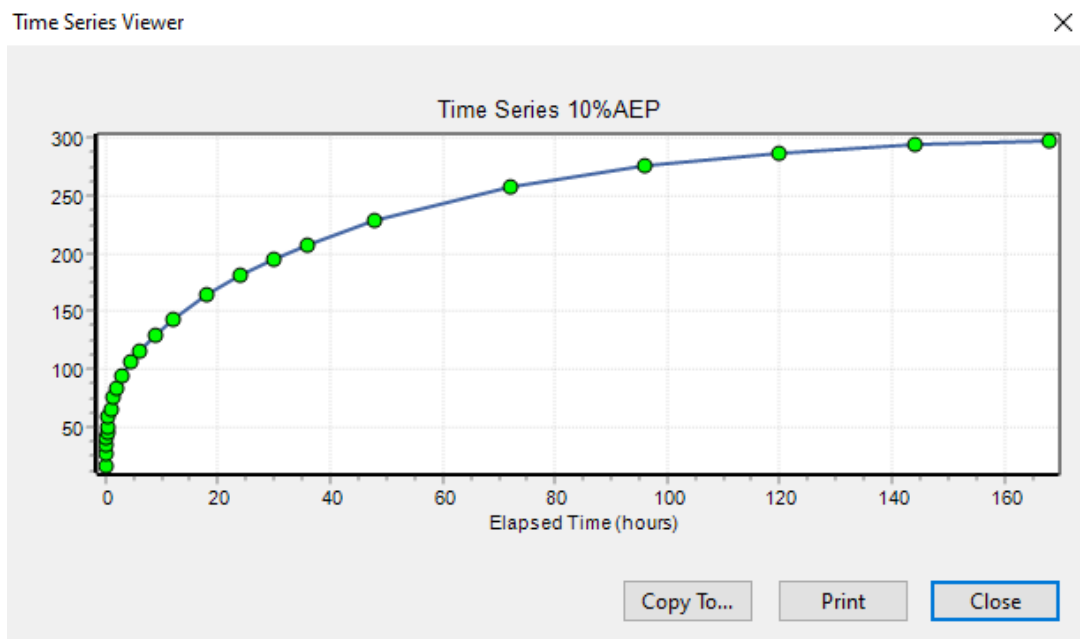


Figure 29 time series chart for 10% AEP

Time Series Editor ✕

Time Series Name

Description

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	14.2
	00.10	23.3
	00.15	29.9
	00.20	35
	00.25	39.1
	00.30	42.6
	00.45	50.5
	01.00	56.2
	01.30	64.4
	02.00	70.3
	03.00	79

View

OK

Cancel

Help

Figure 30 time series for 20% AEP

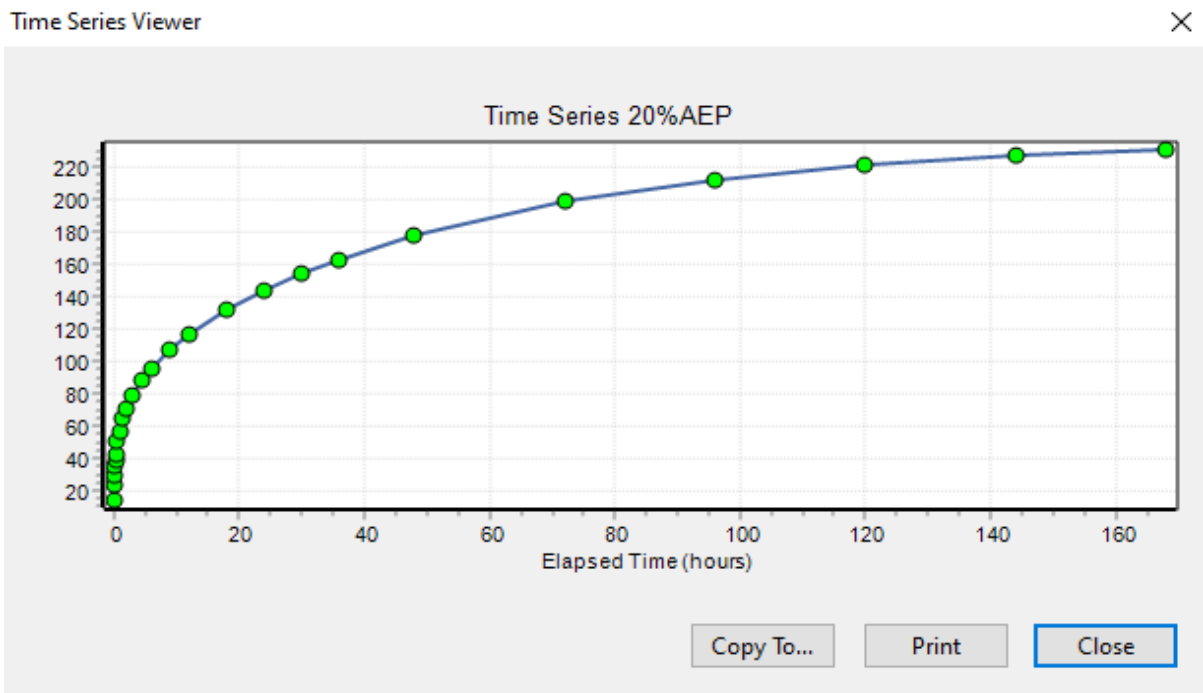



Figure 31 time series chart for 20% AEP

Time Series Editor ✕

Time Series Name

Description  
 

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	10.7
	00.10	17.6
	00.15	22.6
	00.20	26.5
	00.25	29.6
	00.30	32.2
	00.45	38
	01.00	42.1
	01.30	47.9
	02.00	52
	03.00	57.8

