

PUBLIC NOTIFICATION



Approval Sought:	Material Change of Use
Proposed Development:	Office
Where:	89 William Street, Rockhampton City and 189 and 197 Denison Street, Rockhampton City
Lot Description:	Lot 300 on R1675, Lot 234 on CP892530, Lot 303 and 304 on RP905533
Application Reference:	D/135-2024

Make a submission from:

18 November 2024 to 11 December 2024

You may make a submission to Rockhampton Regional Council

PO BOX 1860, Rockhampton QLD 4700

Email: enquiries@rrc.qld.gov.au

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

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25 September 2024

Our Ref: 9336

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton QLD 4700

Attention: Kathy McDonald

Dear Sir,

RE: Planning Application
Preliminary Approval for Building Works (Demolition) and
Development Permit for Material Change of Use (Office)
89 William Street and 189 & 197 Denison Street, Rockhampton City

This application is for a combined application, seeking the preliminary approval for building works (demolition) on a Queensland Heritage Place over Lot 300 on R1675 and the development approval for a Material Change of Use (Office) over Lot 234 on CP892530 and Lots 303 & 304 on RP905533 made by Access Recreation Incorporated.

To support this application, please find attached:

- DA Form 1
- DA Form 2
- Concept plans 2111-14
- Subject Plans R1675, CP892530 and RP905533
- Engineering Report
- Stormwater Management Plan
- Titles
- Smartmap
- Signed owners consent (Lot 300 on R1675)
- Fee confirmation email

The application fee will be paid upon lodgement. This is calculated as:

- Demolition - \$1221
- Office >1000m² - \$2,357.00 + \$6,953.14 (5.411 x 1,285) = \$9,310.14
- Impact assessment fee - \$1040

Total = \$11,571.14 x 50% concession = **\$5,785.57**

We seek your approval for this development.

If you have any queries with regards to the above, please do not hesitate to call this office.

Yours Sincerely,

Madison Day

PROPOSAL

There are four different parcels subject of this application:

1. **Lot 303 on RP905533** (197 Denison Street) is a 456m² parcel of land with rear lane access from Alma Lane.
2. **Lot 304 on RP905533** (197 Denison Street) is a 507m² parcel of vacant land with rear lane access from Alma Lane.
3. **Lot 234 on CP892530** (189 Denison Street) is a 1939m² parcel of land with rear lane access from Alma Lane.
4. **Lot 300 on R1675** (89 Denison Street) is a 2023m² site on the eastern corner of William and Denison Streets. It is home to the Queensland heritage listed St Pauls Anglican Cathedral Hall (Place ID 601491).

Lot 234 on CP892530, Lot 303 on RP905533 and Lot 304 on RP905533 are the subject properties for the new office building development, herein referred to as *the development site*. To enable its construction, most of the existing buildings and structures across the subject properties will require demolition/removal. One such building, a low set brick parsonage dwelling (church house for pastor/priest), is sited over a property boundary within both Lot 231 on CP892530 and Lot 300 on R1675. Hence Lot 300 on R1675 is to be included in this application. Although residing partly on a heritage listed site, the building itself is **not** heritage listed. Lot 234 was previously owned by the Anglican Church which is where the building encroachment can be attributed to. See below photos of the parsonage dwelling:



The demolition of this encroaching building is necessary to support the proposed development.

The development site will be a total area of 2902m², with a new two-storey office building and on-site carpark to be constructed as the new head office/homebase for a Central Queensland based disability support not-for-profit organisation. The organisation currently has separate offices across Rockhampton for their different sectors (e.g. administration, service coordinators, support staff), this new space will allow for all business operations to be coordinated from one premises. The new building will include reception/foyer area, various office spaces, meeting/conference rooms, staff amenities (toilets and staff lunchrooms) and storage facilities across two levels. A lift and stairs will be provided between the levels. A designated refuse enclosure will be located in the carpark. The ground floor staff room will also overlook a fenced plant enclosure (outdoor atrium), serving as a recreational enjoyment space.

The carpark will include 40 parking spaces including 2 universal spaces, with access from Denison Street and Alma Lane. A drop off/pick up zone is provided under the portico at the front of the building. All vehicle parking and manoeuvring areas will be fully sealed.

Pedestrian pathways and landscaped gardens will be distributed throughout and remaining land will be turfed.

The building is articulated with wall recesses, a mix of external facade finishes and windows varying in size. There is no wall plane exceeding 10m without some form of articulation.

Building Areas

Ground Floor – 685m²

Level One – 600m²

Total GFA – 1285m²

Building footprint – 685m²

Site Area – 2902m²

Site Coverage – 24%

Building Setbacks

South-Western Boundary (Denison Street)

2400mm to Portico OMP

8301mm to building OMP

North-Western Boundary (side)

3050mm to wall

2646mm to OMP (window shades)

0mm setback to plan enclosure

North-Eastern Boundary (rear)

6153mm to covered patio OMP

10.9m to building OMP

Eastern Boundary (Alma Lane Cul Dec Sac)

7043mm to building OMP

Building Height

Maximum building height above natural ground level is under 9.25m

The use is considered consistent and is preferred for the zone albeit the building exceeds the floor area threshold. Though considered a large-scale development, the development is not seen to detract from the Principal Centre's hierarchical structure as the main administrative and commercial hub of Rockhampton. It has a low site coverage (overall development site) and does not exceed building height limits. All building setbacks comply with the zone requirements. It directly adjoins the core precinct. There are very few sites available within the core precinct that could cater for the proposed use at this scale and achieving on-site parking requirements.

The site is also located directly across the street (Denison Street) from the Rockhampton Special School. The organisation and school would presumably have a strong nexus to each other. The proximity would encourage pedestrian visitation to the development site.

SERVICES AND INFRASTRUCTURE

Access and Road Works

It is intended that the development will have access from both Denison Street and Alma Lane. All access points will require new vehicle crossovers to be constructed. The existing crossovers in Denison Street are to be removed and kerb and channel will be reinstated. All existing services, infrastructure, utilities and trees within the Denison Street were located as part of the site detail survey to help determine the siting of the new crossovers (these are shown on the site layout plans). The new vehicle crossovers avoid the need to alter, move or remove any significant features such as stormwater pits and electricity poles. If any street trees require removal, they can be replaced elsewhere. The new layout may alter on-street parking arrangements and signage would need to be altered accordingly. Denison Street is at an appropriate constructed standard to cater for the traffic generated by the use. The rear lane access also distributes traffic onto Derby Street, reducing traffic numbers for Denison Street. We expect the rear lane access will be more frequented by staff members, thus having a lower traffic count and visitors/clients will utilise the Denison Street entrances. Refer to the attached engineering report for further details.

Parking

40 parking spaces (including 2 universal spaces) will be distributed throughout the new carpark. All parking and vehicle manoeuvring areas will be fully sealed. The parking spaces will be line marked and directional arrows will be painted through the driveways to show the flow of traffic through the site.

Table 9.3.1.3.2 states parking requirements for an office use is 1 space per 30m² of GFA or part thereof. Based on gross leasable floor area of 1155m², 38.5 carparks are required. The development meets the parking requirements. There is on-street parking available in the area if required.

Stormwater

Spot levels across the site would indicate the site has a high point across the middle with fall toward Denison Street and Alma Lane. An internal stormwater drainage system will be required for all roof and impervious run-off water to achieve a lawful point of discharge. Please refer to the attached stormwater management plan for the overall drainage strategy for the site.

Sewerage

The development will be connected to Council's reticulated sewerage network. 150mm diameter mains run into the development site from Alma Lane with manholes at the end of each line. It is anticipated to provide a new access chamber within Lot 234 on CP892530 on the existing line running from the cul de sac end of Alma Lane. The remaining section of sewer main leading to the existing manhole will become redundant and be removed. A new site connection will be provided at the new access chamber for the new development to drain

to. Any sanitary drainage traversing the site that is associated with the buildings on neighbouring property Lot 300 on R1675 will need to be rediverted. Refer to the attached engineering report.

Water

The development will be connected to the water supply network along Denison Street (150 diameter main). An existing connection may be reused else a new one provided as deemed appropriate by Council. Any existing connection points that are not re-used will be decommissioned/removed. Please refer to the attached engineering report for more details.

Telecommunications

The development will be connected to telecommunications supply in Denison Street. Any existing connection points that are not re-used will be decommissioned/removed.

Electricity

The development will be connected to existing overhead supply in Denison Street. Any existing connection points that are not re-used will be decommissioned/removed.

Waste Storage and Collection

A waste storage enclosure will be provided in the carpark. This will be aesthetically screened from public view. We anticipate the site to be serviced by a privately contracted skip bin service. Refuse collection vehicle will enter via the carpark entrance on Denison Street and exit via Alma Lane. Alma Lane appropriately caters for Council refuse collection trucks and their turning circles.

Landscaping

Garden beds are distributed throughout the development site around the building and carparks. The balance of the land outside of use areas and gardens will be turfed. Several palm trees exist along the Denison Street frontage of the development site, these will be retained else replaced with more appropriate species. A fenced plant enclosure (outdoor atrium), serving as a recreational enjoyment space will be sited to the west of the ground floor staff room.

Advertising Devices

Two wall signs are proposed on the external faces of the building (southern and eastern elevations). Wall signs are considered accepted subject to requirements within the Principal Centre Zone where the sign face is 10m² or less. Based on the scale provided on the elevation plans, each of the sign faces will be around 4m². They are consistent with the zone and at an appropriate scale when compared to the size of the proposed building.

COUNCIL/STATE OVERLAYS

Acid Sulphate Soils

No acid sulphates will be unearthed.

Heritage Place

As previously stated, the proposal includes demolition of a building partly located on a registered and a material change of use on premises that adjoins a registered Queensland Heritage, being the St Pauls Cathedral Hall (Place ID 601491). This application will likely require referral to SARA under 10.8.2.3.1 of the *Planning Regulation 2017*.

State Transport Corridor

Denison Street contains the rail corridor, a State Transport Corridor. This application will require referral to SARA under 10.9.4.2.4 of the *Planning Regulation 2017*.

PRINCIPAL CENTRE ZONE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Built Form		
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways), except where stated otherwise for a particular precinct have:</p> <ul style="list-style-type: none"> a) a minimum height of four (4) metres above ground level; b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and c) a pedestrian entry that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of building(s) contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>	<p>AO1.1 The building is not built to the street but the front façade is heavily windowed. The pedestrian entry is clearly visible from the street frontage.</p> <p>AO1.2 The upper level in appropriately windowed, enhancing visual appeal whilst also maintaining some level of privacy for business operations.</p>
<p>PO2 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO2.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> a) has a minimum area of nine (9) square metres; b) has a minimum dimension of three (3) metres; c) is directly accessible from a habitable room; and d) does not accommodate air conditioning units. 	<p>N/A, the proposal does not include a residential use.</p>
<p>PO3 – PO5 are not applicable, the site is not within the business services precinct.</p>		
<p>PO6 – PO11 are not applicable, the site is not within the core precinct.</p>		
Where in the Denison Street Precinct		
<p>PO12 Development is of a height that:</p> <ul style="list-style-type: none"> a) locates low-medium rise buildings in the Denison Street precinct; and b) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO12.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p>	<p>The new building is 2 storeys and 9.25m above ground level.</p>
<p>PO13 Building scale and density provides a transition to adjoining residential zones.</p>	<p>AO13.1 Site cover does not exceed eighty (80) per cent of the total site area.</p>	<p>Building site cover is low, around 24%.</p>

<p>PO14 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO14.1 Awnings are provided in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> a) coordinated with awnings on adjoining properties to provide continuous weather protection; b) not higher than 7.5 metres from the footpath to the soffit of the awning; and c) a minimum of three (3) metres in width from the face of the building or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>	<p>No awnings over the footpath are proposed. The site is not located where awnings are identified in figure 6.3.1.3.1g. The drop off zone at the pedestrian entry will include a portico roof for weather protection and visual appeal.</p>
<p>PO15 Development is designed to:</p> <ul style="list-style-type: none"> a) create a pedestrian rather than car oriented street frontage; b) break down the facade into finer scaled components; and c) avoid large expanses of blank walls oriented to the street. 	<p>AO15.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO15.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO15.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>	<p>The proposed building will not be built to the boundary. The site is not located where building to the boundary is identified in figure 6.3.1.3.1g.</p>
<p>PO16 – PO20 are not applicable, the site is not within the Quay Street Precinct.</p>		

Land Use		
PO21 The streetscape is provided with uses that generate activity along the primary street frontage.	AO21.1 Residential uses (except for <u>short-term accommodation</u>) are: a) located above ground <u>storey</u> or behind ground <u>storey</u> retail, commercial or community uses; b) located within a premise containing another use; and c) not located within the Denison Street precinct (except for <u>caretaker's accommodation</u>).	N/A, the proposal does not include residential development.
PO22 is not applicable, the use proposed is not an Adult Store		
Effects of Development		
PO23 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.	AO23.1 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents. AND AO23.2 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.	AO23.1 Neighbouring properties Lots 1 and 2 on RP600895 to the south-east contain existing dwellings. The building will be located at the opposite end of the development site from these dwellings. The carpark will directly adjoin. We expect a 1.8m high solid screen fence will be constructed between the development and the sensitive land uses. AO23.2 Any building plant will be screened from public view.
PO24 Outdoor storage areas are screened from the streetscape and adjoining sensitive land uses.	AO24.1 Outdoor storage areas are: a) located behind the front building line; b) screened from view from off-site public places; and c) screened from adjoining sensitive land uses by a 1.8 metre high solid screen fence.	A waste storage enclosure will be provided in the carpark. This will be aesthetically screened from public view.
PO25 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.	AO25.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting , as updated from time to time.	Outdoor lighting will be provided in accordance with the relevant Australian Standards.
Built Form – Additional Provisions		
PO26 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.	AO26.1 The building's main entrance faces the public place. AND	AO26.1 The main entrance faces Denison Street, the primary road frontage.

<p>Editor's note—Development is to be generally in accordance with Figure 6.3.1.3.2a and Figure 6.3.1.3.2b.</p>	<p>AO26.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner.</p> <p>AND</p> <p>AO26.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements). 	<p>AO26.2 The building actively addresses both road frontages and the carpark.</p> <p>AO26.3 The existing street trees will be retained else replaced with appropriate species. Landscaping and turf is distributed throughout the site.</p>
<p>PO27 Development:</p> <ol style="list-style-type: none"> a) creates a safe, active and inclusive environment with uses which operate during the day and night; b) in the form of large shopping centres includes shop fronts facing all external streets; and c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>	<p>The development layout enhances user safety, the design does not create opportunities of concealment or encourage criminal activity. It is well connected to the external road and pedestrian network.</p>
<p>PO28 Buildings are designed to include elements which create visual interest, such as:</p> <ol style="list-style-type: none"> a) variations in plan shape, such as curves, steps, recesses, projections or splays; b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; c) different design elements for the lower, middle and top sections of buildings of three (3) or more storeys; d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and 	<p>No acceptable outcome is nominated.</p>	<p>The building is well articulated with wall recesses, variation in the rooflines, colour and building material variation and different shaped and sized windows including some wall to ceiling.</p>

e) at least three (3) variations in textures, materials and colours.		
PO29 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.	No acceptable outcome is nominated.	Building finishes include rendered blockwork and cement cladding which are durable materials.
PO30 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.	No acceptable outcome is nominated.	No highly reflective building materials or finishings will be used.
Non-Residential Development		
PO31 Non-residential development does not occur beyond the zone boundaries.	AO31.1 Development occurs within the area zoned principal centre.	The use is considered consistent and is preferred for the zone albeit exceeding the floor area threshold. It has a low site coverage (overall development site) and does not exceed building height limits. All building setbacks comply with the zone requirements. It directly adjoins the core precinct and is not seen to detract from the hierarchy of the centre.
Streetscape and Landscaping		
PO32 On-site landscaping is provided to: a) create an attractive environment that is consistent with, and defines, the local character of the zone; b) soften and enhance the appearance of the development; and c) provide shade for visitors and adjoining footpaths.	No acceptable outcome is nominated. Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy .	Garden beds are distributed throughout the development site around the building and carparks. The balance of the land outside of use areas and gardens will be turfed. Several palm trees exist along the Denison Street frontage of the development site, these will be retained else replaced with more appropriate species. A fenced plant enclosure (outdoor atrium), serving as a recreational enjoyment space will be sited to the west of the ground floor staff room.
PO33 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.	AO33.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.	Landscaping and turf will help reduce heat radiating from the carpark surface. The building will also provide shade to the carpark during the day.
PO34 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.	No acceptable outcome is nominated.	Landscaping will be provided along the front of the building and portico. Street trees will be retained.
PO35 is not applicable, the site is not within the business services precinct.		
PO36 is not applicable, the site is not within the core precinct.		
Where in the Denison Street Precinct		
PO39 Development does not detract from the role and function of the core precinct as the key commercial,	No acceptable outcome is nominated.	The use maintains the centre hierarchical structure. It directly adjoins the core precinct.

administrative, government, community, cultural, entertainment and retail centre for the planning scheme area.		The site is also located directly across the street from the Rockhampton Special School. The organisation and school would presumably have a strong nexus to each other. We expect this will encourage pedestrian visitation between the two sites.
PO40 The viability of existing and future low impact industry uses is not affected by the intrusion of incompatible uses.	AO40.1 Residential uses (except for caretaker's accommodation) are not located in this precinct.	The use does not include residential development.
PO41 Industry uses minimise adverse impacts on nearby sensitive land uses through building design, hours of operation, screening and landscaping.	No acceptable outcome is nominated.	The use is not industrial.
PO42 – PO47 is not applicable, the site is not within the Quay Street precinct.		

ACCESS, PARKING AND TRANSPORT CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Access and Parking		
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> a. the size of the parking area; b. the volume, frequency and type of vehicle traffic; c. the need for some land uses (for example hospitals) to accommodate emergency vehicle access; d. the type of use and the implications on parking and circulation, for example long-term or short-term car parking; e. frontage road function and conditions; and f. the capacity and function of the adjoining street system. 	<p>AO1.1 Access driveways are not located within:</p> <ul style="list-style-type: none"> a) twenty-five (25) metres of a signalised road intersection; b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset. 	<p>It is intended that the development will have access from both Denison Street and Alma Lane. All access points will require new vehicle crossovers to be constructed. The existing crossovers in Denison Street are to be removed and kerb and channel will be reinstated. All existing services, infrastructure, utilities and trees within the Denison Street were located as part of the site detail survey to help determine the siting of the new crossovers (these are shown on the site layout plans). The new vehicle crossovers avoid the need to alter, move or remove any significant features such as stormwater pits and electricity poles. If any street trees require removal, they can be replaced elsewhere. The new layout may alter on-street parking arrangements and signage would need to be altered accordingly. Denison Street is at an appropriate constructed standard to cater for the traffic generated by the</p>

		<p>use. The rear lane access also distributes traffic onto Derby Street, reducing traffic numbers for Denison Street. We expect the rear lane access will be more frequented by staff members, thus having a lower traffic count and visitors/clients will utilise the Denison Street entrances. Refer to the attached engineering report for further details.</p>
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 Access driveways:</p> <ul style="list-style-type: none"> a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs; b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; c) must be sealed and to a formed road; d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and e) are raised or lowered to match the surface level of the driveway, where an access chamber is to be incorporated within the driveway. 	<p>The new vehicle crossovers avoid the need to alter, move or remove any significant features such as street trees, stormwater pits and electricity poles. The new layout may alter on-street parking arrangements and signage would need to be altered accordingly. Denison Street is at an appropriate constructed standard to cater for the traffic generated by the use. The rear lane access also distributes traffic onto Derby Street, reducing traffic numbers for Denison Street. We expect the rear lane access will be more frequented by staff members thus having a lower traffic count and visitors/clients will utilise the Denison Street entrances.</p>
<p>PO3 Access driveways are designed and constructed so as to:</p> <ul style="list-style-type: none"> a) enable safe and functional vehicular access from the street to the property; and b) not cause a change in the level of a footpath. 	<p>AO3.1 Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.</p>	<p>The engineering report provides the following advice:</p> <p><i>Due to the existing railway and electrical infrastructure in the road reserve near the northern, Denison Street boundary, the available width does not allow a commercial style crossover in accordance with the CMDG to be installed. Therefore, it is intended that the geometry for a residential style corridor be used for this crossover. We believe that this is acceptable as the separation from the</i></p>

		<i>Denison Street traffic lane to the crossover, due to the on-street parking lane, allows additional space for vehicles to turn and access the crossover more straight on.</i>
PO4 A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.	The carpark and driveway areas will be designed and constructed with an internal stormwater drainage system to avoid water ponding around the new building.
Parking		
PO5 Provision is made for on-site vehicle parking: a) to meet the demand likely to be generated by the development; and b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.4.1.3.2 of the access, parking and mobility code. OR AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased. AO5.2 No net loss of on-street car parking results from the provision of off-street parking. AO5.3 All parking, loading and manoeuvring facilities for visitors and employees to be located on-site. AO5.4 Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.	AO5.1 40 parking spaces (inclusive of 2 universal spaces) are provided which meets the minimum requirement for an Office use. AP5.2 The relocation of the accesses may require modification of on-street parking bays. These can be reinstated where the old driveways are removed. The development should not result in a net loss of on-street carparking. AO5.3 All vehicle movements including parking, manoeuvring and pick up/set down will be located on site. AO5.4 The driveways can cater for a design vehicle turning circles. Refuse collection will occur on-site by private contractor else bins can be rolled kerbside in Alma Lane for collection.
PO6 Parking and servicing facilities are designed to meet user requirements.	AO6.1 Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.	Parking spaces, access and manoeuvring facilities will be fully sealed.
PO7 Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road, except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.	No acceptable outcome is nominated.	Site access will be provided from both frontages – the primary access for visitors will be via Denison Street.
PO8 Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.	AO8.1 Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.	The use will not operate at night however outdoor lighting may be provided for security purposes.

	AO8.2 Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.	
PO9 Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to: a) provision of opportunities for casual surveillance; b) the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; c) minimising potential concealment points and assault locations; d) minimising opportunities for graffiti and other vandalism; and e) restricting unlawful access to buildings and between buildings.	No acceptable outcome is nominated.	The proposed building and site layout does not create opportunities of concealment or increase the risk of criminal activity.
PO10 Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.	No acceptable outcome is nominated.	The site will be fully accessible during business hours.
PO11 Landscaping is provided to soften the visual impact of car parking areas and to provide shading and protection from glare.	AO11.1 Landscaping areas and shade trees are provided in accordance with SC6.13 — Landscape design and street trees planning scheme policy.	Landscaping will be provided in accordance with Council's PSP. No shade trees are noted on the plans. the existing street trees will be retained else replaced with more appropriate species. The building will provide some shade onto the carpark through the day.
Transport Impact		
PO12 Development contributes to the creation of a transport network which is designed to: a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and b) encourage people to walk, cycle or use public transport to and from	AO12.1 Development involving the creation of new streets is undertaken in accordance with SC6.20 — Structure plan planning scheme policy and Capricorn Municipal Design Guidelines.	No new roads are proposed.

<p>the site instead of using a car.</p>		
<p>PO13 Development is located on roads that are appropriate for the nature of traffic generated, having regard to the safety and efficiency of the transport network.</p>	<p>AO13.1 Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.16 — Road infrastructure and hierarchy planning scheme policy.</p> <p>AO13.2 A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p>	<p>The site and adjoining road network are able to cater for the traffic generated by the use. Please refer to the attached engineering report for traffic impact assessment.</p>
<p>PO14 Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> a) are safe for pedestrians and vehicles; b) are conveniently connected to the main component of the development by pedestrian pathway; and c) provide for pedestrian priority and clear sightlines. 	<p>No acceptable outcome is nominated.</p>	<p>The portico directly to the front of the building entrance provides a safe pick-up drop-off zone. This zone is accessed via the northern-most access on Denison Street and exiting via the two way access back onto Denison Street.</p>
<p>Site Access</p>		
<p>PO15 Development does not impact on the safety, operation or function of the road network or system.</p>	<p>AO15.1 Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with the Australian Standard AS 2890, as updated from time to time.</p> <p>AO15.2 No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.16 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p>AO15.3 Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.16 — Road infrastructure and hierarchy planning scheme policy.</p>	<p>Parking spaces, access and manoeuvring facilities will be designed in accordance with the relevant Australian Standards.</p> <p>Denison Street can cater for the vehicle trips generated by the use.</p> <p>Refer to the attached engineering report for traffic impact assessment.</p>

<p>PO16 Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport network improvements.</p>	<p>No acceptable outcome is nominated.</p>	<p>No road upgrades are required.</p>
<p>PO17 On-site transport network infrastructure integrates safely and effectively with surrounding networks.</p>	<p>AO17.1 Intersections, connections and access arrangements are designed in accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.</p>	<p>The engineering report provides the following advice:</p> <p><i>Due to the existing railway and electrical infrastructure in the road reserve near the northern, Denison Street boundary, the available width does not allow a commercial style crossover in accordance with the CMDG to be installed. Therefore, it is intended that the geometry for a residential style corridor be used for this crossover. We believe that this is acceptable as the separation from the Denison Street traffic lane to the crossover, due to the on-street parking lane, allows additional space for vehicles to turn and access the crossover more straight on.</i></p>
<p><i>Pedestrian and Cyclist Facilities</i></p>		
<p>PO18 Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.</p>	<p>AO18.1 Pedestrian and cyclist facilities are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890 — Parking facilities.</p>	<p>A pedestrian path already exists along the Denison Street frontage of the site. This will be retained and reinstated where existing driveways are removed.</p>
<p>PO19 Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.</p>	<p>No acceptable outcome is nominated.</p>	<p>No specific bicycle parking will be provided however bikes (if used) can be stored in the carpark or in the building.</p>
<p><i>Servicing</i></p>		
<p>PO20 Refuse collection vehicles are able to safely access on-site refuse collection facilities.</p>	<p>AO20.1 Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.</p>	<p>A waste storage enclosure will be provided in the carpark. This will be aesthetically screened from public view. We anticipate the site to be serviced by a privately contracted skip bin service. Refuse collection vehicle will enter via the carpark entrance on Denison Street and exit via Alma Lane. Alma Lane appropriately caters for Council refuse collection trucks and their turning circles.</p>

WATER AND SEWER CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Water		
<p>PO1 A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p>AO1.1 AO1.1.1 Where within a water supply area, the development is connected to Council's reticulated water supply system in accordance with SC6.22 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO1.1.2 Where not in a water supply area or within the rural zone, development provides a reliable, on-site household water source (such as dam water, tank or bore water) with a safe yield of at least one (1) mega litre per year. A report from a qualified hydrologist is required to certify the safe yield of the dam or bore.</p>	<p>The development will be connected to the water supply network along Denison Street. An existing connection may be reused else a new one provided as deemed appropriate by Council. Any existing connection points that are not re-used will be decommissioned/removed.</p>
<p>PO2 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO2.1 Where within a water supply area, water supply systems and connections are designed and constructed in accordance with SC6.22 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO2.2 Where within a water supply area, staged developments are connected to the water supply network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>Any new connections (if required) will be designed and constructed in accordance with Council's PSP and the CMDG.</p>
Sewer		
<p>PO3 Waste water treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO3.1 AO3.1.1 Where within a waste water area, the development is connected to Council's reticulated waste water system in accordance with SC6.18 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO3.1.2 Where not within a waste water area, on-site waste water treatment and disposal:</p>	<p>The development will be connected to Council's reticulated sewerage network. 150mm diameter mains run into the development site from Alma Lane with manholes at the end of each line. It is anticipated to provide a new access chamber within Lot 234 on CP892530 on the existing line running from the cul de sac end of Alma Lane. The remaining section of sewer main leading to the existing manhole will become redundant and be removed. A</p>

	<p>a) complies with the Queensland Plumbing and Wastewater Code and the <i>Plumbing and Drainage Act 2002</i>; and</p> <p>b) requires a site evaluation report to be prepared by a qualified person in accordance with the Queensland Plumbing and Waste Water Code.</p>	<p>new site connection will be provided at the new access chamber for the new development to drain to. Any sanitary drainage traversing the site that is associated with the buildings on neighbouring property Lot 300 on R1675 will need to be rediverted. Refer to the attached engineering report.</p>
<p>PO4 Reticulated waste water networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>AO4.1 Where within a waste water area, waste water systems and connections are designed and constructed in accordance with SC6.18 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO4.2 Where within a waste water area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>Any new connections will be designed and constructed in accordance with Council's PSP and the CMDG.</p>
<p>Point Source Waste Water Management</p>		
<p>PO5 Development does not discharge waste water to a waterway or external to the site unless demonstrated to be best practice environmental management for the type and scale of development.</p>	<p>AO5.1 A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> a) waste water type; b) climatic conditions; c) water quality objectives; and d) best practice environmental management. <p>AO5.2 The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> a) avoids waste water discharge to waterways; or b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water 	<p>No waste water will be discharged to any waterways.</p>

	discharge to waterways cannot practically and reasonably be avoided.	
Water Management		
PO5 Waste storage areas are designed to separate stormwater and wash-down water.	<p>AO5.1 Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.</p> <p>AO5.2 Wash-down areas are:</p> <ul style="list-style-type: none"> a) provided with a tap and water supply; and b) provided with a stormwater diversion valve and arrestor trap. 	No wash down facilities are required.

