

PUBLIC NOTIFICATION



Approval Sought:	Material Change of Use
Proposed Development:	Low Impact Industry
Where:	59 Lucas Street, Berserker
Lot Description:	Lot 131 and 132 on RP601289
Application Reference:	D/5-2024

Make a submission from:

20 May 2024 to 12 June 2024

You may make a submission to Rockhampton Regional Council

PO BOX 1860, Rockhampton QLD 4700

Email: enquiries@rrc.qld.gov.au

Phone: 07 4932 9000 or 1300 22 55 77

[Click here to view the 'Guide to public notification of development and change applications'](#)

For more information on planning requirements within the Rockhampton Region feel free to visit www.rrc.qld.gov.au



DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	JJ Kerrs Appliances Pty Ltd
Contact name <i>(only applicable for companies)</i>	c/- Capricorn Survey Group (CQ) Pty Ltd
Postal address <i>(P.O. Box or street address)</i>	PO Box 1391
Suburb	Rockhampton
State	QLD
Postcode	4700
Country	Australia
Contact number	(07) 4927 5199
Email address <i>(non-mandatory)</i>	reception@csgcq.com.au
Mobile number <i>(non-mandatory)</i>	0407 581 850
Fax number <i>(non-mandatory)</i>	n/a
Applicant's reference number(s) <i>(if applicable)</i>	9167

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/>	Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/>	No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		59	Lucas Street	Berserker
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4701	131 and 132	RP601289	RRC
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
c)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area <i>(if applicable)</i> :	
Name of port authority for tidal area <i>(if applicable)</i> :	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

Low Impact Industry

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

- | | |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Low Impact Industry	Low Impact Industry	n/a	330m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

- | | |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- Yes – provide additional details below
- No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

RRC

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i> <ul style="list-style-type: none"> • <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i> • <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i> <i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements			
Environmentally relevant activities			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
Hazardous chemical facilities			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17	<input checked="" type="checkbox"/> Yes
Note: See the <i>Planning Regulation 2017</i> for referral requirements	
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application	<input checked="" type="checkbox"/> Yes
Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template .	
Relevant plans of the development are attached to this development application	<input checked="" type="checkbox"/> Yes
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			



22 January 2024

Our Ref: 9167

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton QLD 4700

Attention: Kathy McDonald

Dear Sir,

RE: Material Change of Use for a Low Impact Industry
Lots 131 and 132 on RP601289
39 Lucas Street, Berserker

This application is for a Material Change of Use for a Low Impact Industry on Lots 131 and 132 on RP601289, at 39 Lucas Street, Berserker made by JJ Kerrs Appliances Pty Ltd c/- Capricorn Survey Group (CQ) Pty Ltd.

The subject lot is mapped as low-medium residential zone and currently contains an older two-storey fibro dwelling. The dwelling will be demolished to make way for the proposed development. The purpose of this application is to enable construction of a new building for a future industrial use to be established. This is not necessarily purpose built for a specific use so could cater for any form of lower impact industry or commercial business/operations. Approval for the building's construction will allow for any low impact industry or compatible commercial use (shop) to be established as of right. It essentially provides a blank space for a future use to be established and customised to suit its operational needs.

The new building includes a front of house reception/administration/office/staff room and amenities, with a larger shed attached behind. The shed contains a series of roller doors to the side which open into workshop/warehouse space. Surrounding the buildings will be a large concrete sealed parking and vehicle manoeuvring area. Four carparks in total (including one universal space) will be provided. Landscaping buffers will be provided along the road frontage and partial sides of the site.

DEVELOPMENT DETAILS

Floor Areas

Internal – approx. 330m²

Site Area – 818m²

Building Footprint – approx. 40%

Setbacks

Northern boundary (rear) – 3766mm

Eastern boundary (side) – 203mm

Southern boundary (Lucas Street) – 13400mm

Western Boundary (side) – 4881mm

Building Height

maximum 6.8m

Opening Hours

Monday to Friday, 8am to 5pm

Saturday and Sunday, closed

Staff

Between administration and tradespeople, there will be up to 3 full time staff.

SERVICES AND INFRASTRUCTURE

Access

The existing vehicle crossover is located at the eastern end of the site and is a joint crossover with the neighbouring property 61 Lucas Street. A new crossover will be required for the proposed access and driveway. The existing will be decommissioned and kerb and channel reinstated (up to the site boundary to ensure the neighbouring property retains access). All vehicle access and manoeuvring areas will be designed and constructed in accordance with the CMDG and Council's relevant policies and for all vehicles to enter and exit site in a forward gear.

Parking

Four parking spaces (including one universal space) will be provided on site. Three carparks at the front of the building will likely provide for customer vehicle parking. The carpark at the rear will be reserved for staff parking.

Table 9.3.1.3.2 states parking requirements for all industrial uses is 1 space per 100m² of GFA or part thereof (330m² = 3.3 = 4 spaces). The premises meets the minimum requirement.

Stormwater

The site is generally flat and falls in a south to south-westerly direction toward Lucas Street. All roof water and impervious area run-off will be directed to the kerb and channel in Lucas Street.

Sewerage

The development will be connected to Council's reticulated sewerage network as required. A combined line traverses the site. The new building will be located over the sewer main, thus will need to be in accordance with MP1.4 Building over or near relevant infrastructure and any relevant Council policies.

Water

The development will be connected to the watermain in Lucas Street. Whether using the existing connection or new connection provided.

Telecommunications

The development will be connected to telecommunications supply in Lucas Street.

Electricity

The development will be connected to existing overhead supply in Lucas Street. It is likely a builders pole will be placed in the south-eastern corner of the site to maintain the overhead connection and then run underground to the building.

Waste Storage and Collection

A refuse storage area will be provided on the western boundary near the front carpark. Waste will be collected from site via private contractor. The waste storage area will be aesthetically screened from public view via the landscaping/planting.

Landscaping

Minimum 1.5m wide landscaping will be provided along the Lucas Street frontage of the site. This could include trees and smaller shrubby plantings. The sides of the carpark at the front of the site will be lined with around 4m wide landscaping, again with similar plantings. There is no pedestrian pathway along the site frontage, however there is along the front of both adjoining properties. A concrete footpath can be constructed connecting to the existing pathways either side.

OVERLAYS

Acid Sulphate Soils

The development will not result in acid sulphate soils being unearthed or exposed. Earthworks will be minimal.

State Controlled Road

The subject site is approximately 60m from the intersection of Lucas Street and Musgrave Street, the State Controlled Road. This application will require referral to the State for their assessment.

STRATEGIC FRAMEWORK AND ZONING

The proposed development is not considered a preferred use for the low-medium density residential zone and therefore will trigger impact assessment. However, can be considered provided they are small in scale, consistent with the surrounding urban form, do not compromise the residential character and existing amenity of the surrounding area and do not detract from the role and function of existing centres.

The site sits at the cusp of the low-medium density residential zone and the Musgrave Street Precinct (mixed use sub-precinct) of the Specialised Centre Zone. This sub-precinct lines Musgrave Street at varying widths from Clifton Street through to the beginning of Queen Elizabeth Drive and along Little Musgrave Street. The Musgrave Street precinct is quite a busy node with significant business exposure being located on one of the major roads in Rockhampton (State Controlled Road). The site location on a side street and scale of the development lends it to smaller business operations, servicing the needs of local residential community or visitors to the 'centre', rather than on a larger commercial basis.

The street block bound between Musgrave, Burnett and Lucas Street is perhaps the narrowest section of the sub-precinct, only being around 5 or so lots along the side streets before hitting the residential zone. Although the site is zoned residential, the development is not seen to be an expansion of the centre zone such that the residential amenity is compromised given the neighbouring property to the east is already used in an industrial capacity. In fact the existing dwelling on site is somewhat isolated from the residential area further to the east and would be a better outcome to remove this sensitive land use from the nearby industry uses. The street block remains predominantly residential.

Whilst also not a preferred use in this sub-precinct, there are various other low impact industrial uses already established within this zone and the immediate area. In particular, next door at 61 Lucas Street (Lots 129 and 130 on RP601289) which is also zoned low-medium density residential) there is an established motor vehicle servicing and repairs workshop. On the opposite side of Lucas Street resides an outdoor equipment sales/dry-hire (132-146 Musgrave Street – Lot 42 on SP129152) and another motor vehicle servicing and repairs workshop (60 Lucas Street – Lot 12 on RP600706). Charles Street (parallel to Lucas Street to the south) contains another three vehicle repair and servicing businesses, and there are also several other lower impact industrial type uses (tyre supply and fitting, small-scale steel fabrication, car/truck servicing and repairs) throughout the mixed-use sub-precinct. We expect any future use to be of a similar nature else can be used in a commercial capacity (e.g. shop with goods storage).

The proposed development does not compromise the settlement pattern of the Strategic Framework and meets the overall outcomes for non-residential development within the zone.

- The intended use is consistent with established businesses in the immediate area and scattered throughout the precinct.
- The built form remains in keeping with that of the precinct side streets and does not detract from the residential amenity and character further to the east.
- Impacts from noise, dust or odour onto adjoining sensitive land uses (to the rear of the site) as a result of the operations will be reduced with the design of the building – no windows are proposed on the rear façade.
- The site is less than 100m away from an appropriately ordered road (Musgrave Street being a State Controlled Road).

LOW-MEDIUM RESIDENTIAL ZONE CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Built Form		
PO1 Development does not adversely impact on the urban form of the surrounding low-medium density residential area and significant scenic landscape features having regard to the scale and height of buildings, site cover and density.	<p>AO1.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed sixty-five (65) per cent of the total site area.</p> <p>AND</p> <p>AO1.3 New development has a plot ratio of no greater than one (1) to one (1) (1:1).</p>	<p>The building is under 6.8m above natural ground level. Elevations are provided on the attached proposal plan.</p> <p>Site cover is approx. 40%.</p>
PO2 is not applicable, the proposal does not include a caretakers accommodation		
PO3 – PO4 are not applicable, the proposal does not include a dual occupancy		
PO5 is not applicable, the proposal does not include a home based business		
PO6 is not applicable, the proposal does not include a sales office		
PO7 – PO9 are not applicable, the proposal does not include a short-term accommodation		
Built Form – Additional Provisions		
PO10 The development is located and designed so that buildings and structures make provision for: <ul style="list-style-type: none"> a) an appropriate scale and size that reflects the purpose of the zone; b) access to natural light and ventilation; c) landscaping; d) privacy and noise attenuation; e) screening of materials when stored outside buildings; f) integration with the streetscape and built form; 	<p>AO10.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> a) carports and garages are set back a minimum of 4.5 metres from all road frontages; b) building walls are set back a minimum of three (3) metres from all road frontages; c) verandahs are set back a minimum of one (1) metre from all road frontages; d) the side boundary setback is a minimum of: 	<p>AO10.1</p> <p>Northern boundary (rear) 3766mm</p> <p>Eastern boundary (side) 203mm</p> <p>Southern Boundary (Lucas St) 13400mm</p> <p>Western Boundary (side) 4881mm</p> <p>The use does not meet the minimum requirements sought for the zone however is not a residential use. The setbacks are typical for</p>

<p>g) orientated to the street frontage; h) landscape features of the site; and i) access to open space.</p> <p>Editor's note—Figure 6.2.2.3.2a — Development site plan provides guidance.</p>	<p>(i) 1.5 metres for a wall up to 4.5 metres high; (ii) two (2) metres for a wall up to 7.5 metres high; and (iii) 2.5 metres for any part of a wall over 7.5 metres;</p> <p>e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p>AND</p> <p>AO10.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO10.3 The maximum length of any exterior wall is fifteen (15) metres.</p> <p>AND</p> <p>AO10.4 Fencing along the primary street frontage is: a) a maximum height of 1.2 metres; or b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO10.5 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>	<p>commercial/industrial tenancies and are consistent with others in the immediate area.</p> <p>AO10.2 The building is setback toward the rear of the site but is orientated to the carpark and street.</p> <p>AO10.3 The eastern side of the building is 23.5m long and does not contain any windows. This wall is located directly beside the adjoining mechanical servicing business. This mechanical business has a similar finish to its eastern wall, which adjoins a sensitive land use. The blank wall on the proposed building is appropriate given the nature of the use. The building is setback toward the rear of the lot meaning the blank wall is less likely to impact visual amenity when viewed from the street.</p> <p>AO10.4 The sides and rear boundaries will be fenced (if not already established). Landscaping strips will be used along the road frontage in lieu of fencing to enhance street appeal.</p> <p>AO10.5 building plant will be screened from public view.</p>
<p>PO11 Vehicle parking facilities are located and concealed to</p>	<p>AO11.1 Vehicle parking structures are located:</p>	<p>The carpark is located in front of the building, typical of</p>

ensure an attractive streetscape and built form.	a) behind the front building setback; or b) below the front building.	commercial/industrial use tenancies.
<p>PO12 Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> a) mass and proportion; b) use of materials, patterns, textures, colours, and decorative elements; c) reflective glass material is not used as the principle construction material; d) podium height and design; e) roof shapes include pitches and gables to break up the repetitiveness of buildings; f) buildings incorporate articulation via a use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance; g) roof structures are designed to screen any mechanical plant; h) facade articulation, detailing, and window and door proportions; i) provision made for balconies, verandahs, eaves and parapets; j) driveway crossovers, fence style and alignment; k) emphasis on entry points; and l) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage. <p>Note—Where a conflict exists PO12 (l) takes precedence.</p>	No acceptable outcome is nominated.	The building is of a similar size, shape and scale of other commercial/industrial tenancies in the area. The landscaping at the front of the site will assist with street appeal.
Non-Residential Development		
<p>PO13 Non-residential development may locate in the low-medium density residential zone when the use can demonstrate the following:</p> <ul style="list-style-type: none"> a) it services the day-to-day needs of residents of the local neighbourhood or is 	No acceptable outcome is nominated.	As the site is located on a side street and the development is on a small scale, it is most likely the future use will service the needs of locals first and foremost, as well as visitors to

<p>a community or emergency facility that primarily services the needs of the local neighbourhood; or</p> <p>b) where located on Albert Street and can demonstrate a dependence on having highway passing trade. Therefore limited to:</p> <ul style="list-style-type: none"> (i) products predominantly displayed outside of any enclosed building and are demonstrably dependent on high visibility for attracting customers or businesses and typically include <u>outdoor sales</u>; or (ii) products predominantly displayed inside a building, consistent with the <u>showroom</u> definition with <u>gross floor area</u> of no more than 500 square metres and is demonstrably dependent on high visibility for attracting customers or business; and (iii) other uses which service and support the broad range of needs of highway users and include <u>food and drink outlet</u>, <u>service station</u>, <u>car wash</u> and the like; <p>c) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>d) is small in scale;</p> <p>e) is consistent with the surrounding built form and <u>streetscape</u>;</p> <p>f) the use does not compromise the role and function of existing centres;</p>		<p>the 'centre', rather than on a larger commercial basis.</p>
---	--	--

<p>g) does not adjoin an existing commercial centre zone;</p> <p>h) located in proximity to public transport facilities and public transport routes; and</p> <p>i) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>		
<p>PO14 The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO14.1 Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>	<p>The site is located approximately 60m from Musgrave Street, being an appropriately ordered road.</p>
<p>PO15 – PO16 are not applicable, the proposal does not include a multiple dwelling, relocatable home park, residential care facility or retirement facility</p>		
<p>PO17 – PO19 are not applicable, the proposal does not include rooming accommodation or short-term accommodation</p>		
<p>PO20 is not applicable, the proposal does not include a tourist park</p>		
<p>Effects of Development</p>		
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land use and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>	<p>AO21.1 Noise generating activities (dependant on future use) will be undertaken inside the shed. The proposed operating hours of 8am to 5pm comply with AO21.1</p> <p>AO21.2 Side and rear boundaries will be fully fenced (if not already) for privacy to adjoining properties and security.</p>
<p>PO12 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>	<p>Lighting will be provided in accordance with the relevant Australian Standards.</p>
<p>PO23 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> a) hazards to people or property are avoided; b) earthworks are minimised; c) the retention of natural drainage lines is maximised; 	<p>No acceptable outcome is nominated.</p>	<p>Storage of hazardous materials (oils, chemicals) will be contained in the shed.</p>

<p>d) the retention of existing vegetation is maximised;</p> <p>e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and</p> <p>f) there is adequate buffering from locally significant natural features.</p>		
Streetscape and Landscaping		
<p>PO24 Landscaping and streetscaping is provided to:</p> <p>a) enhance public streets and spaces;</p> <p>b) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>c) enhance the appearance of the development;</p> <p>d) screen components of development from adjoining sensitive land uses or from the street;</p> <p>e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and</p> <p>f) allow shading for pedestrian comfort.</p>	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <p>a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and</p> <p>b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary.</p> <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>	<p>AO24.1 Landscaping is located at the front of the site and is around 10% of the total site area (818m²).</p> <p>AO24.2 The adjoining properties either side contain commercial/industrial uses thus landscaping along the full length of boundaries is not required. Landscaping at the front will enhance street appeal.</p> <p>AO24.3 No landscaping is proposed at the rear of the site where adjoining sensitive land uses however there is an existing 1.8m high timber fence with some opacity. This can be replaced with a solid screen fence.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by the SC6.12 — Landscaping design and street tree planning scheme policy.</p>	<p>All significant trees on site will be removed for the development. The existing street tree will be retained.</p> <p>If required, some smaller tree species can be used in the landscaping strips.</p>
<p>PO26 is not applicable, the land is not within a greenfield area.</p>		

ACCESS, PARKING AND TRANSPORT CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Access and Parking		
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ul style="list-style-type: none"> a. the size of the parking area; b. the volume, frequency and type of vehicle traffic; c. the need for some land uses (for example hospitals) to accommodate emergency vehicle access; d. the type of use and the implications on parking and circulation, for example long-term or short-term car parking; e. frontage road function and conditions; and f. the capacity and function of the adjoining street system. 	<p>AO1.1 Access driveways are not located within:</p> <ul style="list-style-type: none"> a) twenty-five (25) metres of a signalised road intersection; b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset. 	<p>The proposed access point is appropriately located to cater for all vehicle movements in and out of site and to ensure minimal disturbance to existing built infrastructure in Lucas Street (except for kerb and channel required to be removed for the new access driveway).</p>
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 Access driveways:</p> <ul style="list-style-type: none"> a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs; b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; c) must be sealed and to a formed road; d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and e) are raised or lowered to match the surface level of the driveway, where an access chamber is to be 	<p>The proposed driveway will be designed and constructed in accordance with Council's policies and the CMDG and does not require the removal or relocation of any significant services or infrastructure connections (except for kerb and channel where required to be removed for the new driveway crossover).</p>

	incorporated within the driveway.	
PO3 Access driveways are designed and constructed so as to: a) enable safe and functional vehicular access from the street to the property; and b) not cause a change in the level of a footpath.	AO3.1 Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.	The proposed internal concrete driveways will be designed and constructed in accordance with the CMDG.
PO4 A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.	The driveway areas will be designed and constructed to ensure no ponding of stormwater. All stormwater will be directed to the kerb and channel.
Parking		
PO5 Provision is made for on-site vehicle parking: a) to meet the demand likely to be generated by the development; and b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.4.1.3.2 of the access, parking and mobility code. OR AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased. AO5.2 No net loss of on-street car parking results from the provision of off-street parking. AO5.3 All parking, loading and manoeuvring facilities for visitors and employees to be located on-site. AO5.4 Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.	AO5.1 Four parking spaces (including one universal space) will be provided on site. Three car parks at the front of the building will likely provide for customer vehicle parking. The carpark at the rear will be reserved for staff parking. Table 9.3.1.3.2 states parking requirements for all industrial uses is 1 space per 100m ² of GFA or part thereof (330m ² = 3.3 = 4 spaces). The premises meets the minimum requirement. AO5.2 As the existing driveway will have kerb and channel reinstated when the new access is constructed, there will be no net-loss of on-street car parking. AO5.3 All parking and manoeuvring will occur on site. AO5.4 The size of the development should not warrant a high concentration of vehicles on site at once such that queuing in the roadway occurs.
PO6 Parking and servicing facilities are designed to meet user requirements.	AO6.1 Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.	The carparking and manoeuvring areas will be designed and constructed in accordance with the relevant Australian Standards.
PO7 Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road,	No acceptable outcome is nominated.	The site only has one formed road frontage.

except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.		
PO8 Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.	<p>AO8.1 Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.</p> <p>AO8.2 Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.</p>	The use will not operate at night.
<p>PO9 Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to:</p> <ol style="list-style-type: none"> provision of opportunities for casual surveillance; the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; minimising potential concealment points and assault locations; minimising opportunities for graffiti and other vandalism; and restricting unlawful access to buildings and between buildings. 	No acceptable outcome is nominated.	The proposed building and carparking areas do not create opportunities of concealment or increase the risk of criminal activity. The site will be fully fenced along all sides and the rear. The shed and office will be fully lockable.
PO10 Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.	No acceptable outcome is nominated.	The carparking areas will be fully accessible during business hours.
PO11 Landscaping is provided to soften the visual impact of car parking areas and to provide shading and protection from glare.	AO11.1 Landscaping areas and shade trees are provided in accordance with SC6.13 — Landscape design and street trees planning scheme policy.	Please see attached proposal plans showing areas of proposed landscaping.
Transport Impact		
<p>PO12 Development contributes to the creation of a transport network which is designed to:</p> <ol style="list-style-type: none"> achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and 	AO12.1 Development involving the creation of new streets is undertaken in accordance with SC6.20 — Structure plan planning scheme policy and Capricorn Municipal Design Guidelines.	No new roads are proposed.

<p>b) encourage people to walk, cycle or use public transport to and from the site instead of using a car.</p>		
<p>PO13 Development is located on roads that are appropriate for the nature of traffic generated, having regard to the safety and efficiency of the transport network.</p>	<p>AO13.1 Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.16 — Road infrastructure and hierarchy planning scheme policy.</p> <p>AO13.2 A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p>	<p>The site and adjoining road network are able to cater for the traffic generated by the future use based on the scale of the development.</p>
<p>PO14 Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> a) are safe for pedestrians and vehicles; b) are conveniently connected to the main component of the development by pedestrian pathway; and c) provide for pedestrian priority and clear sightlines. 	<p>No acceptable outcome is nominated.</p>	<p>No specific set down facilities are provided, however the site can cater for these requirements within the parking and driveway areas.</p>
<p>Site Access</p>		
<p>PO15 Development does not impact on the safety, operation or function of the road network or system.</p>	<p>AO15.1 Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with the Australian Standard AS 2890, as updated from time to time.</p> <p>AO15.2 No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.16 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p>AO15.3 Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.16 — Road</p>	<p>All vehicle access and manoeuvring areas will be designed and constructed in accordance with the CMDG, relevant Australian Standards and Council's relevant policies and for all vehicles to enter and exit site in a forward gear.</p> <p>The road network can cater for the traffic generated by the use.</p>

	infrastructure and hierarchy planning scheme policy.	
PO16 Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport network improvements.	No acceptable outcome is nominated.	No road upgrades are required.
PO17 On-site transport network infrastructure integrates safely and effectively with surrounding networks.	AO17.1 Intersections, connections and access arrangements are designed in accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.	The access will be designed and constructed in accordance with the CMDG.
<i>Pedestrian and Cyclist Facilities</i>		
PO18 Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.	AO18.1 Pedestrian and cyclist facilities are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890 — Parking facilities.	The proposed development does not promote use by pedestrians or cyclists however both can safely access the site if required using the access and driveway provided. There is no pedestrian pathway along the site frontage, however there is along the front of both adjoining properties. A concrete footpath can be constructed connecting to the existing pathways either side.
PO19 Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.	No acceptable outcome is nominated.	Bicycle parking can be provided internally if required.
<i>Servicing</i>		
PO20 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO20.1 Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.	A refuse storage area will be provided on the western boundary near the front carpark. Waste will be collected from site via private contractor. The waste storage area will be aesthetically screened from public view via the landscaping/planting.