View

OK

Cancel

Help

Figure 32 time series 50% AEP

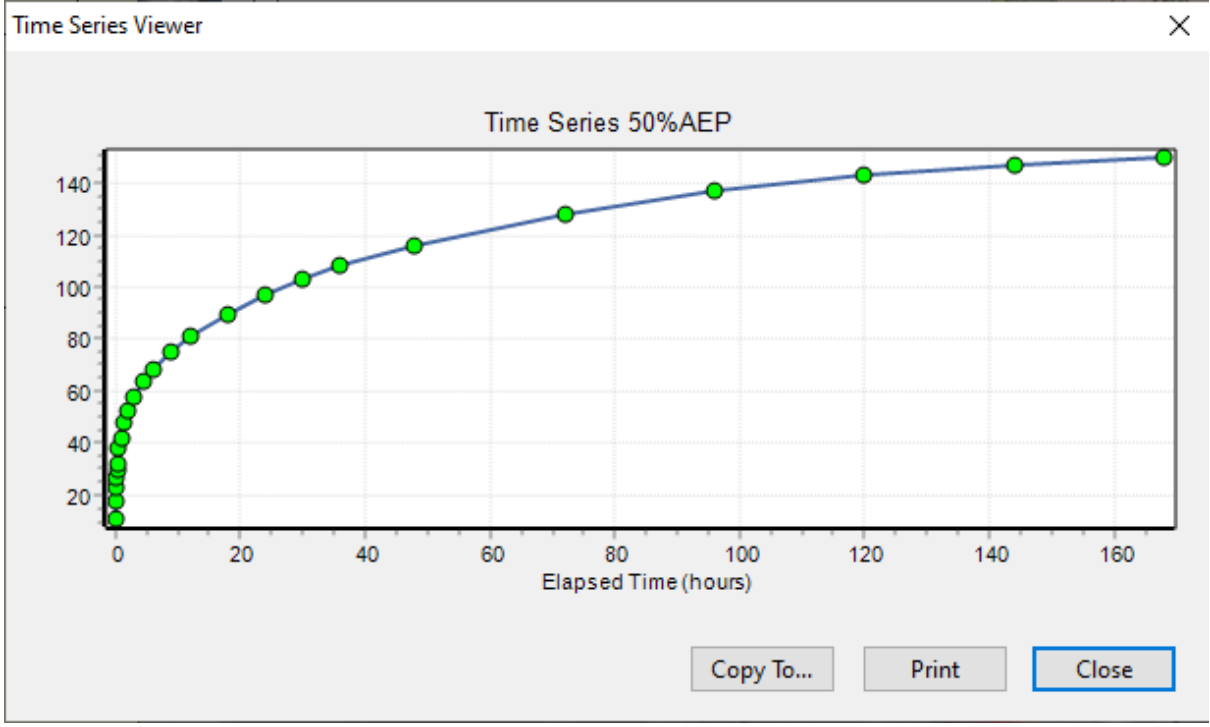


Figure 33 time series for 50 % AEP

Time Series Editor ×

Time Series Name

Description

Use external data file named below

Enter time series data in the table below

No dates means times are relative to start of simulation.

Date (M/D/Y)	Time (H:M)	Value
	00.05	9.55
	00.10	15.8
	00.15	20.3
	00.20	23.7
	00.25	26.5
	00.30	28.8
	00.45	34
	01.00	37.6
	01.30	42.7
	02.00	46.2
	03.00	51.1