STORMWATER MANAGEMENT CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Design		
<p>PO1 Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ul style="list-style-type: none"> a) ensure that flooding impacts do not increase, including upstream or downstream of the development site; b) avoid net worsening of stormwater peak discharges and runoff volumes; and c) maximise the use of water sensitive urban design principles. 	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.19 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p> <p>AO1.2 Development ensures that the location of the stormwater drainage system is contained within a road reserve, drainage easement, public reserve, public pathway, park or waterway corridor.</p> <p>AO1.3 Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p> <p>AO1.4 Development minimises large impervious areas and maximises opportunities for capture and reuse.</p>	Spot levels across the site would indicate the site has a high point across the middle with fall toward Denison Street and Alma Lane. An internal stormwater drainage system will be required for all roof and impervious run-off water to achieve a lawful point of discharge. Please refer to the attached stormwater management plan for the overall drainage strategy for the site.
<p>PO2 Development provides a stormwater management system which:</p> <ul style="list-style-type: none"> a) has sufficient capacity to safely convey run-off taking into account 	<p>AO2.1 Development provides a stormwater conveyance system which is designed to safely convey flows associated with all internal and</p>	Spot levels across the site would indicate the site has a high point across the middle with fall toward Denison Street and Alma Lane. An internal stormwater drainage system

<p>increased run-off from impervious surfaces and flooding in local catchments;</p> <p>b) maximises the use of natural waterway corridors and natural channel design principles; and</p> <p>c) efficiently integrates with existing stormwater treatments upstream and downstream.</p>	<p>external contributing catchment(s).</p>	<p>will be required for all roof and impervious run-off water to achieve a lawful point of discharge. Please refer to the attached stormwater management plan for the overall drainage strategy for the site.</p>
<p>PO3 Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <p>a) minimise risk to people and property;</p> <p>b) provide for safe access and maintenance;</p> <p>c) minimise ecological impacts to creeks and waterways; and</p> <p>d) provide for the safe recreational use of stormwater management features.</p>	<p>AO3.1 Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p>AO3.2 Development provides for stormwater detention in accordance with Queensland Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p> <p>AO3.3 Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy - Water Quality.</p>	<p>The proposed internal stormwater pit and pipe system reduces surface flows. The existing stormwater network has capacity to carry the development without requiring any detention.</p> <p>Quality treatment is proposed to achieve the objectives of the SPP.</p>
Environmental Values		
<p>PO4 Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p>	<p>AO4.1 Development ensures natural waterway corridors and drainage paths are retained.</p> <p>AO4.2 Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability.</p> <p>AO4.3 Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in compliance with the Queensland Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p>	<p>The development can be designed and constructed to have no impact on any waterways by implementing water quality treatment prior to release into the external catchment.</p>
<p>PO5 Development protects and enhances the environmental and water quality values of waterways,</p>	<p>No acceptable outcome is nominated.</p>	<p>Development will have no impact on the water quality of waterways. Water treatment can be implemented.</p>

creeks and estuaries within or external to the site.		
Overland Flow Path Tenure		
PO6 All overland stormwater flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.	No acceptable outcome is nominated.	An internal underground drainage system will be developed and directed to the external stormwater infrastructure in Denison Street.
Detention Systems		
PO7 Detention basins are designed, located and constructed on land solely dedicated for stormwater management.	No acceptable outcome is nominated.	According to the stormwater management plan, the proposed internal stormwater pit and pipe system reduces surface flows and the existing stormwater network has capacity to carry development flows without requiring any detention.
PO8 Development ensures that location and design of stormwater detention and water quality treatment: a) minimises risk to people and property; b) provides for safe access and maintenance; and c) minimises ecological impacts to creeks and waterways.	AO8.1 Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater management planning scheme policy .	A stormwater management plan is attached.
PO9 Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that: a) detention system design does not remove floodplain storage ; and b) detention systems continue to operate effectively during a major storm event.	No acceptable outcome is nominated.	No detention is anticipated. The site is not impacted by flood nor does it reduce floodplain storage capacities.
PO10 Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.	AO10.1 The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy .	Any detention systems required will be made accessible for maintenance purposes.
Efficiency and Whole of Life Cycle Cost		
PO11 Development ensures that there is sufficient site area to accommodate an effective stormwater management system. Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.	No acceptable outcome is nominated.	An appropriate stormwater drainage system has been designed to cater for the development and overall catchment as identified in the stormwater management plan.

<p>PO12 Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:</p> <ul style="list-style-type: none"> a) existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades; b) safe management of stormwater discharge from existing and future upslope development; and c) implications for adjacent and down-slope development. 	<p>No acceptable outcome is nominated.</p>	<p>The internal drainage system will be connected to Council's underground stormwater drainage network.</p> <p>Council's infrastructure has capacity to cater for post development flows without any detention necessary.</p>
<p>PO13 Development provides proposed stormwater infrastructure which:</p> <ul style="list-style-type: none"> a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and b) can be safely accessed and maintained in a cost effective way. 	<p>No acceptable outcome is nominated.</p>	<p>Any stormwater drainage system will be designed to cater for the lifetime of the development.</p>
Erosion and Sediment Control		
<p>PO14 Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <ul style="list-style-type: none"> a) the environmental values and water quality objectives of waters; b) waterway hydrology; and c) the maintenance and serviceability of stormwater infrastructure. 	<p>AO14.1 Water sensitive urban design and erosion and sediment control measures are implemented in accordance with the State Planning Policy - Guideline - Water Quality.</p> <p>AO14.2 Unnecessary disturbance to soil, waterways or drainage channels is avoided and all soil surfaces remain effectively stabilised against erosion during construction and in the long-term.</p> <p>AO14.3 Erosion and sediment control plans and measures are implemented during land disturbing activities to achieve the protection of environmental values of waters and the function of stormwater infrastructure.</p>	<p>Erosion and sediment control will be implemented on site during construction and for post development.</p>
Water Quality Within Catchment Areas		
<p>PO15 For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced,</p>	<p>AO15.1 Development complies with the provisions of the State Planning Policy - Guideline - Water Quality.</p>	<p>The development will have no impact on water qualities flowing to the Fitzroy catchment, treatment is proposed on site.</p>

<p>and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p>AND</p> <p>AO15.2 Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <ul style="list-style-type: none"> a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage. 	
Protecting Water Quality		
<p>PO16 The development is compatible with the land use constraints of the <u>site</u> for:</p> <ol style="list-style-type: none"> 1. achieving stormwater design objectives; and 2. avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater. 	<p>AO16.1 Development is undertaken in accordance with a stormwater management plan that:</p> <ul style="list-style-type: none"> a) incorporates stormwater quality control measures to achieve the design objectives set out in the State Planning Policy – Guideline – Water Quality; b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives. <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 – Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>	<p>The development will have no impact on water qualities flowing to the Fitzroy catchment, treatment is proposed on site.</p>

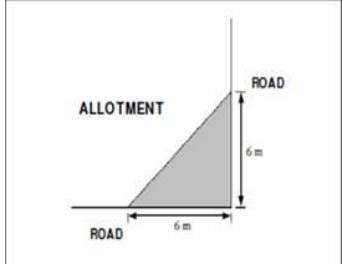
Protecting Water Quality In Existing Natural Waterways		
<p>PO17 The <u>waterway</u> is designed for stormwater flow management, stormwater quality management and the following end use purposes:</p> <ul style="list-style-type: none"> a) amenity including aesthetics, b) landscaping and recreation; c) flood management; d) stormwater harvesting as part of an integrated water cycle management plan; e) as a sustainable aquatic habitat; and f) the protection of water environmental values. 	<p>No acceptable outcome is nominated.</p>	<p>The proposed drainage system incorporates treatment to ensure water quality within the catchments is maintained.</p>
<p>PO18 The <u>waterway</u> is located in a way that is compatible with existing tidal waterways.</p>	<p>AO18.1 Where the <u>waterway</u> is located adjacent to, or connected to, a tidal <u>waterway</u> by means of a weir, lock, pumping system or similar:</p> <ul style="list-style-type: none"> a) there is sufficient flushing or a tidal range of more than 0.3 metres; or b) any tidal flow alteration does not adversely impact on the tidal <u>waterway</u>; or c) there is no introduction of salt water into freshwater environments. 	<p>No waterways are being constructed.</p>
<p>PO19 The construction phase for the <u>waterway</u> is compatible with protecting water environmental values in existing natural waterways.</p>	<p>AO19.1 Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy - Guideline - Water Quality.</p>	<p>No waterways are being constructed.</p>
<p>PO16 Stormwater overflows from the <u>waterway</u> do not result in lower water quality objectives in existing natural waterways.</p>	<p>AO16.1 Stormwater run-off that may enter the non-tidal <u>waterway</u> is pre-treated in accordance with the guideline design objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.</p>	<p>Water quality within the catchment will be maintained.</p>

LANDSCAPE CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Design		
<p>PO1 Landscaping is professionally designed and provides a suitably sized area to:</p> <ul style="list-style-type: none"> a) create an attractive visual addition to a building or place; b) soften the built form; c) provide a space for on-site recreation; and d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>AO1.1 Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>	<p>The proposed landscaping is consistent with similar developments in the area, lining the buildings, driveways and carpark.</p>
<p>PO2 Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas and the road verge.</p>	<p>No acceptable outcome is nominated.</p>	<p>All existing trees will be removed from site for the development. No shade trees are indicated in the proposal plans. the building will shadow the carpark through the day.</p>
<p>PO3 On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p>AO3.1 Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p>AND</p> <p>AO3.2 Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> a) minimising impervious surfaces and incorporating semi-permeable paving products; b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; c) maximising the opportunity for turf and planting areas; d) aligning planting areas parallel to contours to slow the flow of surface water; and e) ensuring the planting palette comprises canopy tree species. <p>AND</p>	<p>Turfed areas allow for infiltration of run-off water.</p>

	<p>AO3.3 Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p> <p>AND</p> <p>AO3.4 The landscape design incorporates sediment and erosion control measures.</p>	
<p>PO4 Design of pedestrian paths and places reinforces the desired character of the area, and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p>AO4.1 The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>	<p>Pedestrian zones are legible and well connected throughout the site and onto the external pedestrian network.</p>
<p>PO5 Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> a) maximising casual surveillance of public spaces; b) increasing opportunity for public interaction; and c) minimising opportunity for concealment and criminal activity through environmental design principles. 	<p>AO5.1 Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; b) clear sight lines from private to public space; c) visually permeable screens and fencing; d) lighting of landscaped areas; e) public facilities (toilets, shelters etcetera) located to promote use; f) dual access points to public spaces; g) clearly defined public and private spaces; h) measures to protect solid and blank walls from graffiti; i) legible universal signage; j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and k) plant species that do not exacerbate impacts such as bushfire or flash flooding. 	<p>Landscaping will be completed to minimise opportunities for concealment and maximise casual surveillance levels. Regular maintenance (pruning) will ensure plantings do not become overgrown and restrict visibility.</p>
Species Selection		
<p>PO6 Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> a) suit the local climatic conditions; 	<p>AO6.1 Plant species are chosen from sources recommended in SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p>AO6.1 Plant species will be chosen in accordance with Council's PSP.</p>

<p>b) have low water usage needs or are provided with water harvested on-site;</p> <p>c) include locally native species;</p> <p>d) are of a suitable size and density to achieve the purposes of this code; and</p> <p>e) complement the proposed development;</p> <p>f) are not classified as a pest species or a noxious or invasive weed;</p> <p>g) preserve existing vegetation where desirable and protect existing environmental values of the land; and</p> <p>h) do not exacerbate bushfire or flood hazards.</p>	<p>AND</p> <p>AO6.2 Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AO6.3 At least fifty (50) per cent of all new plantings are locally native species.</p> <p>AND</p> <p>AO6.4 Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p>AND</p> <p>AO6.5 Unless forming part of a landscaping concept approved by Council, planting is carried out to create a 'three-tier' landscaping treatment at the following minimum density rates:</p> <p>a) trees at five (5) metre intervals;</p> <p>b) shrubs at two (2) metre intervals; and</p> <p>c) groundcovers at 0.5 metre to one (1) metre intervals.</p> <p>AND</p> <p>AO6.6 Existing vegetation is retained and integrated into landscaping.</p> <p>AND</p> <p>AO6.7 The use of palms is avoided in proximity to overland flow paths and watercourses.</p>	<p>AO6.2 No undesirable species as per the PSP will be used.</p> <p>AO6.3 Native species will be used where possible.</p> <p>AO6.4 Plant species will be chosen in accordance with the PSP.</p> <p>AO6.5 Plantings will be spaced at appropriate intervals</p> <p>AO6.6 All existing vegetation will be removed from site.</p> <p>AO6.7 No palm trees will be planted. The existing street trees are palms, these can be replaced if Council deem it necessary.</p>
<i>Character and Streetscaping</i>		
<p>PO7 Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p> <p>a) the hierarchy and function of the street;</p> <p>b) the selection of appropriate species;</p>	<p>AO7.1 Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p>Street trees will be retained or replaced with more appropriate species.</p>

<p>c) avoidance of conflict between the street tree and utilities and services within the road reserve;</p> <p>d) soil conditions;</p> <p>e) existing street trees;</p> <p>f) solar access; and</p> <p>g) driveway access.</p>		
<p>PO8 Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.</p>	<p>AO8.1 For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below:</p>  <p>Figure 9.3.4.3.1a — Height restriction for corner sites</p>	<p>The development site is not on a corner lot.</p>
<p>PO9 Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.</p>	<p>No acceptable outcome is nominated.</p>	<p>The proposed landscaped areas are consistent with other developments in the area and at an appropriate scale for the site.</p>
<p>PO10 Fencing (including walls) and acoustic barriers are designed to:</p> <p>a) be compatible with the existing streetscape;</p> <p>b) minimise adverse effects on the amenity of an adjoining property; and</p> <p>c) complement, but not dominate, the development.</p>	<p>AO10.1 Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.</p> <p>AND</p> <p>AO10.2 Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height equal to or above the height of the acoustic fencing.</p>	<p>AO10.1 No combination retaining wall and fences are proposed – the site is flat thus should be no retaining walls.</p> <p>AO10.2 No acoustic fencing is required.</p>

Car Parking and Internal Access

PO11 Car parks and internal access (both on and off-street) are landscaped to:

- a) reduce their visual appearance;
- b) provide shade;
- c) reduce glare;
- d) reduce heat stored in hard surfaces;
- e) harvest storm water; and
- f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff.

AO11.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:

- a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and
- b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks.

Editor's Note—[SC6.12 — Landscape design and street trees planning scheme policy](#) sets out guidance on tree species and planting standards.

AND

AO11.2 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.

AND

AO11.3 Each shade tree has a clean trunk with a minimum height of two (2) metres.

AND

AO11.4 Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.

AND

AO11.5 Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.

AND

AO11.6 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.

Landscaping is indicative only and plant species and types have not yet been chosen. No shade trees are proposed within the carpark.

PO12 The function, safety and accessibility of utilities and other infrastructure is not

AO12.1 A minimum three (3) metre wide densely planted landscaped buffer is provided

Plant species will not interfere with any above or below ground infrastructure.

<p>compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> a) overhead wires and equipment; b) underground pipes and cables; and c) inspection chambers, transformers, poles and drainage infrastructure. 	<p>along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10) metres.</p> <p>AND</p> <p>AO12.2 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p>AND</p> <p>AO12.4 The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>	
<p>PO13 Landscape <u>site</u> planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <ul style="list-style-type: none"> a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather; b) provide an appropriate turn around area for vehicles and secure access entrance; and c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits. 	<p>AO13.1 Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p>AND</p> <p>AO13.2 Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>	<p>All landscaping and stormwater detention/treatment areas will be fully accessible for maintenance purposes.</p>

ADVERTISING DEVICES CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Character and Amenity		
<p>PO1 The advertising device is designed and sited in a manner that:</p> <ul style="list-style-type: none"> a) results in a size that does not adversely impact on: <ul style="list-style-type: none"> (i) the visual amenity and character of a building, streetscape, locality or natural landscape setting; (ii) the safety of a road or footpath; (iii) the operations of an airport; and (iv) the visual amenity of a main transport entrance into an urban area or township; b) is integrated with the design of other development on the premises; c) does not visually dominate the premises, streetscape, locality or natural landscape setting; d) is constructed of durable and weather resistant materials; e) does not impede vehicle or pedestrian movements or reduce safety levels; f) does not resemble traffic or road signs; and g) does not result in the proliferation of unnecessary advertising. 	<p>AO1.1 The maximum total sign face area for all advertising devices at any premise is the higher of the areas calculated using the following calculation methods:</p> <ul style="list-style-type: none"> a) boundary length calculation method (refer to SC6.2 — Advertising devices planning scheme policy); and b) building elevation calculation method (refer to SC6.2 — Advertising devices planning scheme policy). <p>Editor's note— To establish the maximum total sign face area of a premise, the applicant must subtract existing defined sign face areas that are on the premises.</p> <p style="text-align: center;">AND</p> <p>AO1.2 The advertising device is in accordance with Table 9.3.2.3.2.</p>	<p>Two wall signs are proposed on the external faces of the building (southern and eastern elevations). Wall signs are considered accepted subject to requirements within the Principal Centre Zone where the sign face is 10m² or less. Based on the scale provided on the elevation plans, each of the sign faces will be around 4m². They are consistent with the zone and at an appropriate scale when compared to the size of the proposed building.</p>
Illumination		
<p>PO2 The illumination of an advertising device does not detract from the character and amenity of an area. The advertising device is appropriate to its setting and is compatible with the amenity of the local area and does not create glare, reflection or flaring of colours to cause a visual nuisance.</p>	<p>AO2.1 Where an <u>advertising device</u> incorporates a digital display, the <u>advertising device</u>:</p> <ul style="list-style-type: none"> a) is not located in a low density residential zone/precinct, low-medium density residential zone, rural residential zone/precinct or township zone/precinct; b) has a minimum dwell time of eight (8) seconds per advertisement; and 	<p>The signs will not be illuminated.</p>

	<p>c) has an instantaneous transition from one message to the next within 0.5 seconds.</p> <p>Editor's note— Instant changes for digital displays are recommended to minimise flash distractions. For example, when the display change includes high contrast change.</p> <p>AND</p> <p>AO2.2 The luminance of an externally or internally illuminated <u>advertising device</u> including digital displays (measured in candelas per square metre) does not exceed the threshold in accordance with in Table 9.3.2.3.3.</p>	
Safety to Pedestrians and Vehicles		
<p>PO3 Advertising devices are appropriately located and designed in a manner that does not create a traffic or pedestrian safety hazard.</p> <p>Editor's note—A traffic management statement produced by a registered professional engineer may be required to demonstrate that there is no adverse impact to vehicle and pedestrian safety.</p>	<p>AO3.1 The advertising device does not physically obstruct the passage of pedestrians or vehicles.</p> <p>AND</p> <p>AO3.2 The advertising device does not restrict sight lines at intersections and site access points into property.</p> <p>AND</p> <p>AO3.3 The advertising device does not revolve, contain moving parts or have a moving border.</p>	<p>The signs are flush wall signs, on the upper level of the building. They will not physically impede/obstruct passing vehicles or pedestrians nor create distraction.</p>
Heritage and Character Places		
<p>PO4 Advertising devices adjacent to or located at a place of heritage significance or within the character overlay are designed and sited in a manner that:</p> <ul style="list-style-type: none"> a) conserves existing signs if they are of heritage significance; b) is compatible with the significance of the heritage place; c) does not detrimentally impact the values or setting of the heritage place; d) does not obscure the appearance or 	<p>AO4.1 The following advertising devices are not proposed on or <u>adjoining premises</u> that are listed as a local <u>heritage place</u>, shown on the <u>heritage place overlay map</u> or <u>character overlay map</u>:</p> <ul style="list-style-type: none"> a) <u>creative awning sign</u>; or b) <u>freestanding sign</u>; or c) <u>ground sign</u>; or d) <u>sign written roof sign</u>; or e) <u>three-dimensional sign</u>. 	<p>The signs proposed are appropriate for a site adjoining a heritage place.</p>

<p>prominence of features of the heritage place when viewed from adjacent public or semi-public streets or open spaces; and</p> <p>e) does not intrude into that place.</p> <p>Editor's note—Traditional and appropriate locations for signage include:</p> <p>a) parapet panels above and below the cornice;</p> <p>b) string course bands and on other small individual elements;</p> <p>c) spandrel panels below windows and on ground floor piers (including plaques beside entries);</p> <p>d) front and side fascia of the verandah, or hanging below; and</p> <p>e) ground and first floor windows, or glass and side walls, upper storey and panels on fences.</p>		
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Table 9.3.2.3.2 Sign Specific Outcomes – Wall Sign

<p>a) is only located in a centre zone, industry zone, open space, community facilities, sport and recreation and special purpose zone unless associated with a <u>home-based business</u>;</p> <p>b) the sign is located only on a part of a wall that is otherwise blank and the sign does not cover any opening (such as a window) or building design element (such as finery, articulated brickwork, etcetera);</p> <p>c) the sign does not project any further than 0.2 metres from the wall;</p> <p>d) the sign does not project beyond the property boundary; and</p> <p>e) the sign does not project above the eaves or parapet of the wall, or the external edges of the building element to which it is attached.</p>	<p>Within an industry zone and centre zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of twenty (20) square metres, unless located on the character overlay map, whereby the signage must not cover more than twenty (20) per cent total surface area of the wall to a maximum size of two (2) square metres.</p> <p>Within the open space zone, community facilities zone, sport and recreation zone and special purpose zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of four (4) square metres.</p>	<p>The signs do not exceed 50% of the wall face and are 4m² each.</p>
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HERITAGE PLACE OVERLAY CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Building Work – Demolition or Removal (Local Heritage Place)		
<p>PO1 All building work in the form of demolition or removal is only undertaken when there is a significant safety concern for the wellbeing of people and property due to structural stability. If demolition or removal is required the original features of the place are recorded digitally.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared by a suitably qualified person as detailed in SC6.13 — Local heritage planning scheme policy.</p>	<p>AO1.1 AO1.1.1 Demolition is only undertaken where a report prepared by a suitably qualified conservation architect or conservation engineer demonstrates that the building is structurally unsound and is not reasonably capable of repair.</p> <p>OR</p> <p>AO1.1.2 Only minimal and necessary demolition is performed in the course of repairs, maintenance or restoration.</p> <p>OR</p> <p>AO1.1.3 Demolition is performed following a catastrophic event (such as fire, landslide and flooding) which substantially destroys the building.</p> <p>AND</p> <p>AO1.2 In every case where a local heritage place is demolished (partially or wholly) or removed, an archival quality photographic record of the local heritage place, including its features, is made prior to demolition or removal and lodged with Council.</p>	<p>To enable construction, most of the existing buildings and structures across the subject properties will require demolition/removal. One such building, a low set brick parsonage dwelling (church house for pastor/priest), is sited over a property boundary within both Lot 231 on CP892530 and Lot 300 on R1675. Hence Lot 300 on R1675 is to be included in this application. Although residing partly on a heritage listed site, the building itself is not heritage listed.</p> <p>The St Paul's Cathedral Hall (the heritage listed building) is to remain and will not be impacted by the demolition works.</p>
<p>PO2 – PO6 are not applicable, although the heritage place is a party to the application, it is not part of the development site. It is only required to be in the application for the demolition of the encroaching parsonage dwelling.</p>		
Adjoining a Heritage Place		
<p>PO7 Development is sympathetic to, and consistent with the significant features and values of the heritage place or local heritage place, including:</p> <ol style="list-style-type: none"> a) maintaining significant views; b) consistency of built form and setback; c) scale; and d) potential for overshadowing; and 	<p>No acceptable outcome is nominated.</p>	<p>Where the building is to be demolished, the site will be remediated with turf. The new development does not impact the values of the heritage place.</p>

e) consistency with open space and landscape features.		
PO8 is not applicable, the development site is not on Quay or East Streets		
PO9 is not applicable, the development does not include reconfiguring a lot.		

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	Access Recreation Incorporated
Contact name (only applicable for companies)	c/- Capricorn Survey Group (CQ) Pty Ltd
Postal address (P.O. Box or street address)	PO Box 1391
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	(07) 4927 5199
Email address (non-mandatory)	reception@csgcq.com.au
Mobile number (non-mandatory)	0407 581 850
Fax number (non-mandatory)	n/a
Applicant's reference number(s) (if applicable)	9336

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		89	William Street	Rockhampton City
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	300	R1675	RRC
b)	Unit No.	Street No.	Street Name and Type	Suburb
		189	Denison Street	Rockhampton City
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	234	CP892530	RRC
c)	Unit No.	Street No.	Street Name and Type	Suburb
		197	Denison Street	The Range
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	303	RP905533	RRC
d)	Unit No.	Street No.	Street Name and Type	Suburb
		197	Denison Street	The Range
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	304	RP905533	RRC

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area <i>(if applicable)</i> :	
Name of port authority for tidal area <i>(if applicable)</i>	

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Office

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Demolition of a building partly located on a Queensland Heritage Place

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Office	Office	n/a	Total floor area 1285m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- Yes – provide additional details below
 No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

Yes – specify number of new lots:

No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material *(from a watercourse or lake)*
- Water-related development – referable dams
- Water-related development – levees *(category 3 levees only)*
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.



Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	St Pauls Anglican Cathedral Hall	Place ID:	601491
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Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes



Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Access Recreation Incorporated
Contact name (only applicable for companies)	c/- Capricorn Survey Group (CQ) Pty Ltd
Postal address (PO Box or street address)	PO Box 1391
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	(07) 4927 5199
Email address (non-mandatory)	reception@csgcq.com.au
Mobile number (non-mandatory)	0407 581 850
Fax number (non-mandatory)	n/a
Applicant's reference number(s) (if applicable)	9336

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Unit No.	Street No.	Street Name and Type	Suburb
	89	William Street	Rockhampton City
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4700	300	R1675	RRC
Unit No.	Street No.	Street Name and Type	Suburb
	189	Denison Street	Rockhampton City
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4700	234	CP892530	RRC
Unit No.	Street No.	Street Name and Type	Suburb
	197	Denison Street	The Range
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4700	303	RP905533	RRC
Unit No.	Street No.	Street Name and Type	Suburb
	197	Denison Street	The Range
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4700	304	RP905533	RRC

2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the *DA Forms Guide*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	St Pauls Anglican Cathedral Hall	Place ID:	601491
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
 No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
 No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)	

PART 5 – BUILDING WORK DETAILS

14) Owner's details

<input checked="" type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

<input checked="" type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.	
Name(s) (individual or company full name)	
Contact name (applicable for companies)	
QBCC licence or owner – builder number	
Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

What type of approval is being sought?	
<input checked="" type="checkbox"/> Development permit	
<input type="checkbox"/> Preliminary approval	
b) What is the level of assessment?	
<input type="checkbox"/> Code assessment	
<input checked="" type="checkbox"/> Impact assessment (requires public notification)	
c) Nature of the proposed building work (tick all applicable boxes)	
<input type="checkbox"/> New building or structure	<input type="checkbox"/> Repairs, alterations or additions

<input type="checkbox"/> Change of building classification (<i>involving building work</i>)	<input type="checkbox"/> Swimming pool and/or pool fence
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Relocation or removal
d) Provide a description of the work below or in an attached schedule.	
Demolition of building (parsonage dwelling) partly located over boundary of heritage place and subject development site. Building for demolition is not heritage listed.	
e) Proposed construction materials	
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Steel <input type="checkbox"/> Brick veneer <input type="checkbox"/> Timber <input type="checkbox"/> Stone/concrete <input type="checkbox"/> Fibre cement <input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Steel <input type="checkbox"/> Other <input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete <input type="checkbox"/> Timber <input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Tiles <input type="checkbox"/> Aluminium <input type="checkbox"/> Steel <input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (<i>if applicable</i>)	
Building Works Assessable against the Planning Scheme for Demolition of building located partly on Queensland Heritage Place	
g) New building use/classification? (<i>if applicable</i>)	
h) Relevant plans Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application	

17) What is the monetary value of the proposed building work?

\$

18) Has Queensland Home Warranty Scheme Insurance been paid?

Yes – provide details below
 No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 9</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	



PRELIMINARY

AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
1	03-09-2024	MCU APPLICATION ISSUE			

NOTES
 VERIFY ALL DIMENSIONS AND CHECK LEVELS ON SITE BEFORE COMMENCING WORK. DO NOT SCALE FROM THE DRAWING. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE DESIGNTEK PTY LTD AND SHALL NOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF THE DESIGNTEK PTY LTD.