STORMWATER MANAGEMENT CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Design		
<p>PO1 Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ul style="list-style-type: none"> a) ensure that flooding impacts do not increase, including upstream or downstream of the development site; b) avoid net worsening of stormwater peak discharges and runoff volumes; and c) maximise the use of water sensitive urban design principles. 	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.19 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p> <p>AO1.2 Development ensures that the location of the stormwater drainage system is contained within a road reserve, drainage easement, public reserve, public pathway, park or waterway corridor.</p> <p>AO1.3 Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p> <p>AO1.4 Development minimises large impervious areas and maximises opportunities for capture and reuse.</p>	<p>The site is generally flat and gently falls in a south to south-westerly direction toward Lucas Street. All roof water and impervious area run-off will be directed to the kerb and channel in Lucas Street.</p> <p>There should be no need for any underground private stormwater drainage system.</p>
<p>PO2 Development provides a stormwater management system which:</p> <ul style="list-style-type: none"> a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments; b) maximises the use of natural waterway corridors and natural channel design principles; and c) efficiently integrates with existing stormwater treatments upstream and downstream. 	<p>AO2.1 Development provides a stormwater conveyance system which is designed to safely convey flows associated with all internal and external contributing catchment(s).</p>	<p>The site is generally flat and gently falls in a south to south-westerly direction toward Lucas Street. All roof water and impervious area run-off will be directed to the kerb and channel in Lucas Street.</p> <p>There should be no need for any underground private stormwater drainage system.</p>
<p>PO3 Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <ul style="list-style-type: none"> a) minimise risk to people and property; b) provide for safe access and maintenance; 	<p>AO3.1 Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p>AO3.2 Development provides for stormwater detention in accordance with Queensland</p>	<p>No stormwater detention or treatment should be required.</p>

<p>c) minimise ecological impacts to creeks and waterways; and</p> <p>d) provide for the safe recreational use of stormwater management features.</p>	<p>Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p> <p>A03.3 Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy - Water Quality.</p>	
Environmental Values		
<p>PO4 Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p>	<p>A04.1 Development ensures natural waterway corridors and drainage paths are retained.</p> <p>A04.2 Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability.</p> <p>A04.3 Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in compliance with the Queensland Urban Drainage Manual, Capricorn Municipal Design Guidelines and Australian Rainfall and Runoff.</p>	<p>The development will have no impact on any waterways in the catchment. All stormwater will drain to the kerb and channel.</p>
<p>PO5 Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or external to the <u>site</u>.</p>	<p>No acceptable outcome is nominated.</p>	<p>The development will have no impact on any waterways in the catchment. All stormwater will drain to the kerb and channel.</p>
Overland Flow Path Tenure		
<p>PO6 All overland stormwater flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.</p>	<p>No acceptable outcome is nominated.</p>	<p>Natural drainage arrangements will be maintained where possible, following the natural fall of the land.</p>
Detention Systems		
<p>PO7 Detention basins are designed, located and constructed on land solely dedicated for stormwater management.</p>	<p>No acceptable outcome is nominated.</p>	<p>No detention is proposed or required.</p>
<p>PO8 Development ensures that location and design of stormwater detention and water quality treatment:</p> <p>a) minimises risk to people and property;</p>	<p>A08.1 Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater</p>	<p>No detention is proposed or required.</p>

<p>b) provides for safe access and maintenance; and</p> <p>c) minimises ecological impacts to creeks and waterways.</p>	<p>management planning scheme policy.</p>	
<p>PO9 Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:</p> <p>a) detention system design does not remove floodplain storage; and</p> <p>b) detention systems continue to operate effectively during a major storm event.</p>	<p>No acceptable outcome is nominated.</p>	<p>No detention is proposed or required.</p>
<p>PO10 Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.</p>	<p>AO10.1 The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy.</p>	<p>No detention is proposed or required.</p>
<i>Efficiency and Whole of Life Cycle Cost</i>		
<p>PO11 Development ensures that there is sufficient site area to accommodate an effective stormwater management system.</p> <p>Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p>No acceptable outcome is nominated.</p>	<p>The site can cater for the proposed drainage arrangements.</p>
<p>PO12 Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:</p> <p>a) existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades;</p> <p>b) safe management of stormwater discharge from existing and future upslope development; and</p> <p>c) implications for adjacent and down-slope development.</p>	<p>No acceptable outcome is nominated.</p>	<p>The site can cater for the proposed drainage arrangements.</p>
<p>PO13 Development provides proposed stormwater infrastructure which:</p> <p>a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and</p>	<p>No acceptable outcome is nominated.</p>	<p>The stormwater drainage will be designed to cater for the development for its lifetime.</p>

b) can be safely accessed and maintained in a cost effective way.		
Erosion and Sediment Control		
<p>PO14 Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <ul style="list-style-type: none"> a) the environmental values and water quality objectives of waters; b) waterway hydrology; and c) the maintenance and serviceability of stormwater infrastructure. 	<p>AO14.1 Water sensitive urban design and erosion and sediment control measures are implemented in accordance with the State Planning Policy - Guideline - Water Quality.</p> <p>AO14.2 Unnecessary disturbance to soil, waterways or drainage channels is avoided and all soil surfaces remain effectively stabilised against erosion during construction and in the long-term.</p> <p>AO14.3 Erosion and sediment control plans and measures are implemented during land disturbing activities to achieve the protection of environmental values of waters and the function of stormwater infrastructure.</p>	Erosion and sediment control will be implemented on site during construction.
Water Quality Within Catchment Areas		
<p>PO15 For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p>AO15.1 Development complies with the provisions of the State Planning Policy - Guideline - Water Quality.</p> <p>AND</p> <p>AO15.2 Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <ul style="list-style-type: none"> a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage. 	The development will have no impact on water qualities flowing to the Fitzroy catchment, no contaminants or hazardous materials will be released into waters.
Protecting Water Quality		
<p>PO16 The development is compatible with the land use constraints of the site for:</p>	<p>AO16.1 Development is undertaken in accordance with a stormwater management plan that:</p>	The development will not adversely impact water quality of stormwater runoff.

<ol style="list-style-type: none"> 1. achieving stormwater design objectives; and 2. avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater. 	<ol style="list-style-type: none"> a) incorporates stormwater quality control measures to achieve the design objectives set out in the State Planning Policy – Guideline – Water Quality; b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives. <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 – Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>	
Protecting Water Quality In Existing Natural Waterways		
<p>PO17 The <u>waterway</u> is designed for stormwater flow management, stormwater quality management and the following end use purposes:</p> <ol style="list-style-type: none"> 1. amenity including aesthetics, 2. landscaping and recreation; 3. flood management; 4. stormwater harvesting as part of an integrated water cycle management plan; 5. as a sustainable aquatic habitat; and 6. the protection of water environmental values. 	<p>No acceptable outcome is nominated.</p>	<p>The proposed drainage will ensure water quality within the catchment is maintained.</p>
<p>PO18 The <u>waterway</u> is located in a way that is compatible with existing tidal waterways.</p>	<p>AO18.1 Where the <u>waterway</u> is located adjacent to, or connected to, a tidal <u>waterway</u> by means of a weir, lock, pumping system or similar:</p> <ol style="list-style-type: none"> 1. there is sufficient flushing or a tidal range of more than 0.3 metres; or 	<p>No waterways are being constructed.</p>

	<ol style="list-style-type: none"> 2. any tidal flow alteration does not adversely impact on the tidal <u>waterway</u>; or 3. there is no introduction of salt water into freshwater environments. 	
<p>PO19 The construction phase for the <u>waterway</u> is compatible with protecting water environmental values in existing natural waterways.</p>	<p>AO19.1 Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy - Guideline - Water Quality.</p>	<p>No waterways are being constructed.</p>
<p>PO16 Stormwater overflows from the <u>waterway</u> do not result in lower water quality objectives in existing natural waterways.</p>	<p>AO16.1 Stormwater run-off that may enter the non-tidal <u>waterway</u> is pre-treated in accordance with the guideline design objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.</p>	<p>The proposed drainage system will ensure water quality within the catchment is maintained.</p>

WATER AND SEWER CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Water		
<p>PO1 A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p>AO1.1 AO1.1.1 Where within a water supply area, the development is connected to Council's reticulated water supply system in accordance with SC6.22 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO1.1.2 Where not in a water supply area or within the rural zone, development provides a reliable, on-site household water source (such as dam water, tank or bore water) with a safe yield of at least one (1) mega litre per year. A report from a qualified hydrologist is required to certify the safe yield of the dam or bore.</p>	<p>Water supply will be provided from Lucas Street via the existing mains. A property connection already exist and should be sufficient to cater for the development.</p>
<p>PO2 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO2.1 Where within a water supply area, water supply systems and connections are designed and constructed in accordance with SC6.22 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO2.2 Where within a water supply area, staged developments are connected to the water supply network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>Water supply will be provided from Lucas Street via the existing mains. A property connection already exist and should be sufficient to cater for the development.</p>
Sewer		
<p>PO3 Waste water treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO3.1 AO3.1.1 Where within a waste water area, the development is connected to Council's reticulated waste water system in accordance with SC6.18 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO3.1.2 Where not within a waste water area, on-site waste water treatment and disposal:</p>	<p>The development will be connected to Council's reticulated sewerage network as required. A combined line traverses the site. The new building will be located over the sewer main, thus will need to be in accordance with MP1.4 Building over or near relevant infrastructure and any relevant Council policies.</p>

	<ul style="list-style-type: none"> a) complies with the Queensland Plumbing and Wastewater Code and the <i>Plumbing and Drainage Act 2002</i>; and b) requires a site evaluation report to be prepared by a qualified person in accordance with the Queensland Plumbing and Waste Water Code. 	
<p>PO4 Reticulated waste water networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>AO4.1 Where within a waste water area, waste water systems and connections are designed and constructed in accordance with SC6.18 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>AO4.2 Where within a waste water area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>	<p>The development will be connected to Council's reticulated sewerage network as required. A combined line traverses the site. The new building will be located over the sewer main, thus will need to be in accordance with MP1.4 Building over or near relevant infrastructure and any relevant Council policies.</p>
Point Source Waste Water Management		
<p>PO5 Development does not discharge waste water to a waterway or external to the site unless demonstrated to be best practice environmental management for the type and scale of development.</p>	<p>AO5.1 A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> a) waste water type; b) climatic conditions; c) water quality objectives; and d) best practice environmental management. <p>AO5.2 The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> a) avoids waste water discharge to waterways; or b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways cannot 	<p>All waste water will be discharged to the sewer.</p>

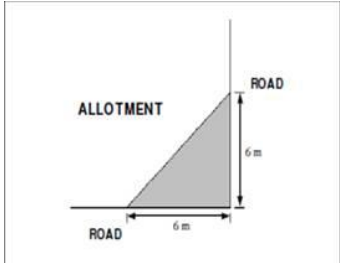
	practically and reasonably be avoided.	
Water Management		
PO5 Waste storage areas are designed to separate stormwater and wash-down water.	<p>AO5.1 Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.</p> <p>AO5.2 Wash-down areas are:</p> <ul style="list-style-type: none"> a) provided with a tap and water supply; and b) provided with a stormwater diversion valve and arrestor trap. 	Wash down facilities (internal of the building) will drain to the sewer.

LANDSCAPE CODE

Specific Outcomes	Acceptable Solutions	Proposed Compliance
Design		
<p>PO1 Landscaping is professionally designed and provides a suitably sized area to:</p> <ul style="list-style-type: none"> a) create an attractive visual addition to a building or place; b) soften the built form; c) provide a space for on-site recreation; and d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>AO1.1 Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>	The proposed landscaping is consistent with similar developments in the area. The existing street tree will remain.
<p>PO2 Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas and the road verge.</p>	No acceptable outcome is nominated.	No shade trees have been specified.
<p>PO3 On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p>AO3.1 Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p>AND</p> <p>AO3.2 Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> a) minimising impervious surfaces and incorporating semi-permeable paving products; 	All roof and allotment water will drain to the kerb and channel and landscaped areas, following the natural fall of the land.

	<ul style="list-style-type: none"> b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; c) maximising the opportunity for turf and planting areas; d) aligning planting areas parallel to contours to slow the flow of surface water; and e) ensuring the planting palette comprises canopy tree species. <p>AND</p> <p>A03.3 Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p> <p>AND</p> <p>A03.4 The landscape design incorporates sediment and erosion control measures.</p>	
<p>PO4 Design of pedestrian paths and places reinforces the desired character of the area, and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p>A04.1 The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>	<p>We expect the pedestrian path along the frontage of the neighbouring properties will be continued through along the subject site frontage.</p>
<p>PO5 Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> a) maximising casual surveillance of public spaces; b) increasing opportunity for public interaction; and c) minimising opportunity for concealment and criminal activity through environmental design principles. 	<p>A05.1 Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; b) clear sight lines from private to public space; c) visually permeable screens and fencing; d) lighting of landscaped areas; e) public facilities (toilets, shelters etcetera) located to promote use; f) dual access points to public spaces; g) clearly defined public and private spaces; h) measures to protect solid and blank walls from graffiti; 	<p>Landscaping will be completed to minimise opportunities for concealment and maximise casual surveillance levels. Regular maintenance (pruning) will ensure plantings do not become overgrown and restrict visibility.</p>

	<ul style="list-style-type: none"> i) legible universal signage; j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and k) plant species that do not exacerbate impacts such as bushfire or flash flooding. 	
Species Selection		
<p>PO6 Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> a) suit the local climatic conditions; b) have low water usage needs or are provided with water harvested on-site; c) include locally native species; d) are of a suitable size and density to achieve the purposes of this code; and e) complement the proposed development; f) are not classified as a pest species or a noxious or invasive weed; g) preserve existing vegetation where desirable and protect existing environmental values of the land; and h) do not exacerbate bushfire or flood hazards. 	<p>AO6.1 Plant species are chosen from sources recommended in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.2 Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AO6.3 At least fifty (50) per cent of all new plantings are locally native species.</p> <p>AND</p> <p>AO6.4 Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p>AND</p> <p>AO6.5 Unless forming part of a landscaping concept approved by Council, planting is carried out to create a ‘three-tier’ landscaping treatment at the following minimum density rates:</p> <ul style="list-style-type: none"> a) trees at five (5) metre intervals; b) shrubs at two (2) metre intervals; and c) groundcovers at 0.5 metre to one (1) metre intervals. <p>AND</p> <p>AO6.6 Existing vegetation is retained and integrated into landscaping.</p>	<p>AO6.1 Plant species will be chosen in accordance with Council’s PSP.</p> <p>AO6.2 No undesirable species as per the PSP will be used.</p> <p>AO6.3 Native species will be used where possible.</p> <p>AO6.4 Plant species will be chosen in accordance with the PSP.</p> <p>AO6.5 Plantings will be spaced at appropriate intervals</p> <p>AO6.6 All trees on site will be removed however the existing street tree at the site frontage will remain.</p> <p>AO6.7 No palm trees will be planted</p>

	<p>AND</p> <p>AO6.7 The use of palms is avoided in proximity to overland flow paths and watercourses.</p>	
Character and Streetscaping		
<p>PO7 Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p> <ul style="list-style-type: none"> a) the hierarchy and function of the street; b) the selection of appropriate species; c) avoidance of conflict between the street tree and utilities and services within the road reserve; d) soil conditions; e) existing street trees; f) solar access; and g) driveway access. 	<p>AO7.1 Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>	<p>The existing street tree will remain.</p>
<p>PO8 Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.</p>	<p>AO8.1 For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below:</p> <div style="text-align: center;">  </div> <p>Figure 9.3.4.3.1a — Height restriction for corner sites</p>	<p>N/A</p>
<p>PO9 Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.</p>	<p>No acceptable outcome is nominated.</p>	<p>The proposed landscaped areas are consistent with other developments in the area and at an appropriate scale for the site.</p>
<p>PO10 Fencing (including walls) and acoustic barriers are designed to:</p> <ul style="list-style-type: none"> a) be compatible with the existing streetscape; 	<p>AO10.1 Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.</p>	<p>AO10.1 No combination retaining wall and fences are proposed – the site is flat thus should be no retaining walls.</p> <p>AO10.2 No acoustic fencing is required.</p>

<p>b) minimise adverse effects on the amenity of an adjoining property; and</p> <p>c) complement, but not dominate, the development.</p>	<p>AND</p> <p>AO10.2 Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height equal to or above the height of the acoustic fencing.</p>	
--	--	--

Car Parking and Internal Access

<p>PO11 Car parks and internal access (both on and off-street) are landscaped to:</p> <p>a) reduce their visual appearance;</p> <p>b) provide shade;</p> <p>c) reduce glare;</p> <p>d) reduce heat stored in hard surfaces;</p> <p>e) harvest storm water; and</p> <p>f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff.</p>	<p>AO11.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <p>a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and</p> <p>b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks.</p> <p>Editor's Note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p> <p>AND</p> <p>AO11.2 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p>AND</p> <p>AO11.3 Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p>AND</p> <p>AO11.4 Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p> <p>AND</p> <p>AO11.5 Trees within car parking areas are planted within a deep natural ground/structured soil garden</p>	<p>Landscaping is indicative only and plant species and types have not yet been chosen. The size of the development does not warrant large shade trees. The existing street tree will remain.</p>
--	--	---

	<p>bed, and are protected by wheel stops or bollards as required.</p> <p>AND</p> <p>AO11.6 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>	
<p>PO12 The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> a) overhead wires and equipment; b) underground pipes and cables; and c) inspection chambers, transformers, poles and drainage infrastructure. 	<p>AO12.1 A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10) metres.</p> <p>AND</p> <p>AO12.2 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p>AND</p> <p>AO12.4 The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>	<p>Plant species will not interfere with any above or below ground infrastructure.</p>
<p>PO13 Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <ul style="list-style-type: none"> a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather; b) provide an appropriate turn around area for vehicles and secure access entrance; and c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits. 	<p>AO13.1 Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p>AND</p> <p>AO13.2 Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>	<p>N/A</p>



DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
3D VIEW



0407 271 336 **M**
info@dezinements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-01	

PROJECT

NEW DEVELOPMENT

ADDRESS

59 LUCAS STREET, BERSERKER

CLIENT

JJ KERRS APPLIANCES PTY LTD



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:

DEVELOPMENT

Address:

**59 LUCAS STREET,
BERSERKER**

Drawing Title:

3D VIEW



0407 271 336 **M**

info@dezi elements.com.au **E**

QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		

Project No: Drawing No:

23_252 S-02



DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
3D VIEW



0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-03	

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:

REVISIONS

ISSUED FOR
PRELIMINARY

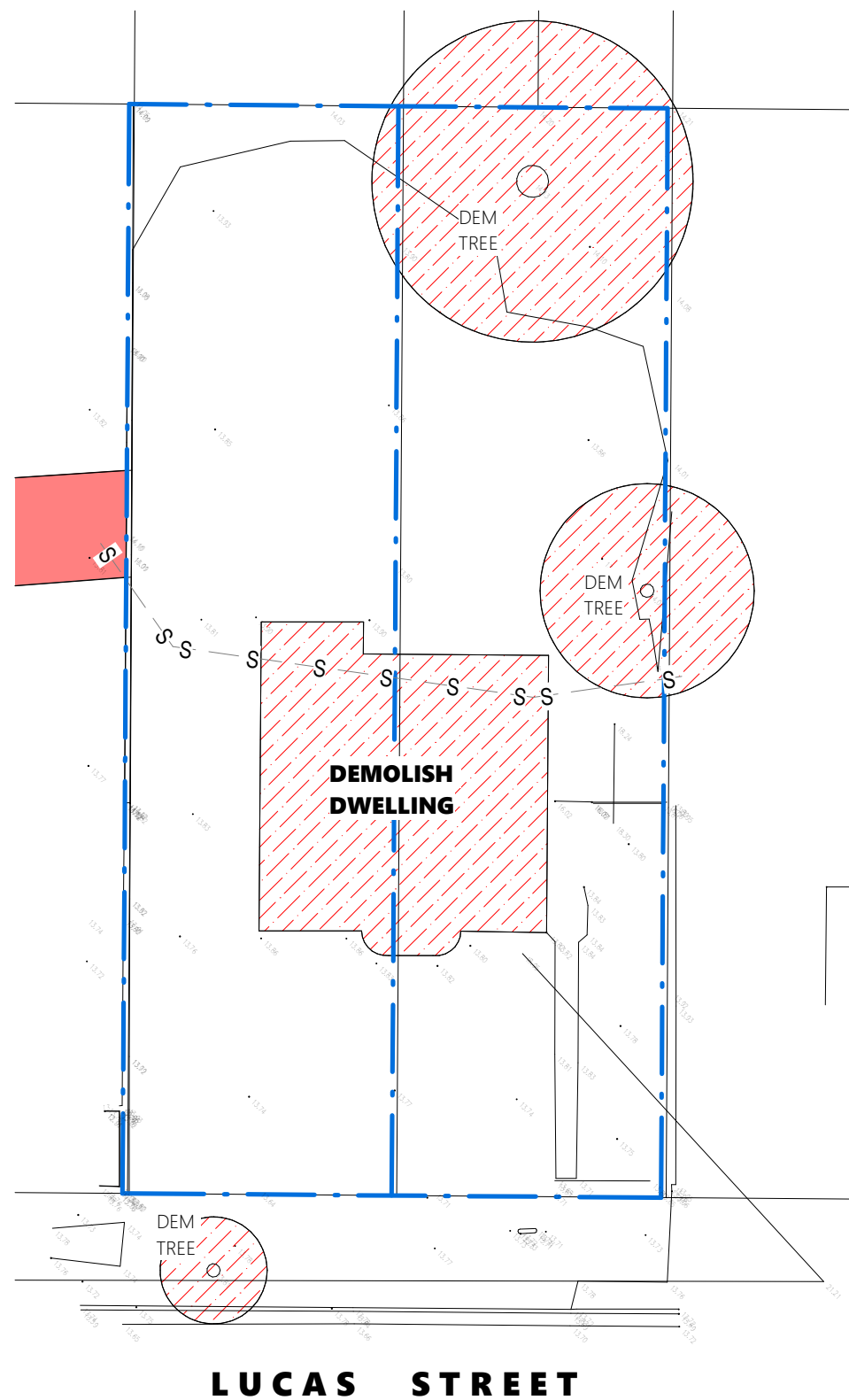
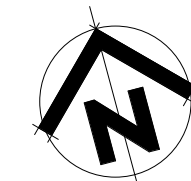
Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	SITE PLAN



0407 271 336 M
info@deaignelements.com.au E
QBCC No: 1247120 BDAQ No: 0001677

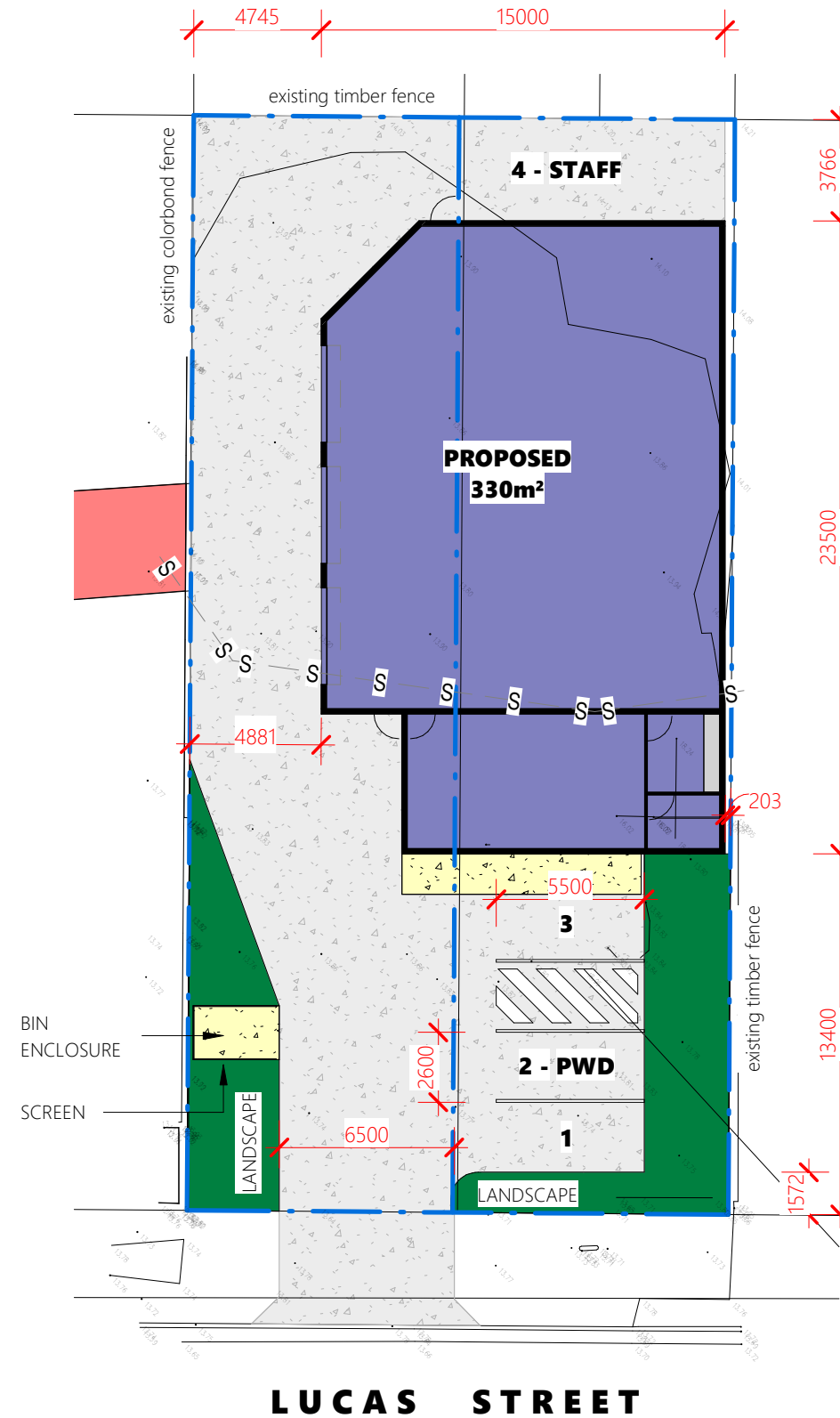
Scale: 1 : 250	Rev: -
Date: DEC 2023	
Drawn: NJB	
Project No: 23_252	Drawing No: S-04