View

OK

Cancel

Help

Figure 34 time series 63.20% AEP

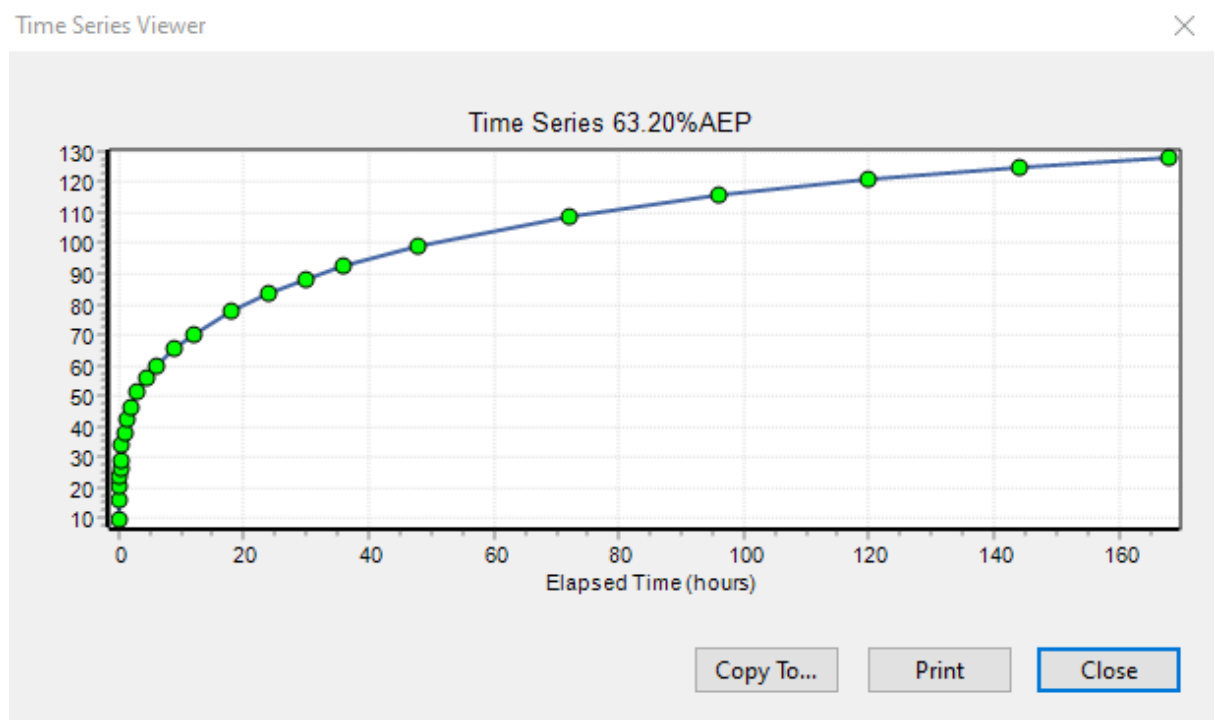


Figure 35 time series chart 63.20% AEP



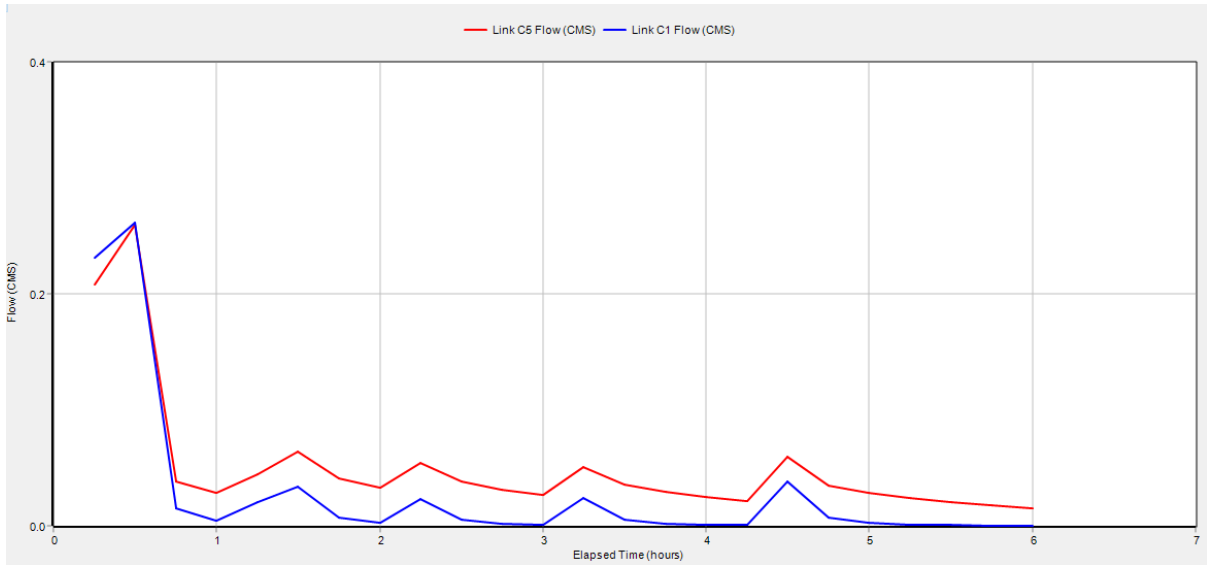


Figure 36 Pre-Development outflow Graph for 10%AEP

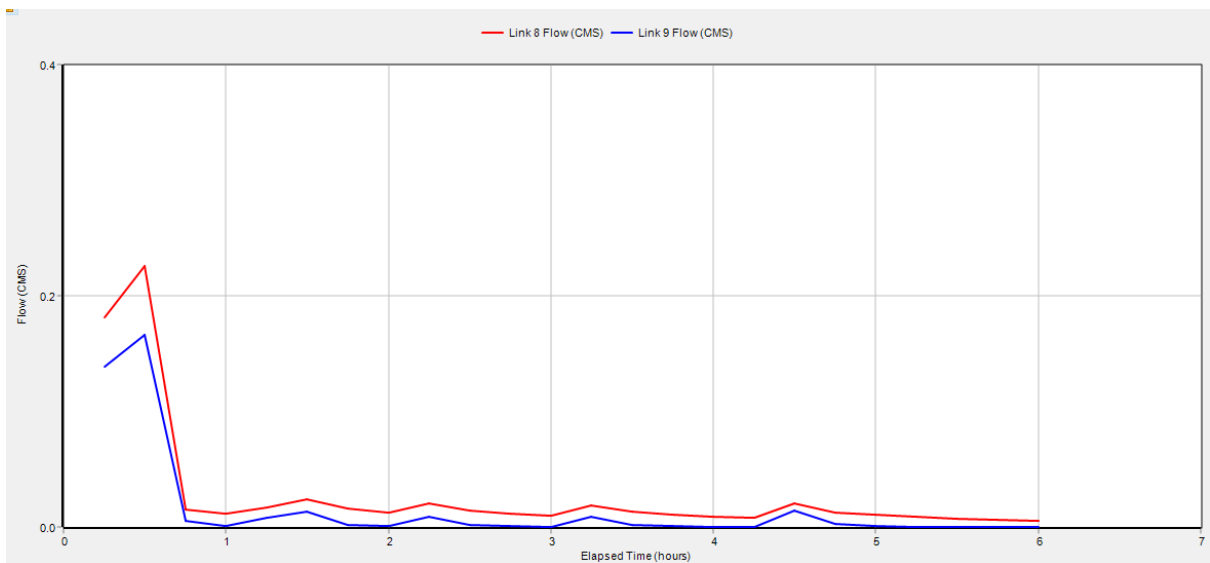
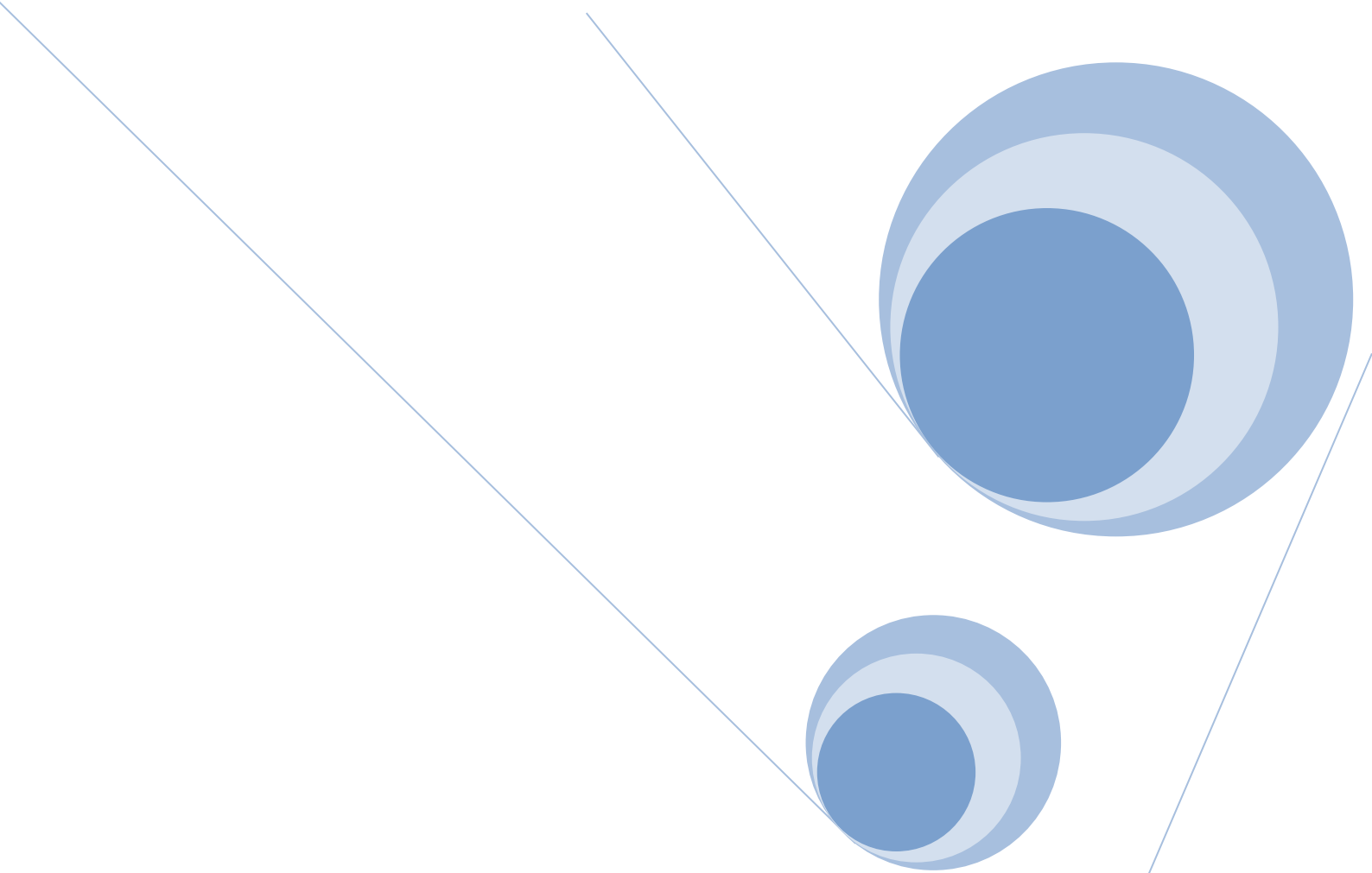