DRAWING LIST		
DWG No.	DRAWING NAME	ISSUE
S-01	SITE PLAN - EXISTING AND DEMOLITION	1
S-02	SITE PLAN - PROPOSED	1
S-00	COVER SHEET	1
S-03	PROPOSED LANDSCAPING PLAN	1
S-04	EXISTING SERVICES PLAN	1

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CLIENT:




PROJECT:
NEW OFFICES
189 & 197 DENISON STREET
ROCKHAMPTON QLD 4700

TITLE: COVER SHEET	
DATE: 03-09-2024	SCALE: ON A1
PROJECT NO. 2111-14	DRAWING NO. S-00
DRAWN BY: EM	APPROVED BY: Approver
REVISION: 1	

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DRAWN BY: EM	APPROVED BY: Approver
REVISION: 1	

ALMA STREET

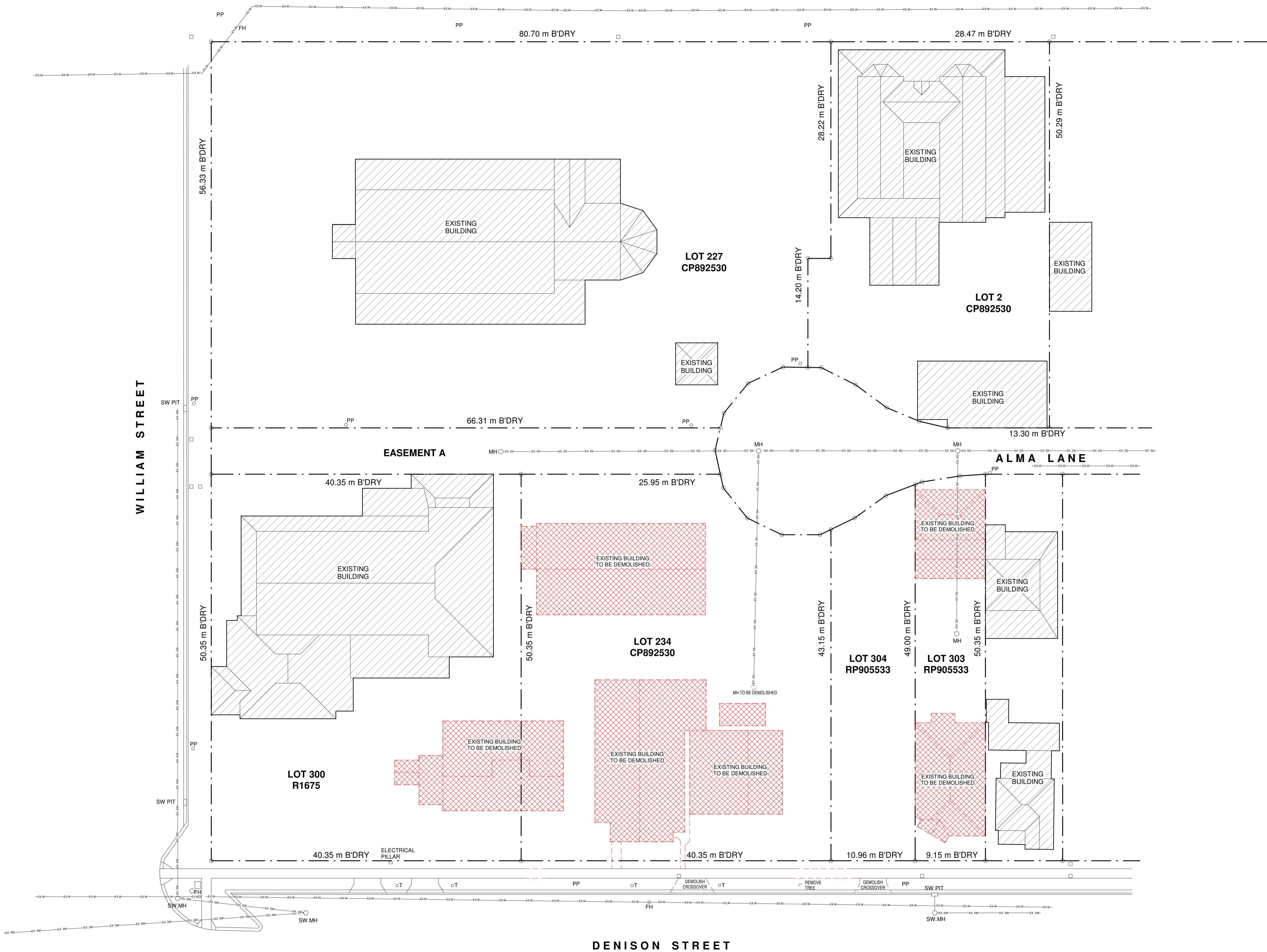
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AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
1	03-09-2024	MCU APPLICATION ISSUE			

SERVICES LEGEND

- SEWER (RRC)
- STORMWATER (RRC)
- WATER (RRC)
- UNDERGROUND COMMUNICATIONS
- UNDERGROUND ELECTRICAL (ERGON ENERGY)

PP POWER POLE
 FH IN-GROUND FIRE HYDRANT
 T EXISTING TREE



PRELIMINARY

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SITE:
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NEW OFFICES
189 & 197 DENISON STREET
ROCKHAMPTON QLD 4700

CLIENT:

TITLE:
SITE PLAN - EXISTING AND DEMOLITION

DATE: 03-09-2024 SCALE: As indicated ON A1 DRAWN BY: EM

PROJECT NO. **2111-14**

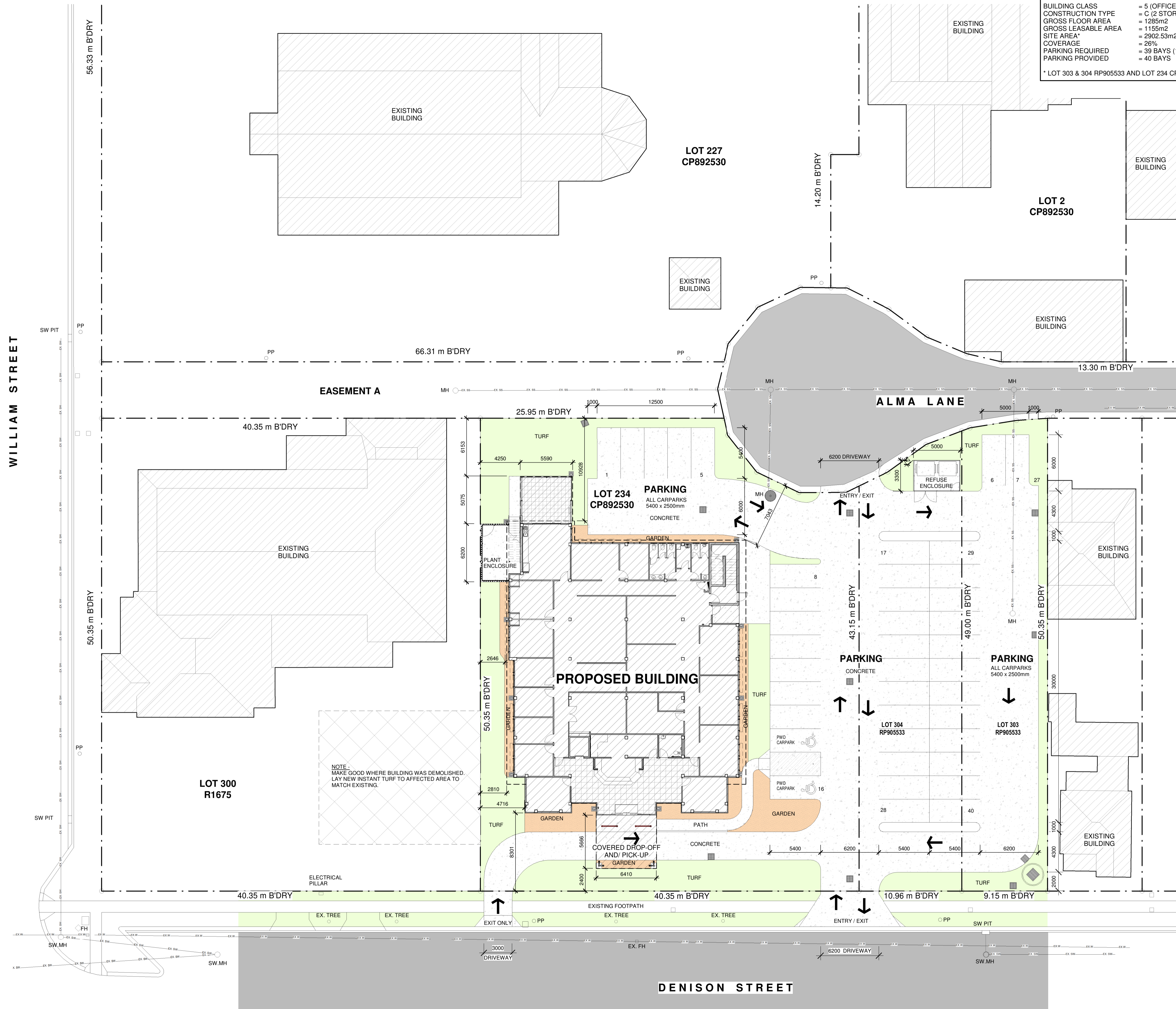
DRAWING NO. **S-01** REVISION: **1**

SITE PLAN - EXISTING AND DEMOLITION
 1 : 250

24/09/2024 9:08:51 AM

DENISON STREET

WILLIAM STREET



TOWN PLANNING DATA -

BUILDING CLASS	= 5 (OFFICES)
CONSTRUCTION TYPE	= C (2 STOREY CLASS 5)
GROSS FLOOR AREA	= 1285m ²
GROSS LEASABLE AREA	= 1155m ²
SITE AREA*	= 2902.53m ²
COVERAGE	= 26%
PARKING REQUIRED	= 39 BAYS (1 BAY PER 30m ² GLA)
PARKING PROVIDED	= 40 BAYS

* LOT 303 & 304 RP905533 AND LOT 234 CP892530

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SITE:

PROJECT:
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189 & 197 DENISON STREET
ROCKHAMPTON QLD 4700

CLIENT:

TITLE:
SITE PLAN - PROPOSED

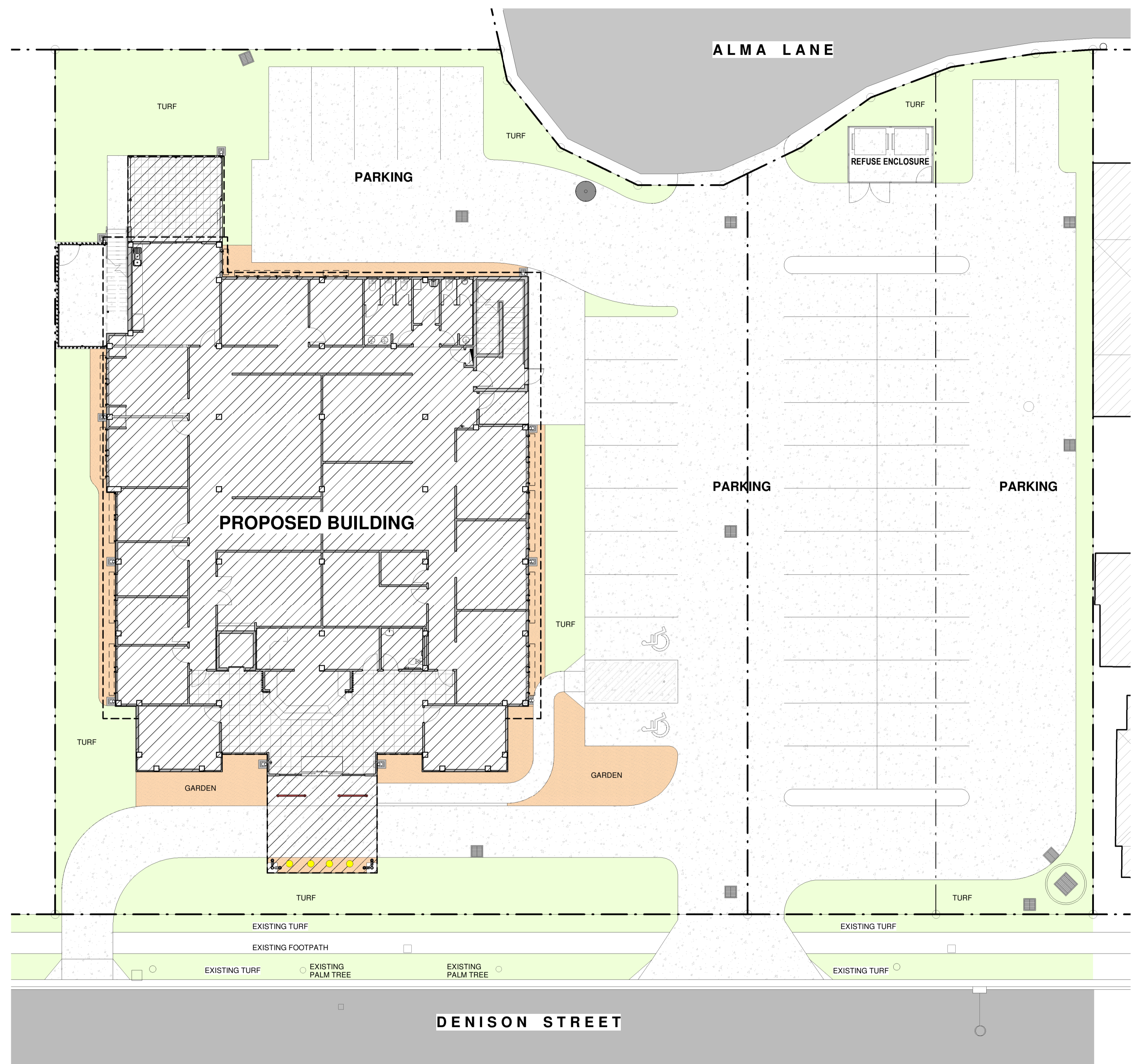
DATE: 03-09-2024	SCALE: As indicated ON A1	DRAWN BY: EM
PROJECT NO. 2111-14		REVISION: 1
DRAWING NO. S-02		

SITE PLAN - PROPOSED
 1 : 200

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AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
1	03-09-2024	MCU APPLICATION ISSUE			



- LEGEND**
- PROPOSED PARKING, CROSSOVERS AND FOOTPATHS
 - PROPOSED TURF -
 - MINIMUM 100mm TURF UNDERLAY
 - INSTANT, LOCATION SUITABLE, TURF LAID, ROLLED AND WELL WATERED
 - GARDEN -
 - MINIMUM 100mm GARDEN BLEND SOIL
 - MINIMUM 75mm HARDWOOD CHIP MULCH
 - SHRUBS AT TWO METER INTERVALS - REFER SELECTION BELOW
 - GROUND COVER AT ONE METER INTERVALS - REFER SELECTION BELOW
 - SHRUB AND GROUND COVER LAYOUT BY PROFESSIONAL BOTANIST
 - TREE - LEMON SCENT CONIFER - CUPRESSUS MACROCARPA - MIN. 25cm POT SIZE
 - SHRUB AND GROUND COVER SELECTION -
 - IXORA GOLDFIRE OR SIMILAR
 - CUPHEA WHITE OR SIMILAR
 - LIRIOPE EVERGREEN GIANT OR SIMILAR
 - PENNISETUM PURPLE FOUNTAIN GRASS OR SIMILAR
 - IRRIGATION -
 - PROVIDE SUITABLE AUTOMATED IRRIGATION CONTROLLERS
 - PROVIDE DRIP-FEED RETICULATION TO ALL GARDEN AREAS

PROPOSED LANDSCAPING PLAN
 1 : 150

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TITLE:
PROPOSED LANDSCAPING PLAN

DATE: 03-09-2024	SCALE: As indicated ON A1	DRAWN BY: EM
PROJECT NO. 2111-14	DRAWING NO. S-03	
REVISION: 1		

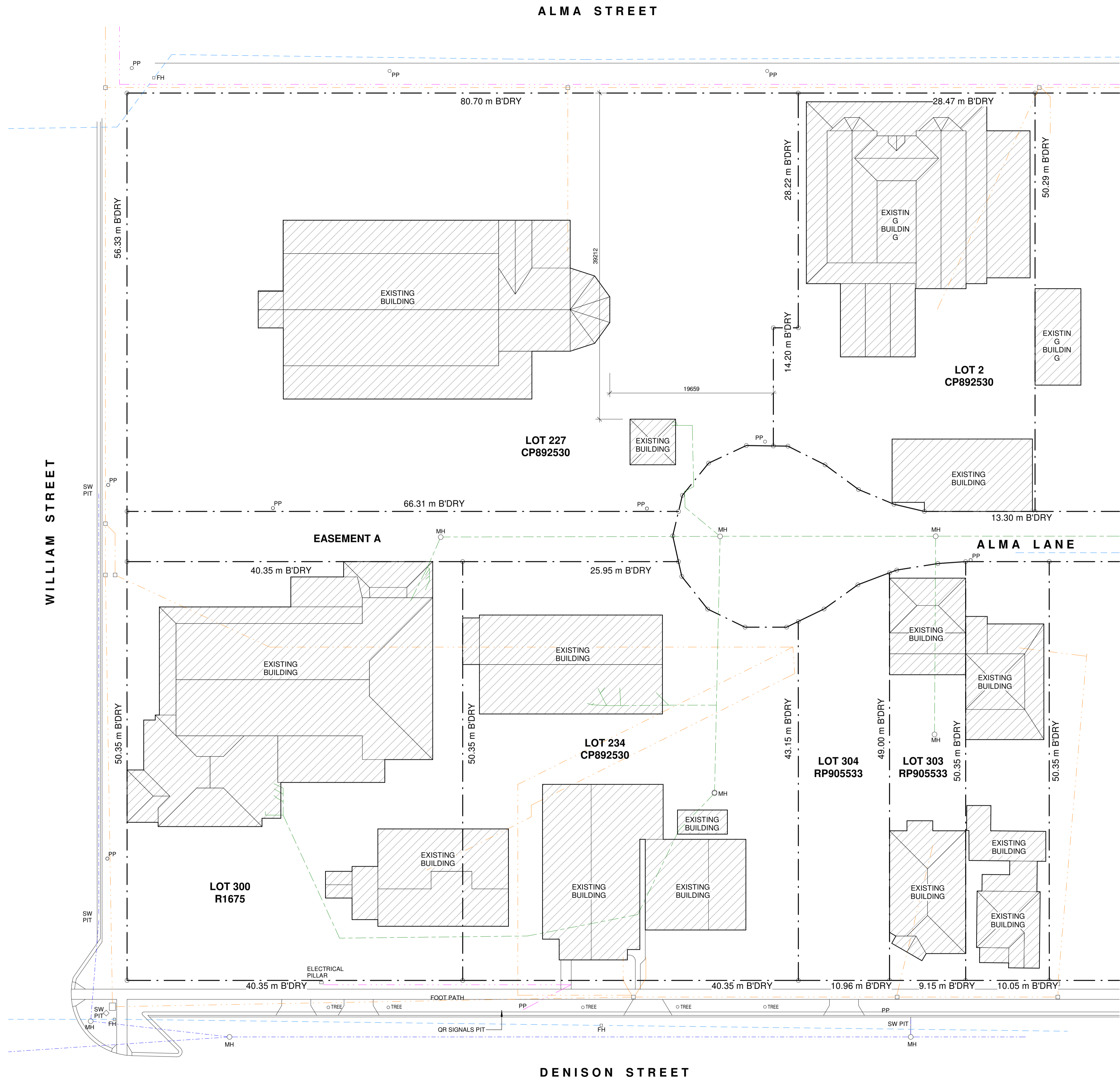
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 T EXISTING TREE



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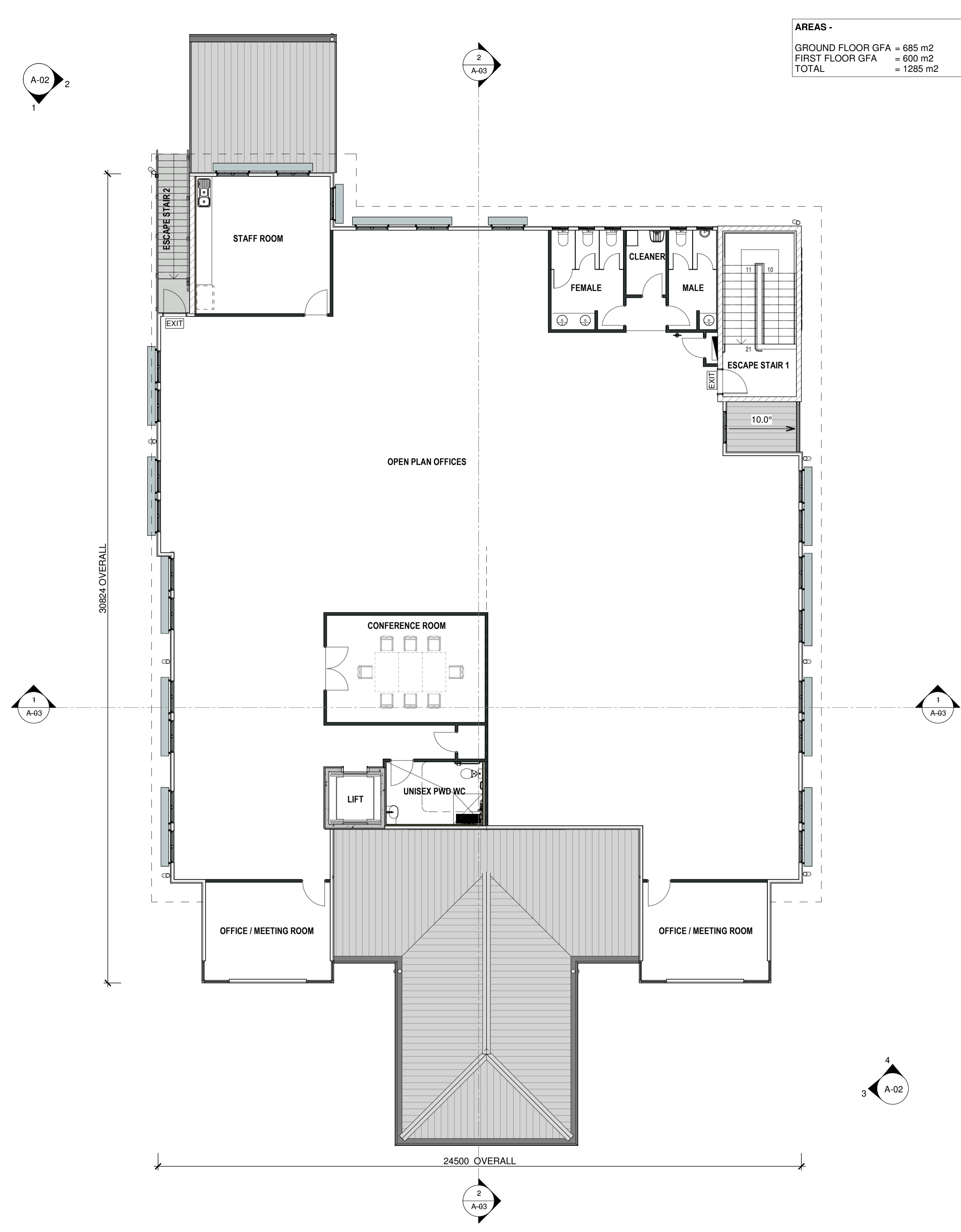
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CLIENT:

TITLE: EXISTING SERVICES PLAN		
DATE: 03-09-2024	SCALE: As indicated ON A1	DRAWN BY: Author
	PROJECT NO. 2111-14	REVISION: 1
	DRAWING NO. S-04	

SITE PLAN - EXISTING SERVICES
 1 : 250

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AREAS -

GROUND FLOOR GFA	= 685 m2
FIRST FLOOR GFA	= 600 m2
TOTAL	= 1285 m2

PROPOSED GROUND FLOOR PLAN
1:100

PROPOSED FIRST FLOOR PLAN
1:100

PRELIMINARY

AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
1	03-09-2024	MCU APPLICATION ISSUE			

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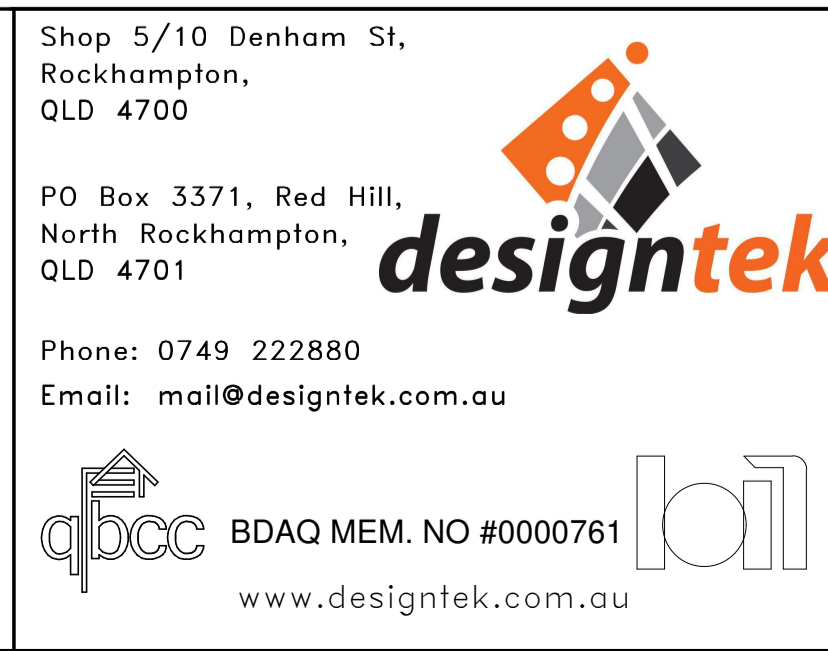
DRAWING LIST		
DWG No.	DRAWING NAME	ISSUE
A-01	PROPOSED FLOOR PLANS	1
A-02	EXTERNAL ELEVATIONS	1
A-03	SECTIONS	1

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TITLE: PROPOSED FLOOR PLANS			
DATE: 03-09-2024	SCALE: 1:100 ON A1	DRAWN BY: EM	APPROVED BY: Approver
PROJECT NO. 2111-14	DRAWING NO. A-01	REVISION: 1	



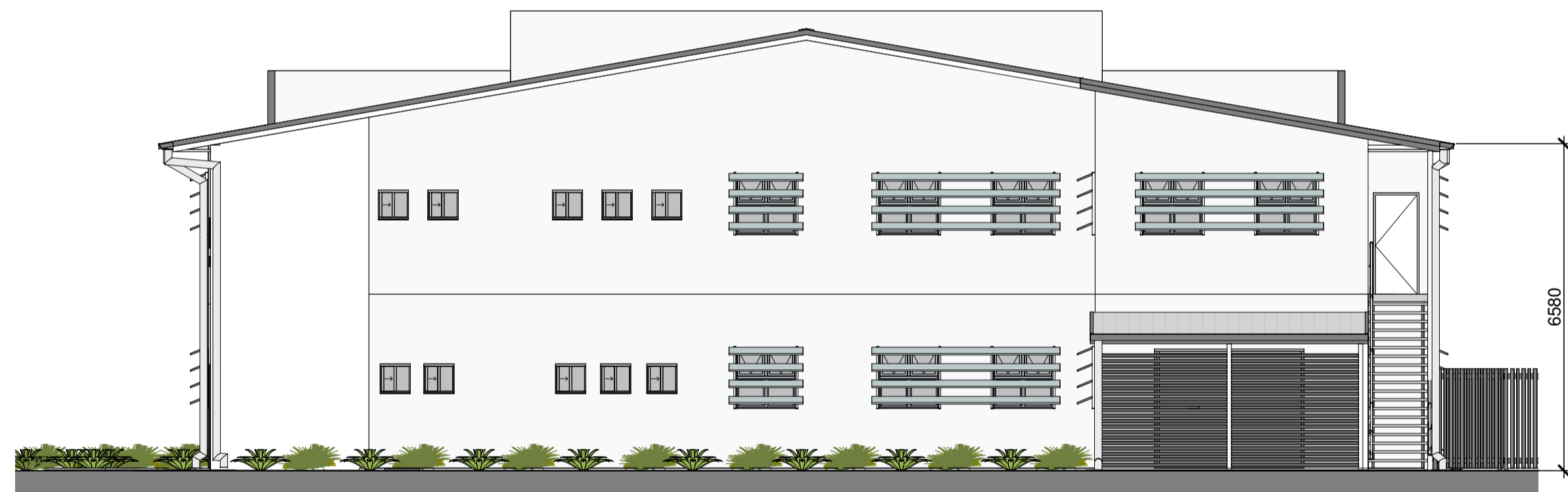
SOUTH-WEST ELEVATION

1:100



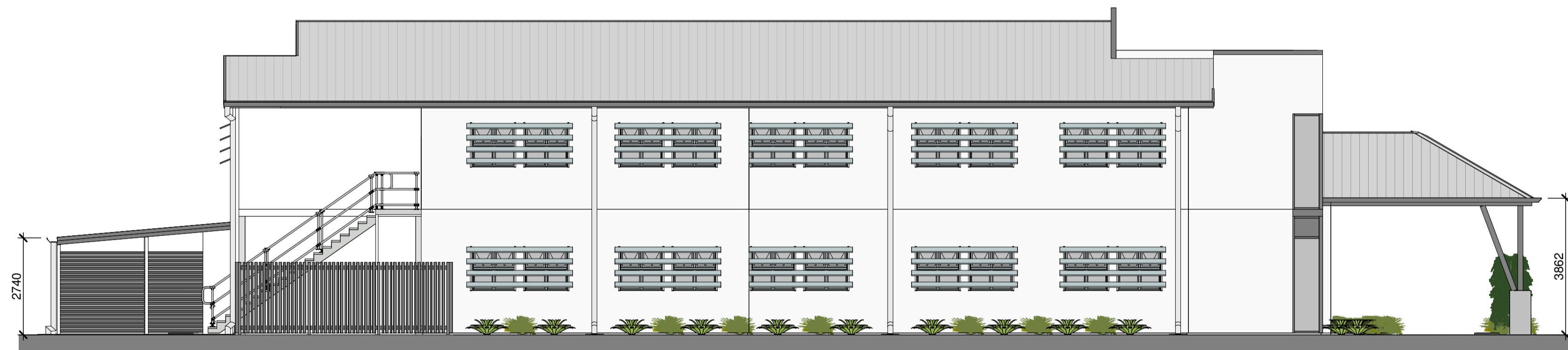
SOUTH-EAST ELEVATION

1:100



NORTH-EAST ELEVATION

1:100



NORTH-WEST ELEVATION

1:100

PRELIMINARY

AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
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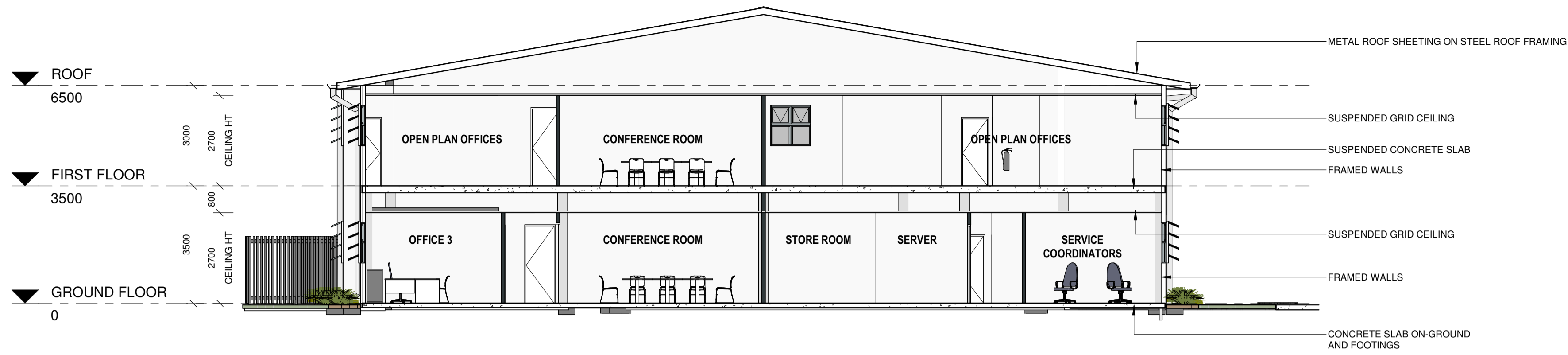
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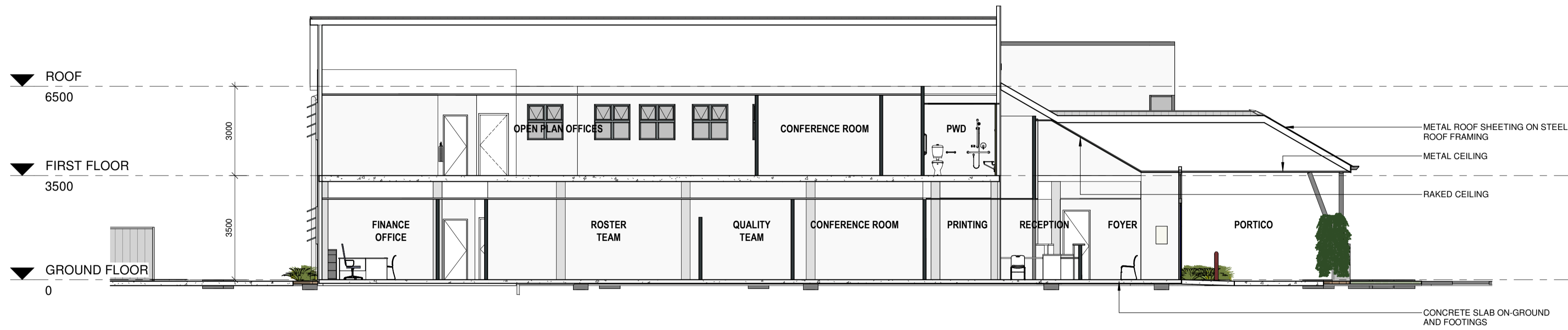
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TITLE: EXTERNAL ELEVATIONS			
DATE: 03-09-2024		SCALE: 1:100 ON A1	
PROJECT NO. 2111-14		DRAWN BY: EM	
DRAWING NO. A-02		APPROVED BY: Approver	
		REVISION: 1	



SECTION A

1 : 100



SECTION B

1 : 100

PRELIMINARY



AMENDMENTS					
REV	DATE	DESCRIPTION	DRN	CKD	STAGE
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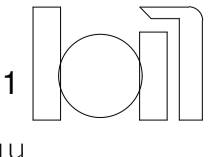
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TITLE: SECTIONS			
DATE: 03-09-2024		SCALE: 1 : 100 ON A1	
PROJECT NO. 2111-14		DRAWN BY: EM	
DRAWING NO. A-03		APPROVED BY: Approver	
		REVISION: 1	

Engineering Infrastructure Report

Access Recreation Office
189 & 197 Denison Street, Rockhampton

Designtek Pty Ltd

24055REP01

Janes and Stewart Structures Pty Ltd

ABN: 30 620 233 025
120 William Street
PO Box 1072
Rockhampton QLD 4700

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2024

24055REP01

Revision	Date	Revision Description	Author	Checked	Approval for issue for and on behalf of Janes and Stewart Structures Pty Ltd
A	19 September 2024	For Development Approval	JC	MD	 Matthew Dennis RPEQ 24862

Contents

1 Introduction	1
2 Sewer Reticulation	2
2.1 Sewer Loadings	3
3 Water Reticulation	4
3.1 Water Demand	5
4 Access, Traffic Impact and Parking	6
4.1 Road Network	6
4.2 Access and Egress	7
4.3 Traffic Impact Assessment	9
4.4 Parking	10
4.5 Refuse Collection	10
5 Conclusion	10

Appendices

- A Proposed Architectural Site Plan
- B Proposed Civil Site Plan
- C Existing Sanitary Drainage Plans
- D Entry & Exit Sight Distance Plan

1 Introduction

Janes and Stewart Structural and Civil consultants has prepared this Engineering Infrastructure Report in support of the Material Change of Use Application on behalf of our client, Designtek. This report relates to the development of a two-storey office building and associated car park infrastructure for Access Recreation, located at 189 & 197 Denison Street, Rockhampton. The development will be constructed over three allotments with the existing buildings on these lots to be demolished. One building which has been built across a property boundary will also be demolished. The real property description of these lands parcels is lot 303 and 304 on RP905533 and lot 234 on CP892530.