11/12/2023 1:54:54 PM



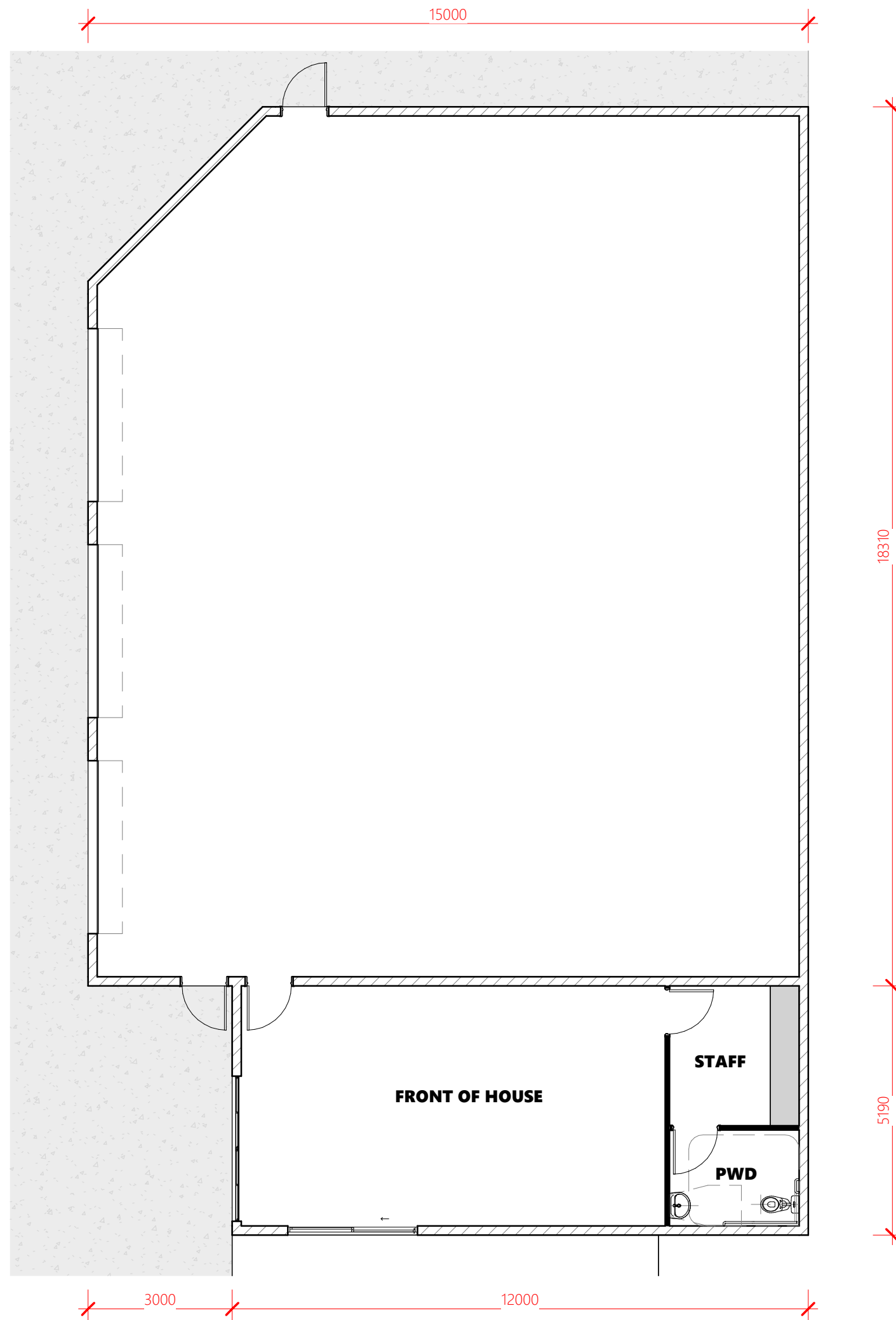
Existing Site Plan

1 : 250



Proposed Site Plan

1 : 250



Proposed Floor Plan

1 : 100

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

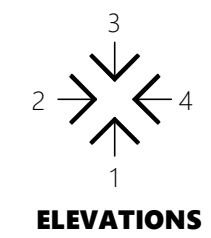
No:	Description:	Date:	REVISIONS

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	PROPOSED FLOOR PLAN

dezinelements
BUILDING DESIGNERS

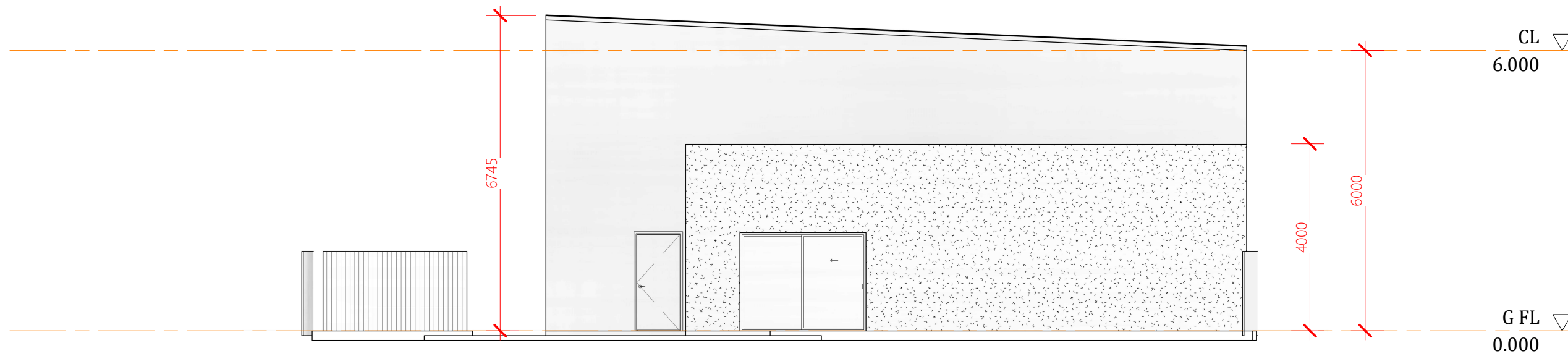
0407 271 336 **M**
info@dezi nelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677



Scale: 1 : 100	Rev: -	11/12/2023 1:54:54 PM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-05	

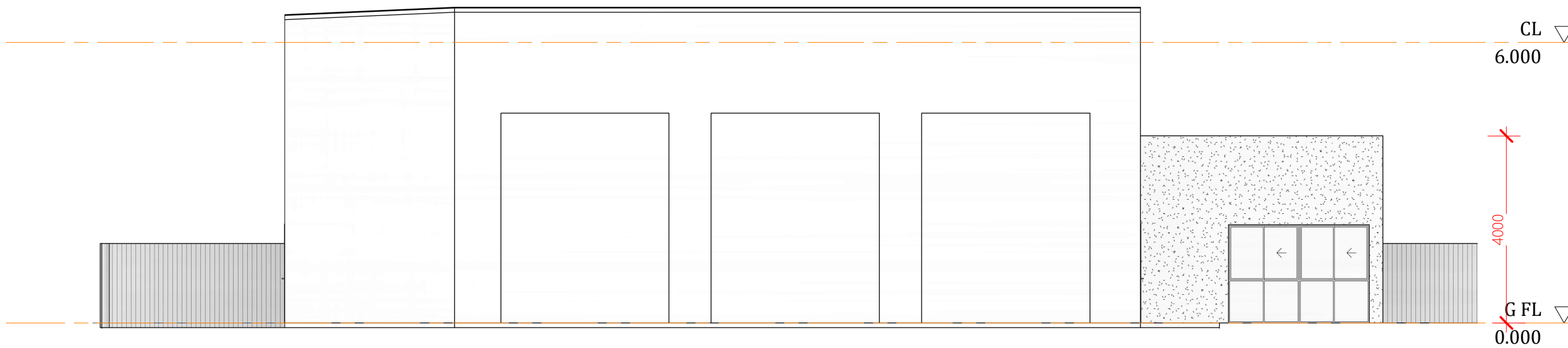
DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS



Proposed Elevation 1

1 : 100



Proposed Elevation 2

1 : 100

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
ELEVATIONS

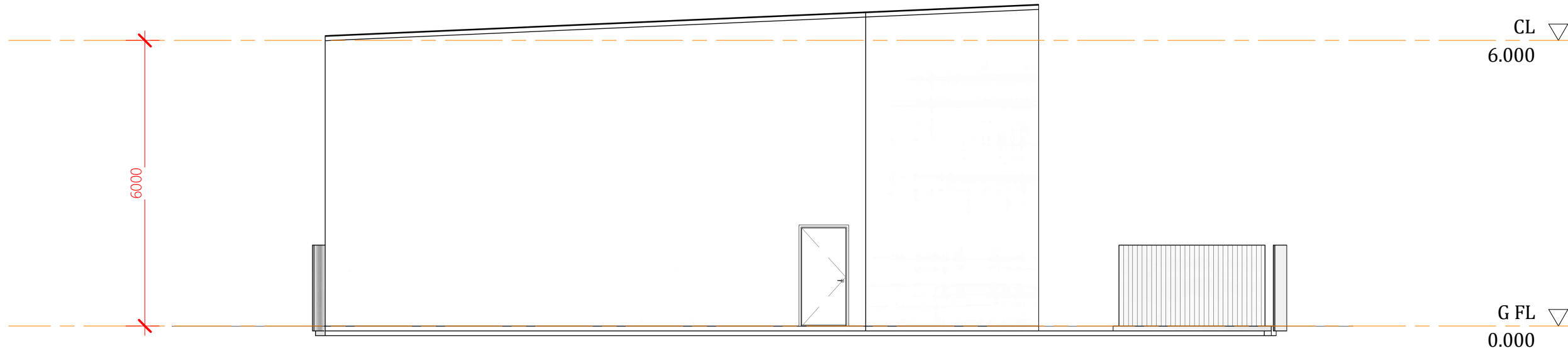


0407 271 336 **M**
info@deziqnelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: -	11/12/2023 1:54:56 PM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-06	

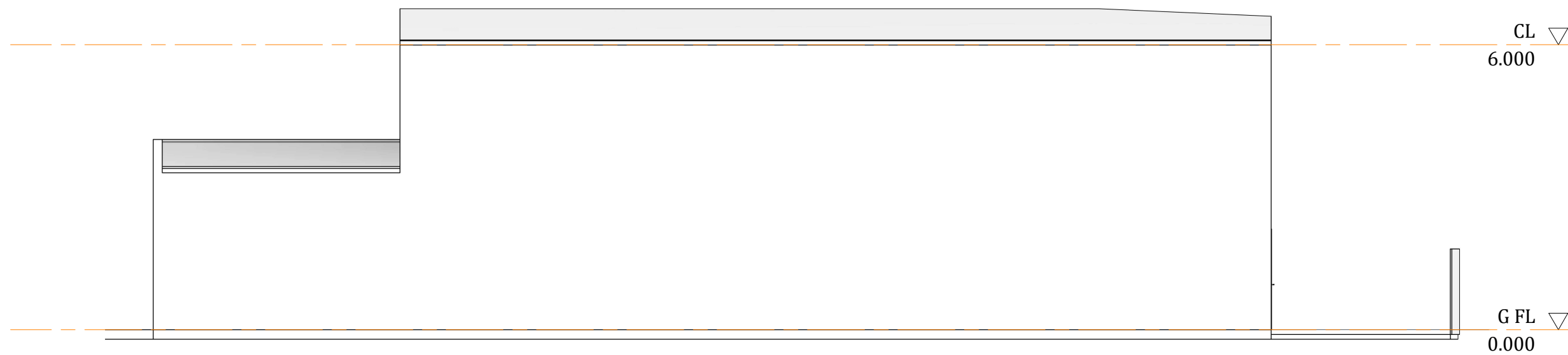
DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	



Proposed Elevation 3

1 : 100



Proposed Elevation 4

1 : 100

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
ELEVATIONS



0407 271 336 **M**

info@dezi elements.com.au **E**

QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: -
Date: DEC 2023	
Drawn: NJB	

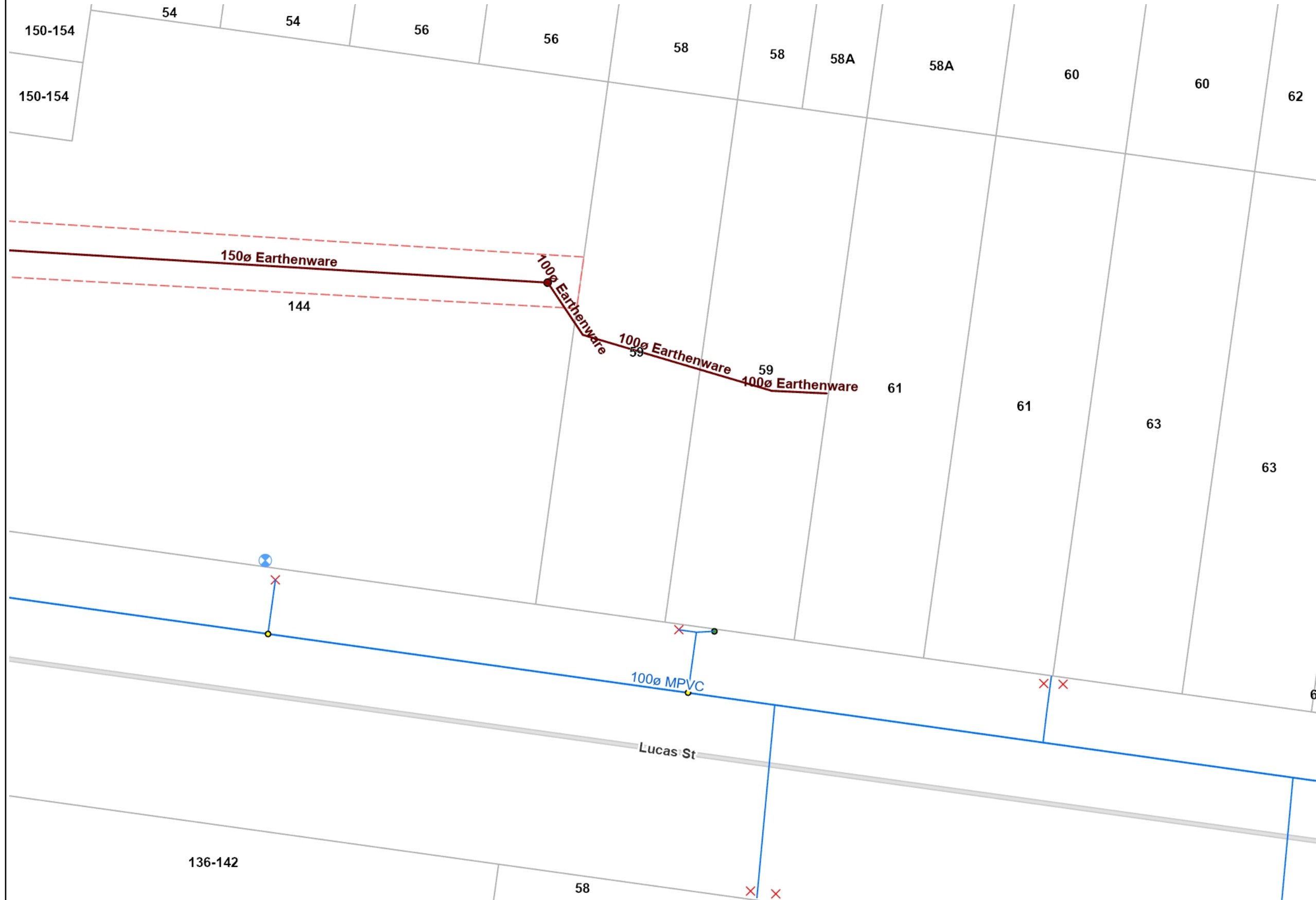
Project No: 23_252	Drawing No: S-07
------------------------------	----------------------------

11/12/2023 1:54:59 PM

DBYD Number: 35838188

Sequence Number: 234320076

59 Lucas Street, Berserker



DBYD - Rockhampton Regional Council Infrastructure

- CBD Parking sensor zones
- Water**
 - Gate, Sluice, Butterfly
 - Air Valve
 - Ball Cock, Stop Cock
 - Ball Valve
 - Motor Sluice Valve
 - Non Return Valve
 - Pressure Reducing Valve
 - RPZ Valve
 - Reflux Valve
 - Scour Valve
 - Sluice Bypass Valve
 - Tap
 - Other Valve Type
 - Open - Dialysis
 - Closed - Zone
 - Valve Normally Open
 - Valve Normally Closed
 - Trunk Main
 - Reticulation Main
 - Raw Water Main
 - Scour Line
 - Other Main Type
 - Water Service
 - Hydrants
 - Reservoirs
 - Intake
 - Pump Station
 - Treatment Plant
 - Unknown
 - Abandoned Mains
 - Private Water
 - Private Water Hydrants
 - Private Water Valves
 - Private Water Mains
 - Private Water Abandoned Mains
- Private Stormwater**
 - Culverts Private
 - Headwalls Private
 - Stormwater Junctions Private
 - Pollution Trap Private
 - Subsoil Clean-Out pit Private
 - Stormwater Jump Up Private
 - Stormwater Main Private
 - Open Channel Private
 - Subsoil Drain Private
 - Retention Basins Private
- Effluent**
 - Effluent Structures
 - Effluent Valves
 - Effluent Mains
- Sewer**
 - Pump Station
 - Treatment Plant
 - Unknown
 - Abandoned Mains
 - Private Sewer
 - Pump Station
 - Treatment Plant
 - Sewer Access Chambers Private
 - Sewer Joints Private
 - Sewer Valves Private
 - Sewer Gravity Mains Private
 - Sewer Rising Mains Private
 - Sewer Jump Ups Private
 - Sewer Mains Abandoned Private
 - Sewer Access Chambers Abandoned Private
- Stormwater**
 - Flood Mitigation Devices
 - Culverts
 - Headwalls
 - Stormwater Junctions
 - Pollution Trap
 - Subsoil Clean-Out pit
 - Stormwater Jump ups
 - Connector; Reticulation Main
 - Culvert Pipe; LinkSlab
 - Inter-Allotment
 - Low Flow Pipe
 - Other
 - Stormwater Drop Structures
 - Batter Chute; Open Channel
 - Bio-Retention Swale
 - Subsoil Drain
 - Weirs
 - Bio-Retention
 - Detention/Retention
- Private Sewer**
 - Pump Station
 - Treatment Plant
 - Sewer Access Chambers Private
 - Sewer Joints Private
 - Sewer Valves Private
 - Sewer Gravity Mains Private
 - Sewer Rising Mains Private
 - Sewer Jump Ups Private
 - Sewer Mains Abandoned Private
 - Sewer Access Chambers Abandoned Private
- Administrative**
 - Easements
 - Property Parcels

Copyright protects this publication. Reproduction by whatever means is prohibited without prior written permission of the Chief Executive Officer, Rockhampton Regional Council. Rockhampton Regional Council will not be held liable under any circumstances in connection with or arising out of the use of this data nor does it warrant that the data is error free. Any queries should be directed to the Customer Service Centre, Rockhampton Regional Council or telephone 1300 22 55 77. The Digital Cadastral DataBase is current as at January 2024. © The State Government of Queensland (Department of Natural Resources and Mines) 2024. All other data © Rockhampton Regional Council 2024. This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



A3 Page scale at 1:300.00

Printed from GeoCortex on 19/01/2024



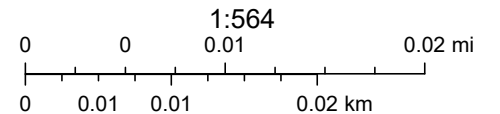
59 Lucas Street, Berserker



1/22/2024, 8:59:32 AM

Poles Network LV

● Pole — Overhead



Esri Community Maps Contributors, Livingstone Shire Council, Department of Resources, Dept. of Environment and Science, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, Foursquare, METI/NASA, USGS, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

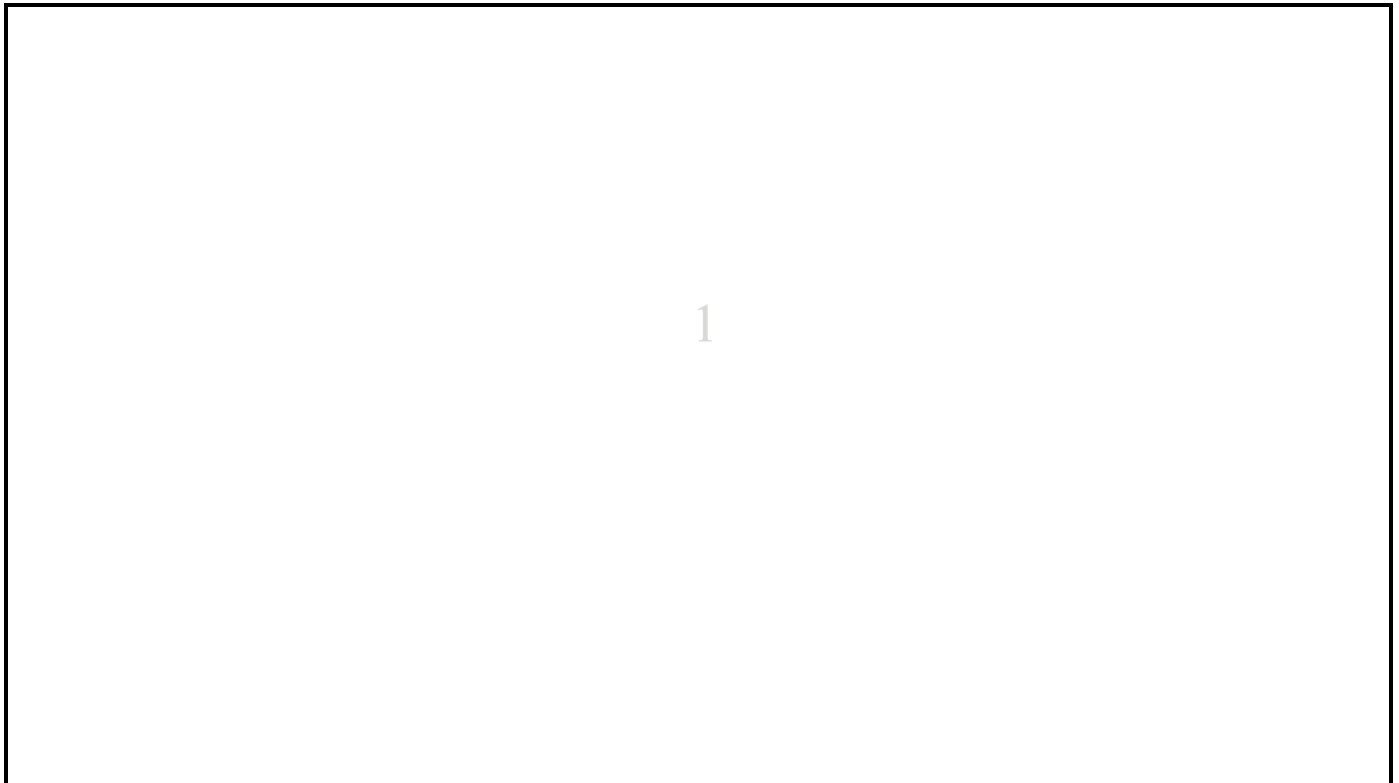
Part of the Energy Queensland Group

Esri Community Maps Contributors, Livingstone Shire Council, Department of Resources, Dept. of Environment and Science, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, Foursquare, METI/NASA, USGS |