Figure 37 Post-Development Outflow Graph for 10%AEP



## **Appendix F – State codes**

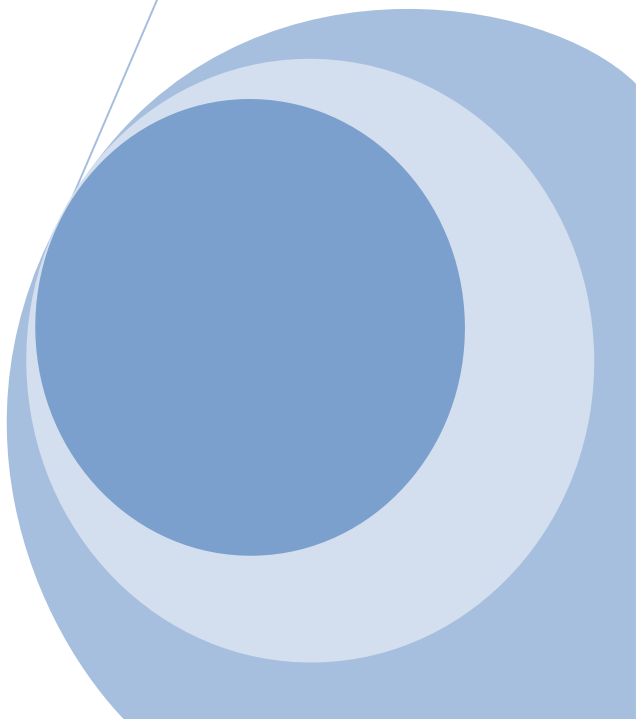
- State code 1: Development in a state-controlled road environment

**Application on behalf of Home Support Association INC. A.B.N. 65 591 388 164.**

**September 2024**

**GSPC**

**Ref: 241340**



**State code 1: Development in a state-controlled road environment**

**Table 1.1 Development in general**

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>Buildings, structures, infrastructure, services and utilities</b>			
<b>PO1</b> The location of the development does not create a safety hazard for users of the <b>state-controlled road</b> .	<b>AO1.1</b> Development is not located in a <b>state-controlled road</b> .  AND  <b>AO1.2</b> Development can be maintained without requiring access to a <b>state-controlled road</b> .	<b>PP1. Proposal complies.</b> The proposed residential units are located within low density residential zone, fronting Wandal Road, which is a state controlled road. Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposed two driveways are practically co-incident with the existing driveways. Therefore, the proposal shall not create any safety hazard for users of the state-controlled road. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO2</b> The design and construction of the development does not adversely impact the <b>structural integrity</b> or physical condition of the <b>state-controlled road</b> or <b>road transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP2. Proposal complies.</b> Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO3</b> The location of the development does not obstruct <b>road transport infrastructure</b> or adversely impact the operating performance of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP3. Proposal complies.</b> The proposed two driveways are practically co-incident to the existing driveways. Therefore, no additional impacts are proposed. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO4</b> The location, placement, design and operation of advertising devices, visible from the <b>state-controlled road</b> , do not create a safety hazard for users of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP4. Not Applicable</b> No advertising signs are proposed fronting the State Controlled Road.	N/A

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>PO5</b> The design and construction of buildings and <b>structures</b> does not create a safety hazard by distracting users of the <b>state-controlled road</b> .	<p><b>AO5.1</b> Facades of buildings and <b>structures</b> fronting the <b>state-controlled road</b> are made of non-reflective materials.</p> <p>AND</p> <p><b>AO5.2</b> Facades of buildings and <b>structures</b> do not direct or reflect point light sources into the face of oncoming traffic on the <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO5.3</b> External lighting of buildings and <b>structures</b> is not directed into the face of oncoming traffic on the <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO5.4</b> External lighting of buildings and <b>structures</b> does not involve flashing or laser lights.</p>	<p><b>PP5. Proposal complies.</b></p> <p>Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p>	✓
<b>PO6</b> Road, pedestrian and bikeway bridges over a <b>state-controlled road</b> are designed and constructed to prevent projectiles from being thrown onto the <b>state-controlled road</b> .	<b>AO6.1</b> Road, pedestrian and bikeway bridges over the <b>state-controlled road</b> include throw protection screens in accordance with section 4.11 of the Design Criteria for Bridges and Other Structures Manual, Department of Transport and Main Roads, 2020.	<p><b>PP6. Not Applicable</b></p> <p>No pedestrian or bikeway bridge is proposed.</p>	N/A
<b>Landscaping</b>			
<b>PO7</b> The location of landscaping does not create a safety hazard for users of the <b>state-controlled road</b> .	<p><b>AO7.1</b> Landscaping is not located in a <b>state-controlled road</b>.</p> <p>AND</p>	<p><b>PP7. Proposal complies.</b></p> <p>The proposed multiple dwelling and extension of the Community Care Centre over Lot 12 on SP320077 has a new landscaped garden (18.0 sqm) and new selected turf (75.8 sqm) along a new concrete crossover and proposed metal storage shed. Approximately, 705.3 sqm landscaped area has been provided in additional development of the Community</p>	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
	<p><b>AO7.2</b> Landscaping can be maintained without requiring access to a <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO7.3</b> Landscaping does not block or obscure the sight lines for vehicular access to a <b>state-controlled road</b>.</p>	<p>Care Centre over Lot 25 on RP602156 and Lot 10 on RP604213. Please refer to the Site Setout Plan &amp; Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission. The proposed landscape shall remain fit for purpose over the long-term.</p> <p>No landscaping is proposed towards or within the State Controlled Road reserve.</p>	
<b>Stormwater and overland flow</b>			
<b>PO8</b> Stormwater run-off or overland flow from the development site does not create or exacerbate a safety hazard for users of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<p><b>PP8. Proposal complies.</b></p> <p>Please refer to Stormwater Management Strategy Report prepared by GSPC attached in <b>Appendix E</b>.</p>	✓
<b>PO9</b> Stormwater run-off or overland flow from the development site does not result in a material worsening of the operating performance of the <b>state-controlled road</b> or <b>road transport infrastructure</b> .	No acceptable outcome is prescribed.	<p><b>PP9. Proposal complies.</b></p> <p>Same as PP8.</p>	✓
<b>PO10</b> Stormwater run-off or overland flow from the development site does not adversely impact the <b>structural integrity</b> or physical condition of the <b>state-controlled road</b> or <b>road transport infrastructure</b> .	No acceptable outcome is prescribed.	<p><b>PP10. Proposal complies.</b></p> <p>Same as PP8.</p>	✓
<b>PO11</b> Development ensures that stormwater is lawfully discharged.	<p><b>AO11.1</b> Development does not create any new points of discharge to a <b>state-controlled road</b>.</p> <p>AND</p>	<p><b>PP11. Proposal complies.</b></p> <p>Same as PP8.</p>	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
	<p><b>AO11.2</b> Development does not concentrate flows to a <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO11.3</b> Stormwater run-off is discharged to a <b>lawful point of discharge</b>.</p> <p>AND</p> <p><b>AO11.4</b> Development does not worsen the condition of an existing <b>lawful point of discharge</b> to the <b>state-controlled road</b>.</p>		
<b>Flooding</b>			
<p><b>PO12</b> Development does not result in a material worsening of flooding impacts within a <b>state-controlled road</b>.</p>	<p><b>AO12.1</b> For all flood events up to 1% <b>annual exceedance probability</b>, development results in negligible impacts (within +/- 10mm) to existing flood levels within a <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO12.2</b> For all flood events up to 1% <b>annual exceedance probability</b>, development results in negligible impacts (up to a 10% increase) to existing peak velocities within a <b>state-controlled road</b>.</p> <p>AND</p> <p><b>AO12.3</b> For all flood events up to 1% <b>annual exceedance probability</b>, development results in negligible impacts (up to a 10% increase) to existing time of submergence of a <b>state-controlled road</b>.</p>	<p><b>PP12. Not Applicable</b></p> <p>No Flood Overlay is identified for the proposed development.</p>	<p>N/A</p>
<b>Drainage Infrastructure</b>			