This report intends to address the Civil Engineering Infrastructure for the proposed development including sewer reticulation, water reticulation and vehicle access and parking for the project. The report will demonstrate that the development will not negatively impact on existing services, buildings and infrastructure surrounding the subject site through engineered solutions.

The locality of the subject site can be seen in the following illustration and Appendix A details the Proposed Architectural Site Plan.



Figure 1 Locality Image (Image source: QLD Globe)

2 Sewer Reticulation

The existing site currently has access to Rockhampton Regional Council's (RRC) sewerage infrastructure which will be maintained as part of this re-development.

Based on Council's services information, there are currently two 150mm diameter earthenware, gravity sewer mains present, one in lot 303 (197 Denison St) and one in lot 234 (189 Denison St). Both of these connect to the 150mm diameter earthenware gravity sewer main in the Alma Lane road reserve.

Existing sewer access chambers are also in place along these sewer mains, being located both within the lot boundary and in the road reserve. Refer to Appendix C for plans showing sewer drainage reticulation from the existing dwellings to existing council sewerage infrastructure.

The existing sewer layout on the subject site can be seen in the following extract from Rockhampton Regional Council's Geographical Information System (GIS).



Figure 2 Existing Sewer Infrastructure - shown in maroon (Source: RRC Mapping)

Council records show that the sanitary drainage system from the neighbouring lot, lot 300 on R1675, runs under one of the existing dwellings on the subject site and connects to the northernmost access chamber within the subject site. This existing sanitary drain will need to be diverted to avoid crossing through the subject site. This work is to be undertaken as part of a plumbing and drainage application with further discussion and consultation with the adjoining property owner required.

Sanitary drains from lot 1 on RP600895 (199 Denison St) and 2 on RP600895 (170 Alma Lane) also appear to connect to the southernmost access chamber within the subject site. It is anticipated that these existing connections could remain unchanged.

It is proposed that a new sewer access chamber will be installed over the northern, existing 150mm earthenware pipe. This new sewer access chamber would become the point of connection for the new building sanitary drainage to the council-controlled system. The existing sewer pipe upstream of the proposed access chamber will then be redundant. The construction of the new access chamber and new sanitary connection will be subject to a private works quotation for council to undertake these works. All internal sanitary drainage will be documented during the detailed design phases of the project and appropriate approvals sought from Rockhampton Regional Council (RRC). Refer to Appendix B for proposed sewer details.

2.1 Sewer Loadings

The sewer loads have been calculated in accordance with the Capricorn Municipal Development Guidelines (CMDG) – Design Specifications – D12 Sewerage Reticulation. As per table D12.38 – (Typical loadings per development type) from the CMDG, the equivalent tenancies (ET's) were calculated using the rates within this table for a development in a central business district based on the subject sites land area.

The design Average Dry Weather Flow (ADWF) has been based on 540 L/d/ET from the CMDG design specification D12 Table D12.07.01. As per the CMDG sewerage specification, the Peak Dry Weather Flow (PDWF) has been based on 2.5 times the ADWF, and the Wet Weather Flow (WWF) is 5 times the ADWF.

The following table provides a summary of the projected additional sewer loadings from the development:

Table 1 Projected Sewer Loadings

Description	Quantity	Equivalent Tenancy per unit (ET/unit)	Total ET	ADWF	PDWF (2.5 x ADWF)	WWF (5 x ADWF)
Existing Allotments	3 lots	1/lot	4.86	2.62 kL/d 0.030 L/s	6.561kL/d 0.076 L/s	13.122kL/d 0.152L/s
Existing Charity Store	232 m ² GFA ^[1]	0.8/100m ² GFA				
Proposed commercial premises	1,290m ² GFA ^[1]	0.8/100m ² GFA ^[1]	10.32	5.573 kL/d 0.065 L/s	13.932 kL/d 0.161 L/s	27.864 kL/d 0.323L/s
Difference	-	-	5.46	2.948 kL/d 0.034 L/s	7.371 kL/d 0.085 L/s	14.742 kL/d 0.171 L/s

[1] GFA: Gross Floor Area

As shown in the table above, there is an increase in flow from the proposed development. However, the additional flow from the development is minimal and this is particularly noticeable when comparing the available pipe capacity of a 150mm diameter sewer main at the pipe grade in the subject site being 1.5%. The 2/3 pipe capacity of a 150mm diameter sewer at a 1.5% grade is around 14.6L/s. This means that the additional wet weather flow (WWF) is approximately 1.2% of the available pipe capacity. Therefore, this increase is expected to have a negligible effect upon the Council's existing infrastructure sewer network with no upgrades required with this development.

3 Water Reticulation

Existing Council water infrastructure is located in the vicinity of the subject site within the Denison Street, road reserve. Rockhampton Regional Council's services information has identified that a single 150mm diameter PVC water main water main is located in the road reserve, running along the front of the site on Denison Street.

The following extract from Council's Geographical Information System (GIS) shows the existing water infrastructure in the vicinity of the development site.



Figure 3 Existing Water Infrastructure – Shown in Blue (Source: RRC Mapping)

An existing fire spring hydrant is located on the 150mm diameter water main in front of lot 234 on CP892530 (189 Denison Street). Therefore, with this hydrant in place, we believe adequate fire hydrant coverage to the site is achieved and therefore no upgrades will be required for fire hydrant accessibility as part of the proposed works.

It is proposed that the site will gain water supply from the connection of the existing 150mm diameter reticulation main. Any existing redundant water service connections from the previous residential dwellings should be removed as part of further detailed design phases of the project. It is recommended the existing water meters are removed and only one water meter reinstated to service the proposed office development.

The hydraulics consultant as part of the future design phases will confirm the size of the water connection required. A pressure and flow test may be necessary to determine adequacy of the existing water reticulation main. Any new connection to council water infrastructure will be subject to a private works quotation for council to undertake the connection works.

3.1 Water Demand

The Design Equivalent Persons (EP) rates were adopted from Table D11.32.01 of the Water Supply Network Design Guidelines D11 of the CMDG. The design Average Daily (AD) Consumption of 500 L/EP/d was adopted as per table D11.07.01 of the CMDG with the following peaking factors assigned:

- Mean Day Max Month (MDMM): 1.4 times AD
- Max Day (MD): 1.89 times AD
- Max Hour (MH): 1/12 times MD

Therefore, the following table shows a summary of the additional projected water demand for the proposed office building:

Table 2 Projected Water Demand

	Unit	Equivalent Persons per Unit (EP/Unit)	Equivalent Persons (EP)	Average Daily Consumption (AD)	Mean Day Max Month (MDMM)	Max Day (MD)	Max Hour (MH)
Existing Case	3 lots	3/lot	11.57	5.79 kL/d	8.10 kL/d	10.93 kL/d	0.911 kL/h
	232 m ² GFA	1/90m ²		0.067 L/s	0.094 L/s	0.127 L/s	0.253 L/s
Proposed Development	1,290m ² GFA	1/90m ² GFA	14.33	7.17 kL/d 0.083 L/s	10.03 kL/d 0.116 L/s	13.54 kL/d 0.157 L/s	1.128 kL/h 0.313 L/s
Difference	-	-	2.76	1.38 kL/d 0.016 L/s	1.93 kL/d 0.022 L/s	2.61 kL/d 0.030 L/s	0.217 kL/h 0.060 L/s

As shown in the table above, the average daily consumption has been projected to increase to an amount of 0.016L/s. This increase is considered negligible when compared to the current catchment that the existing Council water mains service. Therefore, it is proposed that no upgrades will be required to the existing Council reticulated infrastructure associated with this development.

4 Access, Traffic Impact and Parking

4.1 Road Network

The existing road network surrounding the development consists of local government-controlled roads. Therefore, these roads are controlled and maintained by Rockhampton Regional Council. Denison Street mainly services CBD traffic including traffic for nearby facilities such as the Rockhampton Special School. The North Coast Rail line runs centrally along Denison Street, where the rail line is under the jurisdiction of Queensland Rail. Alma Lane only services the commercial buildings between Derby Street and Wiliam Street as well as St Paul’s Cathedral. There are no marked car parking spaces accessible from this lane.

Rockhampton Regional Council has identified Denison Street as part of their road hierarchy network as provided in the Rockhampton Regional Planning Scheme 2015 v4.4. The characteristics of the existing road for the frontage of the development site are outlined in the following table:

Table 3 Existing Road Network Summary

Road Name	Denison St	Alma Lane
Jurisdiction	Council Controlled	Council Controlled
Road Hierarchy	Urban Minor Collector ^[1]	Urban Access Place ^[1]
Posted Speed	Signed - 50km/h (40km/h during school zone periods for nearby school)	Signed 20km/h
Lane Formation	Divided / two-lane / two-way, railway line central	Undivided two-way, no through road with cul-de-sac
Carriageway Width	~23m	~6m
Reserve Width	~30m	~6m
Kerb and Channel	Yes, both sides	No
Footpath	Yes: ~1.2m wide footpath both sides of road	No
On Street Parking	Yes, parallel both sides of street	No

[1] Road classification as per Rockhampton Regional Planning Scheme 2015 v4.4.

Street images of Denison Street and Alma Lane are shown in the figure below:





Figure 4 - Street Views (Source Google Street View. Image dates Dec 2022, April 2023 Respectively)

4.2 Access and Egress

The site has frontage and access to both Denison Street & Alma Lane. There is one existing, sealed crossover from Alma Lane and two from Denison Street. It is intended that the existing crossovers will be removed as part of the development works and new crossovers installed as part of the proposed development. A new two-way crossover will be installed to allow access and egress to and from Denison Street to an off street car park. As well as this, a new one-way entry only crossover is proposed off Denison Street for access to a set-down / drop-off facility. Due to the railway infrastructure separating lanes, the accesses from Denison Street will be left turn only from the south bound lane. Egress to Denison Street will also be left turn only to continue on the southbound lane.

A crossover is also proposed on Alma Lane which is intended to be a two-way access. Considering the lower daily traffic on this street compared to Denison Street, it is expected this access will experience much lower traffic volumes than the crossovers on Denison Street. Refer to Appendix D for proposed Access and Egress strategy.

Due to the existing railway and electrical infrastructure in the road reserve near the northern, Denison Street boundary, the available width does not allow a commercial style crossover in accordance with the CMDG to be installed. Therefore, it is intended that the geometry for a residential style corridor be used for this crossover. We believe that this is acceptable as the separation from the Denison Street traffic lane to the crossover, due to the on-street parking lane, allows additional space for vehicles to turn and access the crossover more straight on. The intended traffic utilising the set-down drop-off lane are expected to be very minimal and primarily cater for cars up to and including the B99 standard and the occasional small delivery truck.

The primary vehicle access to the site is intended to be via the new two-way vehicle crossover to Denison Street. The addition of the two-way access to Alma Lane provides the ability for service vehicles including the refuse collection vehicles to enter and exit the site in a forward manner, travelling through the proposed off-street car park.

Sight Distance

An assessment of the proposed primary crossover to Denison Street has been conducted in relation to appropriate sight distance requirements. While parking is allowed on Denison Street there is no marked parking bays except for two at the northern end of the site. For vehicles exiting the site, available stopping sight distance to the north only has been checked for the cross-over due to the exit of the site being left turn only. Refer Appendix D for stopping site distance details.

Section 3.4 of the Austroads Guide to Road Design Part 4A: Unsignalised and Signalised intersections provides guidance on sight distance requirements at property entrances. In particular, for non-domestic accesses (commercial), section 3.4 refers to the requirements of AS2890.1:2004 Parking Facilities Part 1: Off-Street car parking. Part 3.2.4 and Figure 3.2 of AS2890.1:2004 provides recommended sight distance at access driveways for various frontage road speeds. The following table provides a summary of the sight distance requirements for the Denison Street vehicle access to the proposed office building car park:

Table 4 Existing Sight Distance (Denison Street Primary Crossover)

Description	Denison St, North From Primary Crossover	Unit
Decision Time (Desirable Gap)	5.0	s
^[1] Operating Speed, V	60	km/h
Sight Distance Required by Figure 3.2 AS2890.1:2004	83	m
Sight Distance Achieved	83+	m

[1] The operating speed has been taken as 10km/h above the signposted speed limit

As shown above, the sight distance can be achieved with the proposed layout and therefore is acceptable in regards to sight distance requirements.

4.3 Traffic Impact Assessment

The proposed development is expected to have a minor increase in vehicles entering and exiting the site daily considering the proposed change of purpose of the site. As aforementioned the design vehicle for the development is the Refuse collection vehicle however the primary vehicles are intended to be cars up to the B99 standard. In the pre-developed case one dwelling has access via Alma Lane, with the other dwellings and charity store obtaining access via Denison Street. For the post-developed case, it is assumed that 90% of vehicle access and egress will be via Denison Street and the remaining 10% will obtain access and egress via Alma Lane. The estimated entry and exit traffic volumes for both the pre-development and post-development case are compared in the table below.

Table 5 - Traffic Generation Summary

Case	Type	Quantity	Generated Daily Traffic/type	Total Daily Traffic - vpd	Daily Traffic - vpd (Denison St)	Daily Traffic - vpd (Alma Lane)
Pre-Development	Dwelling Houses	3/ Denison St 1/ Alma Lane	10/dwelling ^[1]	79	71	8
	Charity Store	232m ² GFA	17/100m ² GFA _{[2], [3]}			
Post-Development	Office	1,290m ² GFA	10/100m ² GFA _[1]	129	116	13
			Difference	+50	+45	+5

[1] Traffic Generation as per RTA - Guide to Traffic Generating Developments, Version 2.2, October 2002

[2] Traffic Generation as per RMS - Guide to Traffic Generating Developments, TDT 2013/04a, August 2013

[3] Traffic generation data of a Bulk Goods Retail Store has been used for the exiting charity store as this most closely represents the type of store from the data available.

As can be seen in the table above, it is expected that this development will increase traffic generated by 44 vehicles per day. Information provided by Rockhampton Regional Council shows the section of Denison Street, between Derby Street and Stanley Street, has an Annual Average Daily Traffic (AADT) of 1836 vehicles per day (vpd). Considering the daily traffic generated is only expected to increase by 2.45%, the effects of this development are considered negligible.

Furthermore, the Rockhampton Regional Planning Scheme states that Urban Minor Collector roads may have an AADT of up to 3000 vehicles per day. Even with the minor increase in daily traffic, the expected AADT is well below the maximum limit for an Urban Minor Collector as stated in the CMDG. Therefore, no upgrades are proposed to Denison Street with this development.

Similarly, the expected traffic volumes to Alma Lane from the development are estimated to only be slightly higher than that generated from the existing site at only 5 vehicles per day. Therefore, this increased is anticipated to have a negligible impact to Alma Lane and no upgrades are proposed to Alma Lane with this development.

4.4 Parking

It is proposed that an off-street car park will be installed to allow an appropriate quantity of car parks for the proposed development. Rockhampton Region Plannings Scheme (RRPS) requires one space for every 30m² of Gross Leasable Floor Area (GLFA) for locations within the principal centre. The GLFA for this development is 1155m². As such the calculated number of car parking spaces required for this development is 38.5.

It is proposed that the off-street car park will have 40 spaces, two of which will be accessible parking bays with a suitable shared zone to comply with Australian Standards. Therefore, the proposed car park meets the requirement of the RRPS.

4.5 Refuse Collection

Refuse collection from the proposed office building is intended to be managed by a commercial skip bin service. As mentioned previously the refuse collection vehicle is proposed to enter the site via Denison Street and exit onto Alma Lane.

5 Conclusion

This Civil Engineering Infrastructure Report for the new offices for Access Recreation at 189 & 197 Denison Street, Rockhampton, indicates that there is no negative impact to the existing infrastructure surrounding the site. A workable strategy has been obtained in relation to the water and sewer connections, and access, traffic impact and parking.

Minor alterations in the design may eventuate from future applications, however the fundamentals of the design strategy ensure that service provisions will not pose a serious constraint to development.

If you should have any questions regarding this report, please do not hesitate to contact the office of Janes and Stewart Structures Pty Ltd (07) 4922 1948.

Appendix A

Proposed Architectural Site Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

24055REP01

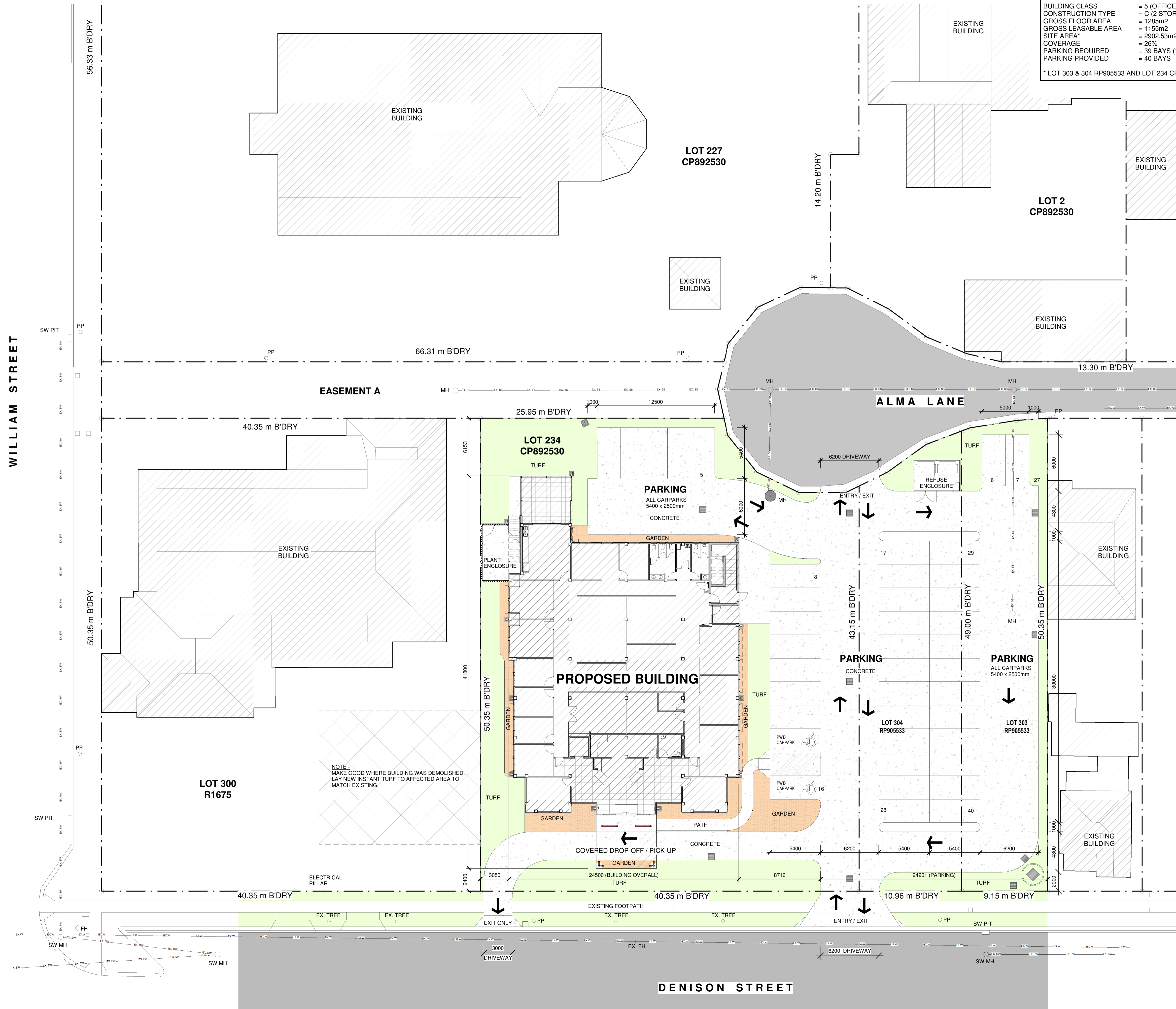
Janes and Stewart Structures Pty Ltd

ABN: 30 620 233 025
120 William Street
PO Box 1072
Rockhampton QLD 4700

07 4922 1948

janes.and.stewart@jsstructures.com.au

WILLIAM STREET



TOWN PLANNING DATA -

BUILDING CLASS	= 5 (OFFICES)
CONSTRUCTION TYPE	= C (2 STOREY CLASS 5)
GROSS FLOOR AREA	= 1285m ²
GROSS LEASABLE AREA	= 1155m ²
SITE AREA*	= 2902.53m ²
COVERAGE	= 26%
PARKING REQUIRED	= 39 BAYS (1 BAY PER 30m ² GLA)
PARKING PROVIDED	= 40 BAYS

* LOT 303 & 304 RP905533 AND LOT 234 CP892530

NOTES
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AMENDMENTS

REV	DATE	DESCRIPTION	DRN	CKD	STAGE
1	03-09-2024	MCU APPLICATION ISSUE			

PRELIMINARY

Shop 5/10 Denham St,
 Rockhampton,
 QLD 4700

PO Box 3371, Red Hill,
 North Rockhampton,
 QLD 4701

Phone: 0749 222880
 Email: mail@designtek.com.au

qbcc BDAQ MEM. NO #0000761
 www.designtek.com.au

SITE:

PROJECT:
NEW OFFICES
189 & 197 DENISON STREET
ROCKHAMPTON QLD 4700

CLIENT:

TITLE:
SITE PLAN - PROPOSED

DATE: 03-09-2024	SCALE: As indicated ON A1	DRAWN BY: EM
PROJECT NO. 2111-14		REVISION: 1
DRAWING NO. S-02		

SITE PLAN - PROPOSED
 1 : 200

18/09/2024 1:59:22 PM

Appendix B

Proposed Civil Site Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

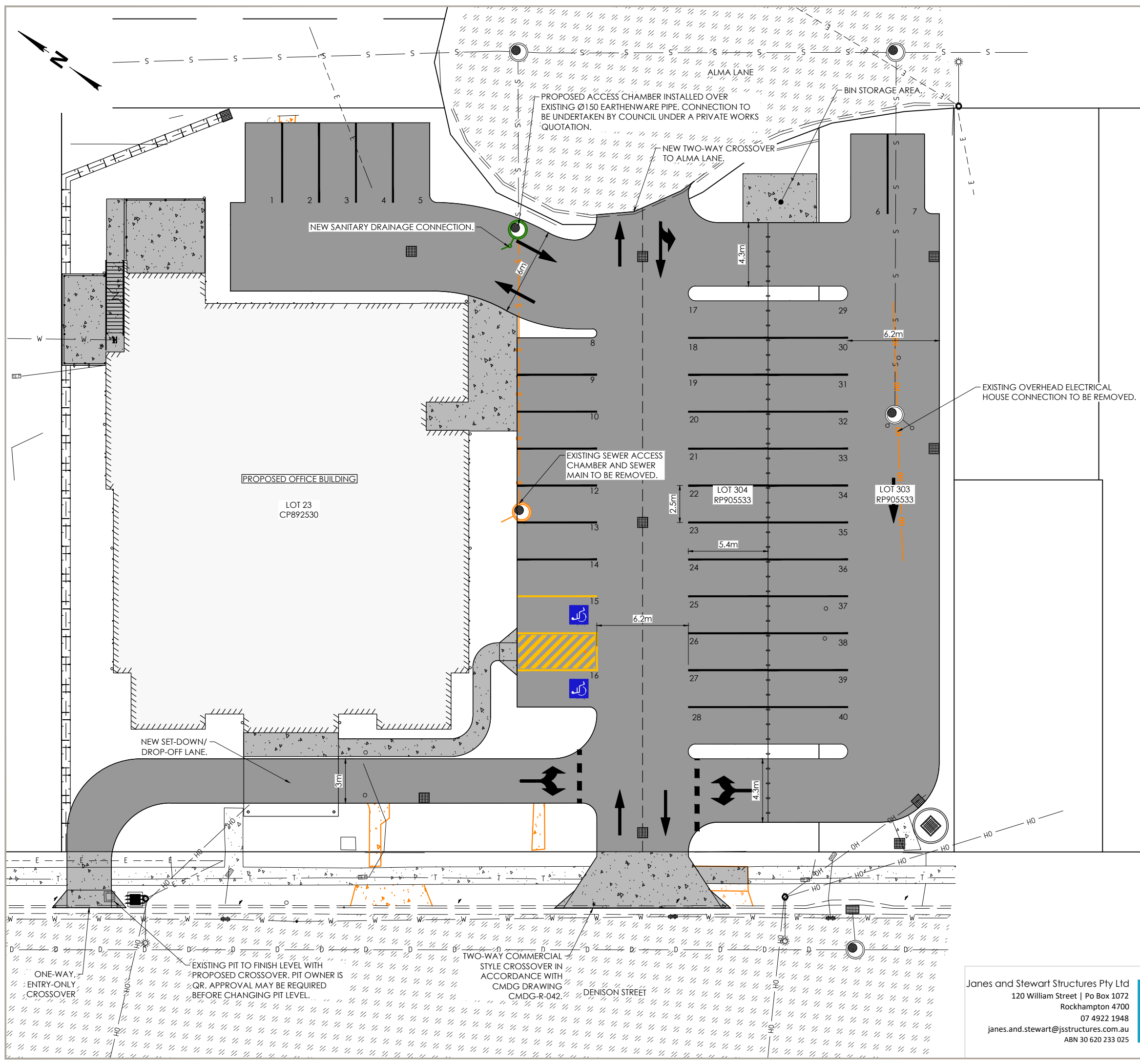
24055REP01

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Rockhampton QLD 4700

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LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	PROPOSED ASPHALT SEAL AREA
	PROPOSED CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING STORMWATER DRAINAGE
	EXISTING KERB
	EXISTING BUILDING OUTLINE
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING SEWER MAIN & MANHOLE
	EXISTING TELECOMMUNICATIONS
	EXISTING WATER MAIN
	PROPOSED SEWER MAIN & MANHOLE
	PROPOSED PAVEMENT MARKING

ACCESS RECREATION OFFICE 0 1.25 5.0m 1:250

Janes and Stewart Structures Pty Ltd
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 Rockhampton 4700
 07 4922 1948
 janes.and.stewart@jsstructures.com.au
 ABN 30 620 233 025



SK01[1] Project Number
 24055 Date
 27/08/2024
 CIVIL SITE PLAN

Appendix C

Existing Sanitary Drainage Plans

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

24055REP01

Janes and Stewart Structures Pty Ltd

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- ROCKHAMPTON REGIONAL COUNCIL -

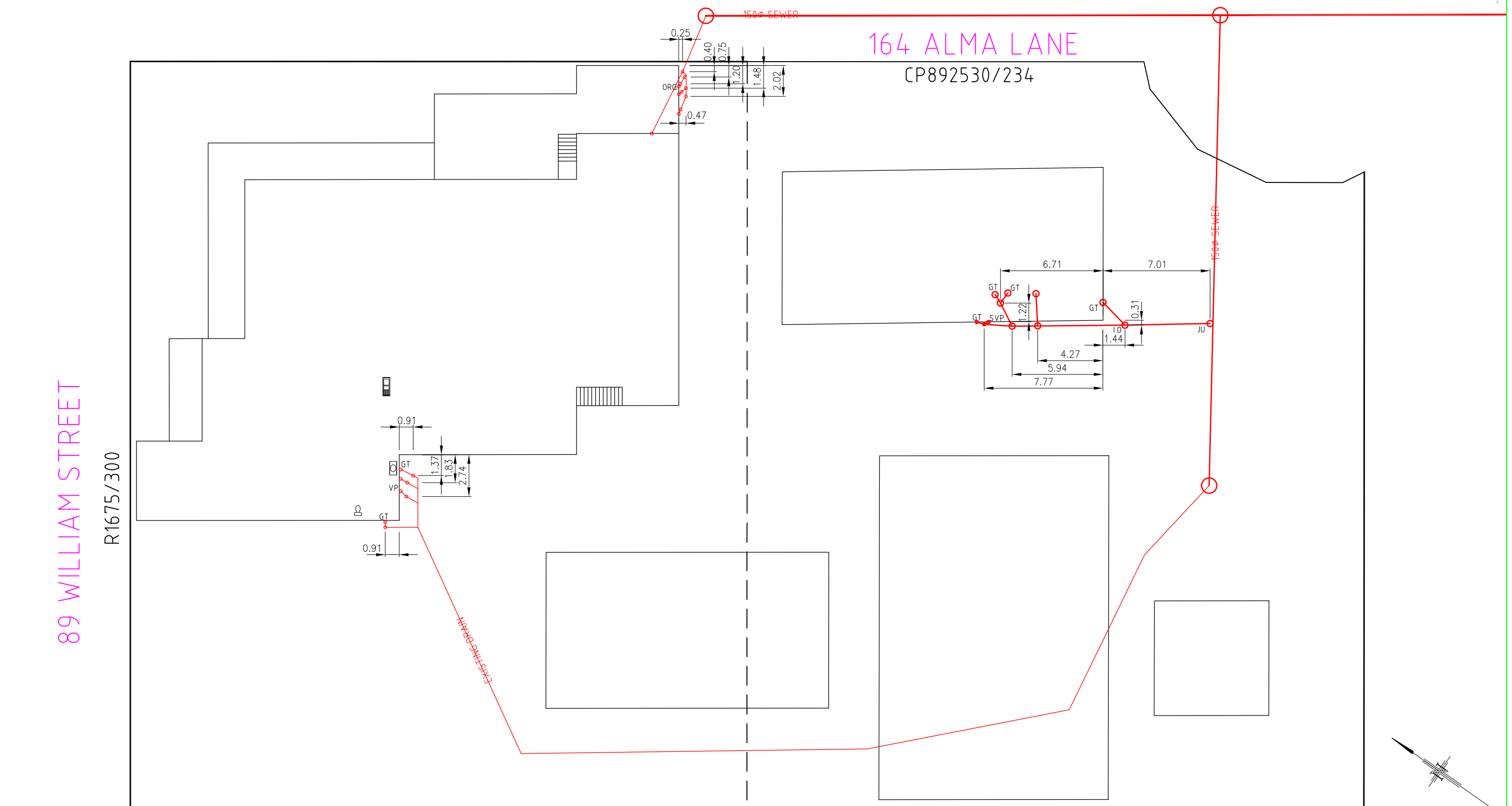
SANITARY DRAINAGE PLAN

SITE 89 WILLIAM STREET DS SHEET/ SUB-DIVISION DS534
 LOT No. 300 R.P. No. R1675 ACAD FILE: 300R1675.dwg
 PLUMBING PERMIT No. P423/2015 DRAWN BY: RG