To: Madison-Lee Day
Phone: Not Supplied
Fax: Not Supplied
Email: reception@csgcq.com.au

Dial before you dig Job #:	35838188	
Sequence #	234320078	
Issue Date:	19/01/2024	
Location:	59 Lucas Street , Berserker , QLD , 4701	

Indicative Plans

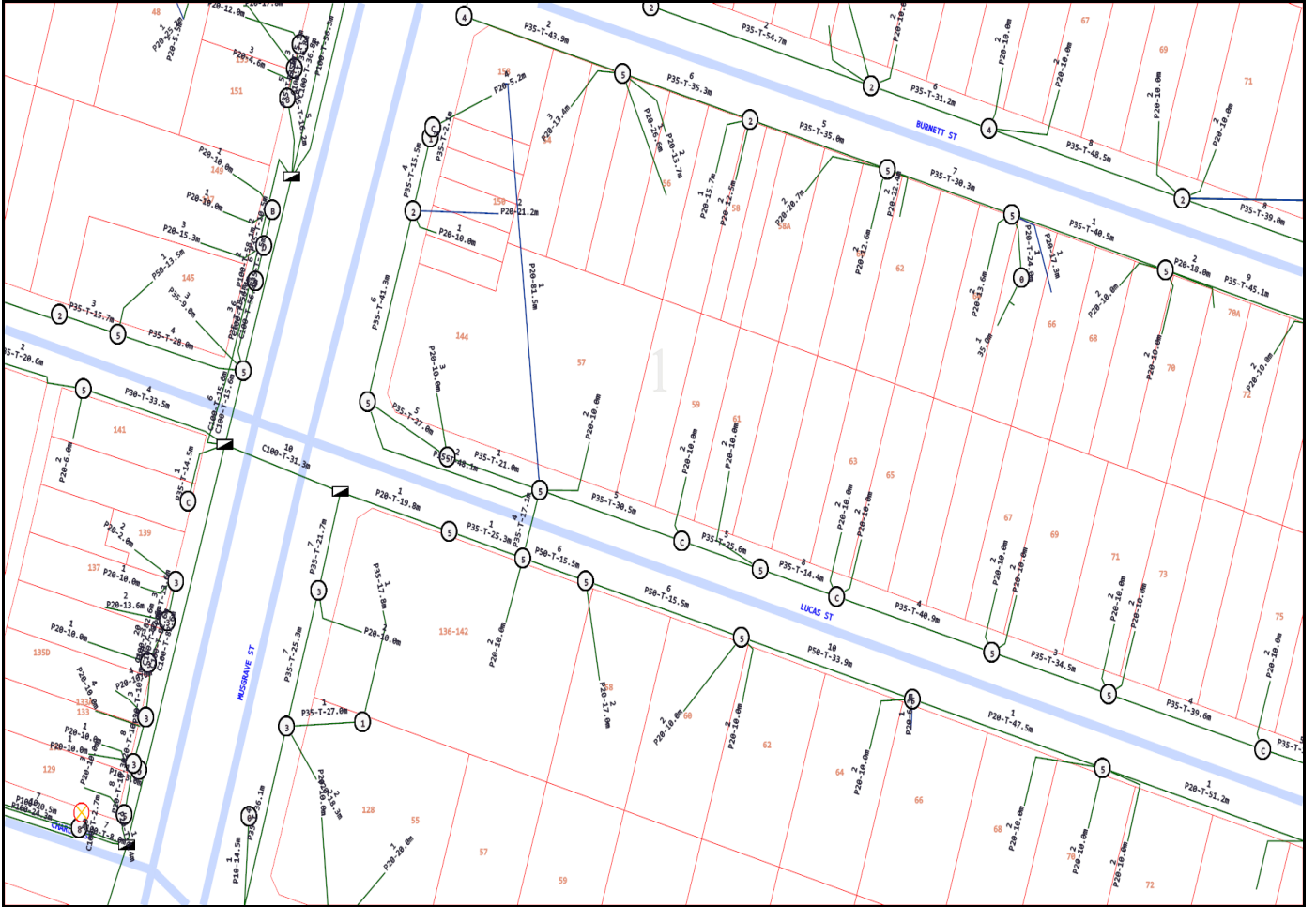




LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m



Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



APA Group
PO Box 6014 Halifax
Street,
South Australia 5000



For your immediate information THERE IS A CRITICAL GAS PIPELINE OR INFRASTRUCTURE (Gas Assets) located in close vicinity to your works.

19/01/2024

Company:
Madison-Lee Day
PO Box 1391
Rockhampton
QLD 4700

reception@csgcq.com.au

Dear Madison-Lee Day

Sequence Number: 234320079
Worksite Address: 59 Lucas Street
Berserker
QLD 4701

Thank you for your Before You Dig enquiry regarding the location of Gas Assets.

We confirm there are CRITICAL Gas Assets located in close vicinity of the above location. Damage to gas assets may result in explosion, fire and personal injury.

You are hereby notified before you commence any works you are required to complete the Work In The Vicinity Of Critical Gas Assets request form and forward this to APA as soon as practicable.

Any work activity in vicinity of Critical Gas Assets operated by APA requires an **Authority to Work Permit** and may require attendance by an APA Site Watch representative whilst work is in progress. Please ensure you read and comply with all the relevant requirements contained in this response to your enquiry.

Contacts – APA Group	
Enquiry	Contact Numbers
General enquiries or feedback regarding this information or gas assets. <div style="text-align: right;">QLD Only</div> <div style="text-align: right;">All other States</div>	APA - Before You Dig Officer Phone: 1800 085 628 Email: PermitsQld@apa.com.au Phone: 1800 085 628 Email: DBYDNetworksAPA@apa.com.au
Gas Emergencies	Phone: 1800 GAS LEAK (1800 427 532)



Please find below the following information:

1. **Duty of Care** - If you are unclear of your obligations under these requirements please contact the Before You Dig officer for clarification.
2. **An overview map** highlighting the area of your intended works.
3. **Map(s) showing APA operated Gas Assets** within the area of your intended works.
4. **Work In The Vicinity Of Critical Gas Assets request form** - Please complete and forward to APA as soon as practicable via email DBYDNetworksAPA@apa.com.au or PermitsQld@apa.com.au (QLD only), or the address at the top of this document. **A minimum of three (3) business days in advance of any work commencement** is required to process Authority To Work Request applications and provide a response.
5. **Site Watch** – Following consideration of the information received by APA in the Work In The Vicinity Of Critical Gas Assets request form, we may require an APA Site Watch representative to be present on site whilst some or all of the proposed site works are undertaken. Refer information for Site Watch in the Duty of Care section of this document.

Important Information:

- This information is valid for 30 days from the date of this response.
- This information shall be available on site whilst conducting works.
- This information has been generated by an automated system based on the area highlighted in your BYDA request and has not been independently verified. Please check the maps represent the area you requested. If they do not, please contact the APA - Before You Dig officer.
- For some BYDA enquiries, you may receive two (2) responses from APA. Please read both responses carefully as they relate to different assets.

Yours Faithfully,

APA Group

Duty of Care - Working Around Gas Assets

General Conditions

- BYDA enquiries are valid for 30 days. If your works commence after 30 days from the date of this response a new enquiry is required to validate location information.
- The location information supplied in this document shall be used as a guide only. APA does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this information or maps.
- It is the responsibility of the excavator to expose all Gas Assets by hand digging. Gas Asset depths may vary according to ground conditions.
- Gas (inlet) Services connecting Gas Assets in the street to the gas meter on the property are not marked on the map. South Australia Only - If a meter box is installed on the property, a sketch of the gas service location may be found inside the gas meter box. APA does not guarantee the accuracy or completeness of these sketches.
- Road authorities, council's, and their authorised contractors and agents are responsible to pot-hole or use other suitable methods to verify the location and depth of all gas assets, including Gas (inlet) Services, prior to commencing any works.
- The location and depth of underground mains & services, including those in the road corridor and footpath, may vary in alignment and depth of cover, as a result of changes to road, footpath or surface levels subsequent to installation.
- Some Gas Assets may be installed inside a casing. Locations where a Gas Asset changes from being located within, to being located outside a casing may not be marked on the maps provided.
- The use of hydro-vacuum excavation in vicinity to Gas Assets is permitted under the following conditions:
 - Maximum water pressure of 1000psi unless otherwise advised.
 - A minimum distance of 100mm shall be maintained between the end of the pressure wand nozzle and gas assets.
 - Vertical movements of the pressure wand nozzle or inserting the nozzle in vicinity of the gas asset prohibited
 - The use of root cutting heads is prohibited.

Where a gas asset has been exposed via hydro-vacuum excavation a visual check must be undertaken to ensure no damage has occurred to the pipe or it's coating. If any damage has occurred notify the APA Before You Dig Officer.

Critical Gas Assets - Conditions

It is your responsibility to follow these important conditions when working in vicinity of Critical Gas Assets

- A Work In The Vicinity Of Critical Gas Assets request form must be submitted to APA Group prior to any work commencing.
- Prior to any works commencing in the vicinity of Critical Gas Assets the person undertaking the work must receive from APA an Authority to work permit.
- The work in the vicinity of Critical Gas Assets will require attendance by an APA Site Watch representative whilst work is in progress unless stated otherwise on the Authority to work permit.
- Penalties apply to excavators commencing work in the vicinity of Critical Gas Assets prior to receiving an APA Group 'Authority to Work' permit and/or if an APA Site Watch representative is not in attendance where required.



Site Watch / Locate Services

Site Watch - A condition of an APA Authority To Work permit is for an APA Site Watch representative be present on site whilst conducting works. The purpose is to monitor works and protect gas assets in the vicinity from potential damage by the works.

Locate – This service is available on request, where an APA representative will visit your work site before work commencement to electronically locate and mark on the ground surface all gas assets in vicinity of the work site.

These services are provided under the following conditions:

- Contact APA - Before You Dig officer to make a booking. Contact details in the table above.
- The following rates are chargeable for these services:

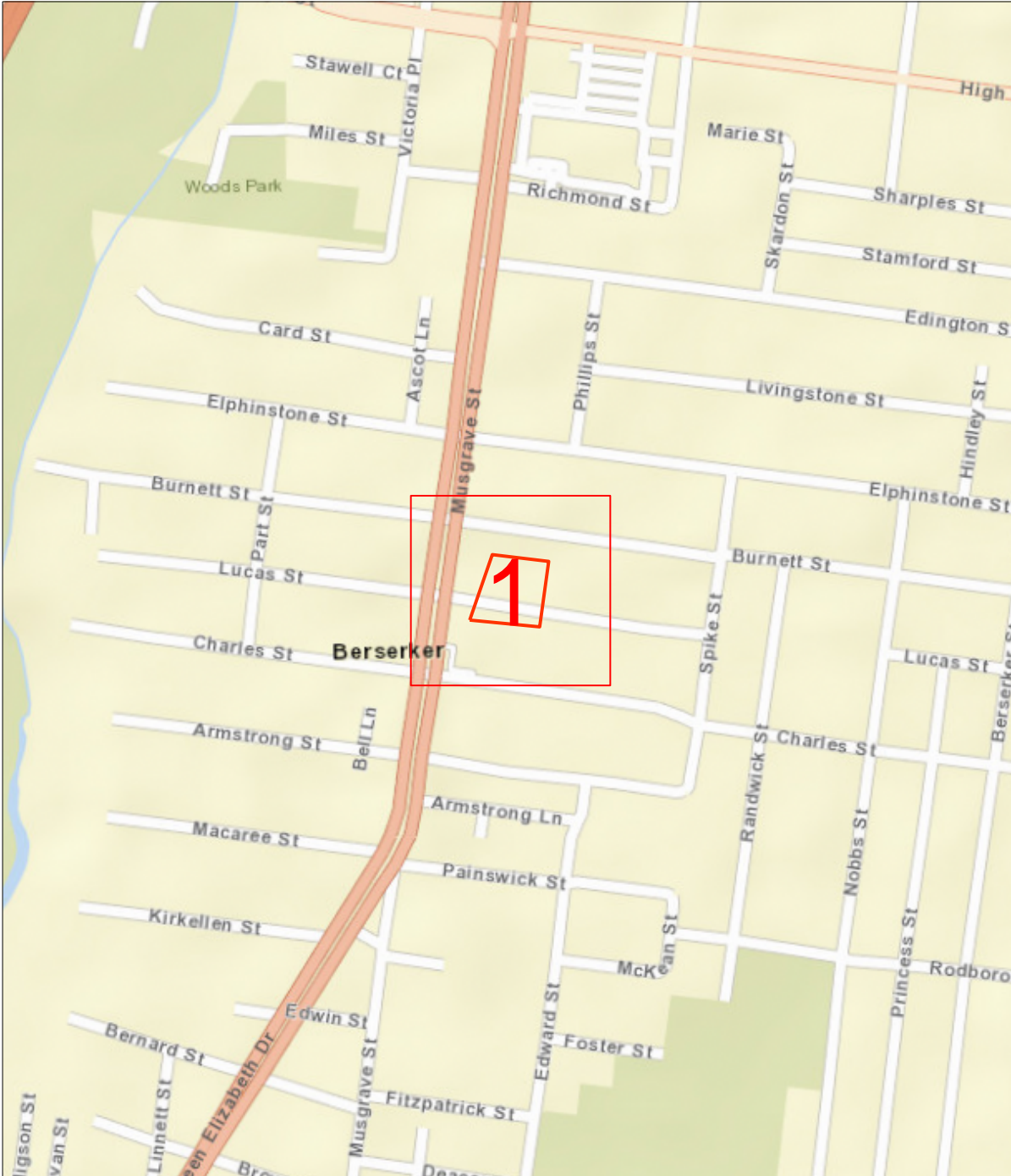
Item	Rate (excl. gst)
Site Watch – Business Hours	\$143.42 per hour
Site Watch - After Hours	\$175.06 per hour
Electronic Locate – Business Hours	\$143.42 per hour
Electronic Locate – After Hours	\$175.06 per hour
Cancellation Fee	2 hrs Business Hours rate (where cancellations received <u>after</u> 12pm (midday) 1 business day prior to the booking)
Mains Proving	Quoted on request

Notes:

- 1hr minimum charge applies.
- A Cancellation Fee applies where cancellations are received after 12pm (midday) one(1) business day prior to the booked Site Watch / Locate service
- Contact APA - Before You Dig officer for state specific hours of business.



Site Address	59 Lucas Street Berserker 4701	Sequence No	234320079
Name	Madison-Lee Day		
Email	reception@csgcq.com.au		

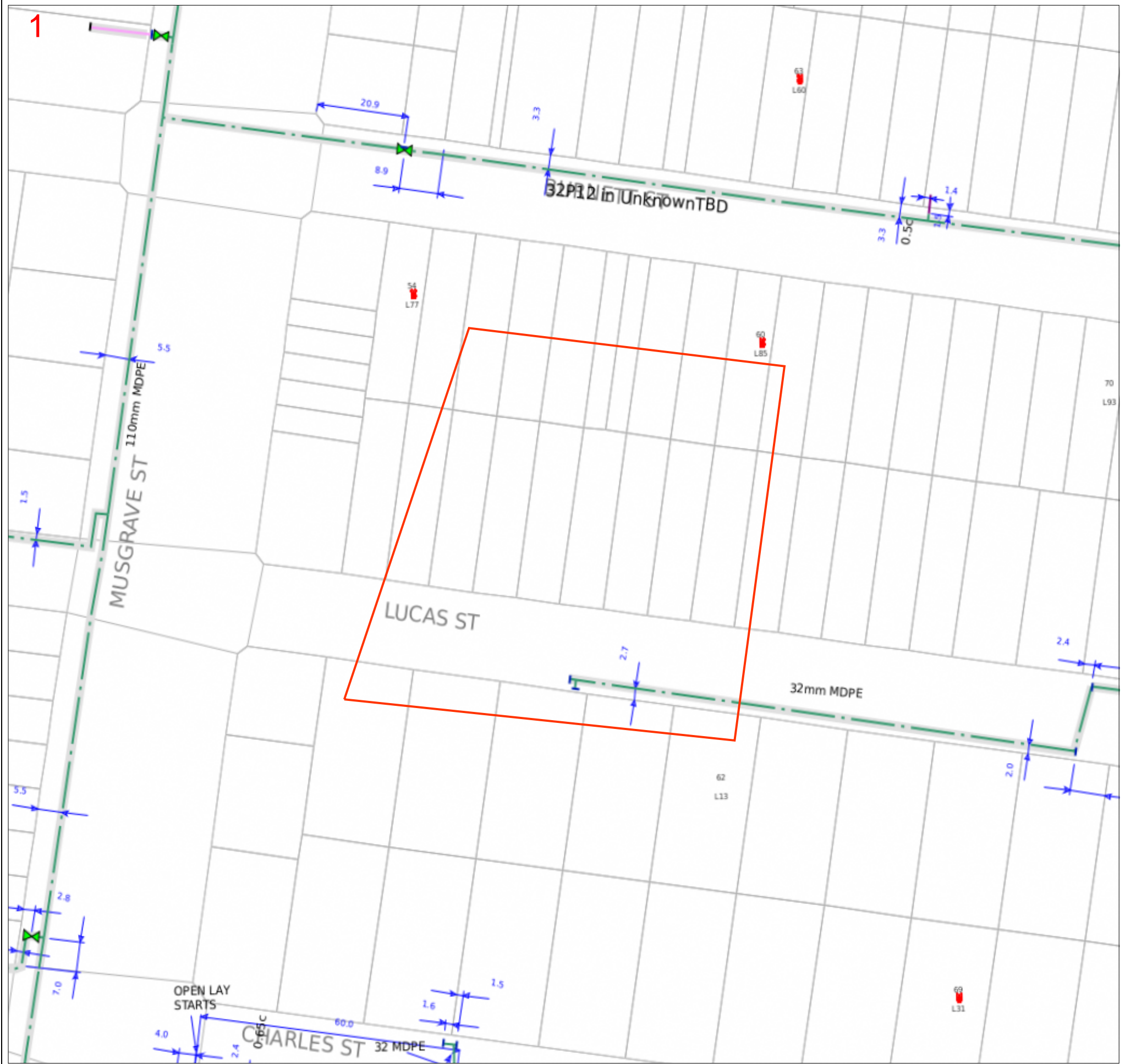


Map Sources: Esri, Garmin, HERE, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Scale 1: 6000		Enquiry Area	Map Key Area
---------------	--	--------------	--------------

Site Address	59 Lucas Street Berserker 4701	Sequence No	234320079
---------------------	-----------------------------------	--------------------	-----------

Before you commence any works you are required to complete the attached 'Work In The Vicinity Of Critical Gas Assets' request form and forward this to APA as soon as practicable.



LEGEND		PIPE CODE / MATERIALS		OBJECTS or TERMS	
PIPE AND BOUNDARIES		PIPE CODE / MATERIALS		OBJECTS or TERMS	
LOW PRESSURES		C# (e.g. C2)	Cast Iron	VALVES	
MEDIUM PRESSURES		CU	Copper	BURIED VALVES	
HIGH PRESSURES		N2	Nylon	REGULATORS	
TRANSMISSION PRESSURES		P# (e.g. P6)	Polyethylene (PE)	GAS SUPPLIED = YES	
PRIORITY MAIN (BEHIND PIPE)		P6,P7,P9-P12	Medium Density PE	CP RECTIFIER UNIT	
PROPOSED (COLOUR BY PRESSURE)		P2,P4,P8	High Density PE	CP TEST POINT/ ANODE	
LPG (COLOUR BY PRESSURE)		S# (e.g. S8)	Steel	SYPHON	
ABANDONED		W2	Wrought Galv. Iron	TRACE WIRE POINT	
IDLE		W3	Poly Coat Wrought Galv. Iron	PIPELINE MARKER	
SLEEVE		<i>Pipe diameter in millimetres is shown before pipe code e.g. 40P6 = 40mm nominal diameter</i>		NOT TIED IN	N.T.I.
CASING / SPLIT (BEHIND PIPE)				DEPTH OF COVER	C
EASEMENT/ JURISDICTION				BACK / FRONT OF KERB	Bok Fok
EXAMPLES	40P6 in 80C2	40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing			
	63S8	63mm Medium Pressure Steel			
		Line / Polygon Request			

Map Key	
----------------	--

Scale 1:700		
-------------	--	--

REQUEST TO WORK IN THE VICINITY OF CRITICAL GAS ASSETS CONDITIONS

It is the proponent's* responsibility to read these conditions and complete the request form

1. **A minimum of three (3) business days** in advance of any work commencement is required to process Authority To Work Request applications and provide a response.
2. This request form must be accompanied by a detailed schedule of works.
3. For any gas leak related work this request form must include a detailed sequence of events, outlining all aspects of work. Work is not permitted to proceed until an APA Authority to Work permit has been issued.
4. When an APA Authority to Work permit is issued, the permit will provide any applicable conditions whilst conducting excavation or work in vicinity of the Gas Assets.
5. APA Group Site Watch may be required to be on site during the proposed excavation or work.
6. When an APA Authority to Work permit is issued, the proponent is responsible for complying with all permit conditions.
7. Where applicable, excavation or work must not commence until the requestor has received an APA Authority to Work Permit.
8. Where applicable, penalties apply to excavators commencing work in the vicinity of Critical Gas Assets prior to receiving an APA Group 'Authority to Work Permit'. For further information, as relevant, refer to:
 - NSW Gas Supply Act 1996 – Sec 64 C, Requirements in relation to carrying out of certain excavation work.
 - NSW Gas Supply Act 1996 Sec 50A, Excavation work affecting gas work.
 - Victoria: Pipelines Act 2005 – Section 118, Digging near pipelines and Section 119, Interference with pipeline.
 - South Australia: Gas Act 1997 – Section 83, Notice of work that may affect gas infrastructure.
 - Northern Territory: Energy Pipelines Act as in force at 14 October 2015 Section 66, Threat to pipeline.
 - QLD: Gas Supply Act 2003 – 90, 91 Requirement to consult if gas infrastructure affected.

* Person or company requesting to undertake works in proximity to critical gas assets.

WORK IN THE VICINITY OF CRITICAL GAS ASSETS REQUEST FORM

Return this form to: DBYDNetworksAPA@apa.com.au or (QLD only) PermitsQld@apa.com.au

Enquiries: Contact APA Before You Dig officer - 1800 085 628

Work / Excavation Site Details

Number:	Street:		
Suburb:		State:	
Sequence Number / 234320079 :			
Requestors Name:			
Company Name:			
Name of Authorised Company Site Representative:			
Email:			
Phone:		Mobile:	
Signature:			

Description of Work / Excavation

<i>Activity/Excavation Details:</i>			
Tick Applicable			
Excavation	<input type="checkbox"/>	Change to surface level	<input type="checkbox"/>
Service crossing	<input type="checkbox"/>	Boring	<input type="checkbox"/>
Proving	<input type="checkbox"/>	Other (provide details)	
Earthworks	<input type="checkbox"/>		
Excavator Size, Tooth Type & Tooth Size (provide details)			

Work / Excavation Drawings Attached (circle)

Yes

No

Proposed Work Dates and Times

From		To		
Excavation	Date	Time	Date	Time
	/ /	am/pm	/ /	am/pm
Backfill	Date	Time	Date	Time
	/ /	am/pm	/ /	am/pm

Work Classification Self-Assessment (circle)

Class 1	Class 2	Class 3
Works crossing a critical gas asset	Works within 3m of a critical gas asset	Works involving large excavations, vibrations or blasting beyond 3m of the critical gas asset

Insurer and Policy Details

Policy Number		Policy Expiry Date	
Insurance Cover – Current Level (\$)			

***Requestor / Billing Details – Mandatory Information**

Company / Requestor Name:	
Address:	
Purchase Order:	Email:
Phone:	
Requestor Name:	Requestor Signature:



Confirmation Notice

PLANNING ACT 2016, PART 1 OF THE DEVELOPMENT ASSESSMENT RULES

Application number:	D/5-2024	<i>For further information regarding this notice, please contact:</i>	Kathy McDonald
Date application properly made:	23 January 2024	Phone:	07 4936 8099

1. APPLICANT DETAILS

Name:	JJ Kerr's Appliances Pty Ltd		
Postal address:	C/- Capricorn Survey Group (CQ) PO BOX 1391 ROCKHAMPTON QLD 4700		
Contact number:	(07) 4927 5199	Email:	reception@csgcq.com.au

2. PROPERTY DESCRIPTION

Street address:	59 Lucas Street, Berserker
Real property description:	Lot 131 and 132 on RP601289

3. OWNER DETAILS

Name:	JJ Kerr's Appliances Pty Ltd
Postal address:	144 Musgrave St BERSERKER QLD 4701

4. DEVELOPMENT APPROVAL SOUGHT

Development Permit for Material Change of Use for a Low Impact Industry

5. APPLICATION TYPE

	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. REFERRAL AGENCIES

Based on the information accompanying the lodged application, in accordance with the *Planning Regulation 2017*, referral to the following Referral Agencies is required.