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>PO13</b> Drainage infrastructure does not create a safety hazard for users in the <b>state-controlled road</b> .	<b>AO13.1</b> Drainage infrastructure is wholly contained within the development site, except at the <b>lawful point of discharge</b> .  AND <b>AO13.2</b> Drainage infrastructure can be maintained without requiring access to a <b>state-controlled road</b> .	<b>PP13. Proposal complies.</b> The proposed development currently has lawful point of discharge available to Wandal Street and also to Cavell Street and stormwater discharge strategies are discussed in Stormwater Management Report prepared by GSPC. Please refer to <b>Appendix E</b> of this submission.	✓
<b>PO14</b> Drainage infrastructure associated with, or within, a <b>state-controlled road</b> is constructed, and designed to ensure the <b>structural integrity</b> and physical condition of existing drainage infrastructure and the surrounding drainage network.	No acceptable outcome is prescribed.	<b>PP14. Proposal complies.</b> Same as PP13.	✓

**Table 1.2 Vehicular access, road layout and local roads**

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>Vehicular access to a state-controlled road or within 100 metres of a state-controlled road intersection</b>			
<b>PO15</b> The location, design and operation of a <b>new or changed access</b> to a <b>state-controlled road</b> does not compromise the safety of users of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP15. Proposal complies.</b> The proposed two driveways are practically co-incident to the existing accesses, however, a little wider & consistent with design guidelines. No new accesses are proposed in this submission. Therefore, the proposal shall not compromise the safety of users of the state-controlled road.  The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO16</b> The location, design and operation of a <b>new or changed access</b> does not adversely impact the <b>functional requirements</b> of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP16. Proposal complies.</b> No new access is proposed, only upgrading of the two existing accesses is proposed in this submission.	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>PO17</b> The location, design and operation of a <b>new or changed access</b> is consistent with the <b>future intent</b> of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP17. Proposal complies.</b> Same as PP16.	✓
<b>PO18</b> <b>New or changed access</b> is consistent with the access for the relevant <b>limited access road policy</b> : 1. <b>LAR 1</b> where direct access is prohibited; or 2. <b>LAR 2</b> where access may be permitted, subject to assessment.	No acceptable outcome is prescribed.	<b>PP18. Proposal complies.</b> Same as PP16.	✓
<b>PO19</b> <b>New or changed access</b> to a <b>local road</b> within 100 metres of an intersection with a <b>state-controlled road</b> does not compromise the safety of users of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP19. Proposal complies.</b> Same as PP16.	✓
<b>PO20</b> <b>New or changed access</b> to a <b>local road</b> within 100 metres of an intersection with a <b>state-controlled road</b> does not adversely impact on the operating performance of the intersection.	No acceptable outcome is prescribed.	<b>PP20. Proposal complies.</b> Same as PP16.	✓
<b>Public passenger transport and active transport</b>			
<b>PO21</b> Development does not compromise the safety of users of <b>public passenger transport infrastructure, public passenger services and active transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP21. Proposal complies.</b> The proposed multiple dwelling units for people with disability, do not have any adverse impact on public passenger services and active transport infrastructure.	✓
<b>PO22</b> Development maintains the ability for people to access <b>public passenger transport infrastructure, public passenger services and active transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP22. Proposal complies.</b> Same as PP21.	✓
<b>PO23</b> Development does not adversely impact the operating performance of <b>public passenger transport infrastructure, public passenger services and active transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP23. Proposal complies.</b> Same as PP21.	✓
<b>PO24</b> Development does not adversely impact the <b>structural integrity</b> or physical condition of <b>public passenger transport infrastructure and active transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP24. Proposal complies.</b> Same as PP21.	✓



Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

**Table 1.3 Network impacts**

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>PO25</b> Development does not compromise the safety of users of the <b>state-controlled road</b> network.	No acceptable outcome is prescribed.	<b>PP25. Proposal complies.</b> Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposed two driveways are practically co-incident to the existing driveways. Therefore, no additional impacts on the transport network are proposed. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO26</b> Development ensures <b>no net worsening</b> of the operating performance of the <b>state-controlled road</b> network.	No acceptable outcome is prescribed.	<b>PP26. Proposal complies.</b> Same as PP25.	✓
<b>PO27</b> Traffic movements are not directed onto a <b>state-controlled road</b> where they can be accommodated on the <b>local road</b> network.	No acceptable outcome is prescribed.	<b>PP27. Proposal complies.</b> Same as PP25.	✓
<b>PO28</b> Development involving haulage exceeding 10,000 tonnes per year does not adversely impact the pavement of a <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP28. Proposal complies.</b> Same as PP25.	✓
<b>PO29</b> Development does not impede delivery of <b>planned upgrades</b> of <b>state-controlled roads</b> .	No acceptable outcome is prescribed.	<b>PP29. Proposal complies.</b> Same as PP25.	✓
<b>PO30</b> Development does not impede delivery of <b>corridor improvements</b> located entirely within the <b>state-controlled road corridor</b> .	No acceptable outcome is prescribed.	<b>PP30. Proposal complies.</b> Same as PP25.	✓

**Table 1.4 Filling, excavation, building foundations and retaining structures**

Performance outcomes	Acceptable outcomes	Response	Compliance
<b>PO31</b> Development does not create a safety hazard for users of the <b>state-controlled road</b> or <b>road transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP31. Proposal complies.</b> The proposed residential units are located within low density residential zone along Wandal Road, which is a state controlled road. Only one ingress to the residential units and one egress onto state-controlled road are proposed in this submission. The proposed two driveways are practically coincidental to the existing driveways. Therefore, the proposal shall not create any safety hazard for users of the state-controlled road. The proposal is for 'left-in' & 'left-out' in a one way direction, which ameliorates the current vehicle movement scenario that allows for reversing of vehicles onto the State Controlled Road.	✓
<b>PO32</b> Development does not adversely impact the operating performance of the <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP32. Proposal complies.</b> Same as PP31.	✓
<b>PO33</b> Development does not undermine, damage or cause subsidence of a <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP30. Proposal complies.</b> Same as PP31.	✓
<b>PO34</b> Development does not cause ground water disturbance in a <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP30. Proposal complies.</b> Same as PP31.	✓
<b>PO35</b> Excavation, boring, piling, blasting and fill compaction do not adversely impact the physical condition or <b>structural integrity</b> of a <b>state-controlled road</b> or <b>road transport infrastructure</b> .	No acceptable outcome is prescribed.	<b>PP30. Proposal complies.</b> Same as PP31.	✓
<b>PO36</b> Filling and excavation associated with the construction of <b>new or changed access</b> do not compromise the operation or capacity of existing drainage infrastructure for a <b>state-controlled road</b> .	No acceptable outcome is prescribed.	<b>PP30. Proposal complies.</b> Same as PP31.	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

**Table 1.5 Environmental emissions**

Statutory note: Where a **state-controlled road** is co-located in the same transport corridor as a railway, the development should instead comply with Environmental emissions in State code 2: Development in a railway environment.