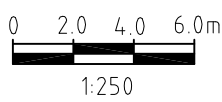
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-  DISCONNECTOR TRAP
-  SWIVEL JOINT
-  JUMP UP
-  AIR ADMITTANCE VALVE
-  OVERFLOW RELIEF GULLY
-  EXPANSION JOINT

- REFERENCE
- S.P. SOIL PIPE
 - V.P. VENT PIPE
 - S.V.P. SOIL VENT PIPE
 - I.O. INSPECTION OPENING
 - F.W.G. FLOOR WASTE GULLY
 - I.O.S. I.O. TO SURFACE

-  W.C. PEDESTAL
-  BATH
-  SHOWER
-  HANDBASIN
-  KITCHEN SINK
-  WASHTUBS
-  INDEXING VALVE
-  SPRINKLER HEAD



A3



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LAST AMENDMENT
 LAST PLOTTED : 10/10/2016
 LAST SAVED BY: GLENNR

ROCKHAMPTON CITY COUNCIL – SEWERAGE DEPARTMENT

BUILDING PERMIT No. 4208 D774/06 D775/06 RETICULATION AREA. 5

SEWERAGE HOUSE PLAN NO. S59-13-RA5 LAYOUT PLAN NO. DS. 534

DRAWN BY : RJD
PLOTTED ON : 18-4-02

PLAN OF DRAINAGE

P : _____ NH : _____
ACAD. FILE : s59-13-ra5

FOR R & A. VANDER HOEVEN SITE 199 DENISON STREET

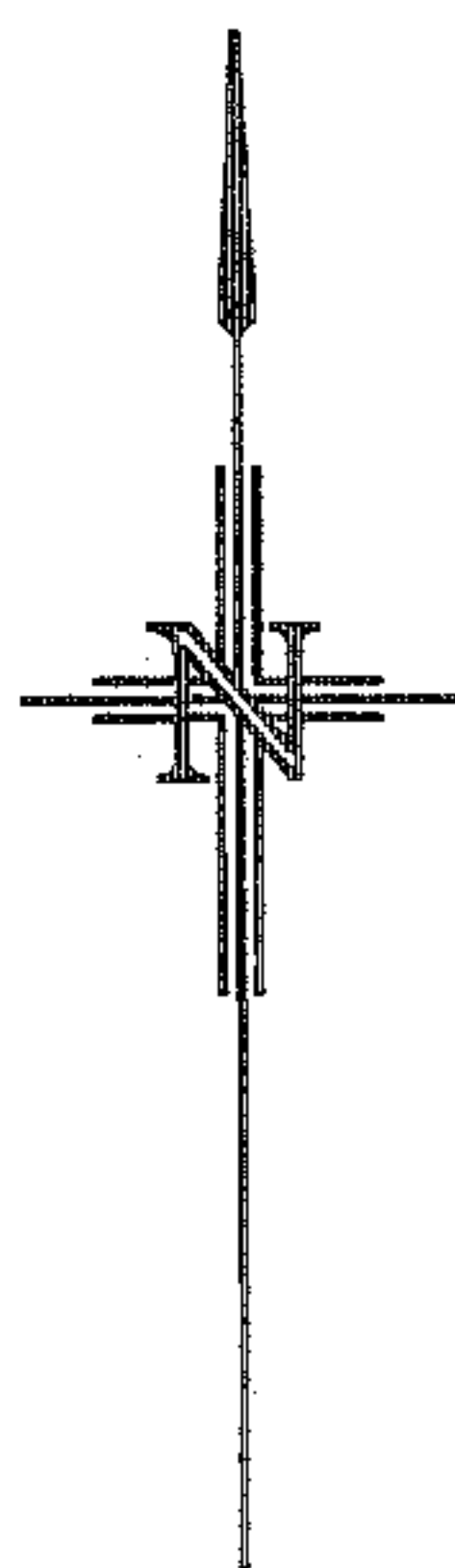
LOT No. 1 R.P. No. 600895 IN S59 SEC. _____ POR. R'TON PARISH _____

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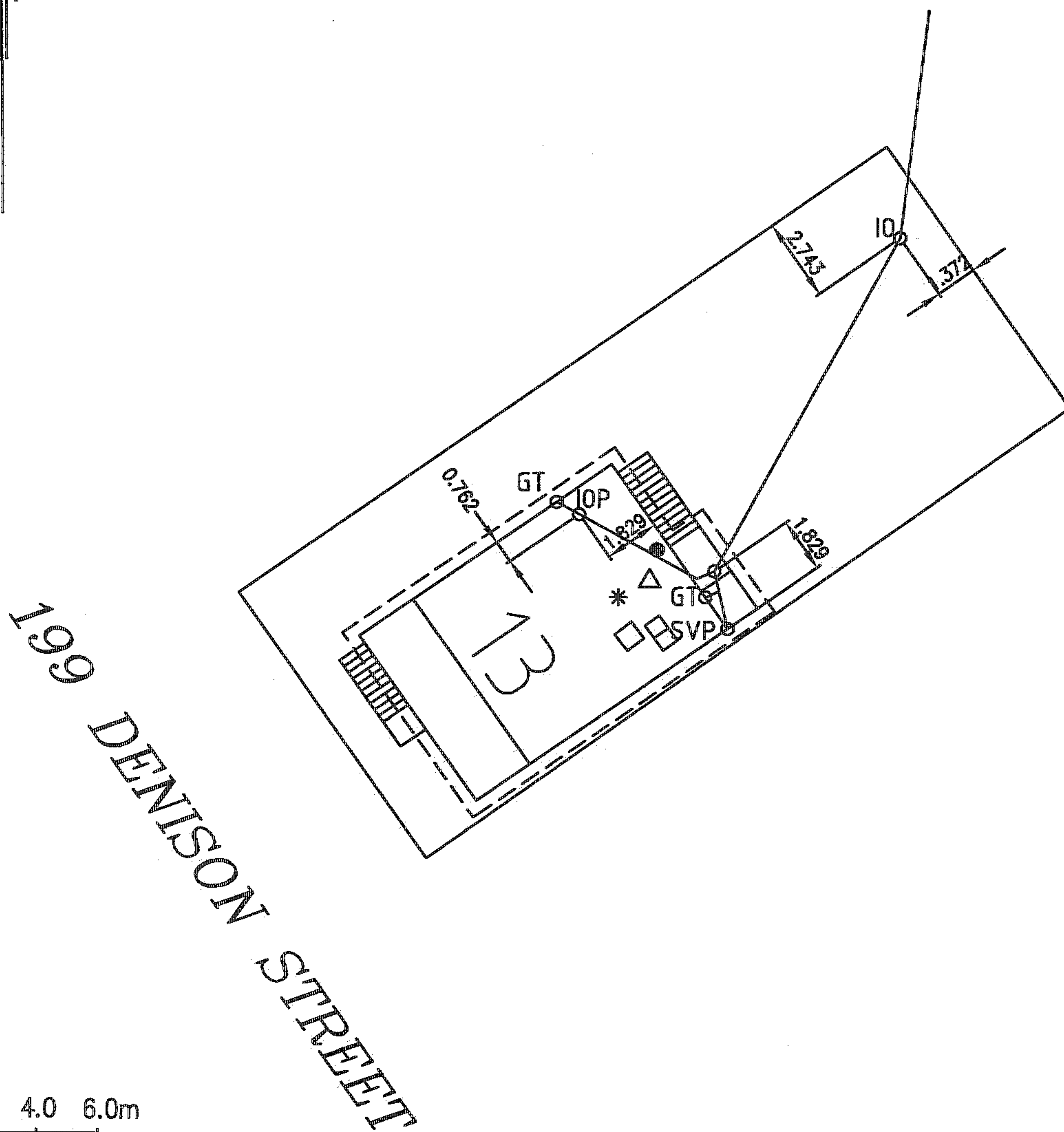
G.D.T. GULLY DISCONNECTOR TRAP
B.I.G.T. BACK-INLET GULLY TRAP
J.U. JUMP UP
I.C. INSPECTION CHAMBER
O.R.G. OVERFLOW RELIEF GULLY
P.Y. PLAIN Y-JUNCTION

S.P. SOIL PIPE
V.P. VENT PIPE
S.V.P. SOIL VENT PIPE
I.O. INSPECTION OPENING
F.W.G. FLOOR WASTE GULLY

● W.C. PEDESTAL
○ BATH
* SHOWER
△ HANDBASIN
□ KITCHEN SINK
▢ WASHTUBS



REFER TO BLOCKAGE
PLAN S59-14 & 19.



0 2.0 4.0 6.0m



1 : 250

NO.13

ROCKHAMPTON CITY COUNCIL – SEWERAGE DEPARTMENT

BUILDING PERMIT No. 5093-4265 RETICULATION AREA. 5
 SEWERAGE HOUSE PLAN NO. S59-19-RA5 LAYOUT PLAN NO. DS. 534

DRAWN BY : RJD
 PLOTTED ON : 18-4-02

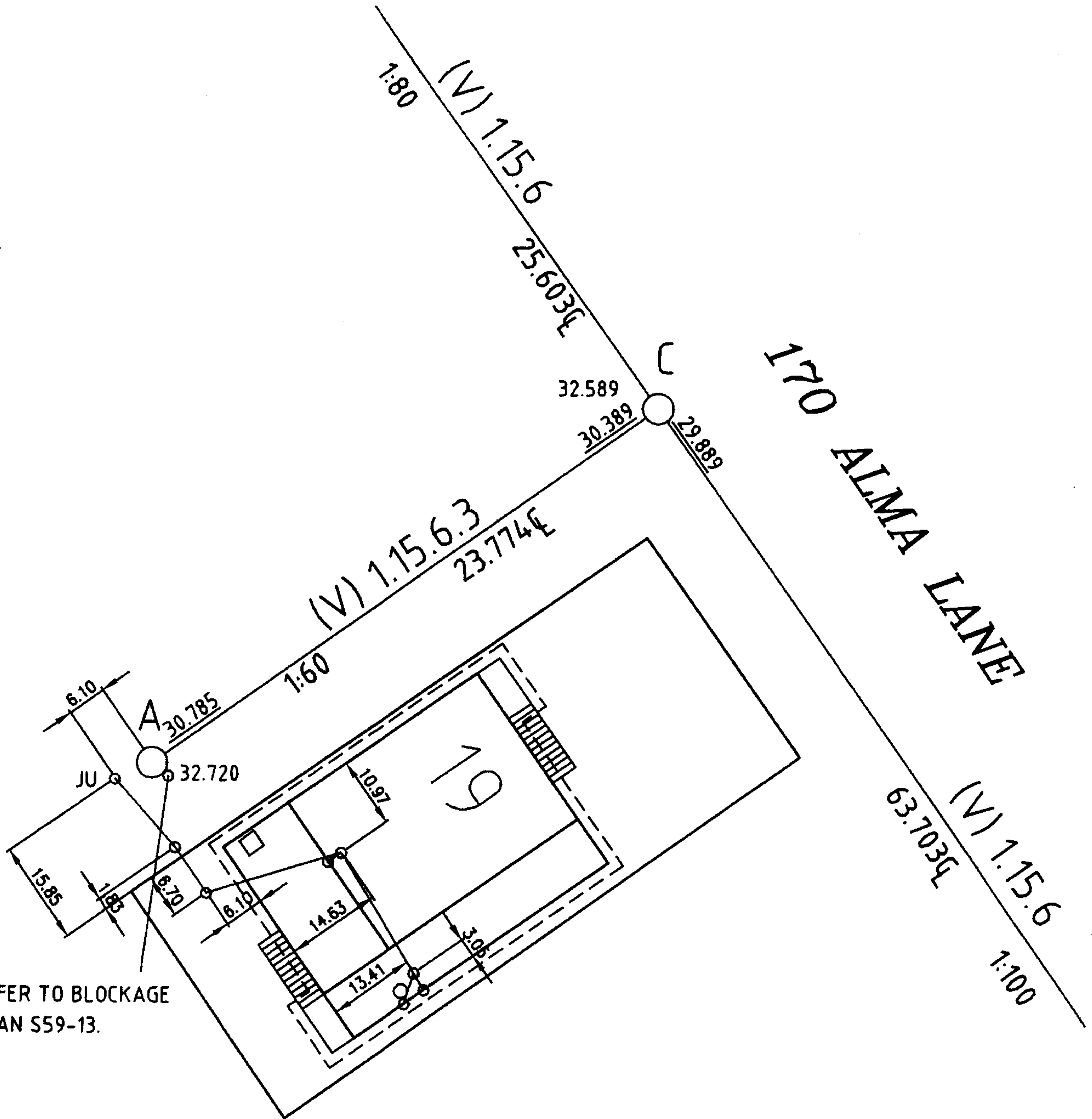
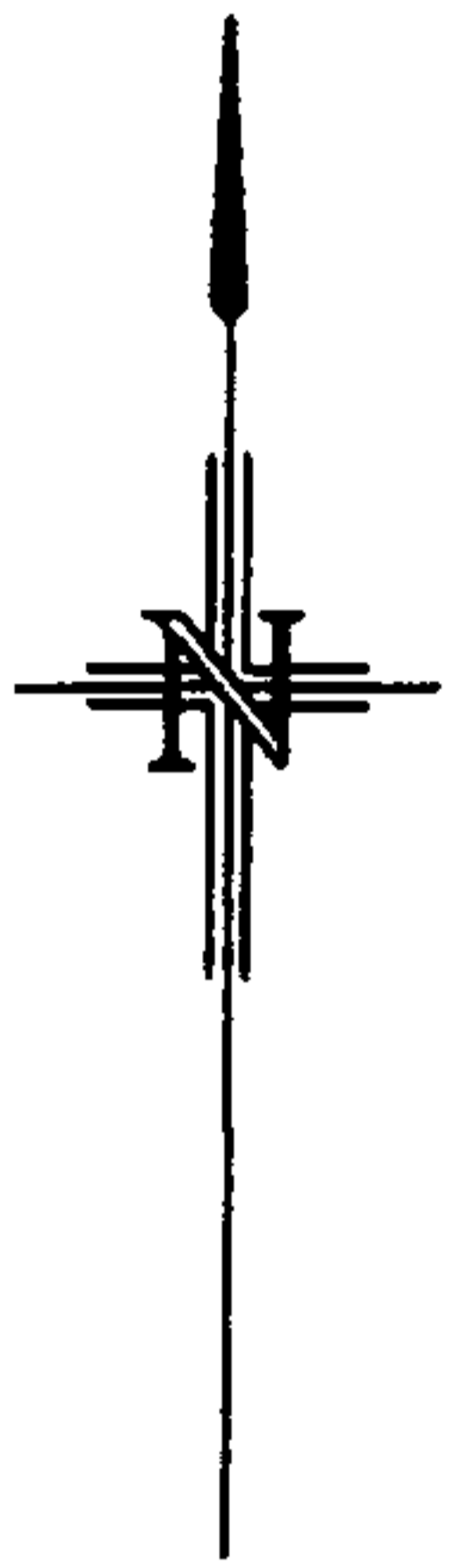
PLAN OF DRAINAGE

P : _____ NH : _____
 ACAD FILE : S59-19-RA5

FOR R. CARTHEW SITE 170 ALMA LANE
 LOT No. 2 R.P. No. 600895 IN S59 SEC _____ POR. R'TON PARISH _____

REFERENCE

G.D.T.	GULLY DISCONNECTOR TRAP	S.P.	SOIL PIPE	●	W.C. PEDESTAL
B.I.G.T.	BACK-INLET GULLY TRAP	V.P.	VENT PIPE	○	BATH
J.U.	JUMP UP	S.V.P.	SOIL VENT PIPE	*	SHOWER
I.C.	INSPECTION CHAMBER	I.O.	INSPECTION OPENING	△	HANDBASIN
O.R.G.	OVERFLOW RELIEF GULLY	F.W.G.	FLOOR WASTE GULLY	□	KITCHEN SINK
P.Y.	PLAIN Y-JUNCTION			▢	WASHTUBS



REFER TO BLOCKAGE
 PLAN S59-13.



1 : 250

NO.19

Appendix D

Entry & Exit Site Distance Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

24055REP01

Janes and Stewart Structures Pty Ltd

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120 William Street
PO Box 1072
Rockhampton QLD 4700

07 4922 1948

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LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	PROPOSED ASPHALT SEAL AREA
	PROPOSED CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING KERB
	PROPOSED BUILDING OUTLINE

ACCESS RECREATION OFFICE 0 2.5 10.0m 1:500

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 07 4922 1948
 janes.and.stewart@jsstructures.com.au
 ABN 30 620 233 025



SK06[1]	Project Number
24055	Date
27/08/2024	
DENISON STREET CROSSOVER SIGHT DISTANCE PLAN	

Stormwater Management Report

Access Recreation Office
189 & 197 Denison Street, Rockhampton

Designtek Pty Ltd

24055REP02

Janes and Stewart Structures Pty Ltd

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2024

24055REP02

Revision	Date	Revision Description	Author	Checked	Approval for issue for and on behalf of Janes and Stewart Structures Pty Ltd
A	19 September 2024	For Development Approval	JC	MD	 Matthew Dennis RPEQ 24862

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2.2 Proposed Development Case	5
2.3 Existing Case vs Proposed Development Comparison	7
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3.6 Treatment Nodes	11
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3.8 MUSIC Modelling Results	12
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Appendices

- A Existing Stormwater Catchment Plan
- B Proposed Stormwater Catchment Plan
- C Stormwater Management Plan
- D Stormwater Quality Catchment Plan
- E Stormwater Calculations

1 Introduction

Janes and Stewart Structural and Civil consultants have prepared this Stormwater Management Report in support of the Material Change of Use Application on behalf of our client, Designtek Pty Ltd. This report relates to the development of an office building for Access Recreation located at 189 & 197 Denison Street, Rockhampton. The development will also include a new off-street car park facility, pathway links connecting the office to the carpark and associated civil infrastructure. The rest of the site will be landscape or turfed areas. The development will take place over three existing lots with the real property description of these lots being lots 303 and 304 on RP905533 as well as lot 234 on CP892530. The existing buildings on these three allotments are to be demolished to make way for the proposed development.

This report intends to address stormwater drainage relating to the development works including an assessment of stormwater quantity and quality measures.

The locality of the subject site can be seen in the following illustration.



Figure 1 Locality Image (Image source: QLD Globe)

2 Stormwater Quantity

A review has been undertaken for the stormwater management of the development to ensure that no significant adverse impacts occur to adjacent and downstream properties and infrastructure from the proposed office development and to determine if any stormwater mitigation strategies are required as part of the development.

2.1 Existing Case

The existing site intended for this development is currently occupied by existing buildings spread over the three lots. One building on the site of 189 Denison Street currently serves as the Anglicare bargain store whilst the other buildings on the site are considered to be former residences associated with the Anglican church. One building is built over the boundary of the subject site with a neighbouring site. The existing residential dwelling at 197 Denison Street is also intended to be removed. The main characteristics of the site from a stormwater perspective are summarised below:

- The site has 6 existing buildings with grass/vegetation covering the remainder of the site.
- A crown exists through the site running in a similar direction to the streets.
- The site falls towards both Denison St & Alma Lane due to the crown.
- There is an existing stormwater drainage system in the Denison St, road reserve.
- An existing kerb inlet and access chamber is positioned adjacent the southern corner of the subject site on Denison Street which connects to a 1,050mm diameter RCP.
- This pipe connects to two 1,800mm diameter RCP's at Derby St which discharges to the Fitzroy River.
- There is no existing underground stormwater drainage system in Alma Lane.

An overview of the existing council-controlled stormwater system near the development site can be seen below:-



Figure 2 - Existing Stormwater Infrastructure – Shown in Green (Source: RRC Mapping)

Existing Catchments

The site-based catchments have been determined from a desktop analysis of aerial contours and detailed survey information. Catchment EX-1 falls towards Denison St and to the kerb inlet near the site. Catchment EX-2 falls to Denison St, after the kerb inlet near the site. Catchment EX-3 flows towards Alma Ln and then would continue down to Derby St. Refer to Appendix A for the Existing Site Catchment Plan. The stormwater characteristics of the catchment are shown in the table below including peak flow calculations for minor and major design storms determined using the Rational Method in accordance with the Queensland Urban Drainage Manual (QUDM) 2017:

Table 1 - Existing Catchment Runoff Table

Catchment ID	EX-1	EX-2	EX-3	Unit
Discharge Location	Denison St Kerb Inlet	Denison St	Alma Lane	
Catchment Area	0.2516	0.2012	0.4286	ha
Fraction Impervious	74.9	27.3	59.8	%
Critical Time of Concentration	15 ^[1]	15 ^[1]	15 ^[1]	minutes
Coefficient of Discharge (C10)	0.825	0.663	0.78	-
Minor Design Storm 10% AEP	0.082	0.053	0.132	m ³ /s
Major Design Storm 1% AEP	0.149	0.096	0.241	m ³ /s

[1] Time of Concentration taken as standard inlet time as per QUDM 4.6.4, Table 4.6.2

Kerb Inlets – Denison St

The kerb inlets in Denison St are CM Pits with both side and grate inlets. The kerb inlet capacity has been calculated from the design chart in Appendix E. The existing capacity for both the minor and major storm event are shown in the table below.

Table 2 - Kerb Capacity Table

Description	2.4m CM Kerb Inlet – 197 Denison St
Incoming Flow (10% AEP)	0.082 m ³ /s
Incoming Flow (1% AEP)	0.149 m ³ /s
Longitudinal Road Grade	1%
Road Cross Fall	2.5%
Inlet Capacity (10% AEP)	0.060 m ³ /s
Inlet Capacity (1% AEP)	0.095 m ³ /s

In both the 10% AEP and 1% AEP cases the inflow is larger than the capacity of the kerb inlet. Therefore, flow will bypass the kerb inlet and will continue overland flow down Denison St, towards Derby St.

Pipe Capacity & Surface Flow

Both kerb inlets connect to a 375mm diameter reinforced concrete pipe (RCP). Both of these pipes connect to the same 1,050mm diameter RCP in Denison Street. The full capacity at grade of these pipes and the available capacity during a minor storm event of the 375mm diameter pipes have been calculated and shown in the table below:

Table 3 – Existing Surface Flow Characteristics Table

Description	Minor Storm (10% AEP)	Major Storm (1% AEP)
Pipe	EX. 375mm Pipe – 197 Denison St	Ex. 375mm Pipe – 197 Denison St
Material	RCP	RCP
Grade ^[1]	1% (Assumed)	1% (Assumed)
Capacity at Grade (no head)	0.190m ³ /s	0.190 m ³ /s
Inflow (Kerb Inlet)	0.060m ³ /s	0.095m ³ /s
Available Capacity (EX. Pipe)	0.130m ³ /s	0.085m ³ /s
Bypass Flow (Kerb Inlet)	0.022m ³ /s	0.054m ³ /s
Surface Flow (EX-2)	0.053m ³ /s	0.096m ³ /s
Total Surface Flow	0.075m ³ /s	0.150m ³ /s

[1] In the absence of existing invert level for the existing stormwater system on Denison St, pipe gradients have been assigned to be the same as the longitudinal road grade.

The 1,050mm diameter RCP is a part of a much larger stormwater network. It is not practical to calculate the entire inflow or reserve capacity of this pipe when the size of the proposed development is much smaller when compared to the size of the catchment for this stormwater network.

In both the major and minor case, the flow into the existing 375mm stormwater pipe is restricted by the capacity of the kerb inlet. Considering the flow generated from catchment EX-1 is larger than the capacity of the kerb inlet, the excess flow will bypass the kerb inlet and continue on Denison St. Stormwater generated in catchment EX-2 will also discharge to the Denison St Road Reserve to the existing kerb and channel.

Road Capacity – Denison Street

Considering the kerb inlet located in Denison St does not have the capacity for the entire flow of catchments EX-1 and EX-2 in the minor and major case. It is expected the remaining flow will be channelled down Denison St. The capacity of the road has been calculated to find the expected depth of flow at the invert of the kerb and channel. Detailed calculations of the road capacity are shown in Appendix E. The table below shows the results of the road capacity:

Table 4 - Existing Road Flow

Description	Value	Unit
1% AEP surface flow ^[1]	0.150	m ³ /s
Flow depth in 1% AEP (eastern kerb line)	82	mm
Maximum approximate half road capacity	1.25	m ³ /s
Maximum flow depth before leaving road reserve	200	mm

[1] Surface flow is a combination of flow from EX-1 bypassing the kerb inlet and EX-2.

The road at this point of Denison St still has a significant amount of capacity. The flow at this point would still be contained within the kerb and channel. The road profile has been estimated from aerial contours and a desktop analysis of the critical dimensions of the Denison Street cross section adjacent the site.

2.2 Proposed Development Case

The proposed development consists of a two-storey office building, an off-street car park and pathway links associated. The stormwater drainage strategy for the site is proposed to incorporate a pit & pipe system under the car park, discharging to the existing 375mm diameter reinforced concrete pipe in Denison Street. This internal pit and pipe system is intended to convey surface run-off for the majority of the carpark area. The roofwater drainage for the new office building is also intended to connect to the new internal pit and pipe system. The preliminary pit and pipe network has been sized to convey the minor storm event (10% AEP) to the legal point of discharge, in this case being the Denison Street road reserve and the existing stormwater system contained the road corridor. It should be noted that the internal pit and pipe drainage system is subject to further detailed design and could vary from what is shown in this report. However, the overall intent and discharge arrangement is expected to remain the same as documented in this report.

With the introduction of the new pit and pipe system directly into the existing Council network, it is expected that the surface overland flow to Denison St and Alma Ln will reduce compared to the existing case. The proposed development will reduce the catchment discharging to Alma Lane. This is considered to be of benefit to all parties as Alma Lane does not have sufficient kerbs to channel water over the road and no underground stormwater infrastructure is currently in place within the lane.

The intended Stormwater Management Plan is shown in Appendix C of this report.

Proposed Catchments

The overall proposed catchment boundaries are similar to the existing overall catchments. The proposed development will change the flow path of stormwater slightly so there is a change to the catchment boundaries. The area impervious will also increase as expected with this development. The Proposed Catchment plan is shown in Appendix B and the proposed catchment characteristics are shown below:

Table 5 - Proposed Catchment Runoff Table

Catchment ID	PR-1	PR-2	PR-3	Unit
Discharge Location	Denison St Kerb Inlet ^[1]	Denison St Kerb Inlet ^[2]	Alma Lane	
Catchment Area	0.2567	0.2789	0.3458	ha
Fraction Impervious	62.8	82.3	58.3	%
Critical Time of Concentration	15 ^[3]	15 ^[3]	15 ^[3]	minutes
Coefficient of Discharge (C10)	0.788	0.85	0.775	
Minor Design Storm 10% AEP	0.080	0.094	0.106	m ³ /s
Major Design Storm 1% AEP	0.146	0.167	0.193	m ³ /s

[1] Flow will bypass to Denison St Road Reserve when kerb inlet capacity is exceeded.

[2] Minor Design Storm flow will travel through proposed pit and pipe system. When existing 375mm diameter pipe capacity is exceeded, flow will bypass to Denison St Road Reserve.

[3] Time of Concentration taken as standard inlet time as per QUDM 4.6.4, Table 4.6.2.

Site Pit and Pipe System

The site pit and pipe system is proposed to be installed within the car park area, with allowance for the building roofwater to connect to this system. The system will be within catchment PR-2, and will reduce the surface flow discharging over land towards Denison St.

The site outlet pipe discharging to the existing Council stormwater system is proposed to be a 375mm diameter pipe at a minimum grade of 0.5%, with the capacity of the pipe at this grade is 0.134m³/s. The capacity of this pipe is intended to be sufficient to convey the entire minor storm flow from catchment PR-2. The table below shows the capacity and flow into the existing 375mm pipe as well as the flow bypassing the existing Council stormwater system directly in front of the site:

Table 6 - Proposed Surface Flow Characteristics Table

Description	Minor Storm (10% AEP)	Major Storm (1% AEP)
Pipe	EX. 375mm Pipe – 197 Denison St	Ex. 375mm Pipe – 197 Denison St
Material	RCP	RCP
Grade ^[1]	1% (Assumed)	1% (Assumed)
Capacity at Grade (no head)	0.190m ³ /s	0.190 m ³ /s
Inflow (Kerb Inlet)	0.060m ³ /s	0.095m ³ /s
Inflow (New Pit & Pipe): PR-2	0.094m ³ /s	0.094m ³ /s ^[1]
Reserve Capacity (EX. Pipe)	0.036m ³ /s	0.001m ³ /s
Bypass Flow (Kerb Inlet)	0.020m ³ /s	0.124m ³ /s ^[2]
Bypass Flow (Pit & Pipe)	0.000m ³ /s	0.000m ³ /s
Total Bypass Flow	0.020m ³ /s	0.124m ³ /s

[1] Pit and Pipe System limited by the existing pipe capacity.

[2] Gap flow between 1% and 10% AEP from PR-2 and gap flow between 1% AEP from PR-1 and inflow from the kerb inlet

As shown in the table above, the existing 375mm diameter reinforced concrete pipe has enough capacity to cater for the entire flow from the pit and pipe system in catchment PR-2 in a minor storm event. In both major and minor events, the bypass flow will continue to run within the Denison St kerb and channel down towards the stormwater infrastructure near and in Derby St.