For an application involving	Name of agency	Role of Agency	Contact Details
STATE TRANSPORT INFRASTRUCTURE (State Transport Corridors and Future State Transport Corridors)			

Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 – Material change of use of premises near a State transport corridor or that is a future State transport corridor

<p>Development application for a material change of use, other than an excluded material change of use, that is assessable development under a local categorising instrument, if all or part of the premises—</p> <p>(a) are within 25m of a State transport corridor; or</p> <p>(b) are a future State transport corridor; or</p> <p>(c) are—</p> <p>(i) adjacent to a road that intersects with a State-controlled road; and</p> <p>(ii) within 100m of the intersection</p>	<p>The chief executive of the department in which the <i>Planning Act 2016</i> is administered:</p> <p>State Development, Infrastructure, Local Government and Planning (State Assessment and Referral Agency Department)</p>	<p>Concurrence</p>	<p><u>In person:</u> Level 2, 209 Bolsover Street, Rockhampton City</p> <p><u>Online lodgement using MyDAS2:</u> https://prod2.dev-assess.qld.gov.au/suite/</p> <p><u>Email:</u> RockhamptonSARA@dsdilgp.qld.gov.au</p> <p><u>Postal:</u> PO Box 113 Rockhampton Qld 4700</p>
--	---	--------------------	--

It is the responsibility of the applicant to give within 10 business days each referral agency a copy of -

- the application (including application form and supporting material);
- this confirmation notice; and
- any applicable concurrence agency application fee (refer to the *Planning Regulation* to confirm the applicable referral agencies).

The applicant must provide written advice to Council (as the Assessment Manager) of the day on which this action was completed.

7. IMPACT ASSESSMENT

Will Impact Assessment be required?	YES
The whole of the application must be publicly notified under the provisions of Part 4 of the Development Assessment Rules by:	
<ul style="list-style-type: none"> - Publishing a notice at least once in a newspaper circulating generally in the locality of the premises which are the subject of the application; and - Placing a notice on the premises which are the subject of the application. The notice must remain on the premises for the period of time up to and including the stated day; and - Giving a notice to all owners of any lots adjoining the premises which are the subject of the application. 	

8. PUBLIC NOTIFICATION DETAILS

The application requires public notification which must be undertaken in accordance with Section 53 of the *Planning Act 2016* and Part 4 of the Development Assessment Rules.

9. INFORMATION REQUEST

A further information request may be made by the assessment manager. Regardless of this advice, any concurrence agency for the application may make an information request.

10. SUPERSEDED PLANNING SCHEME

Is the application to be assessed under a Superseded Planning Scheme?	NO
---	-----------

You are further advised that the truth and accuracy of the information provided in the application form and accompanying information is relied on when assessing and deciding this application. If you find an INACCURACY in any of the information provided above or have a query or seek clarification about any of these details, please contact Council's Development Assessment Unit.

11. ASSESSMENT MANAGER

Name: **Kathy McDonald**
ACTING PRINCIPAL
PLANNING OFFICER

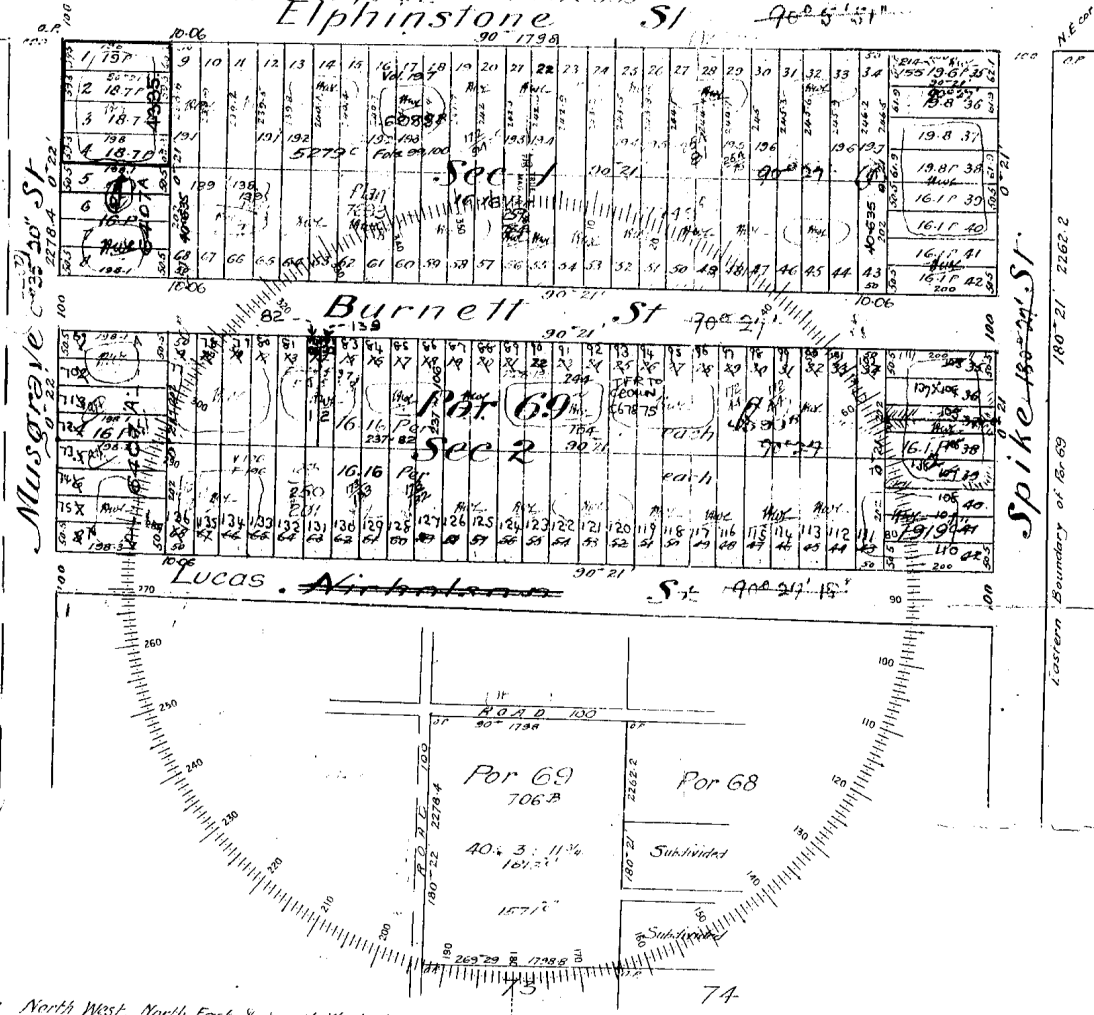
Signature:



Date: 6 February 2024

FOR OFFICE USE ONLY
 Subs 13, 14, 15 of Sec 1 See Plan 5279
 Subs 1 to 6 of Sec 1 See Plan 4335
 Subs 13 to 15 of Sec 1 See Plan 5279
 Subs 16, 17 and 18 of Sec 1 See Plan 6988
 Subs 21 to 24 of Sec 2, See 1d. Sup. No. 148
 Subs 40 to 43 of Sec 2 See Plan 1919
 Subs 5 to 8 of Sec 1 See Plan 6407
 Subs 1 to 8 of Sec 1 See Plan 6407
 Subs 1 to 8 of Sec 1 See Plan 6407

FOR OFFICE USE ONLY
 Subs 65 & 66 of Sec 1 See Plan No. 7602
 Sub 67 See Conditional consent on 7602
 Subs 61 & 62 See Plan No. 7693
 Sub 63 of Sec 1 See Conditional Consent on 7693
 Subs 49 to 52 of Sect. 1 7749
 Sub 68 of Sect. 1 See Cond. Consent on 7602
 Subs 52-54 Vide R.P. 2874
 Subs 25 & 26 of Sec. 2 T.P. to Crown C67875
 Lots 2410 see P. 840772



1289

01289

Por 68

At the North West, North East & South West Corners of Por 69 there are chainment marks 10 links from street line.
 " " South East Corner survey post marked 69 also at all other Corners - The Southern boundary & part of
 the East & West do is fenced - There is a considerable difference between Mr Surveyor Byerleys measurements &
 those shown hereon.

57 } 6330
 58 } 630
 47+48 } 246
 Sect 1 } 96

For Additional Plan &
 Document Refer to C151

AMENDED DESCRIPTION
 Note: This description takes effect upon
 amendment of the current Title Deed
 which will be evidenced by a further
 notation. 102 & 108 to 139
 Survey of Lot (s) 1 to 139
 TITLES CONVERTED
 on R.P. 61289

Corrected
 15/11/88

SCALE 2 chains to an inch.

proprietor of this land, I agree to this plan of subdivision.
 Signature of Proprietor Harry P. ...

Graham P.P.
 '900

Walt Iron

SURVEY
 OF SUBDIVISIONS 1 to 68 of Sections 1
 OF ALLOTMENT OR PORTION No. 69
 OF SECTIONS 1 to 2
 COUNTY OF Livingstone
 PARISH OF Archer

Cat No. A 1289
 856
 R.F.



Our reference: 2402-38975 SRA
Your reference: 9167

12 February 2024

JJ Kerrs Appliances Pty Ltd
c/- Capricorn Survey Group (CQ) Pty Ltd
PO Box 1391
ROCKHAMPTON QLD 4700
reception@csgcq.com.au

Dear Sir/Madam

Referral confirmation notice

(Given under section 7 of the Development Assessment Rules)

The development application described below is taken to be properly referred to the State Assessment and Referral Agency (SARA) under Part 2: Referral of the Development Assessment Rules.

Location details

Street address: 59 Lucas Street, Berserker; 59 Lucas Street, Berserker
Real property description: Lot 132 on RP601289; Lot 131 on RP601289
Local government area: Rockhampton Regional Council

Application details

Development permit: Material change of use for a low impact industry

The referral confirmation period ended on 12 February 2024. SARA's assessment will be under the following provisions of the Planning Regulation 2017:

- 10.9.4.2.4.1 State transport corridors and future State transport corridors

For further information please contact Thomas Gardiner, Principal Planning Officer, on 0749242916 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely

Carl Porter
Principal Planning Officer

cc Rockhampton Regional Council, enquiries@rrc.qld.gov.au



SARA reference: 2402-38975 SRA
 Council reference: D/5-2024
 Applicant reference: 9167

22 February 2024

Chief Executive Officer
 Rockhampton Regional Council
 PO Box 1860
 Rockhampton QLD 4700
 enquiries@rrc.qld.gov.au

Dear Sir/Madam

SARA referral agency response—59 Lucas Street, Berserker

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 8 February 2024.

Response

Outcome:	Referral agency response - No requirements Under section 56(1)(a) of the <i>Planning Act 2016</i> , SARA advises it has no requirements relating to the application.
Date of response:	22 February 2024
Advice:	Advice to the applicant is in Attachment 1
Reasons:	The reasons for the referral agency response are in Attachment 2

Development details

Description:	Development permit	Material change of use for a low impact industry
SARA role:	Referral agency	
SARA trigger:	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017)	
	Development application for a material change of use within 25m of a state-controlled road	
SARA reference:	2402-38975 SRA	
Assessment manager:	Rockhampton Regional Council	

Street address: 59 Lucas Street, Berserker; 59 Lucas Street, Berserker
Real property description: 132RP601289; 131RP601289
Applicant name: JJ Kerrs Appliances Pty Ltd
Applicant contact details: c/- Capricorn Survey Group (CQ) Pty Ltd
PO Box 1391
Rockhampton QLD 4700
reception@csqcq.com.au

Human Rights Act 2019 considerations: Consideration of the *Human Rights Act 2019* sections 15 to 35 has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s. 30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 3**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Thomas Gardiner, Principal Planning Officer, on 0749242916 or via email RockhamptonSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh
Manager Planning

cc JJ Kerrs Appliances Pty Ltd, reception@csqcq.com.au

enc Attachment 1 - Advice to the applicant
Attachment 2 - Reasons for referral agency response
Attachment 3 - Representations about a referral agency response provisions

Attachment 1—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> its regulation or the State Development Assessment Provisions (SDAP), (version 3.0). If a word remains undefined it has its ordinary meaning.

Attachment 2—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for SARA's decision are:

- The assessment benchmark which is relevant to SARA's assessment is State Development Assessment Provisions (SDAP) State code 1: Development in a state-controlled road environment.
- The development complies with the assessment benchmark as:
 - traffic generated from the development will not adversely impact the functional requirements or operational efficiency of the Musgrave Street / Lucas Street intersection.
 - stormwater from the development will drain to the lawful point of discharge, which is the kerb and channel of Lucas Street.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP, version [3.0], as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- Section 58 of the *Human Rights Act 2019*

Attachment 3— Representations about a referral agency response provisions

(page left intentionally blank)

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

19 February 2024

Our reference: D/5-2024
Enquiries to: Kathy McDonald
Telephone: 07 4936 8099

JJ Kerr's Appliances Pty Ltd
C/- Capricorn Survey Group (CQ)
PO BOX 1391
ROCKHAMPTON QLD 4700

Dear Sir/Madam

INFORMATION REQUEST – DEVELOPMENT APPLICATION D/5-2024 FOR A MATERIAL CHANGE OF USE FOR A LOW IMPACT INDUSTRY – SITUATED AT 59 LUCAS STREET, BERSERKER – DESCRIBED AS LOT 131 AND 132 ON RP601289

Council refers to your application received by Council on 22 January 2024.

Council officers have undertaken a detailed assessment of the development application and require you to provide further information to address the following issues:

- 1.0** Please provide an appropriate sewerage strategy for the development. Council will not support the construction of a Building Class 2 to 9 structure over the existing combined line. i.e. provide an appropriate setback from the infrastructure; Or convert the existing combined line into an independent single connection.
- 2.0** Please demonstrate that the proposed developments stormwater will not cause or have the potential to cause an “actionable nuisance” or “worsening” to any adjacent or downstream lands or to a Lawful Point of Discharge. Ensure the following are addressed, where applicable.
 - 2.1 design roof and allotment drainage as per *Queensland Urban Drainage Manual* i.e. Level IV drainage system i.e. 5% AEP roof and allotment drainage.
 - 2.2 demonstrate how roof and allotment drainage will be discharged to a lawful point and complies with *Queensland Urban Drainage Manual* requirements;
 - 2.3 demonstrate that the proposed development does not cause a concentration of stormwater flows discharging on the Lucas Street;
 - 2.4 demonstrate that the mitigation measures proposed to address any potential stormwater impacts, for the range of storm event, of the proposed development. The range of storm event discharges should be shown for the mitigated case to demonstrate there is no worsening impact on the Lawful point of discharge;
 - 2.5 the stormwater drainage strategy must be prepared and certified by a suitable qualified and experienced Registered Professional Engineer of Queensland (RPEQ).
- 3.0** Please provide a fully dimensioned and properly scaled plan, prepared and certified by a suitably qualified and experienced Registered Professional Engineering of Queensland (RPEQ), indicating the extent of sealed vehicle manoeuvring and parking areas on the site including:
 - 3.1 the marking of all vehicle parking spaces; and
 - 3.2 swept vehicle turning paths for the largest design vehicle.

4.0 Please amend the design to include articulation (use of materials, patterns, textures, colours, and decorative elements) to avoid a plain appearance:

4.1 North and East - this may include high ventilation windows; and

4.2 South and West – overhangs or awnings

Alternatively this will be conditioned.

Under section 13 of the Development Assessment Rules, the Applicant has three (3) options available in response to this information request. The Applicant must give the Assessment Manager:

1. all of the information requested; or
2. part of the information requested, together with a notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application; or
3. a notice:
 - i. stating the Applicant does not intend to supply any of the information requested; and
 - ii. requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

Response to this further information request should be forwarded to:

General.Enquiries@rrc.qld.gov.au or;
Development Assessment Section
Rockhampton Regional Council
PO Box 1860
ROCKHAMPTON QLD 4700

A response needs to be received within a period of three (3) months from the date of this letter, in accordance with section 68 (1) of the *Planning Act 2016* and sections 12 and 13 of the Development Assessment Rules. Please forward your response to this information request to Council at your earliest convenience, in order for the assessment of your application to progress further.

Should you have any queries regarding the above information request, please contact the undersigned on 07 4936 8099.

Yours faithfully



Kathy McDonald
Acting Principal Planning Officer
Planning and Regulatory Services

Information Request Response Form
(to be returned to the Assessment Manager with the response)

I _____ choose to respond to the Assessment Manager's Information Request:

- in full;
OR
- in part, with this notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application;
OR
- stating that I do not intend to supply any of the information requested; and requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

A copy of the response to the Assessment Manager's information request has been provided to all Referral Agencies nominated on the Confirmation Notice.

I understand the requirements of this Information Request as listed above.

Signed : _____ Date : _____

Position : _____



13 May 2024

Our Ref: 9167
Your Ref: D/5-2024

The Chief Executive Officer
Rockhampton Regional Council
PO Box 1860
Rockhampton QLD 4700

Attention: Kathy McDonald

Dear Sir,

RE: D/5-2024 Information Request Response
Material Change of Use Low Impact Industry
59 Lucas Street, Berserker

With regards to Council's information request dated 19th February 2024, we provide the following response:

- Item 1.1 The sewer under the building back to the manhole in the adjacent lot will be upgraded to a 150mm diameter sewer main.
- Item 2.1 Please find attached stormwater management strategy prepared by our client's engineer.
- Item 3.1 Please refer to the revised building plans for swept paths and vehicle parking.
- Item 3.2 Additional articulation to the building can be conditioned as part of any approval, note they must comply with fire rating requirements.

We trust this satisfies Council's requirements. We will now proceed with public notification.

If you have any queries with regards to the above, please do not hesitate to call this office.

Yours Faithfully,

Madison Day

Stormwater Management Report

Prepared for JJ Kerrs C/- CSG CQ

Reference no. PRJ-0437 – 59 Lucas Street, Berserker | 26 March 2024



Document Register

Revision	Date	Description	Author	Reviewed by	Approved by
1	25/03/24	Issue to client	CM	CC	CM

This document entitled Stormwater Management Report was prepared by Hartecs for the account of JJ Kerrs C/- CSG CQ (the "Client"). Any reliance on this document by any third party is strictly prohibited. The material in it reflects Hartecs' professional judgment in light of the scope, schedule and other limitations stated in the document and in the contract between Hartecs and the Client. The opinions in the document are based on conditions and information existing at the time the document was published and do not take into account any subsequent changes. In preparing the document, Hartecs did not verify information supplied to it by others. Any use which a third party makes of this document is the responsibility of such third party. Such third party agrees that Hartecs shall not be responsible for costs or damages of any kind, if any, suffered by it or any other third party as a result of decisions made or actions taken based on this document.

Prepared by 
(signature)

Charlie Maitland

Reviewed by 
(signature)

Charles Cook

Approved by  RPEQ 28946

Charlie Maitland



TABLE OF CONTENTS

<i>Introduction</i>	4
<i>Stormwater Management Objectives</i>	4
Scope of Report.....	4
Lawful Point of Discharge.....	4
<i>Pre-Developed Site Description</i>	5
Site Description	5
External Upstream Catchment	5
Flooding Assessment	5
<i>Proposed Development</i>	7
Development Description	7
<i>Stormwater Quantity Assessment</i>	8
Hydrological Objectives.....	8
Hydrological Parameters	8
Design Rainfall.....	9
Drains Models	9
Drains Model Results Summary	18
Results Discussion	19
<i>Scenario 1 - No On-Site Detention</i>	19
<i>Scenario 2 - On-Site Detention (carpark area)</i>	19
<i>Scenario 3 - On-Site Detention Tank and On-Site Detention (carpark area)</i>	19
On Site Detention Design	21
Proposed Stormwater Design	21

APPENDICES

<i>Appendix A – IFD Data</i>	23
<i>Appendix B - Drains Models</i>	24
<i>Appendix C – Proposed Stormwater Design</i>	25
<i>Appendix D – RRC Information Request D5-2024</i>	26
<i>Appendix E – RRC Flood Mapping</i>	27
<i>Appendix F – Development Plans</i>	28



Introduction

Hartecs Group has been engaged to prepare a Site-based Stormwater Management Plan (SBSMP) for the proposed development at 59 Lucas Street, Berserker. The land parcel is described as Lot 131 and Lot 132 on RP601289 (the subject site) and is located within Rockhampton Regional Council (RRC).

This assessment has been prepared generally in accordance with Rockhampton Region Planning Scheme, Queensland Urban Drainage Manual (QUDM 2016), and Australian Rainfall and Runoff (ARR) guidelines.

Stormwater Management Objectives

Scope of Report

This report has been prepared to respond to Item 2 of the RRC Information Request D5-2024 (Appendix D).

This report summarises the pre-developed and post-developed peak flow stormwater conditions, and the required site stormwater design to ensure the developed stormwater discharge achieves a non-worsening impact to the existing stormwater network (i.e. no actionable nuisance).

Lawful Point of Discharge

In accordance with the Queensland Urban Drainage Manual (QUDM), when proposing a development, it must demonstrate that a lawful point of discharge (LPD) exists.

A lawful point of discharge exists at a particular location when the following two (2) tests can be demonstrated as per QUDM:

- I. The location of the discharge is under the lawful control of the local government or other statutory authority from whom permission to discharge has been received. This can include a park, drainage or road reserve, stormwater drainage easement; and
- II. In discharging to that location, the discharge will not cause an actionable nuisance (i.e. a nuisance for which the current or some future neighbouring proprietor may bring an action or claim for damages arising out of the nuisance), or environmental or property damage.

Surface runoff from the subject site currently sheet flows from the ground areas to the frontage of the site and to the kerb and channel in Lucas Street. Therefore, in order to maintain the pre-development flow conditions, the kerb and channel in Lucas Street, adjacent the front of the subject site will be considered the lawful point of discharge (LPD) for the site.



Pre-Developed Site Description

Site Description

59 Lucas Street, Berserker, is located over two lots (Lot 131 and 132 on RP601289) and is approximately 917m² in size. Currently the site is used a residential property, with a raised (Queenslander) style house situated 9m from the southern boundary. The existing site consists of grassed areas (751m²), hardstand areas – including a track driveway and footpath (48m²) and a roof area of (118m²). The pre-developed site is shown in Figure 1. Existing Site Topography and Drainage

Based on the survey for the site, currently the stormwater runoff generally falls from north to south through the site as overland flow, and discharges into the kerb and channel on Lucas Street. The rear of lot levels range from approximately RL14.16 to RL14.00. The front of lot levels range from RL13.65 to 13.7. Noting the invert of the existing kerb and channel in Lucas Street adjacent the site is situated at approximately RL13.7.

There is no existing stormwater pipe infrastructure within the Lucas Street road reserve adjacent the subject site.

External Upstream Catchment

No external runoff from the properties bordering the northern boundary of the site are considered to contribute to the 59 Lucas Street stormwater flows. Based on Google Mapping for the area, the properties to the north of the site fall north and discharge into Burnett Street.

Flooding Assessment

Based on the RRC Interactive Mapping, the subject site falls under the Fitzroy River Flood Study extents, however, is not identified as being within the Fitzroy River Flooding areas.

Refer Appendix E for export of Fitzroy River Flood extents obtained from the RRC Interactive Mapping.



Your Ref: 59 Lucas Street, Berserker
Our Ref: PRJ-0437



Figure 1 - 59 Lucas Street – Pre-developed Site



Proposed Development

Development Description

The proposed development is for a Material Change of Use (MCU) for a Low Impact Industry. The proposed development includes removal of the existing house and driveway, and construction of a new building for industrial use to be established. The proposed site plan is shown in Figure 2. Refer Appendix F for the full suite of the proposed development plans.