Performance outcomes	Acceptable outcomes	Response	Compliance
Reconfiguring a lot PO37 to PO38, Not applicable.			
Material change of use (accommodation activity)			
Ground floor level requirements adjacent to a state-controlled road or type 1 multi-modal corridor			
<p><b>PO39</b> Development minimises noise intrusion from a <b>state-controlled road</b> in <b>private open space</b>.</p>	<p><b>AO39.1</b> Development provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> <li>1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.2) for <b>private open space</b> at the ground floor level;</li> <li>2. in accordance with:                             <ol style="list-style-type: none"> <li>a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013;</li> <li>b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019;</li> <li>c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020.</li> </ol> </li> </ol> <p>OR</p> <p><b>AO39.2</b> Development achieves the maximum free field acoustic level in reference table 2 (item 2.2) for <b>private open space</b> by <b>alternative noise attenuation measures</b> where it is not practical to provide a noise barrier or earth mound.</p>	<p><b>PP39. Proposal complies.</b></p> <p>The proposal is for the expansion of an existing facility which has already existed for a couple of years, without any road traffic noise issues; and it is nestled amongst residential uses on all sides, and some of these surrounding houses have been here for, many years, without having road traffic noise issues. The reason being that this stretch of Wandal Road is primarily a 'district road' that connects Rockhampton to Alton Downs, and its predominant use is by 'passenger' motor vehicle.</p>	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<p><b>PO40</b> Development (excluding a <b>relevant residential building</b> or <b>relocated building</b>) minimises noise intrusion from a <b>state-controlled road</b> in <b>habitable rooms</b> at the facade.</p>	<p><b>AO40.1</b> Development (excluding a <b>relevant residential building</b> or <b>relocated building</b>) provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> <li>1. to achieve the maximum building façade acoustic level in reference table 1 (item 1.1) for <b>habitable rooms</b>;</li> <li>2. in accordance with: <ol style="list-style-type: none"> <li>a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013;</li> <li>b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019;</li> <li>c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020.</li> </ol> </li> </ol> <p>OR</p> <p><b>AO40.2</b> Development (excluding a <b>relevant residential building</b> or <b>relocated building</b>) achieves the maximum building façade acoustic level in reference table 1 (item 1.1) for <b>habitable rooms</b> by <b>alternative noise attenuation measures</b> where it is not practical to provide a noise barrier or earth mound.</p>	<p><b>PP40. Proposal complies.</b></p> <p>Same as PP39.</p>	✓
<p><b>PO41 Habitable rooms</b> (excluding a <b>relevant residential building</b> or <b>relocated building</b>) are designed and constructed using materials to achieve the maximum internal acoustic level in reference table 3 (item 3.1).</p>	<p>No acceptable outcome is provided.</p>	<p><b>PP41. Proposal complies.</b></p> <p>Please refer to the Elevations &amp; Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b>.</p>	✓
<p><b>Above ground floor level requirements (accommodation activity) adjacent to a state-controlled road or type 1 multi-modal corridor</b></p>			
<p><b>PO42</b> Balconies, podiums, and roof decks include:</p>	<p>No acceptable outcome is provided.</p>	<p><b>PP42. Proposal complies.</b></p>	✓

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<p>1. a continuous <b>solid gap-free structure</b> or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia);</p> <p>2. highly acoustically absorbent material treatment for the total area of the soffit above balconies, podiums, and roof decks.</p>		Please refer to the Site Setout Plan & Site Features Plan 230704-03 and Landscape Plan Ref 230704-09 prepared by Rufus Design Group attached in <b>Appendix B</b> of this submission.	
<b>PO43 Habitable rooms</b> (excluding a <b>relevant residential building</b> or <b>relocated building</b> ) are designed and constructed using materials to achieve the maximum internal acoustic level in reference table 3 (item 3.1).	No acceptable outcome is provided.	<b>PP43. Proposal complies.</b>  Please refer to the Elevations & Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b> .	✓
<b>Material change of use (other uses)</b>		<b>PO44 to PO48. Not applicable.</b>	<b>N/A</b>
<b>Air, light and vibration</b>			
<b>PO49 Private open space, outdoor education areas</b> and <b>outdoor play areas</b> are protected from air quality impacts from a <b>state-controlled road</b> .	<p><b>AO49.1</b> Each dwelling or unit has access to a <b>private open space</b> which is shielded from a <b>state-controlled road</b> by a building, <b>solid gap-free fence</b>, or other <b>solid gap-free structure</b>.</p> <p>OR</p> <p><b>AO49.2</b> Each <b>outdoor education area</b> and <b>outdoor play area</b> is shielded from a <b>state-controlled road</b> by a building, <b>solid gap-free fence</b>, or other <b>solid gap-free structure</b>.</p>	<b>PP49. Proposal complies.</b>  Each dwelling or unit has patio and porch. Please refer to the Elevations & Section L, drawing no. 230704-06 prepared by Rufus Design Group attached in <b>Appendix B</b> .	✓
<b>PO50 Patient care areas</b> within <b>hospitals</b> are protected from vibration impacts from a <b>state-controlled road</b> or <b>type 1 multi-modal corridor</b> .	<p><b>AO50.1 Hospitals</b> are designed and constructed to ensure vibration in the patient treatment area does not exceed a vibration dose value of <math>0.1\text{m/s}^{1.75}</math>.</p> <p>AND</p> <p><b>AO50.2 Hospitals</b> are designed and constructed to ensure vibration in the ward of a <b>patient care area</b> does not exceed a vibration dose value of <math>0.4\text{m/s}^{1.75}</math>.</p>	<b>PP50. Not applicable.</b>  The proposal is not for hospitals.	<b>N/A</b>

Material Change of Use (MCU) for Additional development to Community Care Centre over part of Lot 12 on SP320077, part of Lot 2 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213, Wandal

Performance outcomes	Acceptable outcomes	Response	Compliance
<p><b>PO51</b> Development is designed and sited to ensure light from infrastructure within, and from users of, a <b>state-controlled road</b> or <b>type 1 multi-modal corridor</b>, does not:</p> <ol style="list-style-type: none"> <li>intrude into buildings during night hours (10pm to 6am);</li> <li>create unreasonable disturbance during evening hours (6pm to 10pm).</li> </ol>	No acceptable outcomes are prescribed.	<p><b>PP51. Proposal complies.</b></p> <p>The proposed residential units are set well (9 metres) back from the State-controlled Road boundary, and about 14 metres back from the State controlled road carriageway; thereby ensuring that lighting from the State Controlled Road corridor does not intrude into the proposed buildings.</p>	✓

**Table 1.6: Development in a future state-controlled road environment**

**PO52 to PO56: Not applicable**



# Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	<b>D/113-2024</b>	<i>For further information regarding this notice, please contact:</i>	Sophie Muggeridge
Date application properly made:	<b>23 August 2024</b>	Phone:	07 4936 8099