Road Capacity – Denison St

Similar to the existing case the kerb inlet located in Denison St does not have the capacity for the entire flow of catchments PR-1 and PR-2 in the minor and major storm event. It is expected the bypassing flow will be channelled down Denison St. The flow depth has again been calculated for this. Detailed calculations of the road capacity are shown in Appendix E. The table below shows the results of the road capacity:

Table 7 - Proposed Road Flow

Description	Value	Unit
1% AEP surface flow ^[1]	0.124	m ³ /s
Flow depth in 1% AEP (eastern kerb line)	76	mm
Maximum approximate half road capacity	1.25	m ³ /s
Maximum flow depth before leaving road reserve	200	mm

[1] Surface flow is a combination of flow from PR-1 bypassing the kerb inlet and PR-2 bypassing the pit and pipe system.

As shown by the table above, there is sufficient capacity in the half road width of Denison St to cater for the 1% AEP bypassing flow for the catchments contributing to this road section directly adjacent the site. The existing kerb and channel for this section of Denison St is approximately 150mm high and therefore the bypassing flow is contained within the kerb and channel with flow depth calculated to be 76mm.

2.3 Existing Case vs Proposed Development Comparison

When comparing the site between the pre-developed and post-developed stages, it is seen that the proposed development does not worsen the impacts of stormwater on both neighbouring properties or council infrastructure. The development of this site does slightly increase the flow produced in the catchments from pre-development to post development due to the increase in impervious area of the site. However, by utilising the reserve capacity of the existing 375mm reinforced concrete pipe and conveying the 10% AEP minor storm runoff from the site directly to the existing underground stormwater drainage system, the surface flows are reduced.

The following table shows the comparison between the surface flow in both the Denison Street and Alma Lane road reserves:

Table 8 - Surface Flow Comparison

Location	Description	Measurement	Existing	Proposed	Difference	Unit
Denison St	10% AEP	Surface Flow	0.075	0.020	-0.055	m ³ /s
	1% AEP	Surface Flow	0.150	0.124	-0.026	m ³ /s
		Flow Depth	82	76	-6	mm
Alma Lane	10% AEP	Surface Flow	0.132	0.106	-0.026	m ³ /s
	1% AEP	Surface Flow	0.241	0.193	-0.048	m ³ /s

From the above it is clear that the surface flow is reduced from the pre to post-developed case for both Denison St & Alma Lane due to utilising the available pipe capacity in Denison St in the proposed case.

Analysis of flow to the 1,050mm diameter RCP shows the increase in flow created from the development of the site in a minor storm event is only equal to approximately 3.5% of the pipe's on grade capacity. Furthermore, the critical time of concentration for this pipe is much longer than the 15 minute standard inlet time used for this site. This is due to the length of the upstream portion of this pipe network and the associated catchment of the upstream network. This means the peak flow calculated for this site does not coincide with the peak flow for the 1,050mm diameter pipe. The flow from the proposed site catchment would contribute a much lesser quantity during the peak flow of the 1,050mm RCP than calculated in the earlier sections of this report.

Based on the above, we believe no stormwater mitigation measures such as detention are required to be incorporated into the proposed stormwater system.

3 Stormwater Quality

The stormwater quality assessment for the proposed development has been based on the requirements listed in the State Planning Policy (SPP) – July 2017 under the Water Quality section. The developed area of the site is over the 2,500m² area threshold stated within the SPP July 2017 and the total impervious area of the re-developed site will be greater than 25%. Therefore, the stormwater quality assessment benchmarks are triggered for an MCU development application under the SPP July 2017 for this project.

It is expected that the proposed development of the office building and associated infrastructure will generate stormwater pollutants that are exported from the subject site. A treatment train of suitable Stormwater Quality Improvement Devices (SQID's) has been proposed to intercept and capture the pollutants associated with the proposed development, so that the potential impacts external to the subject site will be adequately mitigated to achieve the target Water Quality Objectives (WQO's).

This section discusses:

- The identification of key stormwater pollutants associated with the proposed development;
- The Water Quality Objectives (WQO's) identified for the catchments;
- Proposed measures to mitigate the increase in pollutant export; and
- Modelling of the proposed measures and comparison to the identified WQO's.

Water quality modelling was undertaken with Model for Urban Stormwater Improvement Conceptualisation (MUSIC), generally in accordance with the Water By Design Music Modelling Guidelines (2018).

3.1 Pollutants of Concern

Pollutants typically generated during the operational phase of a development are as follows:

- Litter
- Sediment
- Oxygen demanding substances (possibly present)
- Nutrients (N & P)
- Pathogens/Faecal Coliforms
- Hydrocarbons
- Heavy Metals (often associated with the fine sediment)
- Surfactants
- Organochlorines & organophosphates
- Thermal Pollution
- pH altering substances

3.2 Water Quality Objectives

The load reduction WQO's presented in the table below have been extracted from Table B of the Queensland State Planning Policy (SPP) (July 2017) for the Central Queensland (south) climatic region.

Table 9 - Load Reduction Water Quality Objective Targets

Region	Total Suspended Solids (kg/yr)	Total Phosphorus (kg/yr)	Total Nitrogen (kg/yr)	Gross Pollutants (kg/yr)
Central QLD (south)	85%	60%	45%	90%

Source: Table B – Queensland State Planning Policy (July 2017)

3.3 Water Quality Management Strategy

As stated within previous sections of this report, a new internal pit and pipe stormwater drainage system is intended to be installed underneath the car park area as part of the office development. The site layout and spatial requirements limits the ability for any significant surface water quality treatment systems (i.e. bio retention). Therefore, it is proposed to include a proprietary in-ground stormwater quality treatment system as part of the internal pit and pipe drainage network discharging to the stormwater infrastructure on Denison Street, adjacent the site.

The stormwater quality catchments are shown on the stormwater quality catchment plan included in Appendix D of this report.

3.4 Meteorological and Rainfall Data

Six-minute pluviographic (rainfall) data was sourced from the Bureau of Meteorology (BOM) for Rockhampton. A ten (10) year data set from 31/03/2000 to 31/03/2010 was adopted due to the consistency in data over this period. Monthly evapotranspiration data for the period was sourced from the Bureau of Meteorology and entered into the MUSIC Model. The following image shows the rainfall and evapotranspiration pattern used and the table summarises key data for the modelling:

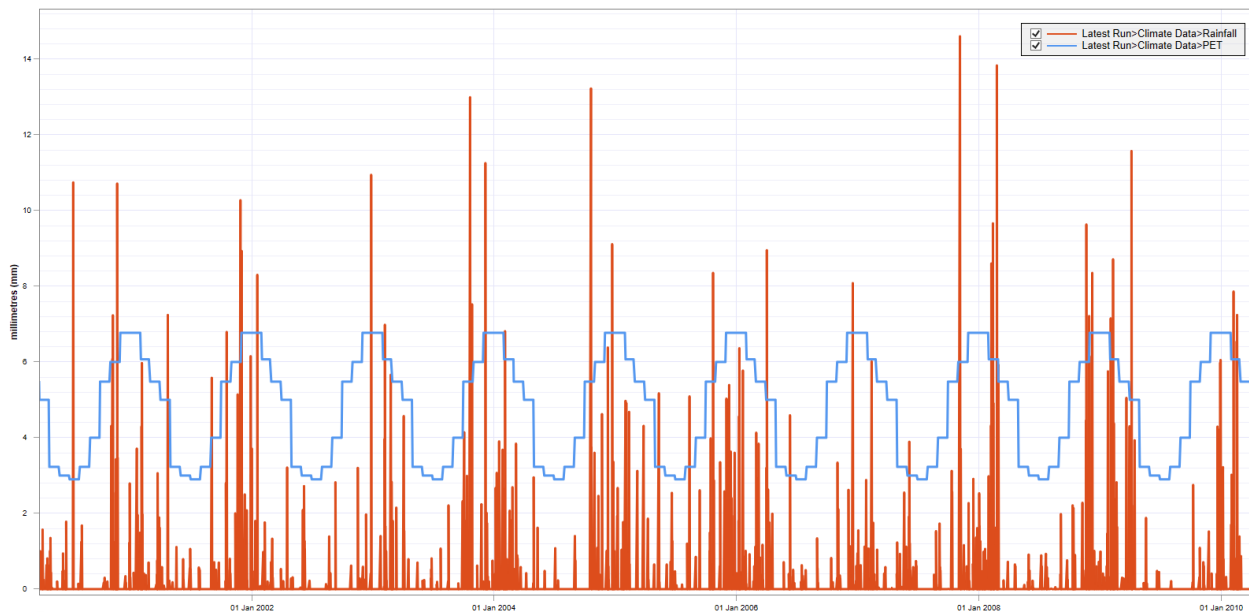


Figure 3 Rainfall and Evapotranspiration Pattern

Table 10 - Meteorological and Rainfall Runoff Data Table

Input	Data Used in Modelling
Rainfall Station	Rockhampton: BOM Station ID 039083
Time Step	6 Minute
Modelling Period	31/03/2000 to 31/03/2010
Rainfall runoff parameters	Commercial
Pollutant export parameters	Commercial

3.5 Source Nodes

Source nodes utilised for the proposed office development were assigned as commercial in nature with all Rainfall-Runoff parameters and concentration parameters being in accordance with the Water by Design MUSIC Modelling Guidelines – November 2018. A total of four (4) water quality catchments were used for modelling as shown on the catchment plan in Appendix D of this report. Catchment WQ2 covers the roof section of the office building & catchment WQ3 covers the car park, road section. The remaining catchments are for the ground area of the site. The following table provides a summary of the details for each source node:

Table 11- Catchment Definition Reporting Table

ID	Area (ha)	% Impervious	Description	Land Use
WQ1	0.0242	24	Ground	Commercial
WQ2	0.0720	100	Roof	Commercial
WQ3	0.1479	100	Road	Commercial
WQ4	0.0459	9.3	Ground	Commercial

3.6 Treatment Nodes

A number of different scenarios were investigated during the design process through trialling various methods of stormwater quality treatment including bio-retention basins and in-ground proprietary treatment systems. With the limitations of available depth to successfully outlet stormwater to the legal points of discharge, the adopted treatment incorporates an in ground proprietary treatment system as part of the internal pit and pipe network, just prior to discharge from the site. Each of the modelled water quality catchments discharge to a treatment node except WQ4 which is a combination of small grassed areas around the site which will bypass stormwater quality treatment. This catchment will discharge directly to the road reserve. The following table provides a summary of the parameters for each of the treatment nodes in the water quality system:

Table 12 - In Ground Proprietary Treatment System

Description	Details
In-Ground Proprietary Treatment System	Modelled using Atlan flow filter with 9 cartridge filters ¹
Litter Baskets	Modelled using 2 x Stormsacks ¹

¹The modelling has been completed using Atlan stormwater quality treatment products. Other equivalent stormwater quality treatment products by other manufacturers may be considered to achieve treatment targets during the further detailed design phase of the project.

3.7 MUSIC Model

The following extract has been provided from the MUSIC model displaying the treatment train adopted for the site:

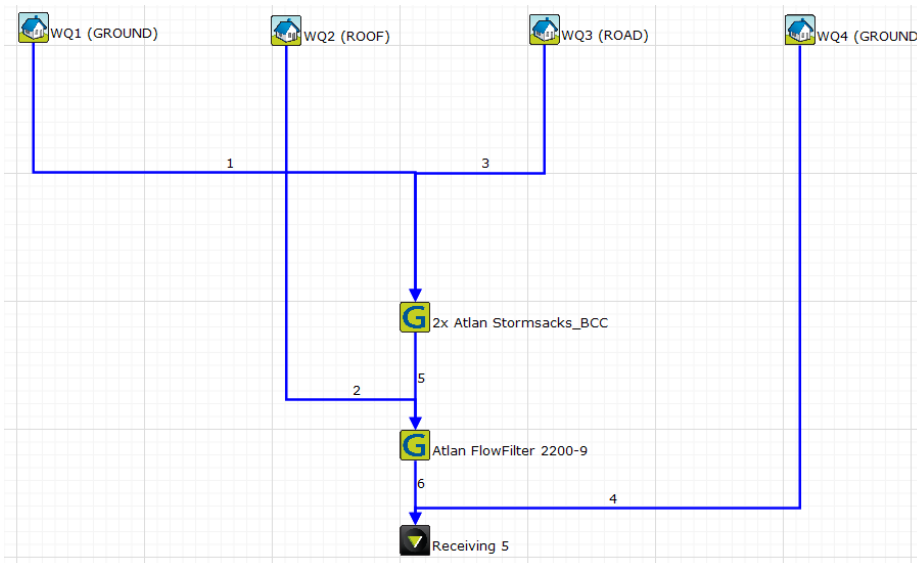


Figure 4 Adopted MUSIC Model

3.8 MUSIC Modelling Results

The development has been considered holistically for water quality analysis. The results from the MUSIC model at the receiving node, including the proposed treatment measures are shown below. The achieved percentage reductions in pollutants are compared with the water quality objective targets outlined in the State Planning Policy – July 2017.

Table 13 - MUSIC Modelling Results - Receiving Node

Description	Sources	Residual Load	% Reduction	Water Quality Objectives (%)
Flow (ML/yr)	1.524	1.524	0.00	
Total Suspended Solids (kg/yr)	406.6	53.51	85	85
Total Phosphorus (kg/yr)	0.8002	0.2615	65	60
Total Nitrogen (kg/yr)	4.846	2.171	53	45
Gross Pollutants (kg/yr)	33.39	0.504	97	90

As shown in the above table, the proposed treatment strategy successfully meets the water quality objectives for pollutant removal of Total Suspended Solids, Total Phosphorus, Total Nitrogen and Gross Pollutants.

4. Conclusion

There appears to be no insurmountable difficulties in relation to the stormwater management proposal for the new office development for Access Recreation located at 189 & 197 Denison Street, Rockhampton.

Stormwater Quantity and Quality for the development has been assessed with the following conclusions determined:

- An existing 375mm diameter stormwater pipe in the Denison St road reserve has additional capacity with only one kerb inlet connected. Upon review this pipe has enough capacity to convey the entire 10% AEP peak flow from catchment PR-2.
- The proposed stormwater strategy allows a reduction in surface flow to Denison St, by the proposed site pit and pipe system, and Alma Lane by proposed site earthworks and finished surface grading.
- No negative impacts on council infrastructure are expected due to the existing, remaining capacity of the existing infrastructure.
- No stormwater detention or upgrades to council infrastructure are required.
- Stormwater quality has been reviewed in accordance with the State Planning Policy – July 2017 (SPP). The use of an in ground proprietary device is incorporated into the site stormwater strategy to ensure that the development complies with the pollutant load reduction provisions within the SPP.

If you should have any questions regarding this report, please do not hesitate to contact the office of Janes and Stewart Structures Pty Ltd (07) 4922 1948.

Appendix A

Existing Stormwater Catchment Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

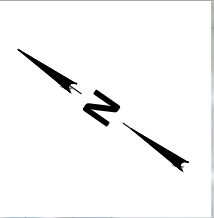
24055REP02

Janes and Stewart Structures Pty Ltd

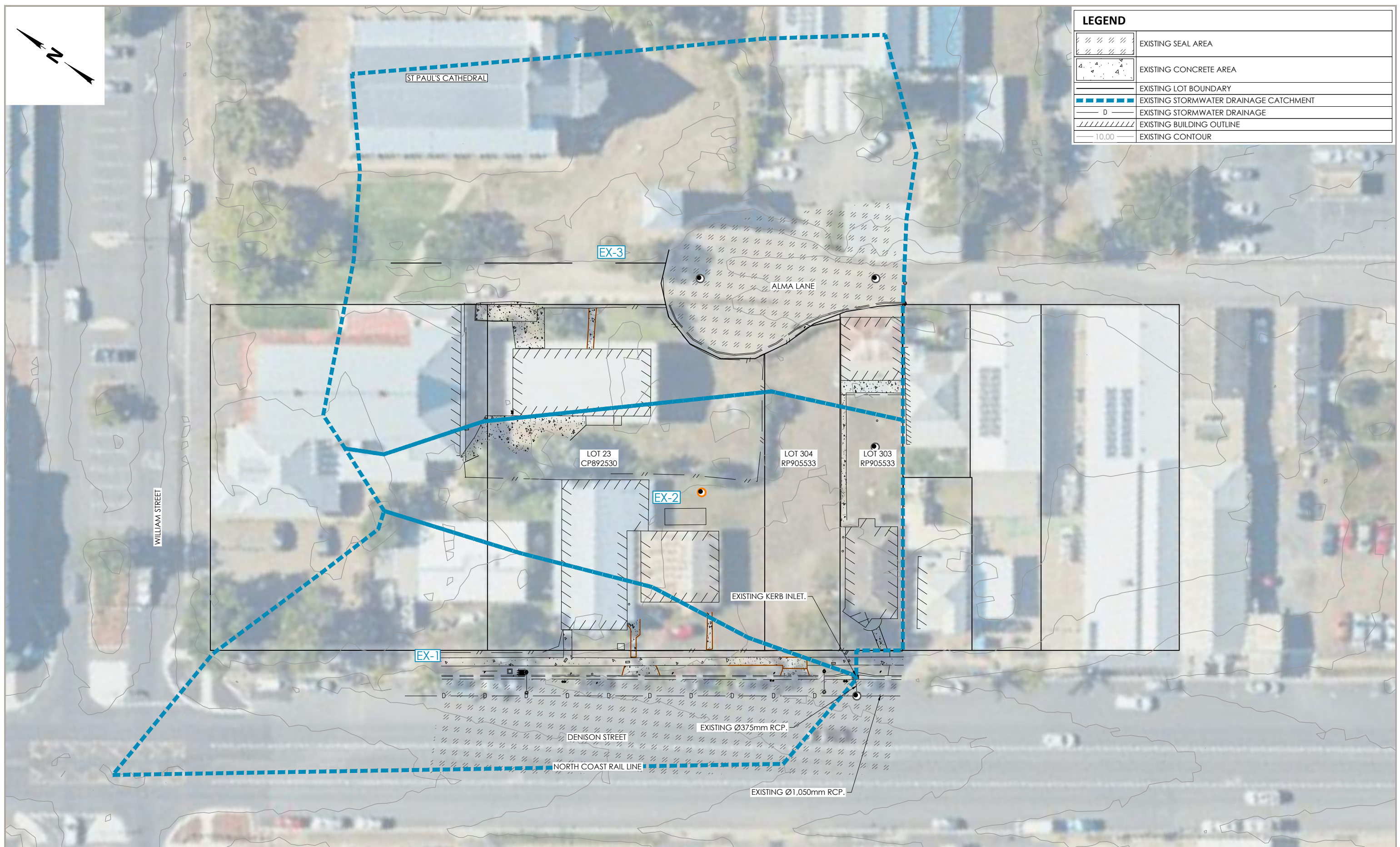
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120 William Street
PO Box 1072
Rockhampton QLD 4700

07 4922 1948

jan.es.and.stewart@jsstructures.com.au

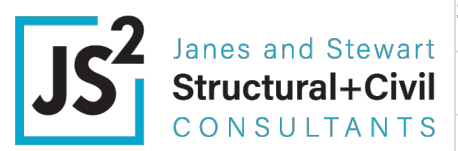


LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING STORMWATER DRAINAGE CATCHMENT
	EXISTING STORMWATER DRAINAGE
	EXISTING BUILDING OUTLINE
	EXISTING CONTOUR



ACCESS RECREATION OFFICE 0 2.5 10.0m 1:500

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 Rockhampton 4700
 07 4922 1948
 janes.and.stewart@jsstructures.com.au
 ABN 30 620 233 025



SK02[1] Project Number
 24055 Date
 27/08/2024

EXISTING CATCHMENT PLAN

Appendix B

Proposed Stormwater Catchment Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

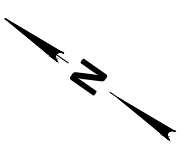
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Janes and Stewart Structures Pty Ltd

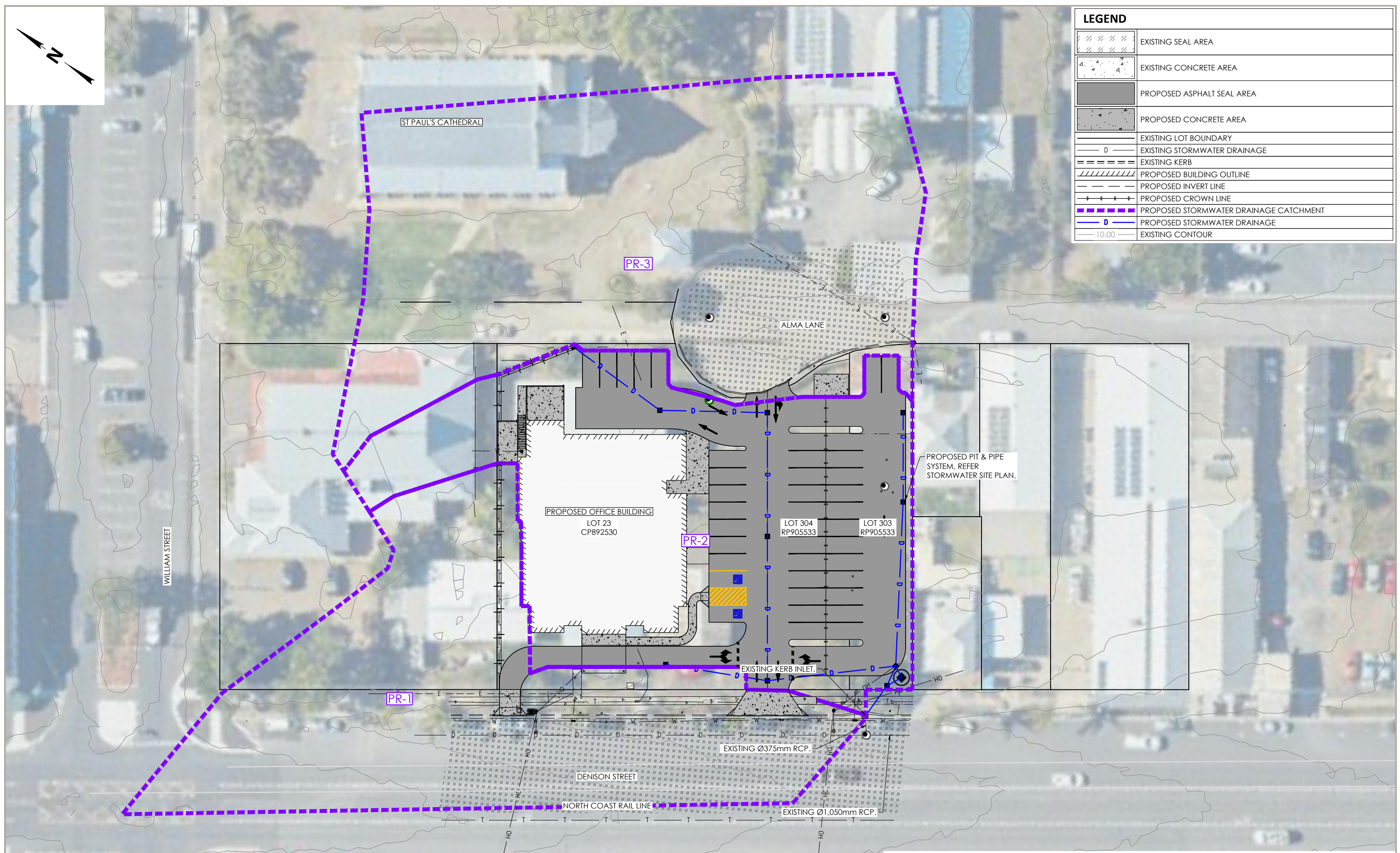
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120 William Street
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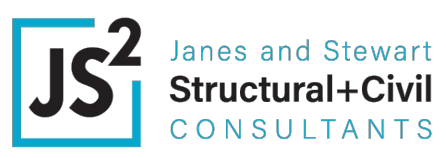


LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	PROPOSED ASPHALT SEAL AREA
	PROPOSED CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING STORMWATER DRAINAGE
	EXISTING KERB
	PROPOSED BUILDING OUTLINE
	PROPOSED INVERT LINE
	PROPOSED CROWN LINE
	PROPOSED STORMWATER DRAINAGE CATCHMENT
	PROPOSED STORMWATER DRAINAGE
	10.00 EXISTING CONTOUR



ACCESS RECREATION OFFICE 0 2.5 10.0m 1:500

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SK03[1]	Project Number
	24055 Date
	27/08/2024
PROPOSED CATCHMENT PLAN	

Appendix C

Stormwater Management Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

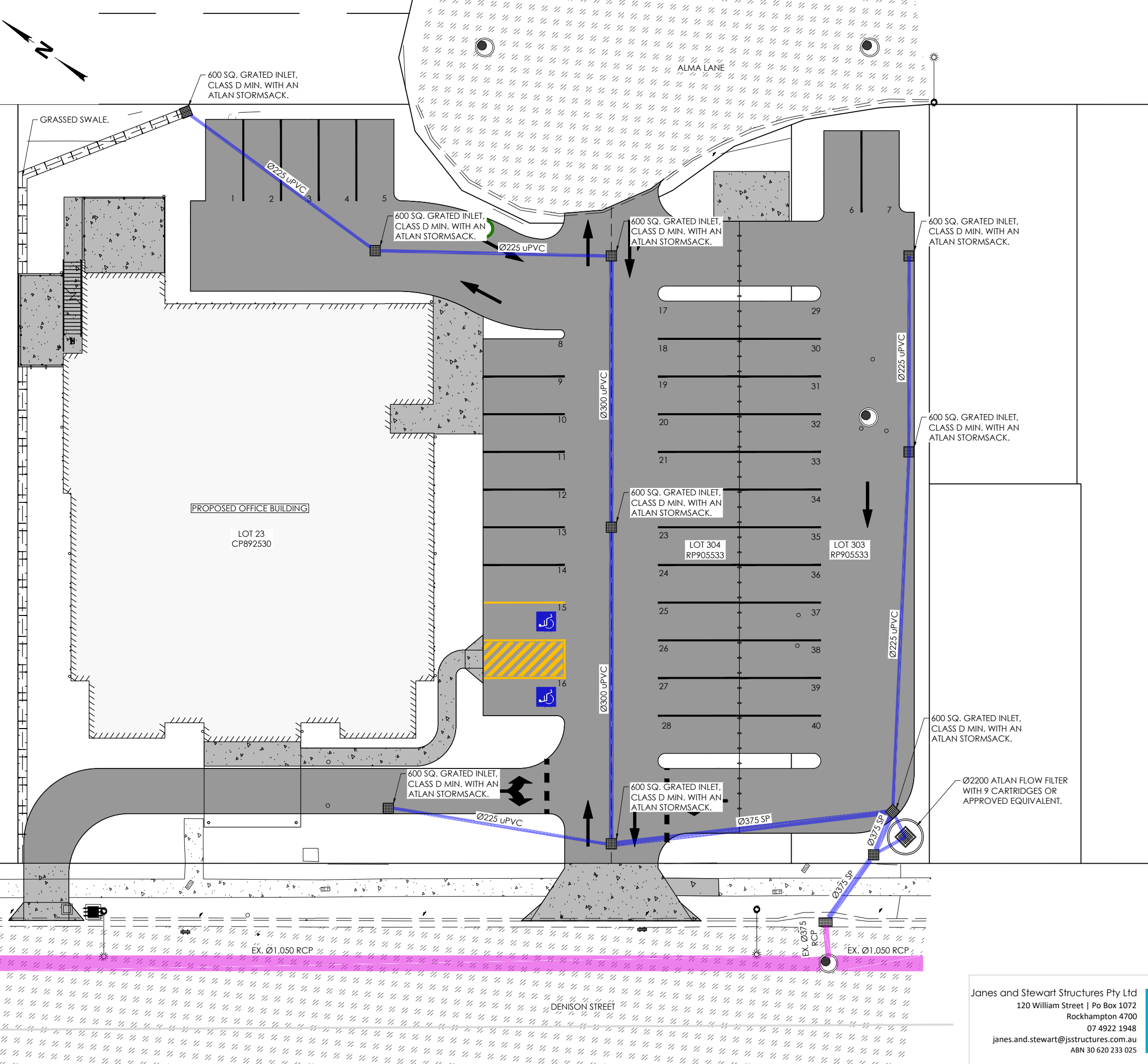
24055REP02

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LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	PROPOSED ASPHALT SEAL AREA
	PROPOSED CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING STORMWATER DRAINAGE
	EXISTING KERB
	EXISTING STORMWATER DRAINAGE (DIA. AS NOTED)
	PROPOSED INVERT LINE
	PROPOSED CROWN LINE
	PROPOSED BUILDING OUTLINE
	PROPOSED STORMWATER DRAINAGE (DIA. AS NOTED)

ACCESS RECREATION OFFICE 0 1.25 5.0m 1:250

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SK04[1]	Project Number
24055	Date
27/08/2024	Date
STORMWATER MANAGEMENT PLAN	