The proposed layout includes approximately 330m² of roofed area, 424m² of pavement area, and the remaining 163m² as landscaped area.

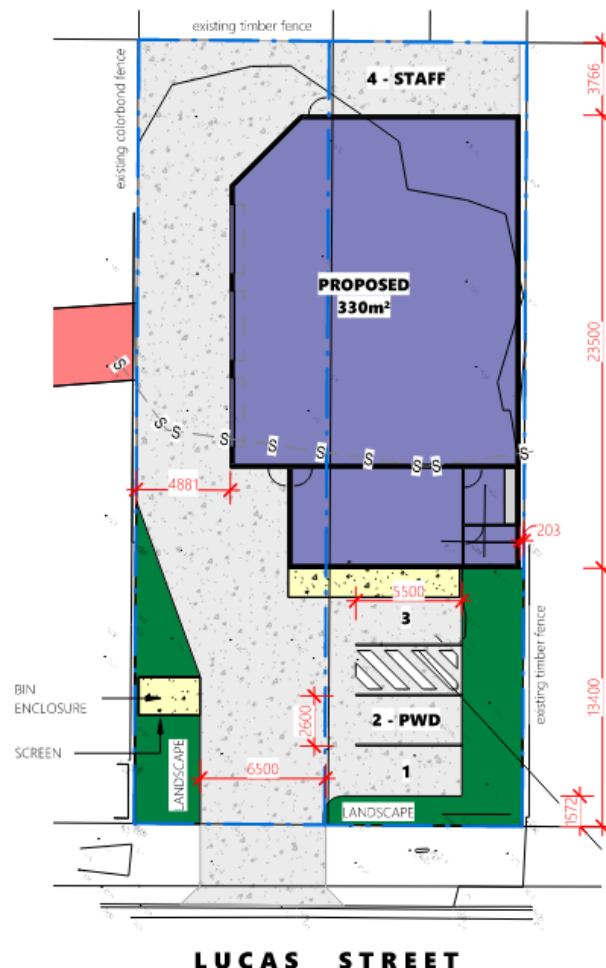


Figure 2 - 59 Lucas Street - Proposed Site Plan



Stormwater Quantity Assessment

Hydrological Objectives

Hydrologic objectives for the subject site have been set in accordance with the Rockhampton Region Planning Scheme and the Queensland Urban Drainage Manual (QUDM), Fourth Edition 2016, including but not limited to:

- No increase in pre-development flows, up to and including the 100-year ARI (or 1% AEP)
- No adverse impact on adjoining or downstream properties
- The proposed development shall ensure that all stormwater is directed to a lawful point of discharge
- A Major Design Storm Event of 100-year ARI (or 1% AEP)
- A Minor Design Storm Event of 2-year ARI (or 39.35% AEP)

Hydrological Parameters

Catchment hydrology has been assessed for the pre and post-development scenarios and has been calculated using a DRAINS hydrological computer model (ILSAX Method). Calibration of the DRAINS hydrological computer model was achieved by comparing the DRAINS flow rates to the Rational Method calculations in accordance with QUDM (Fourth Edition, 2016), Section 4 and Section 5, and AS3500 – Plumbing and Drainage.

The default hydrological model used for this report was the Drains IL-CL Model. The following parameters were established in setting up the model:

- Impervious Area Initial Loss (mm): 1
- Impervious Continuing Loss (mm): 0
- Pervious Area Initial Loss (mm): 5
- Pervious Area Continuing Loss (mm): 1
- AR&R Data Hub Rainfall Zone: East Coast North
- AR&R 2019



Design Rainfall

The design rainfall Intensity Frequency Duration (IFD) data for all storm events up to an including 100-year ARI (or 1% AEP) has been obtained for the subject site from the Bureau of Meteorology for nominated ARI's and used in the DRAINS model. The design IFD data for the subject site can be seen in Appendix A. Rainfall temporal patterns used in the DRAINS hydrological IL-CL model and analysis were prepared in accordance with Australian Rainfall and Runoff (AR&R 2019) guidelines. Rainfall is modelled for the catchment in equal time intervals under each storm event and the subsequent runoff routed through a drainage system. To establish the most likely rain event that would require the greatest volume of detention, design storm durations of 5, 10, 15, 20, 25, 30, 45, 60, 90, 120, 180 and 360 minutes were modelled.

Drains Models

The Drains Models used in this analysis are summarised in Figures 3 to 10 below. The Major storm event is shown in the results image for each scenario. The full suite of results and Drains model images is provided in Appendix B.

Figure 3 - Pre-Developed Site Drains Model

Figure 4 - Pre-Developed Site Drains Model Results

Figure 5 - Post-Developed Site Drains Model – No storage

Figure 6 - Post-Developed Site Drains Model – No storage results

Figure 7 - Post-Developed Site Drains Model – storage in carpark - no OSD Tank

Figure 8 - Post-Developed Site Drains Model – storage in carpark - no OSD Tank - Results

Figure 9 - Post-Developed Site Drains Model with OSD and storage in carpark

Figure 10 - Post-Developed Site Drains Model with OSD (mitigated Peak Flows) Results



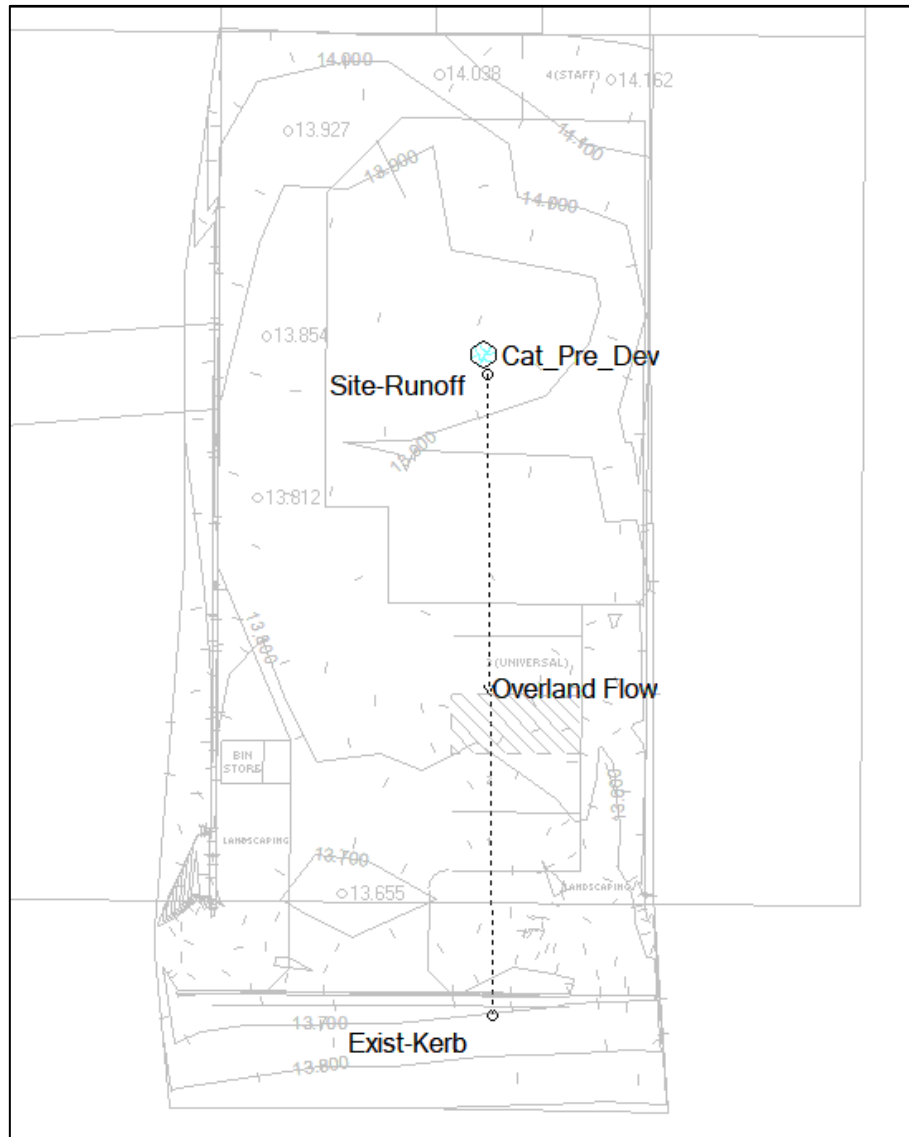


Figure 3 - Pre-Developed Site Drains Model





Figure 4 - Pre-Developed Site Drains Model Results



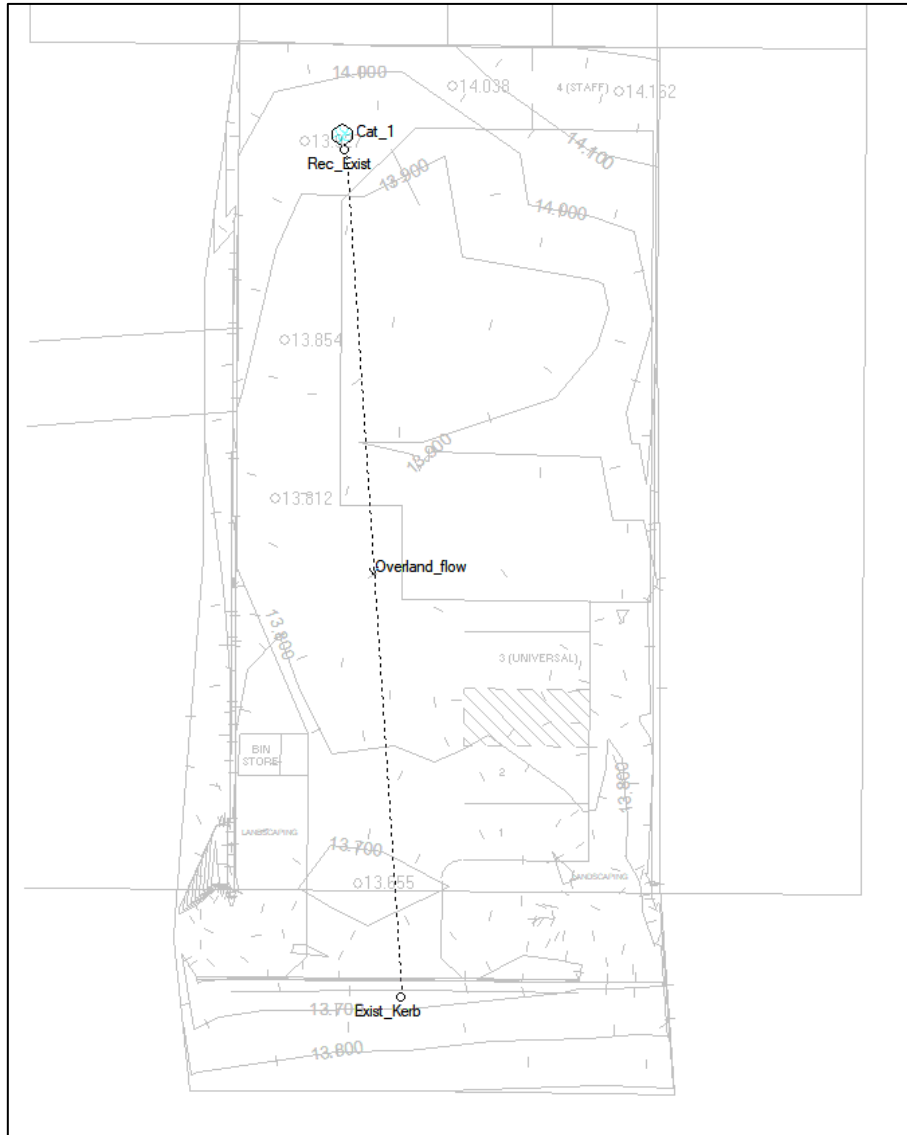


Figure 5 - Post-Developed Site Drains Model – No storage





Figure 6 - Post-Developed Site Drains Model – No storage results



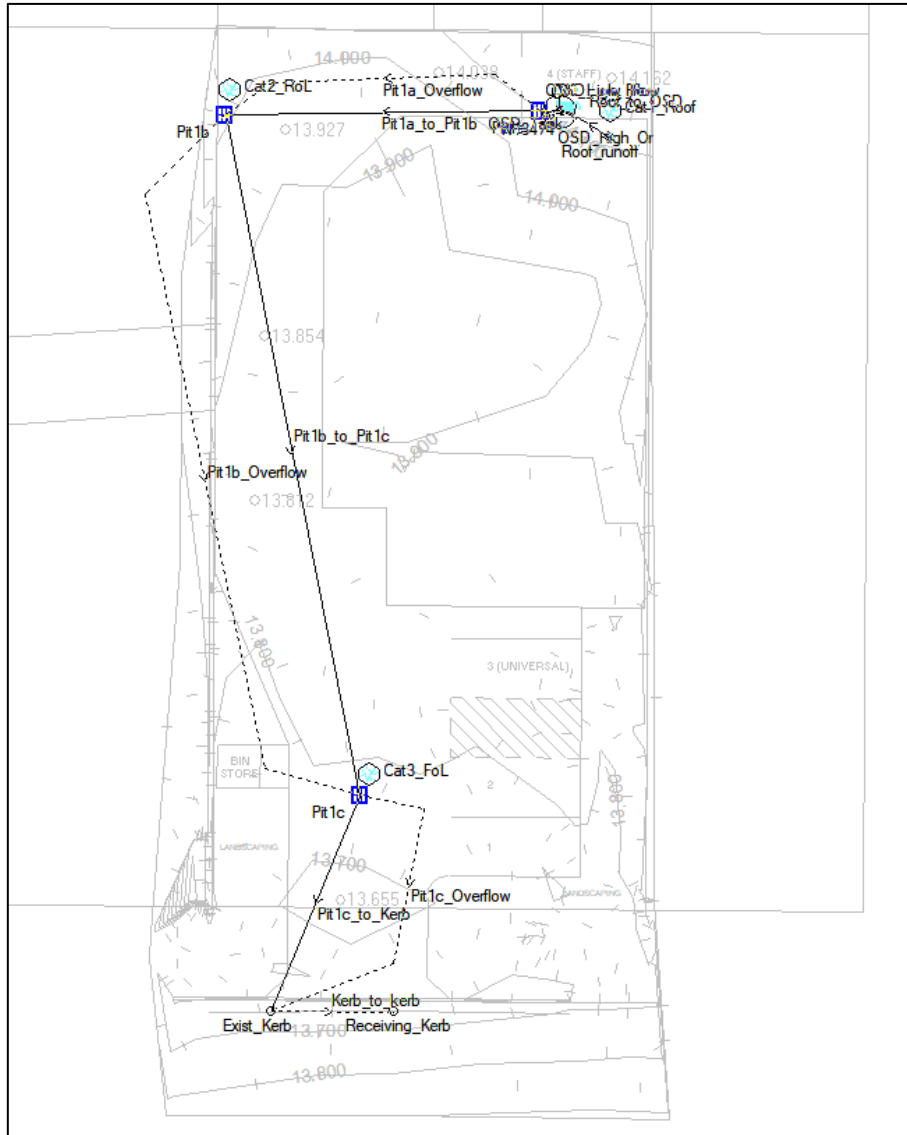


Figure 9 - Post-Developed Site Drains Model with OSD and storage in carpark



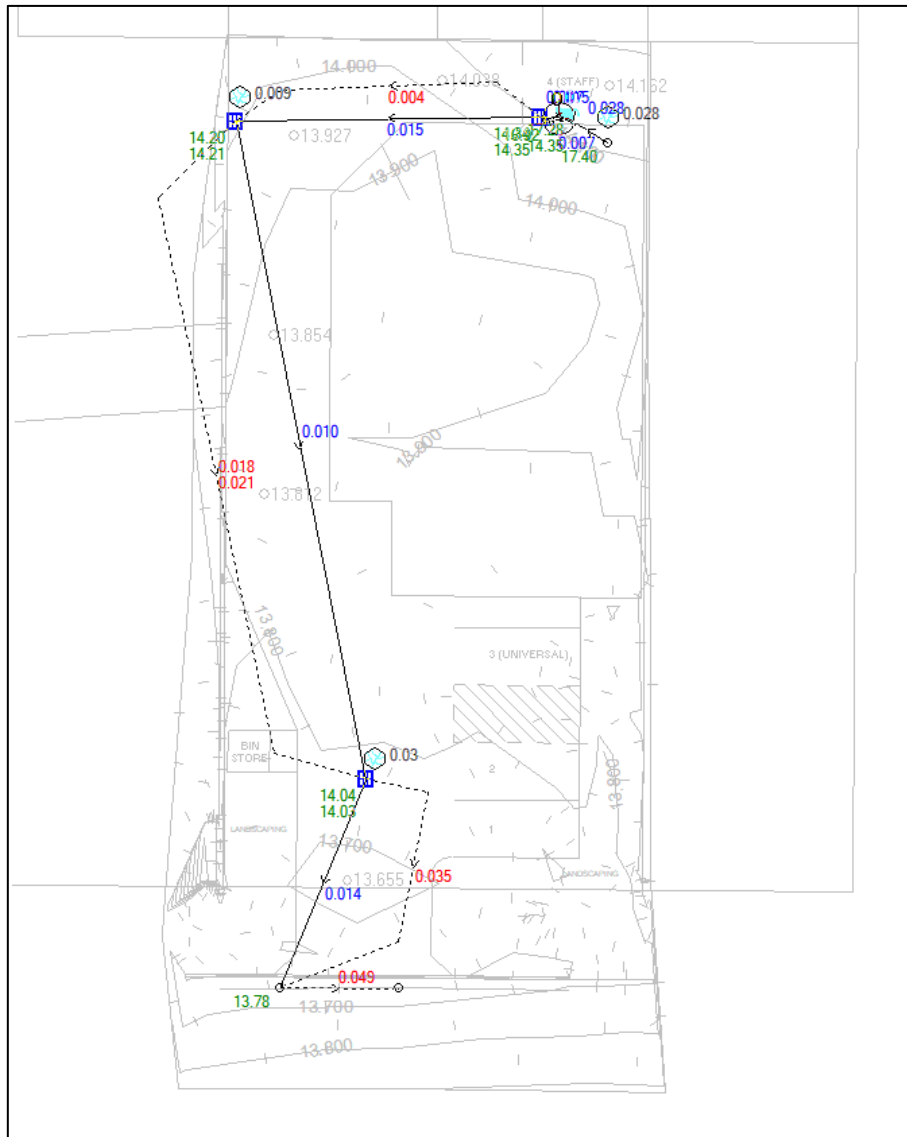


Figure 10 - Post-Developed Site Drains Model with OSD (mitigated Peak Flows) Results



Drains Model Results Summary

Table 1 - Drains Full-Unsteady Hydraulic Model Results no storage in carpark - no OSD Tank

Condition	Total Area (m ²)	EIA (%)	RIA (%)	RIA (%)	Peak Flow (L/s)	
					Minor Storm (39.35% AEP)	Major Storm (1% AEP)
Pre-Developed <i>Catchment 1 (Whole Site)</i>	917	11.8	6.5	81.7	22	54
Post-Developed <i>Catchment 1 (Whole Site)</i>	917	79	4	17	28	64
<i>Change in Peak Flows (+ / -)</i>					6L/s increase	10L/s Increase
Time of Concentration		5	5	15		

Table 2 - Drains Full-Unsteady Hydraulic Model Results storage in carpark - no OSD Tank

Condition	Total Area (m ²)	EIA (%)	RIA (%)	RIA (%)	Peak Flow (L/s)	
					Minor Storm (39.35% AEP)	Major Storm (1% AEP)
Pre-Developed <i>Catchment 1 (Whole Site)</i>	917	11.8	6.5	81.7	22	54
Post-Developed	917				22	56
<i>Catchment 1 (Roof to pit)</i>	330	100				
<i>Catchment 2 (Rear of Lot)</i>	129	73	10	17		
<i>Catchment 3 (Front of Lot)</i>	458	66	5	29		
<i>Change in Peak Flows (+ / -)</i>					No change	2L/s Increase
Time of Concentration		5	5	15		



Table 3 - Drains Full-Unsteady Hydraulic Model Results with OSD Tank and storage in carpark

Condition	Total Area (m ²)	EIA (%)	RIA (%)	RIA (%)	Peak Flow (L/s)	
					Minor Storm (39.35% AEP)	Major Storm (1% AEP)
Pre-Developed						
<i>Catchment 1 (Whole Site)</i>	917	11.8	6.5	81.7	22	54
Post-Developed	917					
<i>Catchment 1 (Roof to OSD tank)</i>	330	100			20	49
<i>Catchment 2 (Rear of Lot)</i>	129	73	10	17		
<i>Catchment 3 (Front of Lot)</i>	458	66	5	29		
<i>Change in Peak Flows (+ / -)</i>					2L/s decrease	5L/s decrease
Time of Concentration		5	5	15		

Results Discussion

Scenario 1 - No On-Site Detention

A comparison of the pre-developed site and post-developed site peak flow rates for unmitigated stormwater discharges (Table 1 above), indicates there will be an increase in peak flow discharge rates associated with the post-developed site conditions. The unmitigated peak flow rates increase from 22 and 54 L/s to 28 and 64L/s for the Minor and Major storms respectively, which is not considered to be a compliant outcome for the proposed development.

Scenario 2 - On-Site Detention (carpark area)

A second iteration of the Drains model was undertaken utilising storage within the carpark area as on-site detention, the results from these findings are summarised in Table 2 above. The results from this model indicates there will be an increase in peak flow discharge rates associated with the post-developed site conditions. The unmitigated peak flow rates increase 54 L/s to 56L/s for the Major storm. There was no change in peak flow discharge for the Minor storm event, which is not considered to be a compliant outcome for the proposed development.

Scenario 3 - On-Site Detention Tank and On-Site Detention (carpark area)

The third iteration of the post-developed site Drains model, utilised both an OSD tank, and the carpark area to mitigate the peak flow discharge rates from the site (Table 3 above). The results from this model indicates there will be an decrease in peak flow discharge rates associated with the post-developed



site conditions. The mitigated peak flow rates decrease from 22 and 18 L/s to 54 and 52L/s for the Minor and Major storms respectively. For the AEP1% storm, the overflow route from the carpark to the existing kerb reached 35L/s for approximately 2 minutes at a velocity of 1m/s. The water-ponding depth within the carpark is approximately 140mm. The depth and velocity of the overflow route water is considered to be within the safe and acceptable ranges, according to Figure SC6.10.3.3.1 General flood hazard vulnerability curves of RRC Planning Scheme (Figure 11 below).

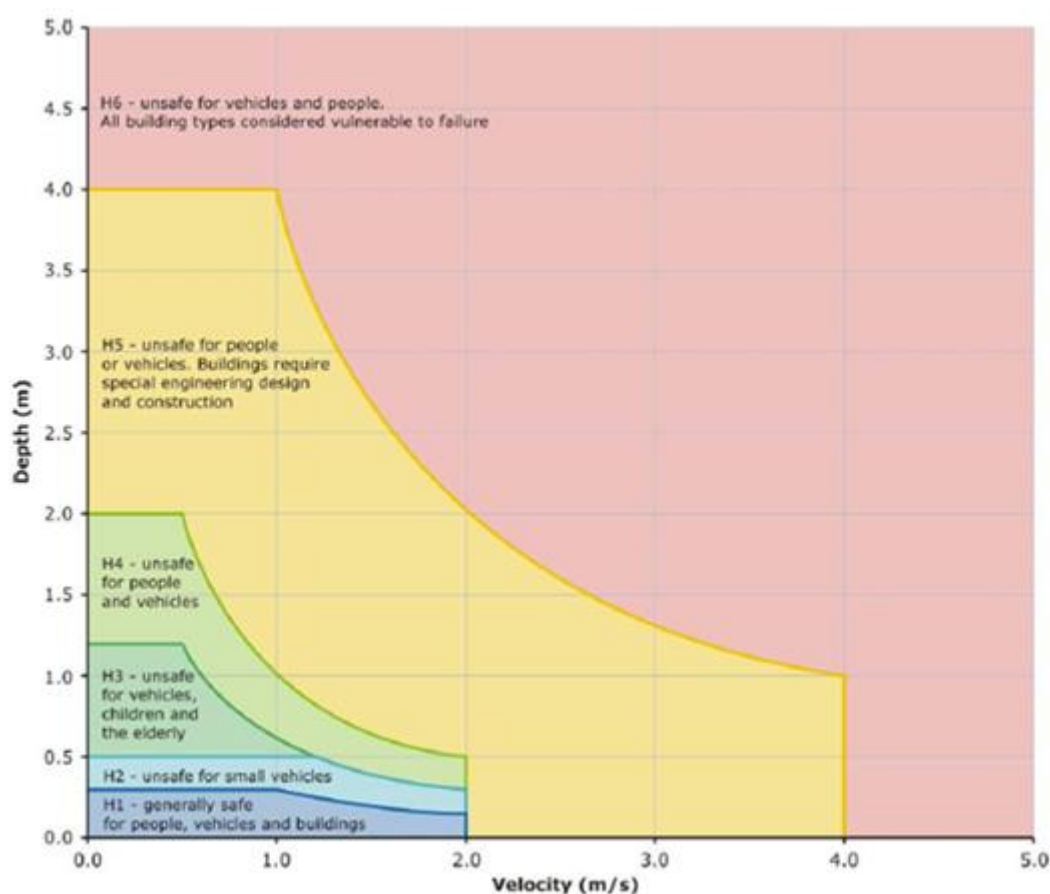


Figure 11 - RRC Planning Scheme - General flood hazard vulnerability curves



On Site Detention Design

Based on the Scenario 3 modelling results which nominates storage within the carpark area and the use of an OSD tank. To effectively required the peak flow discharges from the developed site into Lucas Street, the minimum size required for the OSD tank is 5,000L. The OSD tank requires a 65mm low flow outlet, and a 150mm high flow bypass at the top of the tank.