## 1. APPLICANT DETAILS

Name:	<b>Home Support Association Inc.</b>		
Postal address:	<b>C/- GSPC PO BOX 379 GRACEMERE QLD 4702</b>		
Contact number:	(07) 4922 7033	Email:	<a href="mailto:admin@gspc.com.au">admin@gspc.com.au</a>

## 2. PROPERTY DESCRIPTION

Street address:	13 Cavell Street, Wandal
Real property description:	Lot 12 on SP320077, Lot 2 on RP604752, Lot 3 on RP604752, Lot 25 on RP602156 and Lot 10 on RP604213

## 3. OWNER DETAILS

Name:	Home Support Association Inc.
Postal address:	PO BOX 1166 ROCKHAMPTON QLD 4700

## 4. DEVELOPMENT APPROVAL SOUGHT

**Development Permit for a Material Change of Use for a Multiple Dwelling (10 units) and Community Care Centre**

## 5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 6. REFERRAL AGENCIES

Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
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**STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)**

*Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor*

<p>Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—</p> <p>(a) are within 25m of a State transport corridor; or</p> <p>(b) are a future State transport corridor; or</p> <p>(c) are—</p> <p>(i) adjacent to a road that intersects with a State-controlled road; and</p> <p>(ii) within 100m of the intersection</p>	<p>The chief executive of the department in which the <i>Planning Act 2016</i> is administered:</p> <p>Department of Housing, Local Government, Planning and Public Works (State Assessment and Referral Agency Department)</p>	<p>Concurrence</p>	<p><u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City</p> <p><u>Online lodgement using MyDAS2:</u> <a href="https://prod2.dev-assess.qld.gov.au/suite/">https://prod2.dev-assess.qld.gov.au/suite/</a></p> <p><u>Email:</u> <a href="mailto:RockhamptonSARA@dsdilgp.qld.gov.au">RockhamptonSARA@dsdilgp.qld.gov.au</a></p> <p><u>Postal:</u> PO Box 113 Rockhampton Qld 4700</p>
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It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

**The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.**

**7. IMPACT ASSESSMENT**

<p>Will Impact Assessment be required?</p>	<p><b>YES</b></p>
<p>The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:</p> <ul style="list-style-type: none"> <li>- Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and</li> <li>- Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and</li> <li>- Giving a notice to all owners of any lots adjoining the premises which are the subject of the application.</li> </ul>	

**8. PUBLIC NOTIFICATION DETAILS**

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

**9. INFORMATION REQUEST**

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.


**10. SUPERSEDED PLANNING SCHEME**



Is the application to be assessed under a Superseded Planning Scheme?	<b>NO</b>
Planning Scheme	
<input type="checkbox"/>	The development was not assessable under the Superseded Planning Scheme and the application may proceed, as proposed.
<input type="checkbox"/>	The development was assessable under the Superseded Planning Scheme and this Development Application will be assessed under the Superseded Planning Scheme.
<input checked="" type="checkbox"/>	The application will not be assessed under the Superseded Planning Scheme. The application will instead be assessed against the current planning scheme.

**You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.**

**11. ASSESSMENT MANAGER**

Name: <b>Sophie Muggeridge</b> <b><u>PLANNING OFFICER</u></b>	Signature:	Date: 23 September 2024
		



Our reference: 2409-42555 SRA  
Your reference: 241340

25 September 2024

Home Support Association Inc. A.B.N. 65 591 388 164  
C/- GSPC  
PO Box 379  
GRACEMERE QLD 4702  
admin@gspc.com.au

Attention: Bristi Basak / Nirmala Kumar

Dear Bristi / Nirmala

### Referral confirmation notice

(Given under section 7 of the Development Assessment Rules)

The development application described below is taken to be properly referred to the State Assessment and Referral Agency (SARA) under Part 2: Referral of the Development Assessment Rules.

### Location details

Street address:	13 Cavell Street, 15 Cavell Street, 17 Cavell Street, 30 Wandal Road, and 36 Wandal Road, Wandal
Real property description:	12SP320077; 25RP602156; 3RP604752; 2RP604752; 10RP604213
Local government area:	Rockhampton Regional Council

### Application details

Development permit	Material change of use for a multiple dwelling (10 units) and community care centre
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The referral confirmation period ended on 25 September 2024. SARA's assessment will be under the following provisions of the Planning Regulation 2017:

- 10.9.4.2.4.1 State transport corridors and future State transport corridors

For further information please contact Thomas Gardiner, Principal Planning Officer, on 0749242916 or via email [RockhamptonSARA@dSDLGP.qld.gov.au](mailto:RockhamptonSARA@dSDLGP.qld.gov.au) who will be pleased to assist.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Alice Davis', written in a cursive style.

Alice Davis  
Principal Planning Officer

cc Rockhampton Regional Council, [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au)



SARA reference: 2409-42555 SRA  
 Applicant reference: 241340  
 Council reference: D/113-2024

4 October 2024

Home Support Association Inc. A.B.N. 65 591 388 164  
 C/- GSPC  
 PO Box 379  
 GRACEMERE QLD 4702  
 bristi@gspc.com.au

Attention: Bristi Basak / Nirmala Kumar

Dear Bristi / Nirmala

**SARA information request - 13 Cavell Street, Wandal; 36 Wandal Road, Wandal; 15 Cavell Street, Wandal; 17 Cavell Street, Wandal; 30 Wandal Road, Wandal**

(Given under section 12 of the Development Assessment Rules)

This notice has been issued because the State Assessment and Referral Agency (SARA) has identified that information necessary to assess your application against the relevant provisions of the State Development Assessment Provisions has not been provided.

State-controlled road	
1.	<p><b>Issue:</b>                      The application material does not include a traffic impact statement (TIS) which quantifies traffic generation from the development or an assessment of traffic-generated development onto the state-controlled road network.</p> <p><b>Action:</b>                      Provide a TIS, certified by a Registered Professional Engineer of Queensland (RPEQ). The TIS should confirm that the proposed development will not result in any safety or operational impacts onto the state-controlled road network. It should include supporting details such as design vehicle specifications, turning paths, traffic generation, and any other relevant information necessary for a comprehensive assessment.</p>

2.	<p><b>Issue:</b> The application material does not include information to demonstrate how stormwater or overland flow impacts from the development does not adversely impact the state-controlled road.</p> <p><b>Action:</b> Provide a Stormwater Management Plan (SMP) certified by a RPEQ. The SMP should demonstrate that the proposed development allows for the lawful discharge of stormwater and does not adversely impact the State-controlled Road reserve compared to pre-development conditions. Specifically, it should confirm that the development will not block, alter, or divert existing stormwater runoff patterns, nor cause any actionable nuisance or damage to infrastructure.</p>
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### How to respond

You have three months to respond to this request and the due date to SARA is 6 January 2025. You may respond by providing either: (a) all of the information requested; (b) part of the information requested; or (c) a notice that none of the information will be provided. Further guidance on responding to an information request is provided in section 13 of the [Development Assessment Rules](#) (DA Rules).