Appendix D

Stormwater Quality Catchment Plan

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

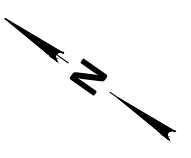
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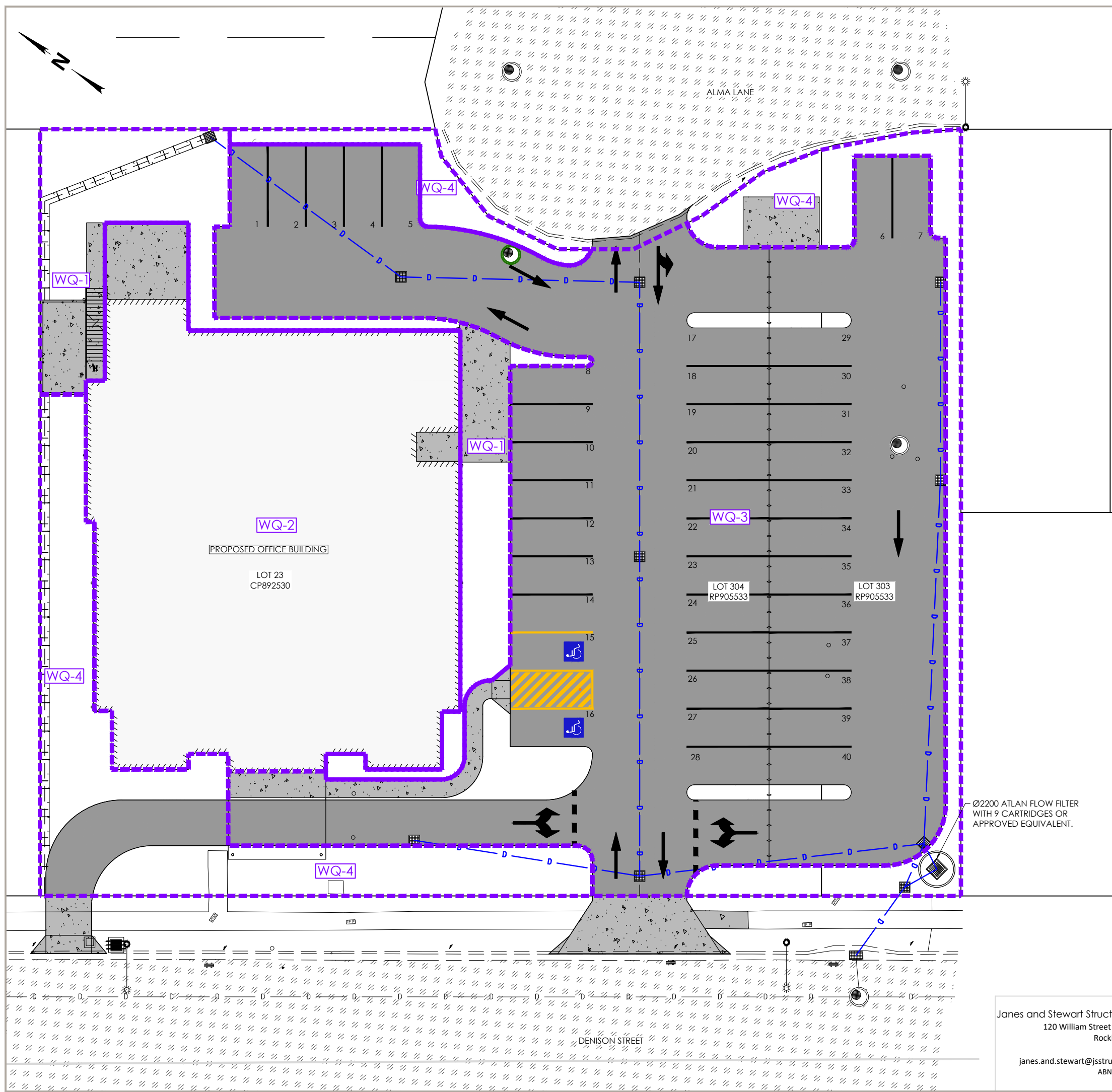
ABN: 30 620 233 025
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LEGEND	
	EXISTING SEAL AREA
	EXISTING CONCRETE AREA
	PROPOSED ASPHALT SEAL AREA
	PROPOSED CONCRETE AREA
	EXISTING LOT BOUNDARY
	EXISTING STORMWATER DRAINAGE
	EXISTING KERB
	PROPOSED BUILDING OUTLINE
	PROPOSED INVERT LINE
	PROPOSED CROWN LINE
	PROPOSED STORMWATER DRAINAGE CATCHMENT
	PROPOSED STORMWATER DRAINAGE



ACCESS RECREATION OFFICE 0 2.5 10.0m 1:500

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SK05[1]	Project Number
24055	Date
27/08/2024	Date
PROPOSED QUALITY CATCHMENT PLAN	

Appendix E

Stormwater Calculations

Access Recreation Office
189 & 197 Denison Street, Rockhampton
Designtek Pty Ltd

24055REP02

Janes and Stewart Structures Pty Ltd

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Catchment EX-1

Catchment Parameters

Catchment Name EX-1

Job No: 24055

Name Access Rec

Date: 3/09/2024

Catchment Area 0.2516 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

(mm/h)

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q ₂	0.002778	0.701	91.3	0.2516	0.045	0.85
Q ₅	0.002778	0.784	121	0.2516	0.066	0.95
Q _{10 - minor}	0.002778	0.825	142	0.2516	0.082	1
Q ₂₀	0.002778	0.866	163	0.2516	0.099	1.05
Q ₅₀	0.002778	0.949	193	0.2516	0.128	1.15
Q _{100 - Major}	0.002778	0.990	216	0.2516	0.149	1.2

C10 value 0.825

Fi value 74.9 % = 0.749 Fi

Assumptions:

AREA, FI=100% : 1884m², TOTAL=2516m², FI=74.9%

Catchment EX-2

Catchment Parameters

Catchment Name EX-2

Job No: 24055
 Name Access Rec
 Date: 19/09/2024

Catchment Area 0.2012 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

(mm/h)

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q ₂	0.002778	0.564	91.3	0.2012	0.029	0.85
Q ₅	0.002778	0.630	121	0.2012	0.043	0.95
Q _{10 - minor}	0.002778	0.663	142	0.2012	0.053	1
Q ₂₀	0.002778	0.696	163	0.2012	0.063	1.05
Q ₅₀	0.002778	0.762	193	0.2012	0.082	1.15
Q _{100 - Major}	0.002778	0.796	216	0.2012	0.096	1.2

C10 value 0.663

Fi value 27.3 % = 0.273 Fi

Assumptions:

AREA, FI=100% : 549m², TOTAL=2012m², FI=27.3%

Catchment EX-3

Catchment Parameters

Catchment Name EX-3

Job No: 24055
 Name Access Rec
 Date: 3/09/2024

Catchment Area 0.4286 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

(mm/h)

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q ₂	0.002778	0.663	91.3	0.4286	0.072	0.85
Q ₅	0.002778	0.741	121	0.4286	0.107	0.95
Q _{10 - minor}	0.002778	0.780	142	0.4286	0.132	1
Q ₂₀	0.002778	0.819	163	0.4286	0.159	1.05
Q ₅₀	0.002778	0.897	193	0.4286	0.206	1.15
Q _{100 - Major}	0.002778	0.936	216	0.4286	0.241	1.2

C10 value 0.78

Fi value 59.8 % = 0.598 Fi

Assumptions:

AREA, FI=100% : 2562m², TOTAL=4286m², FI=59.8%

Catchment PR-1

Catchment Parameters

Catchment Name PR-1

Job No: 24055
 Name Access Rec
 Date: 3/09/2024

Catchment Area 0.2567 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q ₂	0.002778	0.670	91.3	0.2567	0.044	0.85
Q ₅	0.002778	0.749	121	0.2567	0.065	0.95
Q _{10-Minor}	0.002778	0.788	142	0.2567	0.080	1
Q ₂₀	0.002778	0.827	163	0.2567	0.096	1.05
Q ₅₀	0.002778	0.906	193	0.2567	0.125	1.15
Q _{100 - Major}	0.002778	0.946	216	0.2567	0.146	1.2

C10 value 0.788

Fi value 62.8 % = 0.628 Fi

Assumptions:

AREA, FI=100% : 1613m², TOTAL=2567m², FI=62.8%

Catchment PR-2

Catchment Parameters

Catchment Name PR-2

Job No: 24055
 Name Access Rec
 Date: 19/09/2024

Catchment Area 0.2789 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q ₂	0.002778	0.723	91.3	0.2789	0.051	0.85
Q ₅	0.002778	0.808	121	0.2789	0.076	0.95
Q _{10-minor}	0.002778	0.850	142	0.2789	0.094	1
Q ₂₀	0.002778	0.893	163	0.2789	0.113	1.05
Q ₅₀	0.002778	0.978	193	0.2789	0.146	1.15
Q _{100 - Major}	0.002778	1.000	216	0.2789	0.167	1.2

C10 value 0.85

Fi value 82.3 % = 0.823 Fi

Assumptions:

AREA, FI=100% : 2294m², TOTAL=2789m², FI=82.3%

Catchment PR-3

Catchment Parameters

Catchment Name PR-3

Job No: 24055
 Name Access Rec
 Date: 3/09/2024

Catchment Area 0.3458 Ha

Total Tc 15 mins standard inlet time, 15min

Runoff Calculation (Rational method)

Rainfall Intensity Table

ARI	1 year	2 years	5 years	10 years	20 years	50 years	100 years
15min	82.1	91.3	121	142	163	193	216

	factor	co eff	mm/hr	ha	m ³ /sec	factor
Q2- Minor	0.002778	0.659	91.3	0.3458	0.058	0.85
Q5	0.002778	0.736	121	0.3458	0.086	0.95
Q10	0.002778	0.775	142	0.3458	0.106	1
Q20	0.002778	0.814	163	0.3458	0.127	1.05
Q50	0.002778	0.891	193	0.3458	0.165	1.15
Q100 - Major	0.002778	0.930	216	0.3458	0.193	1.2

C10 value 0.775

Fi value 58.3 % = 0.583 Fi

Assumptions:

AREA, FI=100% : 2015m², TOTAL=3458m², FI=58.3%

19/09/2024

Access Recreation Office
Existing Case
24055
 Q₁₀₀ Drainage Calculations

Denison St Road Reserve

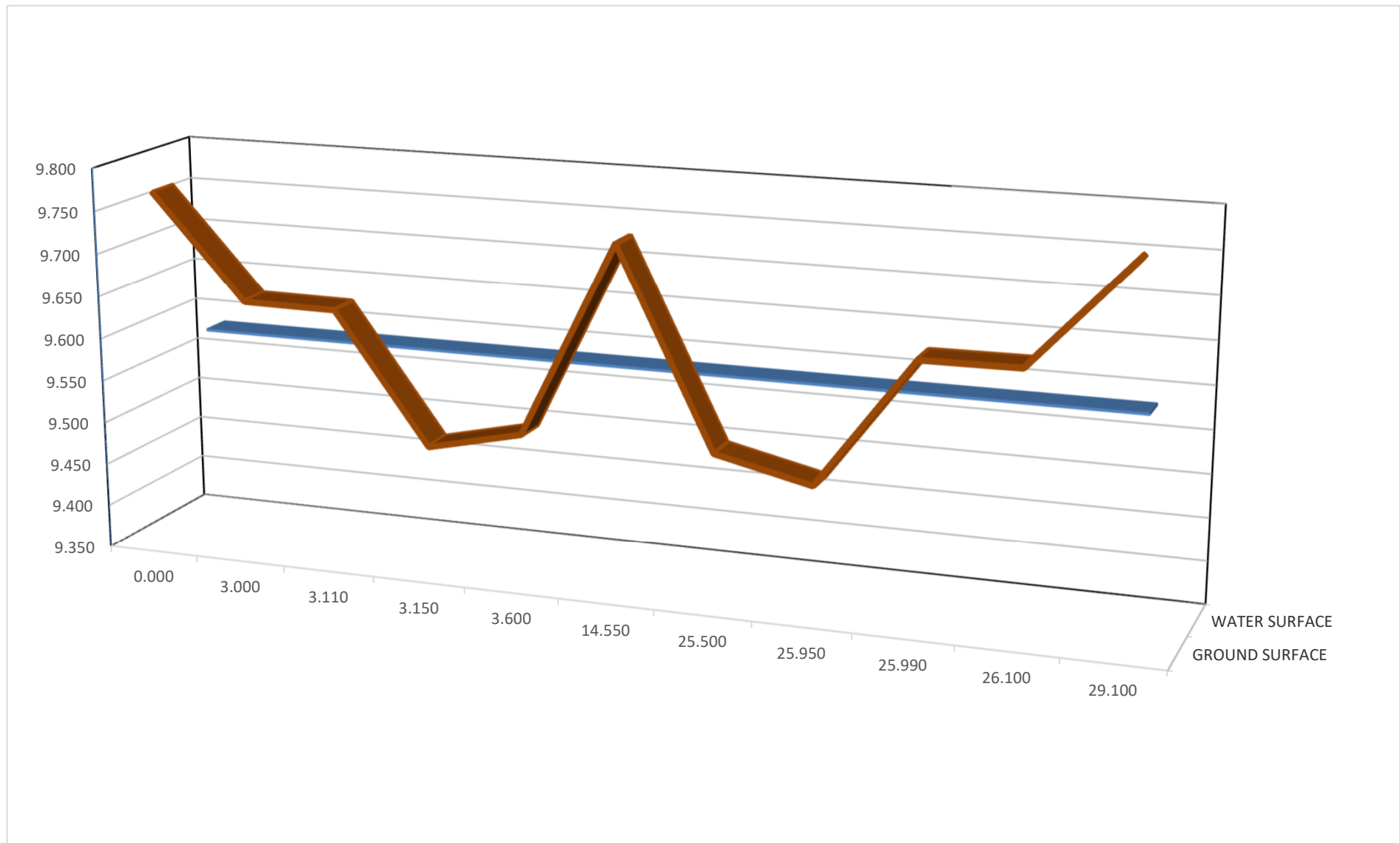
Water Level = 9.582 m

Chainage 1	RL1 (m)	RL2 (m)	W (m)	Ch	Bank Slope	n	WSL	Depth 1 (m)	Depth 2 (m)	Width (m)	Area (m ²)	p (m)	q (m ³ /sec)	V (m/sec)	Slope (%)	D x V
	9.770	9.650	3.000	0.000	0.040	0.015	9.582	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.650	9.649	0.110	3.000	0.009	0.012	9.582	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.649	9.500	0.040	3.110	3.725	0.012	9.582	0.000	0.082	0.022	0.001	0.085	0.000	0.361	0.80	0.030
	9.500	9.525	0.450	3.150	-0.056	0.012	9.582	0.082	0.057	0.450	0.031	0.451	0.040	1.262	0.80	0.072
	9.525	9.750	10.950	3.600	-0.021	0.015	9.582	0.057	0.000	10.950	0.314	10.950	0.175	0.558	0.80	0.000
	9.750	9.525	10.950	14.550	0.021	0.015	9.582	0.000	0.057	2.787	0.080	2.788	0.045	0.558	0.80	0.032
	9.525	9.500	0.450	25.500	0.056	0.012	9.582	0.057	0.082	0.450	0.031	0.451	0.040	1.262	0.80	0.104
	9.500	9.649	0.040	25.950	-3.725	0.012	9.582	0.082	0.000	0.040	0.002	0.091	0.001	0.512	0.80	0.000
	9.649	9.650	0.110	25.990	-0.009	0.012	9.582	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.650	9.770	3.000	26.100	-0.040	0.015	9.582	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.770			29.100	#DIV/0!	0.035	9.582	0.000	9.582	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	0.80	#DIV/0!
	0.000			29.100	#DIV/0!	0.035	9.582	9.582	9.582	0.000	0.000	0.000	0.000	0.000	0.80	0.000
Total										14.700	0.459		0.30	0.654		

avg velocity 0.501 m/s

Note: Flow is for entire road section, in report half road capacity is referenced. Half Road capacity is half of the capacity shown above.

Max. Flow Depth 0.082 m



19/09/2024

**Access Recreation Office
Proposed Case
24055
Q₁₀₀ Drainage Calculations**

Denison St Road Reserve

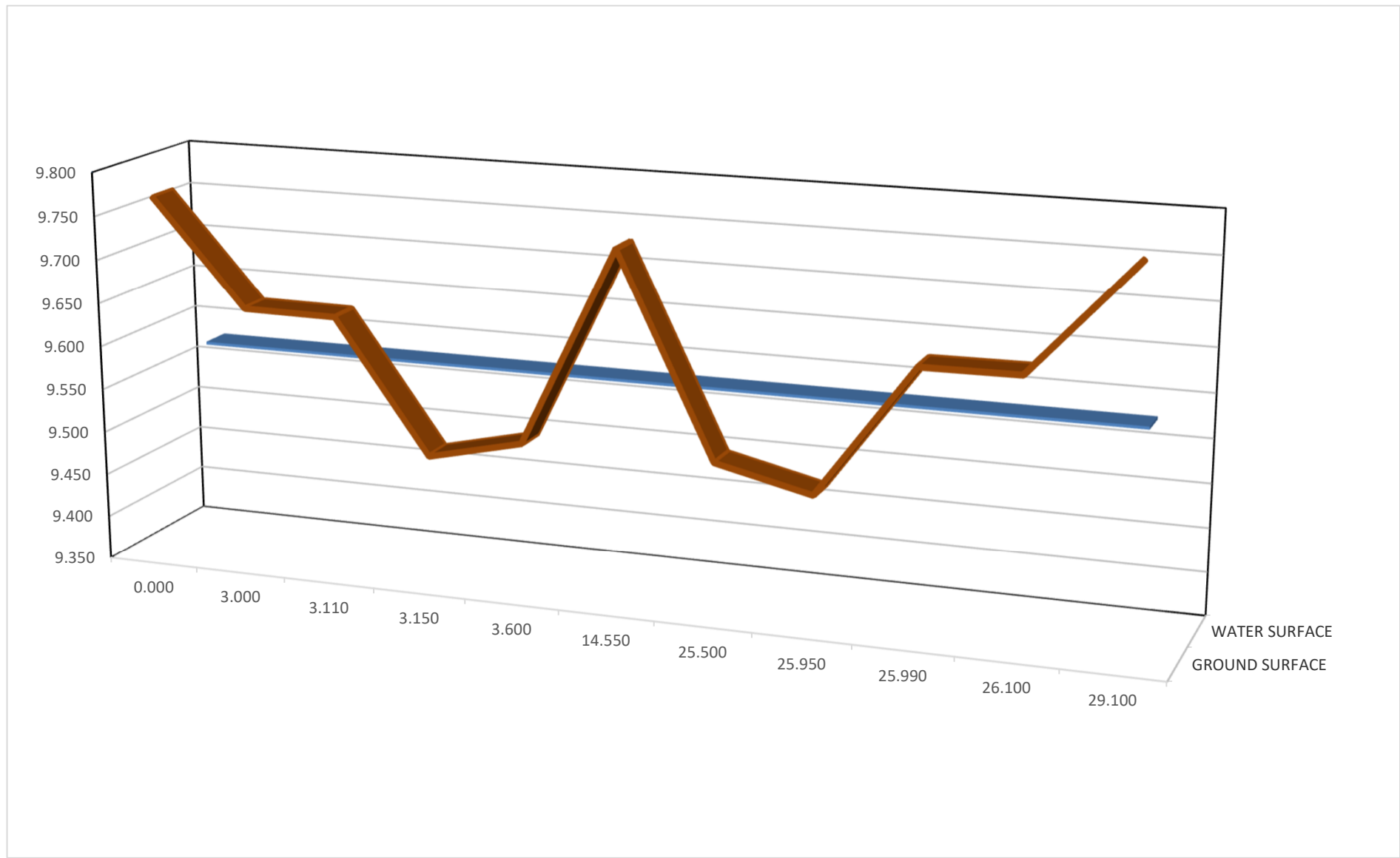
Water Level = 9.576 m

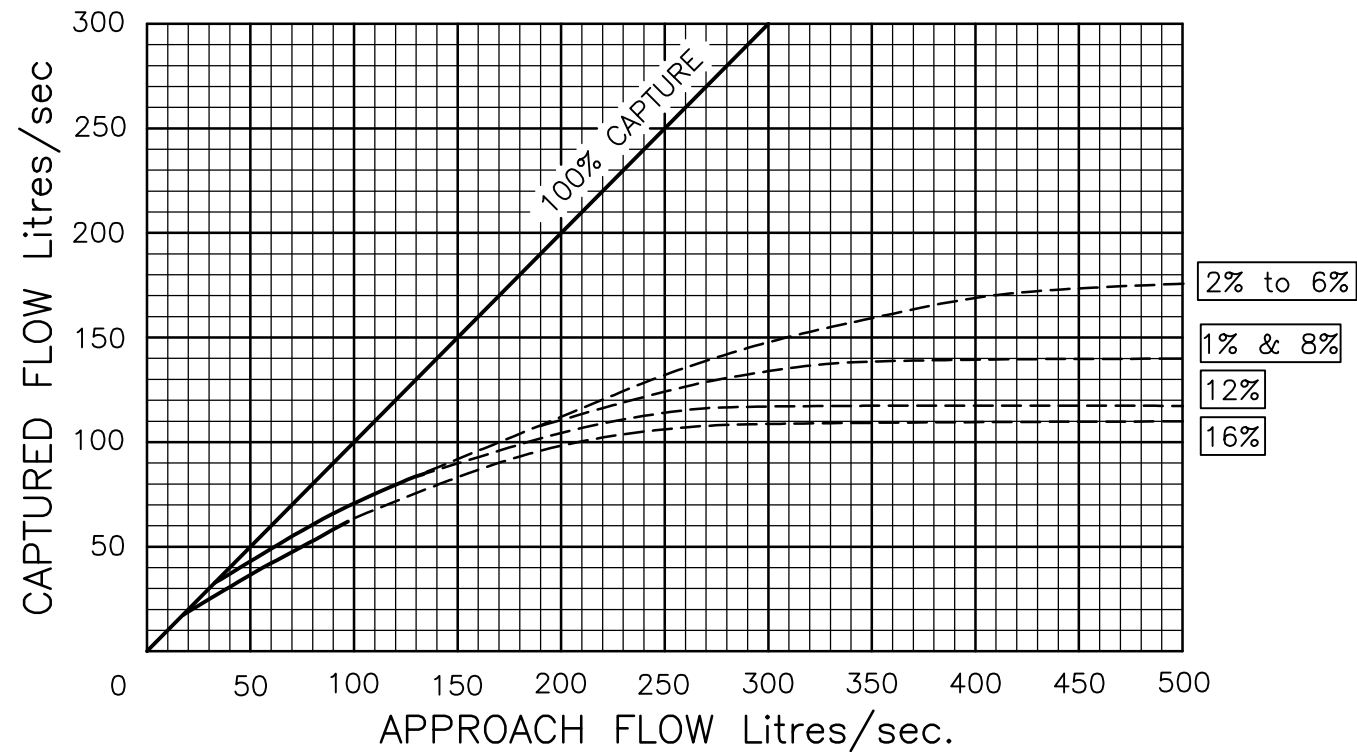
Chainage 1	RL1 (m)	RL2 (m)	W (m)	Ch	Bank Slope	n	WSL	Depth 1 (m)	Depth 2 (m)	Width (m)	Area (m ²)	p (m)	q (m ³ /sec)	V (m/sec)	Slope (%)	D x V
	9.770	9.650	3.000	0.000	0.040	0.015	9.576	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.650	9.649	0.110	3.000	0.009	0.012	9.576	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.649	9.500	0.040	3.110	3.725	0.012	9.576	0.000	0.076	0.020	0.001	0.079	0.000	0.343	0.80	0.026
	9.500	9.525	0.450	3.150	-0.056	0.012	9.576	0.076	0.051	0.450	0.029	0.451	0.034	1.186	0.80	0.061
	9.525	9.750	10.950	3.600	-0.021	0.015	9.576	0.051	0.000	10.950	0.279	10.950	0.144	0.517	0.80	0.000
	9.750	9.525	10.950	14.550	0.021	0.015	9.576	0.000	0.051	2.484	0.063	2.484	0.033	0.517	0.80	0.026
	9.525	9.500	0.450	25.500	0.056	0.012	9.576	0.051	0.076	0.450	0.029	0.451	0.034	1.186	0.80	0.090
	9.500	9.649	0.040	25.950	-3.725	0.012	9.576	0.076	0.000	0.040	0.002	0.086	0.001	0.506	0.80	0.000
	9.649	9.650	0.110	25.990	-0.009	0.012	9.576	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.650	9.770	3.000	26.100	-0.040	0.015	9.576	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.80	0.000
	9.770			29.100	#DIV/0!	0.035	9.576	0.000	9.576	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	0.80	#DIV/0!
	0.000			29.100	#DIV/0!	0.035	9.576	9.576	9.576	0.000	0.000	0.000	0.000	0.000	0.80	0.000
Total										14.394	0.402		0.25	0.612		

avg velocity 0.473 m/s

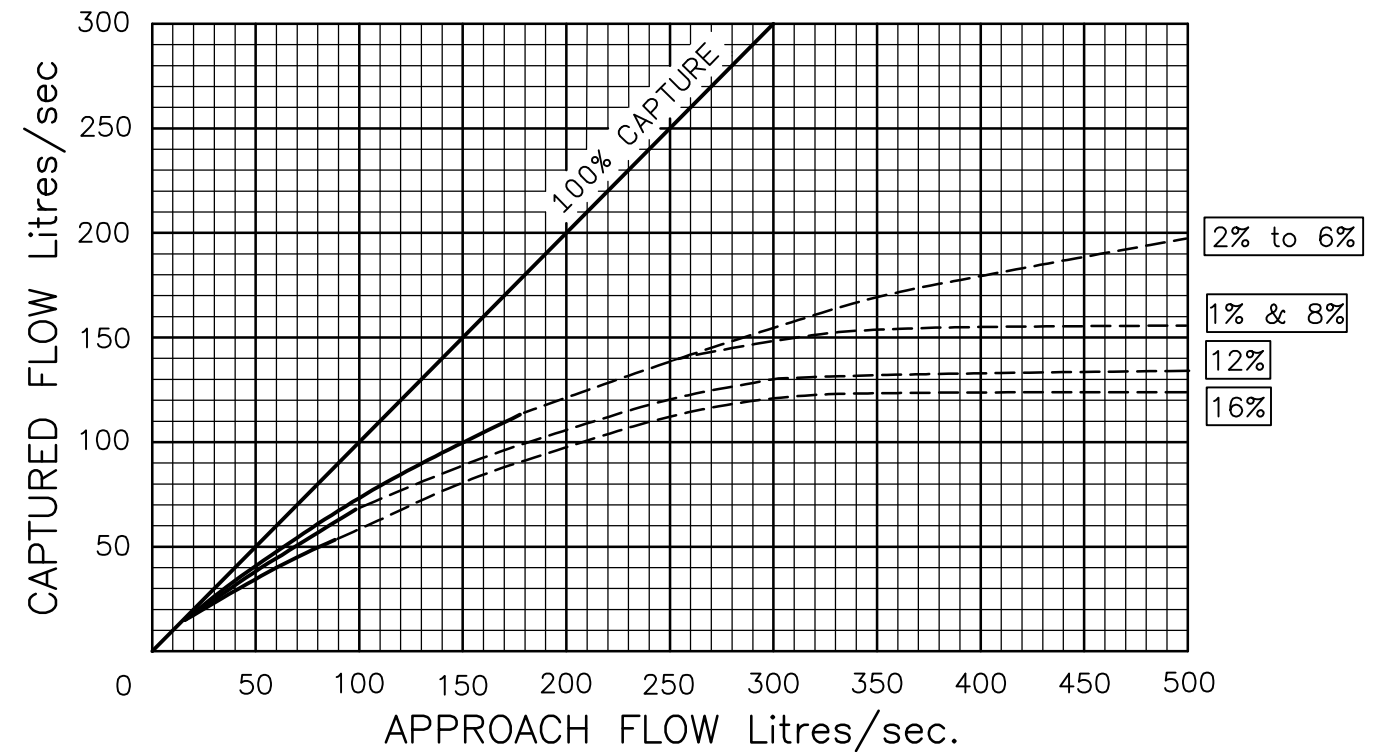
Note: Flow is for entire road section, in report half road capacity is referenced. Half Road capacity is half of the capacity shown above.

Max. Flow Depth 0.076 m





ROAD CROSSFALL 1:40



ROAD CROSSFALL 1:30

LEGEND

_ % Kerb & channel longitudinal slope

NOTES

1. This capture chart should only be used in conjunction with the requirements of Design Guidelines D4 Stormwater Drainage.
2. Refer to standard drawings S1050, S1055, and S1060 for Kerb Inlet Pit details.