The carpark area is to be utilised as a storage area and is required to detain water to a depth of 140mm, which can be achieved by implementing kerbs through the carpark. The driveway (crossover) and landscaped areas on the Lucas Street road reserve boundary are required to be R.L. 14.00. The water from the carpark will discharge over the crossover into Lucas Street at R.L. 14.00 for approximately 3-5 minutes during the AEP 1% storm. The remaining ponding water in the carpark area will be discharge to Lucas Street via 3 x 90mm PVC pipes for a period of 40 minutes during the AEP 1% storm.

Proposed Stormwater Design

A concept stormwater design has been provided in Appendix C, and is based on the findings from the Drains model. All roofwater runoff is to be collected and directed to the 5,000L OSD tank. All other surface runoff is to be captured via field inlet pits provided within the driveway pavement. All field inlet pits will surcharge during major and minor stormwater events. The stormwater collected in both the OSD tank and driveway pits will be directed through pipes and ultimately outlet to the kerb adaptors in Lucas Street. The peak flows from the site will be reduced through the use of the OSD tank, and detention area provided within the carpark pavement. The stormwater design requires a high point within the driveway crossover, which is to be positioned at R.L. 14.00. This high point allows water to pond within the carpark area to a depth of 140mm at the field inlet pit. The detained water will overtop the high point for a period of 3-5 minutes during an AEP 1% storm event. The remaining ponding water within the carpark will dissipate over a period of 40 minutes. The overtopping flows will reach a depth of 50mm and a velocity of 1m/s.



Appendices



Appendix A – IFD Data

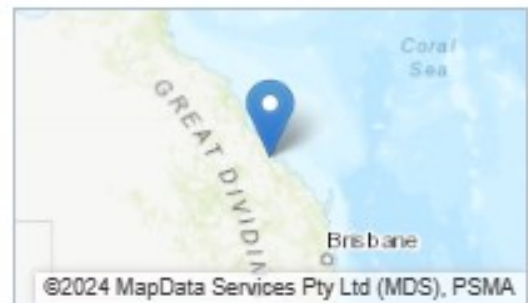


Location

Label: Not provided

Latitude: -23.365 [Nearest grid cell: 23.3625 (S)]

Longitude: 150.523 [Nearest grid cell: 150.5125 (E)]



IFD Design Rainfall Depth (mm)

Issued: 22 March 2024

Rainfall depth for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).

[FAQ for New ARR probability terminology](#)

Table

Chart

Unit: **mm** ▼

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	2.64	2.94	3.91	4.59	5.27	6.21	6.95
2 min	4.41	4.90	6.52	7.67	8.77	10.3	11.4
3 min	6.25	6.95	9.25	10.9	12.4	14.6	16.2
4 min	7.99	8.90	11.8	13.9	15.9	18.7	20.8
5 min	9.61	10.7	14.2	16.7	19.2	22.5	25.1
10 min	16.0	17.9	23.7	27.8	32.0	37.7	42.2
15 min	20.6	22.9	30.4	35.7	41.0	48.4	54.2
20 min	24.0	26.7	35.4	41.6	47.9	56.5	63.3
25 min	26.7	29.7	39.4	46.3	53.3	62.9	70.5
30 min	28.9	32.1	42.7	50.2	57.8	68.2	76.5
45 min	33.8	37.6	50.1	59.0	68.0	80.3	90.2
1 hour	37.2	41.5	55.5	65.4	75.5	89.3	100
1.5 hour	42.1	47.1	63.4	75.0	86.7	103	116
2 hour	45.7	51.3	69.4	82.4	95.6	114	128
3 hour	51.1	57.7	79.0	94.4	110	132	149
4.5 hour	57.3	65.0	90.5	109	128	155	176
6 hour	62.2	71.0	100	121	143	175	200
9 hour	70.2	80.8	116	143	171	210	242
12 hour	76.8	88.9	130	161	194	242	281
18 hour	87.4	102	153	192	236	296	348
24 hour	95.8	112	171	218	270	343	405
30 hour	103	121	187	240	300	384	455
36 hour	109	128	200	259	326	419	499
48 hour	118	140	222	290	369	478	572
72 hour	132	156	251	332	427	558	672
96 hour	141	167	269	357	461	605	730
120 hour	147	174	279	370	480	630	762
144 hour	151	179	285	376	488	641	775
168 hour	154	183	288	377	489	642	776

Requested coordinate
Nearest grid cell

Latitude: -23.3650
Latitude: 23.3625 (S)

Longitude: 150.5230
Longitude: 150.5125 (E)

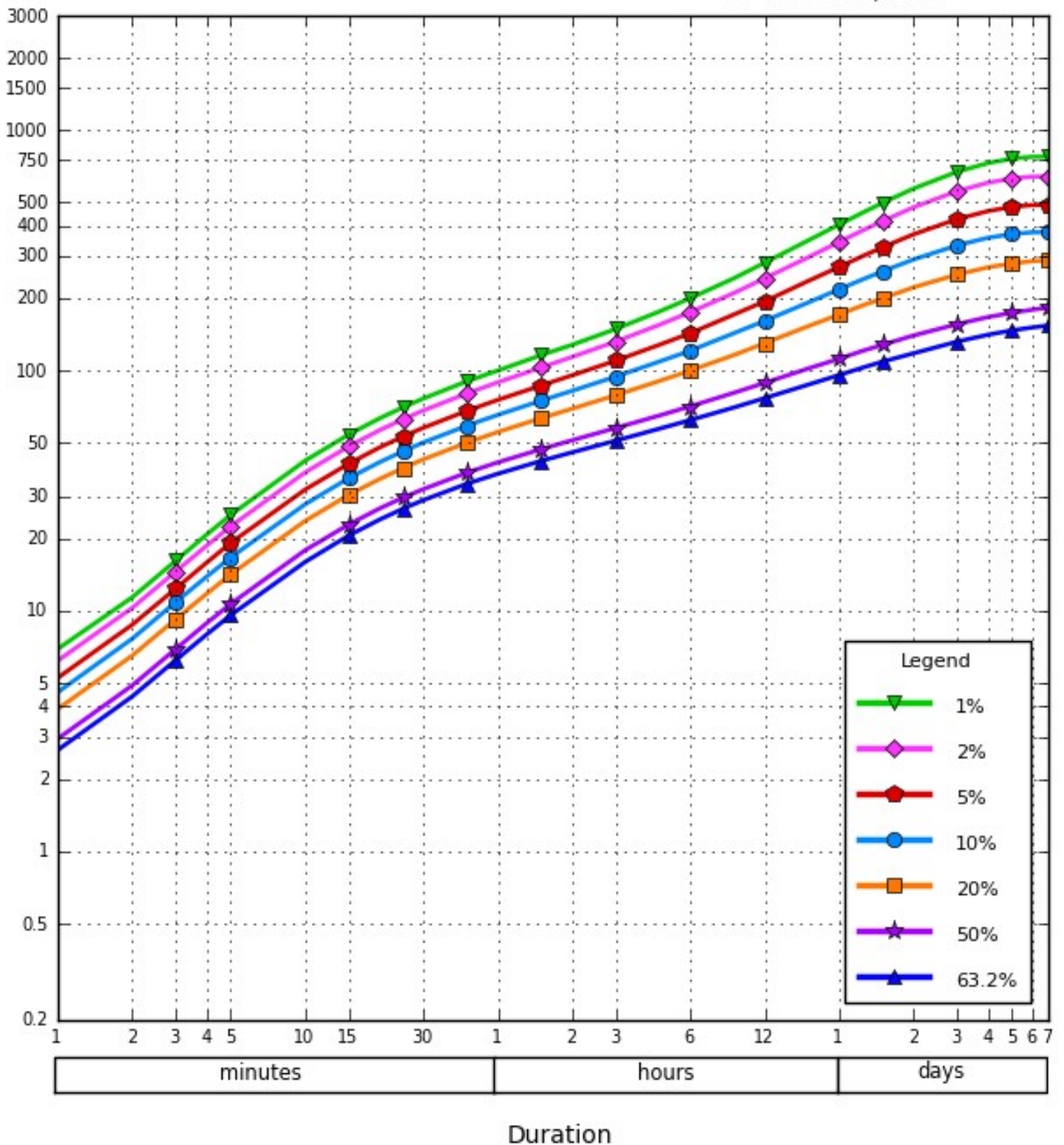
IFD Design Rainfall Depth (mm)

Issued: 22 March 2024

Rainfall depth in millimetres for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).

Depth
(mm)

*AEP - Annual Exceedance Probability
**EY - Exceedance per Year



Appendix B - Drains Models



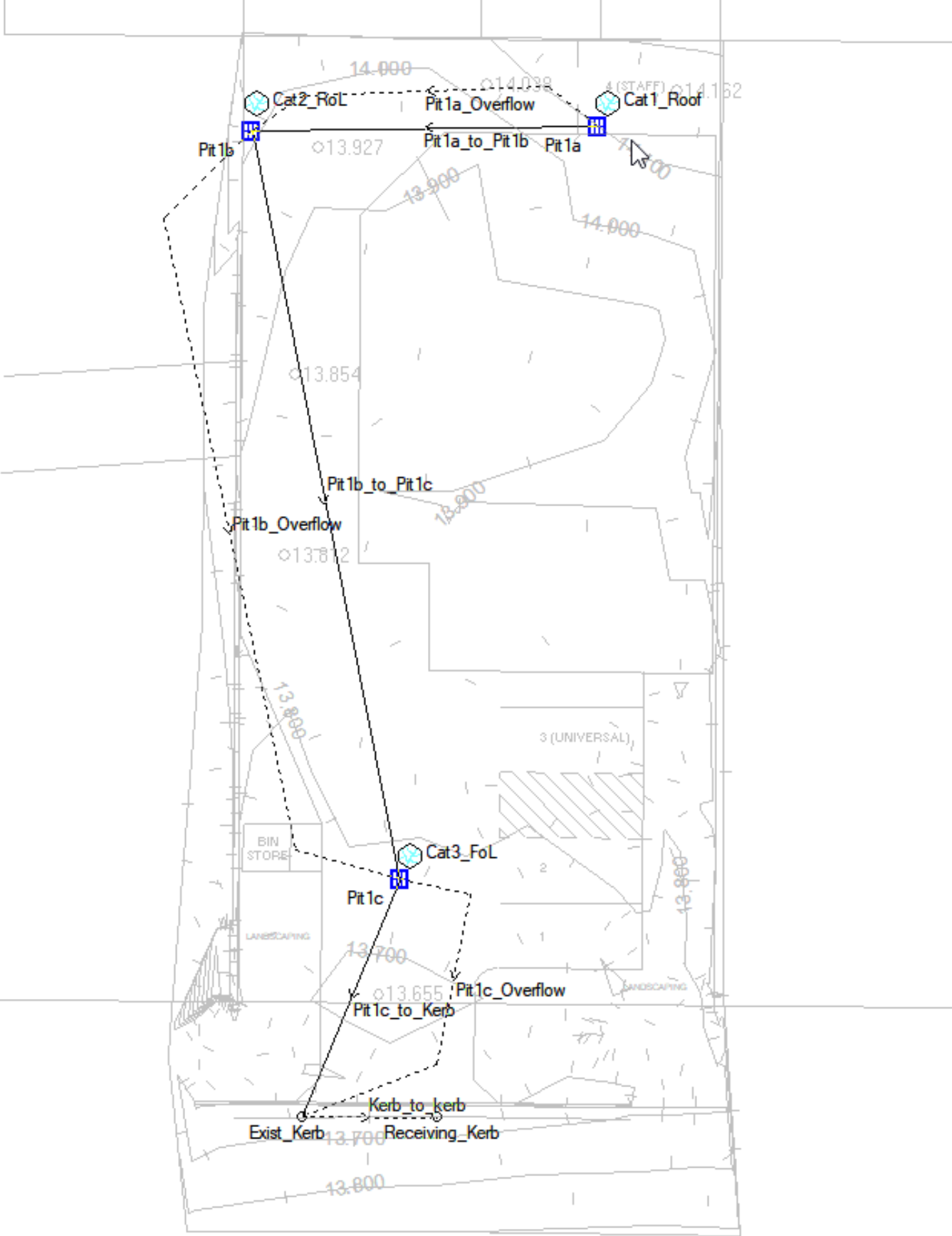
PRE-DEVELOPED SITE MODEL



SCENARIO 1 - POST-DEVELOPED SITE MODEL - NO STORAGE OR OSD

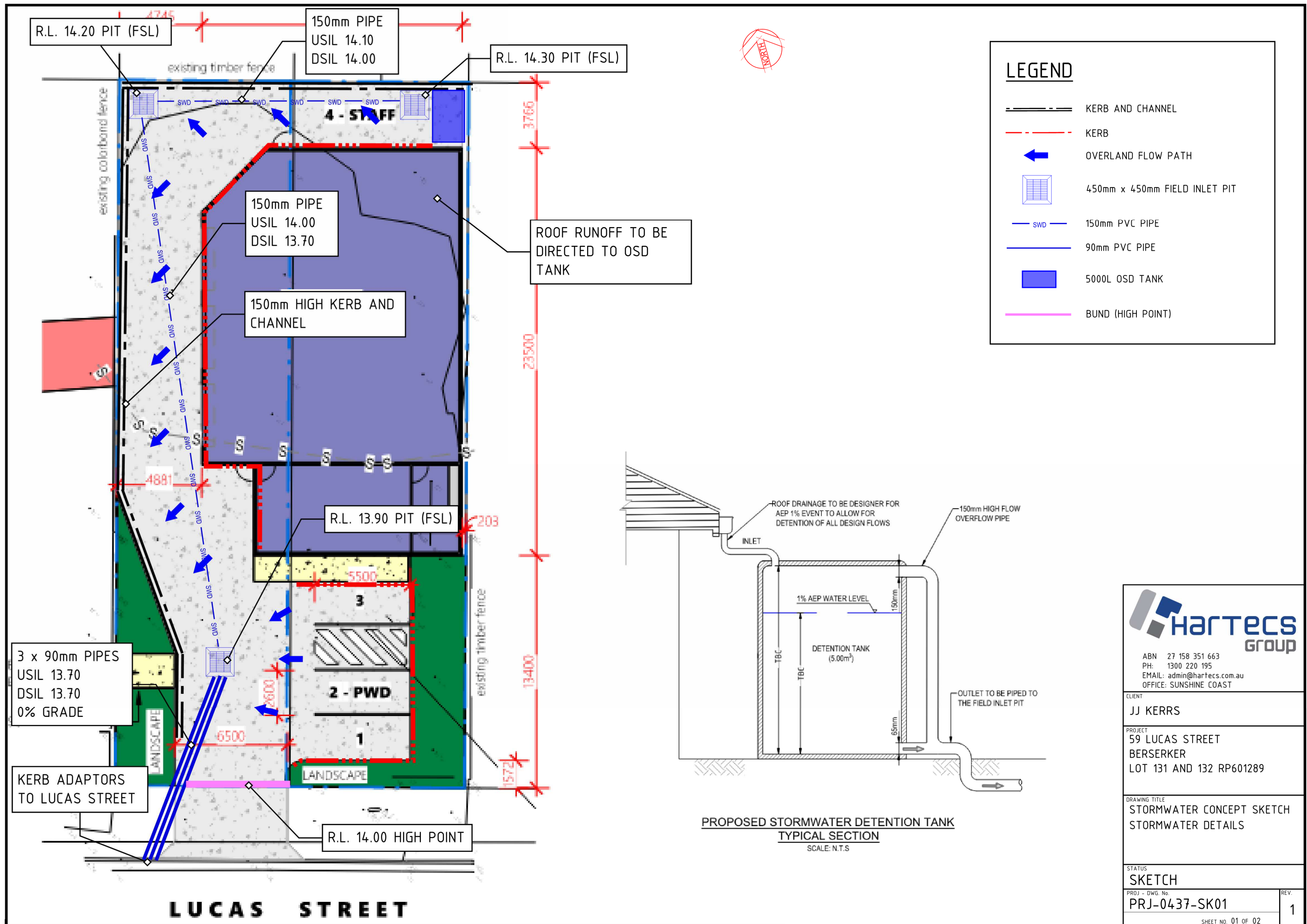


SCENARIO 2 - POST-DEVELOPED SITE MODEL - STORAGE IN CARPARK, NO OSD



Appendix C – Proposed Stormwater Design





R.L. 14.20 PIT (FSL)

150mm PIPE
USIL 14.10
DSIL 14.00

R.L. 14.30 PIT (FSL)

150mm PIPE
USIL 14.00
DSIL 13.70

150mm HIGH KERB AND CHANNEL

ROOF RUNOFF TO BE DIRECTED TO OSD TANK

R.L. 13.90 PIT (FSL)

3 x 90mm PIPES
USIL 13.70
DSIL 13.70
0% GRADE

KERB ADAPTORS TO LUCAS STREET

R.L. 14.00 HIGH POINT

LUCAS STREET

LEGEND

- KERB AND CHANNEL
- KERB
- OVERLAND FLOW PATH
- 450mm x 450mm FIELD INLET PIT
- 150mm PVC PIPE
- 90mm PVC PIPE
- 5000L OSD TANK
- BUND (HIGH POINT)

**PROPOSED STORMWATER DETENTION TANK
TYPICAL SECTION**
SCALE: N.T.S

ABN 27 158 351 663
PH: 1300 220 195
EMAIL: admin@hartecs.com.au
OFFICE: SUNSHINE COAST

CLIENT
JJ KERRS

PROJECT
59 LUCAS STREET
BERSERKER
LOT 131 AND 132 RP601289

DRAWING TITLE
**STORMWATER CONCEPT SKETCH
STORMWATER DETAILS**

STATUS
SKETCH

PROJ - DWG. No.
PRJ-0437-SK01

REV.
1

SHEET NO. 01 OF 02

Appendix D – RRC Information Request D5-2024



19 February 2024

Our reference: D/5-2024
Enquiries to: Kathy McDonald
Telephone: 07 4936 8099

JJ Kerr's Appliances Pty Ltd
C/- Capricorn Survey Group (CQ)
PO BOX 1391
ROCKHAMPTON QLD 4700

Dear Sir/Madam

INFORMATION REQUEST – DEVELOPMENT APPLICATION D/5-2024 FOR A MATERIAL CHANGE OF USE FOR A LOW IMPACT INDUSTRY – SITUATED AT 59 LUCAS STREET, BERSERKER – DESCRIBED AS LOT 131 AND 132 ON RP601289

Council refers to your application received by Council on 22 January 2024.

Council officers have undertaken a detailed assessment of the development application and require you to provide further information to address the following issues:

- 1.0** Please provide an appropriate sewerage strategy for the development. Council will not support the construction of a Building Class 2 to 9 structure over the existing combined line. i.e. provide an appropriate setback from the infrastructure; Or convert the existing combined line into an independent single connection.
- 2.0** Please demonstrate that the proposed developments stormwater will not cause or have the potential to cause an “actionable nuisance” or “worsening” to any adjacent or downstream lands or to a Lawful Point of Discharge. Ensure the following are addressed, where applicable.
 - 2.1 design roof and allotment drainage as per *Queensland Urban Drainage Manual* i.e. Level IV drainage system i.e. 5% AEP roof and allotment drainage.
 - 2.2 demonstrate how roof and allotment drainage will be discharged to a lawful point and complies with *Queensland Urban Drainage Manual* requirements;
 - 2.3 demonstrate that the proposed development does not cause a concentration of stormwater flows discharging on the Lucas Street;
 - 2.4 demonstrate that the mitigation measures proposed to address any potential stormwater impacts, for the range of storm event, of the proposed development. The range of storm event discharges should be shown for the mitigated case to demonstrate there is no worsening impact on the Lawful point of discharge;
 - 2.5 the stormwater drainage strategy must be prepared and certified by a suitable qualified and experienced Registered Professional Engineer of Queensland (RPEQ).
- 3.0** Please provide a fully dimensioned and properly scaled plan, prepared and certified by a suitably qualified and experienced Registered Professional Engineering of Queensland (RPEQ), indicating the extent of sealed vehicle manoeuvring and parking areas on the site including:
 - 3.1 the marking of all vehicle parking spaces; and
 - 3.2 swept vehicle turning paths for the largest design vehicle.

4.0 Please amend the design to include articulation (use of materials, patterns, textures, colours, and decorative elements) to avoid a plain appearance:

4.1 North and East - this may include high ventilation windows; and

4.2 South and West – overhangs or awnings

Alternatively this will be conditioned.

Under section 13 of the Development Assessment Rules, the Applicant has three (3) options available in response to this information request. The Applicant must give the Assessment Manager:

1. all of the information requested; or
2. part of the information requested, together with a notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application; or
3. a notice:
 - i. stating the Applicant does not intend to supply any of the information requested; and
 - ii. requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

Response to this further information request should be forwarded to:

General.Enquiries@rrc.qld.gov.au or;
Development Assessment Section
Rockhampton Regional Council
PO Box 1860
ROCKHAMPTON QLD 4700

A response needs to be received within a period of three (3) months from the date of this letter, in accordance with section 68 (1) of the *Planning Act 2016* and sections 12 and 13 of the Development Assessment Rules. Please forward your response to this information request to Council at your earliest convenience, in order for the assessment of your application to progress further.

Should you have any queries regarding the above information request, please contact the undersigned on 07 4936 8099.

Yours faithfully



Kathy McDonald
Acting Principal Planning Officer
Planning and Regulatory Services

Information Request Response Form
(to be returned to the Assessment Manager with the response)

I _____ choose to respond to the Assessment Manager's Information Request:

- in full;
OR
- in part, with this notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application;
OR
- stating that I do not intend to supply any of the information requested; and requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

A copy of the response to the Assessment Manager's information request has been provided to all Referral Agencies nominated on the Confirmation Notice.

I understand the requirements of this Information Request as listed above.