It is recommended that you provide all the information requested above. If you decide not to provide all the information requested, your application will be assessed and decided based on the information provided to date.

You are requested to upload your response and complete the relevant tasks in [MyDAS2](#).

As SARA is a referral agency for this application, a copy of this information request will be provided to the assessment manager in accordance with section 12.4 of the DA Rules.

If you require further information or have any questions about the above, please contact Thomas Gardiner, Principal Planning Officer, on 0749242916 or via email [RockhamptonSARA@dsdilgp.qld.gov.au](mailto:RockhamptonSARA@dsdilgp.qld.gov.au) who will be pleased to assist.

Yours sincerely



Carl Porter  
A/Manager Planning, Fitzroy and Central Queensland

cc Rockhampton Regional Council, [enquiries@rrc.qld.gov.au](mailto:enquiries@rrc.qld.gov.au)

Development details	
Description:	Development permit Material change of use for a multiple dwelling (10 units) and community care centre
SARA role:	referral agency
SARA trigger:	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017) Material change of use within twenty-five (25) metres of a state-controlled road

Development details	
SARA reference:	2409-42555 SRA
Assessment criteria:	<b>State Development Assessment Provisions (SDAP):</b> <ul style="list-style-type: none"><li>• State code 1: Development in a state-controlled road environment</li></ul>



**Rockhampton Office**  
232 Bolsover St, Rockhampton

**Gracemere Office**  
1 Ranger St, Gracemere

**Mount Morgan Office**  
32 Hall St, Mount Morgan

9 October 2024

Our Reference: D/113-2024  
Enquiries: Sophie Muggeridge  
Telephone: 07 4936 8099

Home Support Association Inc.  
C/- GSPC  
PO BOX 379  
GRACEMERE QLD 4702

Dear Sir/Madam

**DEVELOPMENT APPLICATION D/113-2024 FOR A MATERIAL CHANGE OF USE FOR MULTIPLE DWELLING (10 UNITS) AND COMMUNITY CARE CENTRE – SITUATED AT 13 CAVELL STREET, WANDAL– DESCRIBED AS LOT 12 ON SP320077, LOT 2 ON RP604752, LOT 25 ON RP602156 AND LOT 10 ON RP604213**

Council refers to your development application lodged with Council on 23 August 2024. Council has determined that an Information Request is not required. It is advised that Referral Agencies may still make an Information Request and the end of Part 3: Information Request does not occur until the applicant has:

1. Finished responding to all information requests in the way stated under section 14.1 of the Development Assessment Rules; or
2. All periods for the applicant to respond to all information requests as stated in section 13.1 have ended.

You are further advised that once Part 3: Information Request ends, Part 4: Public Notification starts. Public notification must be undertaken in accordance with the *Planning Act 2016* and as described in the Development Assessment Rules.

Should you have any queries in relation to the above, please contact the Development Advice Centre via email [developmentadvice@rrc.qld.gov.au](mailto:developmentadvice@rrc.qld.gov.au) or telephone (07) 4936 8099.

Yours faithfully

Sophie Muggeridge  
Planning Officer  
Planning and Regulatory Services



**Rockhampton Office**  
232 Bolsover St, Rockhampton

**Gracemere Office**  
1 Ranger St, Gracemere

**Mount Morgan Office**  
32 Hall St, Mount Morgan

10 October 2024

Our reference: D/113-2024  
Enquiries to: Sophie Muggeridge  
Telephone: 07 4936 8099

Home Support Association Inc.  
C/- GSPC  
PO BOX 379  
GRACEMERE QLD 4702

Dear Sir/Madam

**FURTHER ADVICE ABOUT AN APPLICATION – DEVELOPMENT APPLICATION D/113-2024 FOR A MATERIAL CHANGE OF USE FOR A MULTIPLE DWELLING (10 UNITS) AND COMMUNITY CARE CENTRE – SITUATED AT 13 CAVELL STREET, WANDAL - DESCRIBED AS LOT 12 ON SP320077, LOT 2 ON RP604752, LOT 25 ON RP602156 AND LOT 10 ON RP604213**

Council refers to your application received by Council on 23-Aug-2024.

Council officers have undertaken a detailed assessment of the subject development application. In accordance with section 35 of the *Development Assessment Rules*, Council gives further advice about the application, as detailed below:

### **1.0 Stormwater**

1.1 A Stormwater Management Plan (SMP) must be submitted to support the proposed development considering water quantity to achieve pre-development condition and water quality in accordance with SPP 2017 prepared and certified by a suitably qualified RPEQ.

### **2.0 Access & Parking**

2.1 Please provide sufficient on-site parking for the proposed multi-unit development including staff unit. Should the existing on-site parking spaces to be used parking demand must assessed considering whole site.

**Note:** in accordance with Council's access parking and transport code, one (1) covered space per dwelling and one (1) space per two (2) dwellings for visitors are required to be provided on-site including existing parking demand.

2.2 Please amalgamate proposed driveways for the Unit 1 and metal storage shed and provided with a suitable one driveway crossover.

### **3.0 Erosion & Sediment Control**

3.1 Please provide a concept erosion and sediment control plan for the proposed development.

Should you have any queries regarding the above, please contact Sophie Muggeridge on 07 4936 8099.

Yours faithfully





Sophie Muggeridge  
Planning Officer  
Planning and Regulatory Services

## Notice of intention to commence public notification

### Section 17.2 of the Development Assessment Rules

Council Ref: D/113-2024	[application reference number]
Home Support Association Inc. A.B.N. 65 591 388 164	[applicant name]
C/- GSPC, PO BOX 379 Gracemere QLD 4702	[contact address/email address]
(07) 4922 7033	[contact number]
19/12/2024 – 24/01/2025	[notice date]
The Assessment Manager, Rockhampton Regional Council	[assessment manager's name]
PO BOX 1860 Rockhampton QLD 4700	[assessment manager's address]

**RE: Development Permit for a Material Change of Use for a Multiple Dwelling (10 units) and Community Care Centre**

[details of proposed development]

13, 15 & 17 Cavell Street and 30 to 36 Wandal Road, Wandal

[street address]

Lot 12 on SP320077, Lot 3 on RP604752, Lot 2 on RP604752, Lot 10 on RP604213 and Lot 25 on RP602156

[real property description]

**Dear Sophie Muggeridge (Assessment Manager)**

[sir/madam/name]

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on:

17/12/2024

[insert intended date of commencement]

At this time, I can advise that I intend to: [provide details below if known]

Publish a notice in:

CQ Today

[insert name of the newspaper]

On  
Wednesday

18/12/2024

*[intended date for publishing]*

**and**

Place notice on the premises in the way prescribed under the Development Assessment Rules

18/12/2024

*[intended date notice to be erected]*

**and**

Notify the owners of all lots adjoining the premises the subject of the application

17/12/2024

*[intended date owners to be notified]*

If you wish to discuss this matter further, please contact me on the above telephone number.

Yours sincerely



Bristi Basak  
Urban & Regional Planner

16/12/2024

*[applicant name, signature and date]*