KERB INLET
CAPACITY DESIGN CHART
ON GRADE - TYPE 'S'
10% BLOCKAGE FACTOR

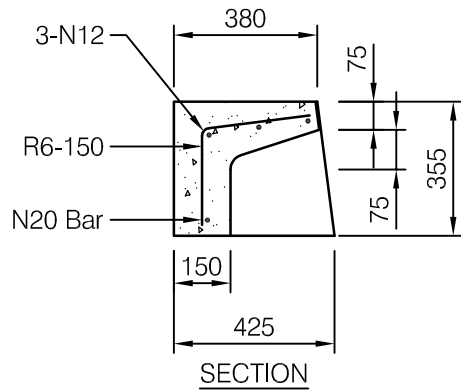
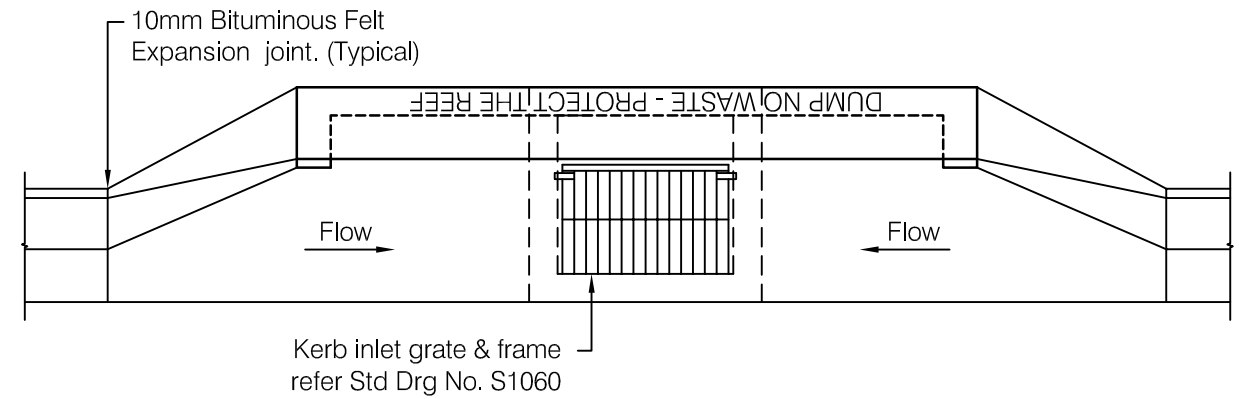
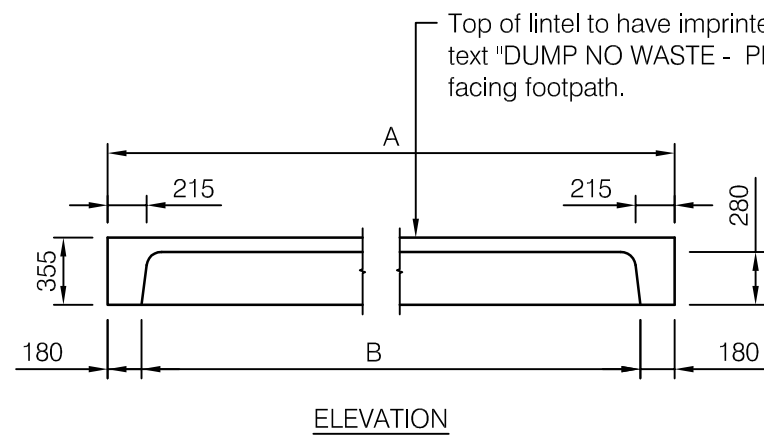


TABLE OF DIMENSIONS

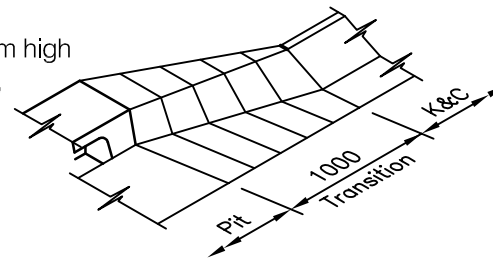
Lintel size	A	B	X	Mass (kg)
Small (S)	2400	2040	400	445
Medium (M)	3600	3240	690	550
Large (L)	4800	4440	1000	725



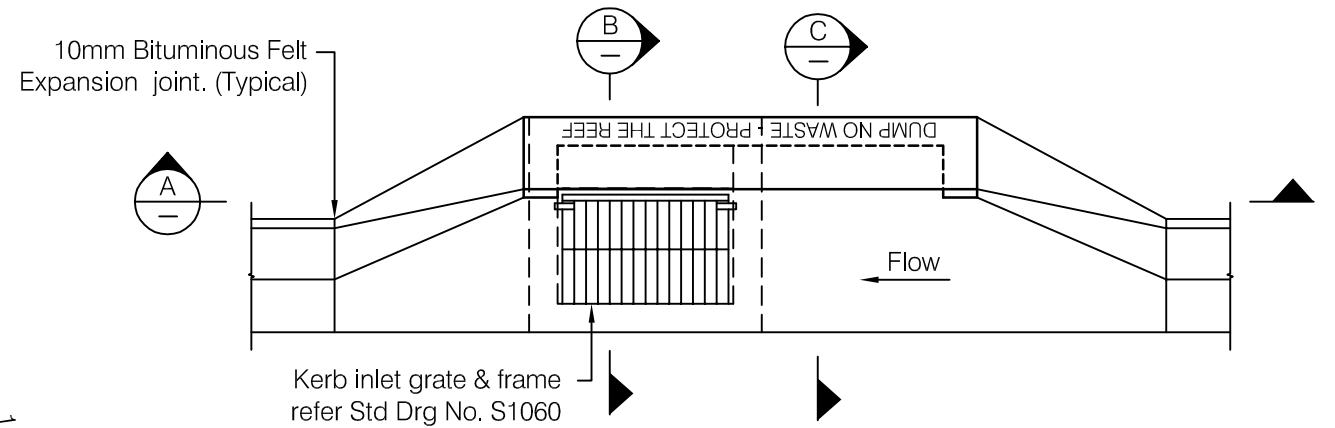
INLET IN SAG



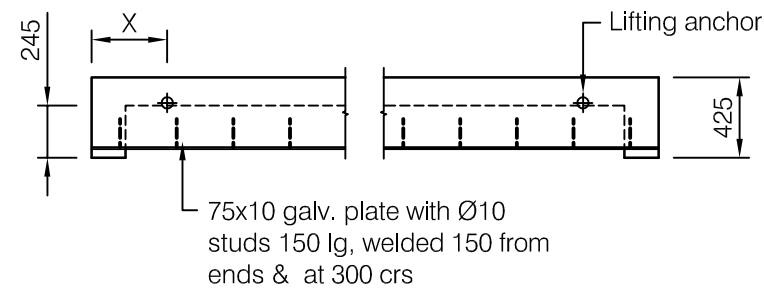
ELEVATION



TRANSITION TO LAYBACK KERB & CHANNEL

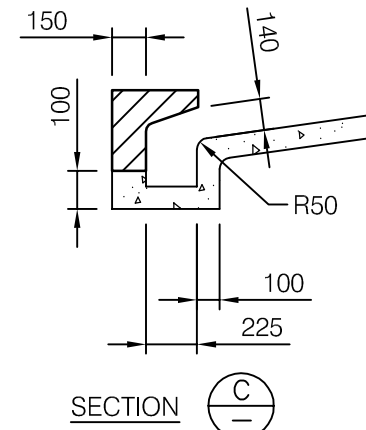


INLET ON GRADE

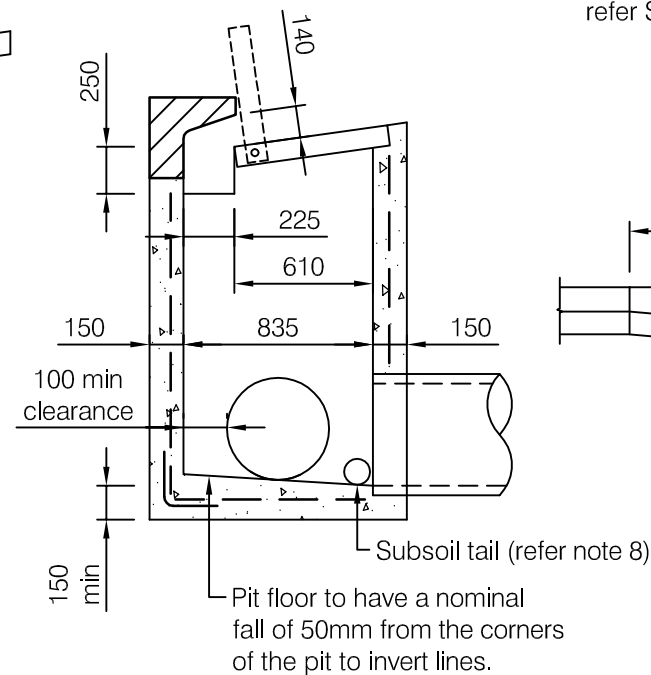


PLAN

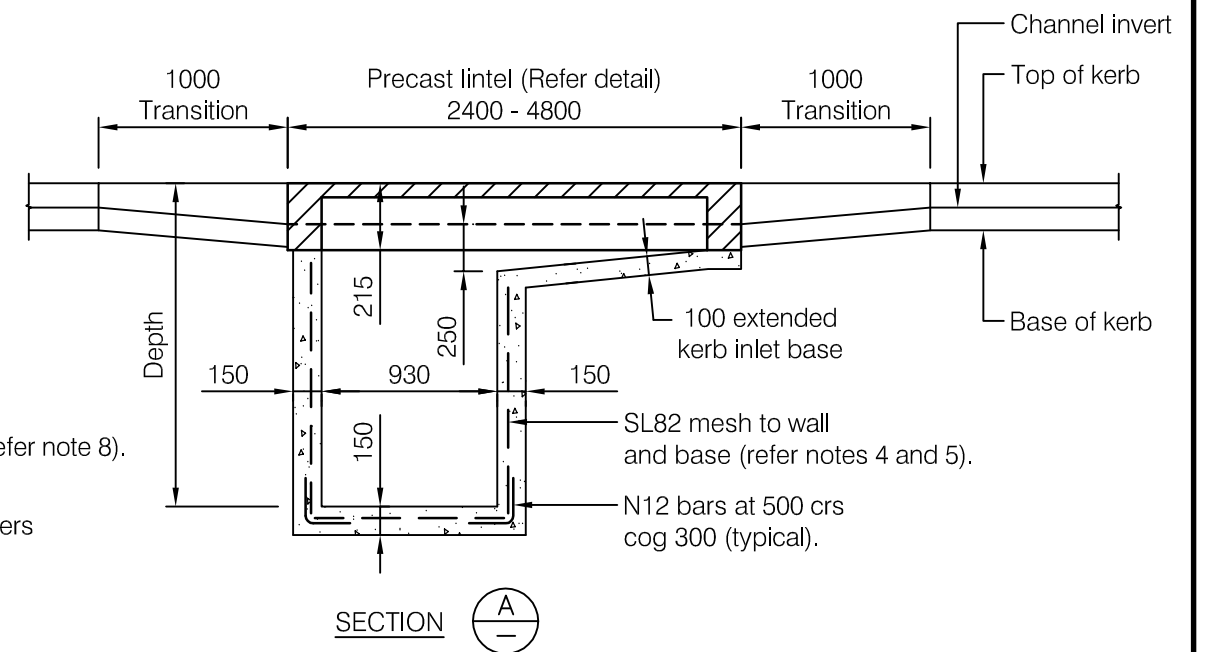
PRECAST LINTEL DETAIL



SECTION C



SECTION B



SECTION A

GRATED KERB INLET PIT

NOTES:-

- Concrete to precast lintel to be grade N 32. All other concrete to be grade N25 in accordance with AS 1379 and AS 3600. Minimum cover to be 40 mm.
- In areas where any part of the pit is below 1.800m A.H.D. all concrete shall be grade N32 in accordance with AS 1379 and AS 3600 and cover increased to 65mm. Thickening of concrete section may be required.
- Lifting anchors to be "Swiftlift" or equivalent, 1.3 tonne galvanized and installed to manufacturers specification.
- For pit depths less than 1.50m wall and base reinforcing may be omitted.
- For pit depths greater than 2.0m wall and base reinforcing to be increased to SL81 mesh. Pits greater than 2.5m depth shall be engineer designed and specifically detailed.
- Step irons shall be provided to all pits with a depth greater than 1.5m.
- Pipes shall enter pits through a single wall face. Pipes are not permitted to enter through the corner of the pit.
- 2m long 100Ø subsoil drain to be provided to the sand bedding of all U/S pipes.
- All dimensions in millimetres.

DISCLAIMER

The authors and sponsoring organisations shall have no liability or responsibility to the user or any other person or entity with respect to any liability, loss or damage caused or alleged to be caused, directly or indirectly, by the adoption and use of these Standard Drawings including, but not limited to, any interruption of service, loss of business or anticipatory profits, or consequential damages resulting from the use of these Standard Drawings. Persons must not rely on these Standard Drawings as the equivalent of, or a substitute for, project-specific design and assessment by an appropriately qualified professional.



GRATED KERB INLET PIT
PIPE DIA ≤ 600mm

Standard Drawing
S1050

REVISIONS	DATE
A ORIGINAL ISSUE	12/3/04

A

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference: 30008019	Search Date: 15/07/2024 13:35
Date Title Created: 05/10/1867	Request No: 48664395
Creating Dealing:	

ESTATE AND LAND

Estate in Fee Simple

LOT 300 CROWN PLAN R1675
Local Government: ROCKHAMPTON**REGISTERED OWNER**THE CORPORATION OF THE SYNOD OF THE DIOCESE OF
ROCKHAMPTON DEED OF GRANT IN TRUST
FOR THE ERECTION THEREON OF A PARSONAGE IN CONNECTION WITH
THE ESTABLISHED CHURCH OF ENGLAND AND FOR NO OTHER PURPOSE
WHATSOEVER**EASEMENTS, ENCUMBRANCES AND INTERESTS**

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10120236 (ALLOT 10 SEC 59)

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
704165031	HERITGE SITE QUEENSLAND HERITAGE ACT 1992	10/07/2000 17:02	CURRENT
711917621	RT NOTING LAND TITLE ACT 1994	12/09/2008 09:43	CURRENT

UNREGISTERED DEALINGS

NIL

Corrections have occurred - Refer to Historical Search

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference: 50205562	Search Date: 15/07/2024 13:35
Date Title Created: 05/02/1998	Request No: 48664398
Previous Title: 30439207	

ESTATE AND LAND

Estate in Fee Simple

LOT 304 REGISTERED PLAN 905533
Local Government: ROCKHAMPTON

REGISTERED OWNER

Dealing No: 723135401 19/03/2024

ACCESS RECREATION INCORPORATED A.C.N. 144 241 716

EASEMENTS, ENCUMBRANCES AND INTERESTS

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Deed of Grant No. 19516226 (ALLOT 8 SEC 59)

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference: 50205561	Search Date: 15/07/2024 13:35
Date Title Created: 05/02/1998	Request No: 48664400
Previous Title: 30439206	

ESTATE AND LAND

Estate in Fee Simple

LOT 303 REGISTERED PLAN 905533
Local Government: ROCKHAMPTON

REGISTERED OWNER

Dealing No: 723135401 19/03/2024

ACCESS RECREATION INCORPORATED A.C.N. 144 241 716

EASEMENTS, ENCUMBRANCES AND INTERESTS

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ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference: 51343172	Search Date: 15/07/2024 13:35
Date Title Created: 27/02/2024	Request No: 48664396
Previous Title: 40081243	

ESTATE AND LAND

Estate in Fee Simple

LOT 234 CROWN PLAN 892530
Local Government: ROCKHAMPTON

REGISTERED OWNER

Dealing No: 723135401 19/03/2024

ACCESS RECREATION INCORPORATED A.C.N. 144 241 716

EASEMENTS, ENCUMBRANCES AND INTERESTS

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Deed of Grant No. 40081243 (Lot 234 on CP 892530)

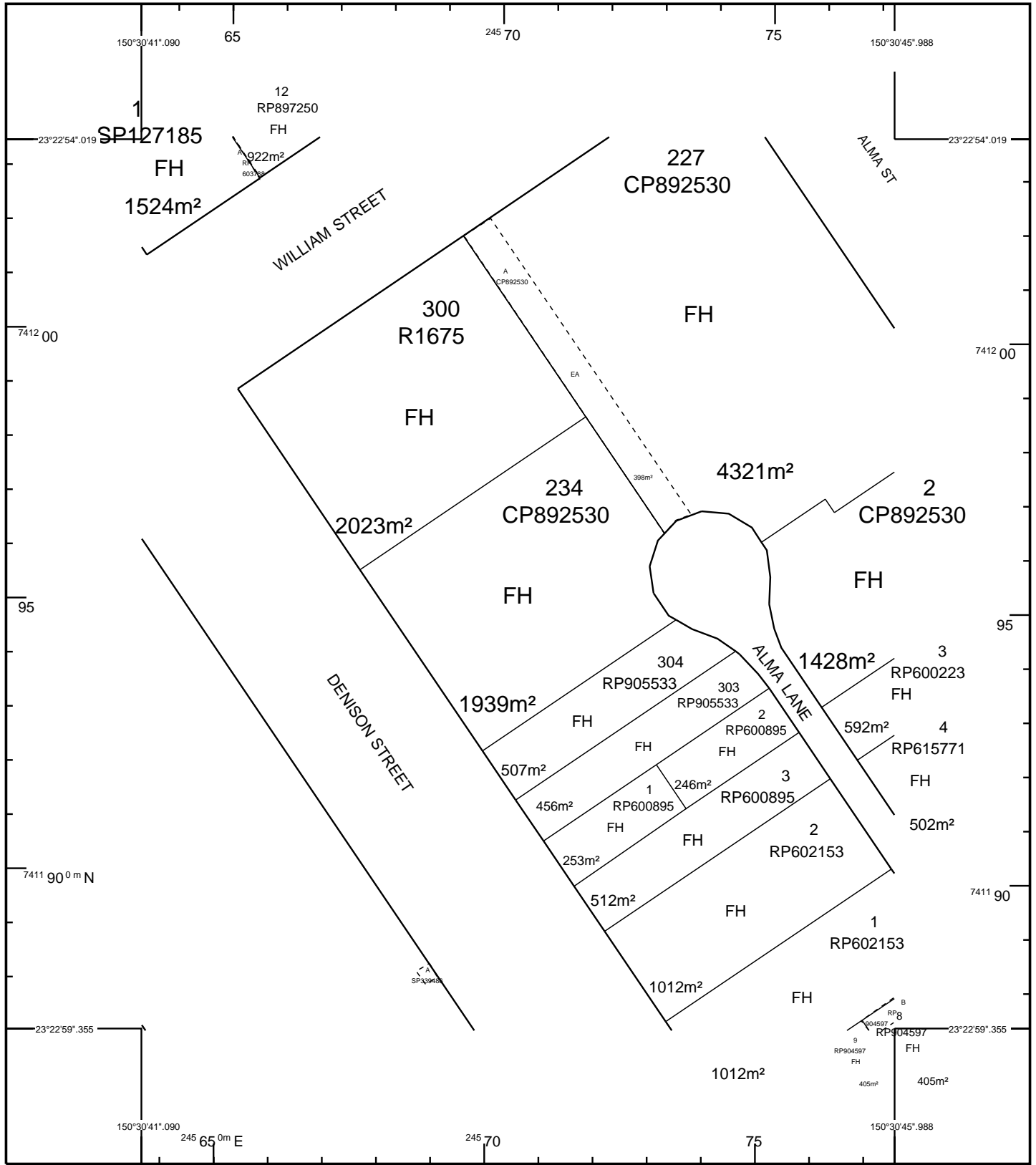
ADMINISTRATIVE ADVICES

NIL

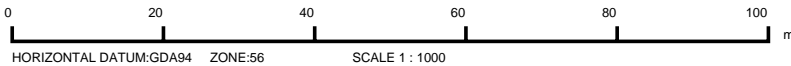
UNREGISTERED DEALINGS

NIL

** End of Current Title Search **



STANDARD MAP NUMBER
9051-33444

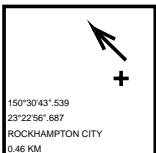


SmartMap

An External Product of
SmartMap Information Services

Based upon an extraction from the
Digital Cadastral Data Base

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	234/CP892530
Area/Volume	1939m ²
Tenure	FREEHOLD
Local Government	ROCKHAMPTON REGIONAL
Locality	ROCKHAMPTON CITY
Segment/Parcel	39135/173

CLIENT SERVICE STANDARDS

PRINTED 15/07/2024

DCDB 14/07/2024

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**Queensland
Government**

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Company owner's consent to the making of a development application under the *Planning Act 2016*

we, Peter John Grice and Jennifer Ann Hercott,

As authorised delegates

of

THE CORPORATION OF THE SYNOD OF THE DIOCESE OF ROCKHAMPTON

the company being the trustee of the premises identified as follows:

Lot 300 on R1675

consent to the making of a development application under the *Planning Act 2016* by:

Access Recreation Incorporated A.C.N. 144 241 716

c/- Capricorn Survey Group (CQ) Pty Ltd

on the premises described above for:

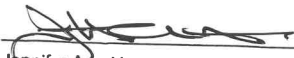
Demolition of Building partly located on Queensland Heritage Place (Lot 300 on R1675), as part of combined development application for Material Change of Use (Office) over Lot 234 on CP892530 and Lots 303 & 304 on RP905533 and Building Works Assessable Against the Planning Scheme for Demolition of Building on Heritage Place (Lot 300 on R1675)

Company Name and ACN:

THE CORPORATION OF THE SYNOD OF THE DIOCESE OF ROCKHAMPTON

The Common Seal of THE CORPORATION OF THE SYNOD OF THE DIOCESE OF ROCKHAMPTON was hereunto affixed this Nineteenth Day of July, Two Thousand and Twenty-Four, by the authority of the Bishop-in-Council under the hands of the Bishop of Rockhampton and the Registrar who certify that they are the proper officers authorised in that behalf and who have hereunto subscribed their names.


Peter John Grice
Bishop of Rockhampton


Jennifer Ann Hercott
Registrar

.....
~~Signature of authorised delegate~~

.....
Date

From: [Amanda OMara](#)
To: [Capricorn Survey Group CQ](#)
Cc: [Kathy McDonald](#)
Subject: RE: 9336 MCU for Office Development 189-197 Denison Street, Rton - Application Fee Confirmation
Date: Wednesday, 17 July 2024 11:43:10 AM

Hi Madi

Please find calculations below:

Office - \$2,357.00 + \$6,953.14 (5.411 x 1,285) = \$9,310.14

Demolition (has its own fee) = \$1,221.00

Impact Assessable fee = \$1,040.00

Total = \$11,571.14 x 50% = **\$5,785.57**

Cheers

Amanda O'Mara

Coordinator Development Assessment | Planning and Regulatory Services

Rockhampton Regional Council

Ph: (07) 4936 8907 | E-mail: amanda.omara@rrc.qld.gov.au

Address: PO Box 1860, Rockhampton Q 4700 | Web: www.rockhamptonregion.qld.gov.au

Like us www.facebook.com/RockhamptonRegionalCouncil Follow us www.twitter.com/RRCouncil



From: Capricorn Survey Group CQ <reception@csgcq.com.au>

Sent: Tuesday, July 16, 2024 4:20 PM

To: Kathy McDonald <Kathy.McDonald@rrc.qld.gov.au>; Amanda OMara <Amanda.OMara@rrc.qld.gov.au>

Subject: 9336 MCU for Office Development 189-197 Denison Street, Rton - Application Fee Confirmation

[External Email] This email was sent from outside the organisation – be cautious, especially with links and attachments.

Afternoon ladies,

We are looking to lodge an MCU application with you soon for a new office building at 189-197 Denison Street, Rton. See attached building plans.

The building has a total GFA of 1285m². It is impact in the Denison St precinct because of the size.

The fee schedule states price is on application for an office over 1000m².

Could you please confirm the fee for the Office MCU component? I think one of you has told me before what the POA fees are based on but it was too long ago for me to go back and find it.

The development also includes demolition of several buildings, one of which is partly located on a heritage listed site (though I don't believe the building itself is heritage listed). We will be including the assessable building works for demolition in the application as well.

Impact fee - \$1040

Assessable building works fee - \$986

Office MCU fee – please confirm

This is being lodged on behalf of Access Recreation who are a not for profit so we will be seeking the 50% concession too (presuming they are eligible). Does this go on the total application fee or just the MCU component?

Cheers

Madi Day | Capricorn Survey Group CQ

Phone. 07 4927 5199

www.capsurvey.com.au



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Capricorn Survey Group (CQ) Pty Ltd

ABN 22 154 830 565,

132 Victoria Parade

(PO Box 1391)

Rockhampton Qld 4700

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DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	Access Recreation Incorporated
Contact name (only applicable for companies)	c/- Capricorn Survey Group (CQ) Pty Ltd
Postal address (P.O. Box or street address)	PO Box 1391
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	(07) 4927 5199
Email address (non-mandatory)	reception@csgcq.com.au
Mobile number (non-mandatory)	0407 581 850
Fax number (non-mandatory)	n/a
Applicant's reference number(s) (if applicable)	9336

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		89	William Street	Rockhampton City
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	300	R1675	RRC
b)	Unit No.	Street No.	Street Name and Type	Suburb
		189	Denison Street	Rockhampton City
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	234	CP892530	RRC
c)	Unit No.	Street No.	Street Name and Type	Suburb
		197	Denison Street	The Range
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	303	RP905533	RRC
d)	Unit No.	Street No.	Street Name and Type	Suburb
		197	Denison Street	The Range
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4700	304	RP905533	RRC

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area <i>(if applicable)</i> :	
Name of port authority for tidal area <i>(if applicable)</i>	

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Office

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Office	Office	n/a	Total floor area 1285m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- Yes – provide additional details below
 No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

- Yes – specify number of new lots: _____
 No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Rockhampton Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.



Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	St Pauls Anglican Cathedral Hall	Place ID:	601491
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Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 Note: See the <i>Planning Regulation 2017</i> for referral requirements	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes

Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



Rockhampton Office
232 Bolsover St, Rockhampton
Gracemere Office
1 Ranger St, Gracemere
Mount Morgan Office
32 Hall St, Mount Morgan

9 October 2024

Our Reference: D/135-2024
Enquiries: Brendan Standen
Telephone: 07 4936 8099

Access Recreation Inc.
C/- Capricorn Survey Group (CQ) Pty Ltd
PO BOX 1391
ROCKHAMPTON QLD 4700

Dear Sir/Madam

ACTION NOTICE – NOT PROPERLY MADE APPLICATION
(Given under section 3.1 of the Development Assessment Rules)

Council refers to your Development Application received by Council on 25 September 2024.

Location Details

Street address: 89 William Street, Rockhampton City and 189 and 197 Denison Street, Rockhampton City
Real property description: Lot 300 on R1675, Lot 234 on CP892530, Lot 303 and 304 on RP905533

Application Details

Application number: D/135-2024
Application description: Material Change of Use for Office

Council does not consider the application to be a properly made application in accordance with section 51(5) of the *Planning Act 2016* for the following reason:

- 1) The requisite fee of \$5,175.07 has not been paid.

The action listed must be completed and a notice given to Council advising that the action notice has been complied with, within 20 business days starting the day after receiving this notice, or a further period agreed with Council, otherwise the application will be taken to have not been made in accordance with section 3.7 of the Development Assessment Rules.

Should you have any queries regarding this matter please contact the undersigned on 07 4936 8099.

Yours faithfully



Brendan Standen
Planning Officer
Planning and Regulatory Services



Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	D/135-2024	<i>For further information regarding this notice, please contact:</i>	Sophie Muggeridge
Date application properly made:	10 October 2024	Phone:	07 4936 8099

1. APPLICANT DETAILS

Name:	Access Recreation Incorporated		
Postal address:	C/- Capricorn Survey Group (CQ) Pty Ltd PO BOX 1391 ROCKHAMPTON QLD 4700		
Contact number:	(07) 4927 5199	Email:	reception@csgcq.com.au

2. PROPERTY DESCRIPTION

Street address:	89 William Street, Rockhampton City and 189 and 197 Denison Street, Rockhampton City
Real property description:	Lot 300 on R1675, Lot 234 on CP892530, Lot 303 and 304 on RP905533, Parish of

3. OWNER DETAILS

Name:	The Corporation Of The Synod Of The Diocese Of Rockhampton
Postal address:	St Pauls Cathedral 89 William St ROCKHAMPTON CITY QLD 4700

4. DEVELOPMENT APPROVAL SOUGHT

Development Permit for a Material Change of Use for an Office

5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development on a Queensland heritage place - Building work assessable under the <i>Building Act 1975</i> - Building work assessable under the planning scheme - Plumbing or drainage work - Material change of use - Reconfiguring a lot - Operational work	Schedule 10, part 8, division 2, subdivision 1	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

6. REFERRAL AGENCIES	NIL
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Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
QUEENSLAND HERITAGE PLACE			
<i>Schedule 10, Part 8, Division 2, Subdivision 3, Table 1 - Assessable development under s15(1)</i>			
Development application for assessable development under section 15(1), unless the chief executive is the prescribed assessment manager for the application	The chief executive of the department in which the <i>Planning Act 2016</i> is administered: Department of Housing, Local Government, Planning and Public Works (State Assessment and Referral Agency Department)	Concurrence	<u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City <u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/ <u>Email:</u> RockhamptonSARA@dsdilgp.qld.gov.au <u>Postal:</u> PO Box 113 Rockhampton Qld 4700
<i>Schedule 10, Part 8, Division 2, Subdivision 3, Table 2 - Assessable development under s15(2)</i>			
Development application for assessable development under section 15(2), unless the chief executive is the prescribed assessment manager for the application	The chief executive of the department in which the <i>Planning Act 2016</i> is administered:	Concurrence	<u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City <u>Online lodgement using MyDAS2:</u> https://prod2.dev-

	Department of Housing, Local Government, Planning and Public Works (State Assessment and Referral Agency Department)		assess.qld.gov.au/suite/ <u>Email:</u> RockhamptonSARA@dasilgp.qld.gov.au <u>Postal:</u> PO Box 113 Rockhampton Qld 4700
STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)			
<i>Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor</i>			
Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises— (a) are within 25m of a State transport corridor; or (b) are a future State transport corridor; or (c) are— (i) adjacent to a road that intersects with a State-controlled road; and (ii) within 100m of the intersection	The chief executive of the department in which the <i>Planning Act 2016</i> is administered: Department of Housing, Local Government, Planning and Public Works (State Assessment and Referral Agency Department)	Concurrence	<u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City <u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/ <u>Email:</u> RockhamptonSARA@dasilgp.qld.gov.au <u>Postal:</u> PO Box 113 Rockhampton Qld 4700

It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.

7. IMPACT ASSESSMENT

Will Impact Assessment be required?	YES
The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:	
<ul style="list-style-type: none"> - Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and - Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and - Giving a notice to all owners of any lots adjoining the premises which are the subject of the application. 	

8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

9. INFORMATION REQUEST


A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?	NO
Planning Scheme	
<input checked="" type="checkbox"/>	The development was not assessable under the Superseded Planning Scheme and the application may proceed, as proposed.
<input type="checkbox"/>	The development was assessable under the Superseded Planning Scheme and this Development Application will be assessed under the Superseded Planning Scheme.
<input type="checkbox"/>	The application will not be assessed under the Superseded Planning Scheme. The application will instead be assessed against the current planning scheme.

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.

11. ASSESSMENT MANAGER

Name: Sophie Muggeridge <u>PLANNING OFFICER</u>	Signature: 	Date: 16 October 2024
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Our reference: 2410-42966 SRA
Your reference: 9336

22 October 2024

Access Recreation Incorporated
c/- Capricorn Survey Group (CQ) Pty Ltd
PO Box 1391
ROCKHAMPTON QLD 4700
reception@csgcq.com.au

Dear Sir/Madam

Referral confirmation notice

(Given under section 7 of the Development Assessment Rules)

The development application described below is taken to be properly referred to the State Assessment and Referral Agency (SARA) under Part 2: Referral of the Development Assessment Rules.

Location details

Street address: 197 Denison Street, Rockhampton City; 189 Denison Street, Rockhampton City; 89 William Street, Rockhampton City
Real property description: 304RP905533; 303RP905533; 234CP892530; 300R1675
Local government area: Rockhampton Regional Council

Application details

Development permit Material change of use for an office

The referral confirmation period ended on 22 October 2024. SARA's assessment will be under the following provisions of the Planning Regulation 2017:

- 10.8.2.3.1.1 Queensland heritage place (on or near a Queensland heritage place)
- 10.8.2.3.2.1 Queensland heritage place (on or near a Queensland heritage place)
- 10.9.4.2.4.1 State transport corridors and future State transport corridors

For further information please contact Thomas Gardiner, Principal Planning Officer, on 0749242916 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

Anthony Walsh
Manager Planning

Notice of intention to commence public notification
Section 17.2 of the Development Assessment Rules

D/135-2024	[application reference number]
Access Recreation Inc	[applicant name]
C/- Capricorn Survey Group (CQ) Pty Ltd – PO Box 1391, Rockhampton QLD 4700 reception@csgcq.com.au	[contact address/email address]
(07) 4927 5199	[contact number]
15 November 2024	[notice date]
Sophie Muggeridge	[assessment manager's name]
Rockhampton Regional Council PO Box 1860, Rockhampton QLD 4700	[assessment manager's address]

RE: Application for:

[details of proposed development]

Material Change of Use for an Office

[street address]

89 William Street and 189 & 197 Denison Street, Rockhampton City

[real property description]

Lot 300 on R1675, Lot 234 on CP892530 and Lots 3 & 4 on RP905533

Dear

[sir/madam/name]

Sophie

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on:

[insert intended date of commencement]

18th November 2024

At this time, I can advise that I intend to: [provide details below if known]

Publish a notice in:

[insert name of the newspaper]

CQ Today

on

[intended date for publishing]

16th November 2024

and

Place notice on the premises in the way prescribed under the Development Assessment Rules

[intended date notice to be erected]

15th November 2024

and

Notify the owners of all lots adjoining the premises the subject of the application

[intended date owners to be notified]

13th November 2024

If you wish to discuss this matter further, please contact me on the above telephone number.

Yours sincerely

[applicant name, signature and date]

Madison Day



15 November 2024