Signed : _____ Date : _____

Position : _____

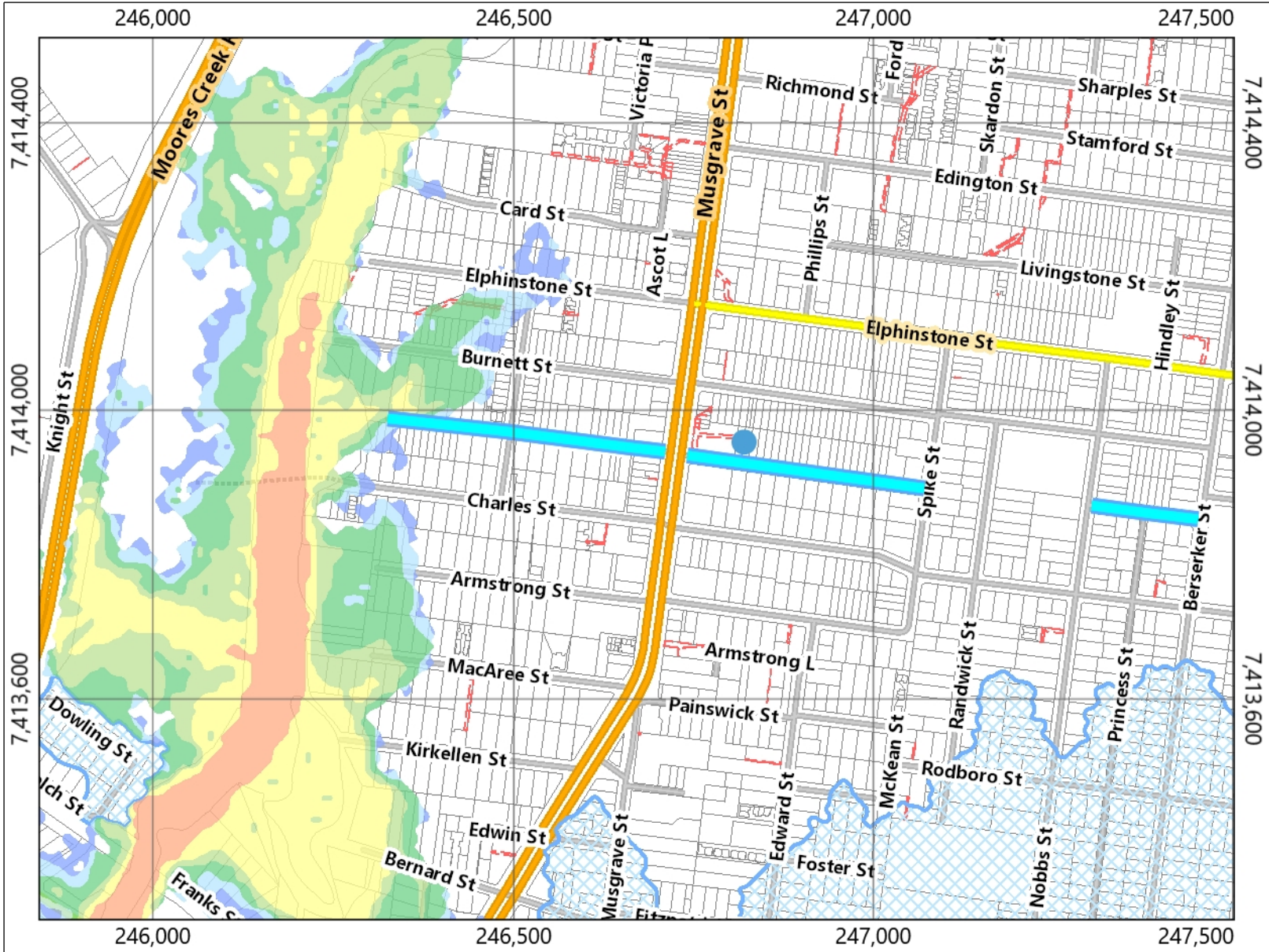
Appendix E – RRC Flood Mapping





Legend

- Development Information
- Fitzroy River Flood
 - H1 (Low)
 - H2 (Medium)
 - H3 (High)
 - H4 (High)
 - H5 (Extreme)
 - H6 (Extreme)
- Floodplain Investigation Area
- North Rockhampton Flood Management Area
- Roads2
 - Main roads
 - Major council roads
 - Standard council roads
 - Access roads
 - Private roads
- Easements
- Property Parcels
- Ocean
- CQ LGA Boundaries



Copyright protects this publication. Reproduction by whatever means is prohibited without prior written permission of the Chief Executive Officer, Rockhampton Regional Council. Rockhampton Regional Council will not be held liable under any circumstances in connection with or arising out of the use of this data nor does it warrant that the data is error free. Any queries should be directed to the Customer Service Centre, Rockhampton Regional Council or telephone 1300 22 55 77. The Digital Cadastral DataBase is current as at March 2024. © The State Government of Queensland (Department of Natural Resources and Mines) 2024. All other data © Rockhampton Regional Council 2024. This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current or otherwise reliable. Rockhampton Region Planning Scheme - August 2015.



Appendix F – Development Plans





DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:

DEVELOPMENT

Address:

**59 LUCAS STREET,
BERSERKER**

Drawing Title:

3D VIEW



0407 271 336 M

info@dezinements.com.au E

QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-01	

PROJECT

NEW DEVELOPMENT

ADDRESS

59 LUCAS STREET, BERSERKER

CLIENT

JJ KERRS APPLIANCES PTY LTD



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:

DEVELOPMENT

Address:

**59 LUCAS STREET,
BERSERKER**

Drawing Title:

3D VIEW



0407 271 336 **M**

info@dezinements.com.au **E**

QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-02	



DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
3D VIEW



0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	11/12/2023 1:54:53 PM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-03	

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:

REVISIONS

ISSUED FOR
PRELIMINARY

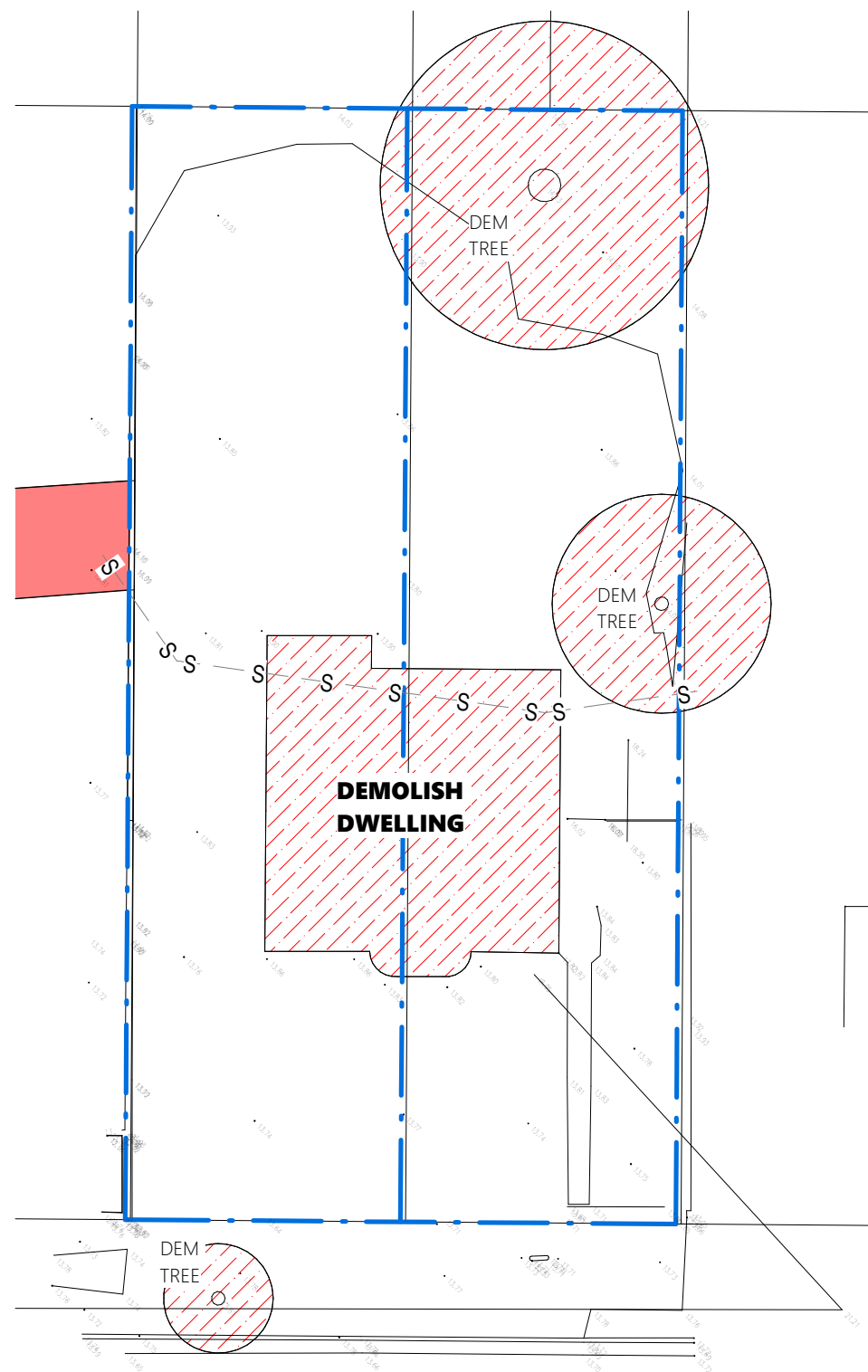
Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	SITE PLAN



0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 250	Rev: -
Date: DEC 2023	
Drawn: NJB	
Project No: 23_252	Drawing No: S-04

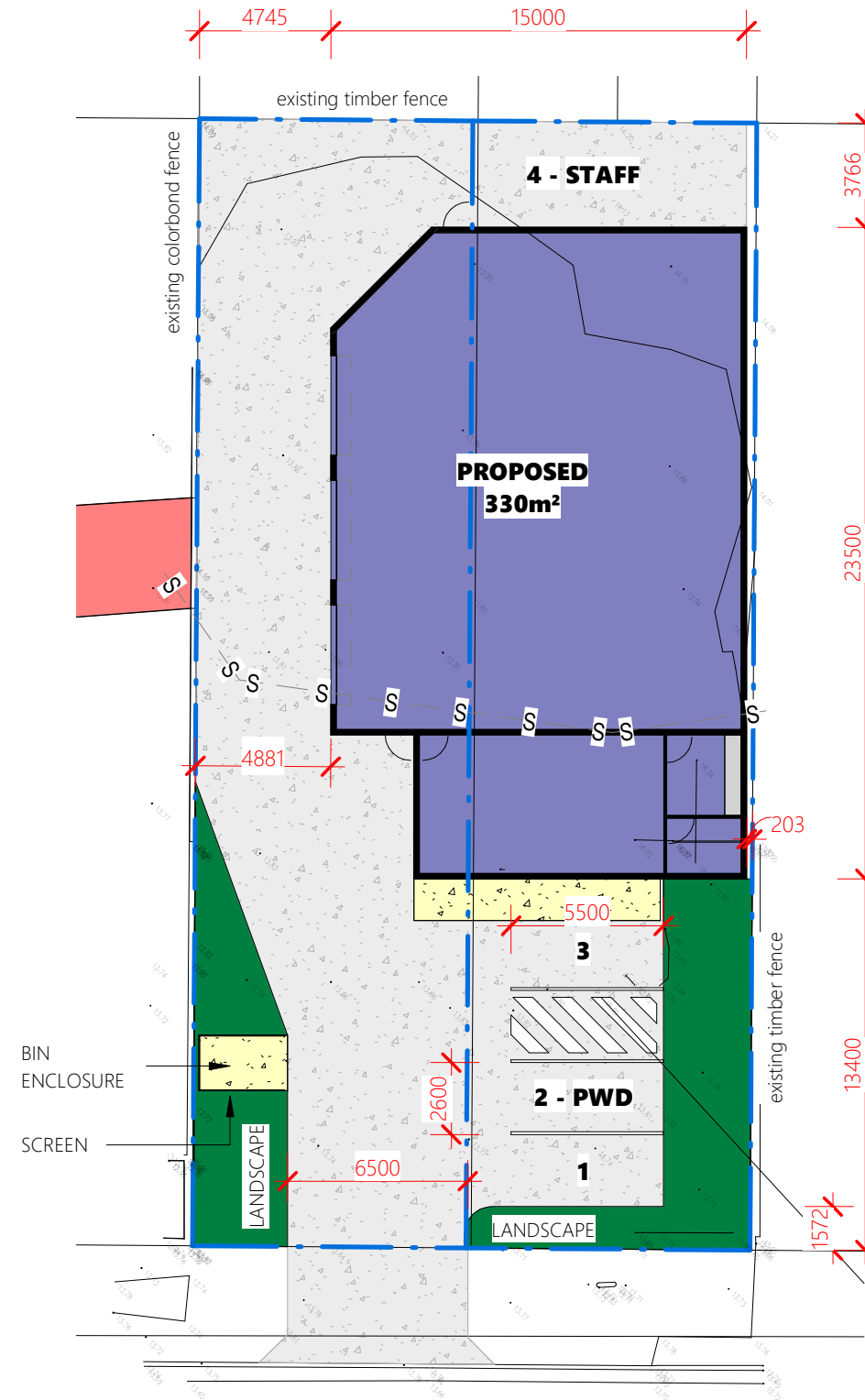
11/12/2023 1:54:54 PM



LUCAS STREET

Existing Site Plan

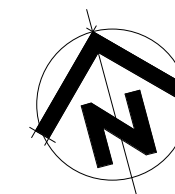
1 : 250

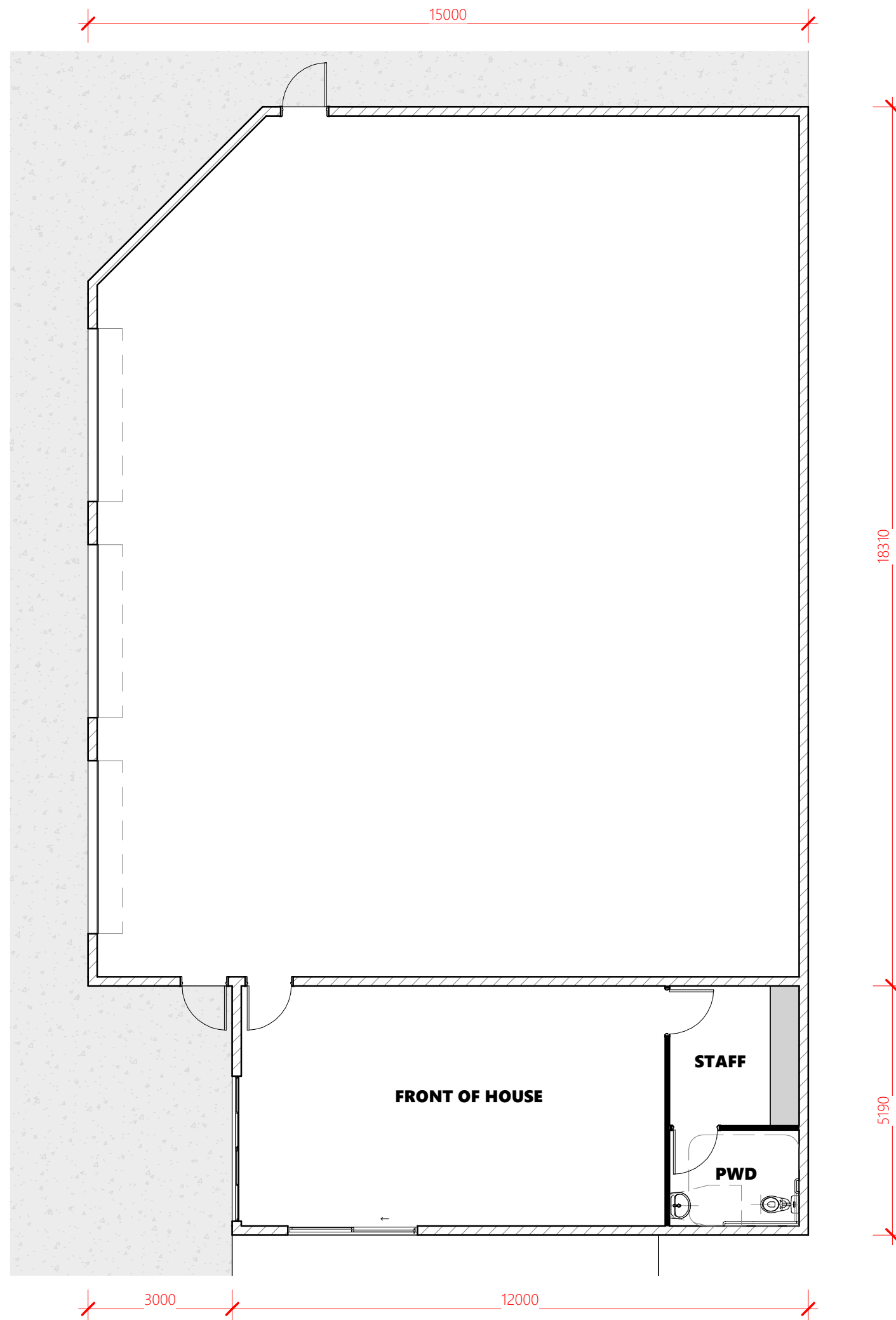


LUCAS STREET

Proposed Site Plan

1 : 250





Proposed Floor Plan

1 : 100

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

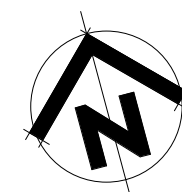
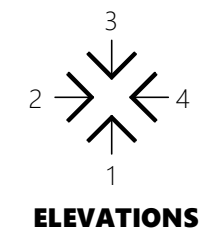
No:	Description:	Date:	REVISIONS

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	PROPOSED FLOOR PLAN



0407 271 336 **M**
info@deziignements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

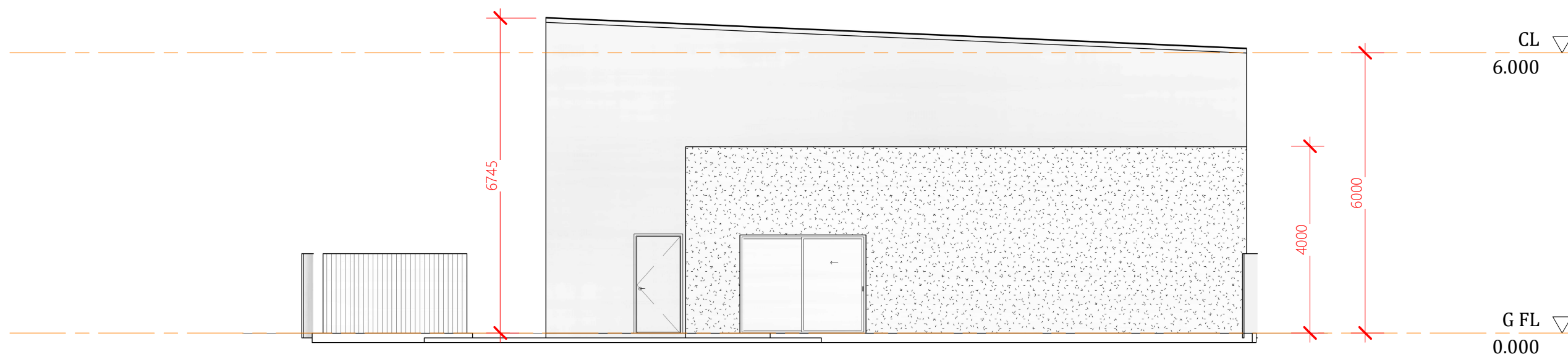


Scale: 1 : 100	Rev: -	11/12/2023 1:54:54 PM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-05	

DO NOT SCALE DRAWING

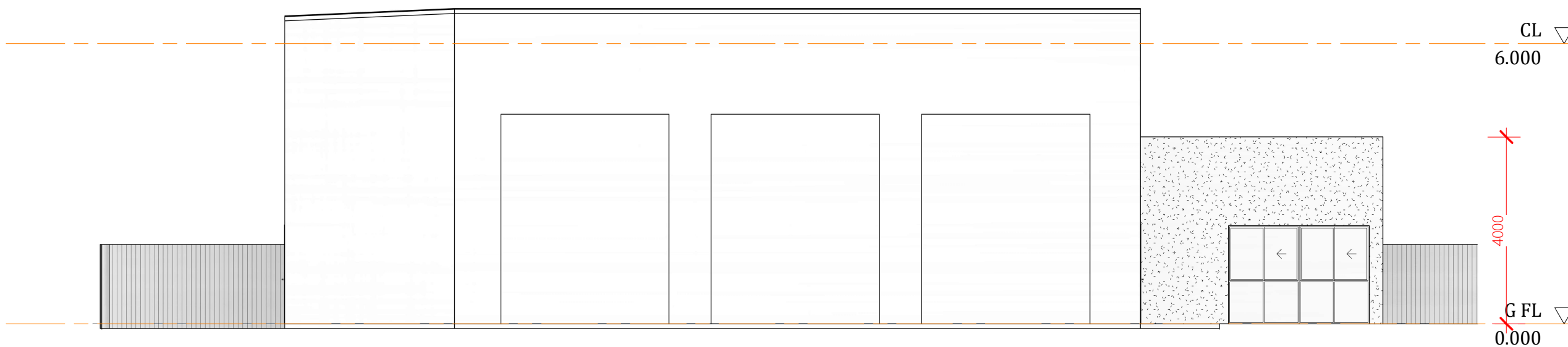
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	
-	-	-	
-	-	-	
-	-	-	
-	-	-	



Proposed Elevation 1

1 : 100



Proposed Elevation 2

1 : 100

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	ELEVATIONS

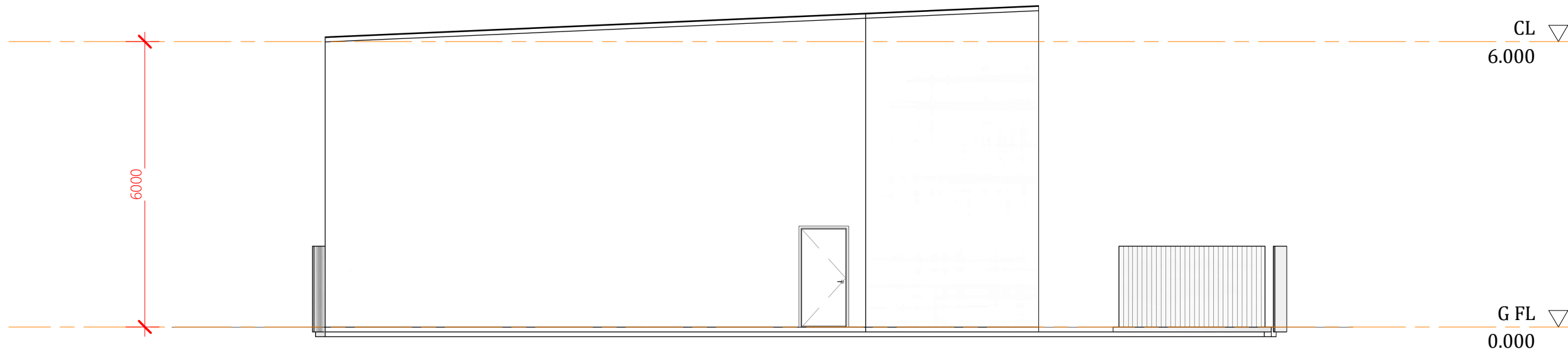


0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: -	11/12/2023 1:54:56 PM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-06	

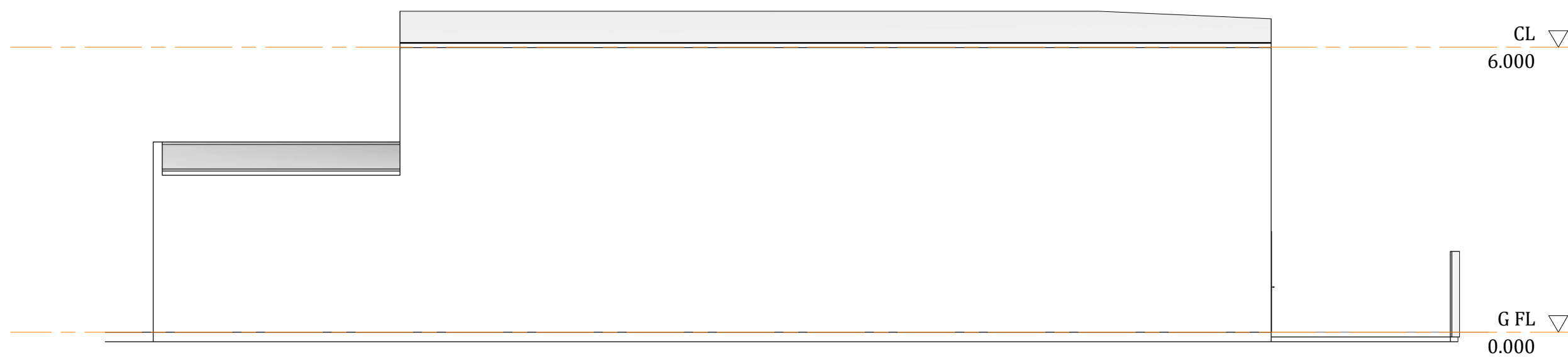
DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	



Proposed Elevation 3

1 : 100



Proposed Elevation 4

1 : 100

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
ELEVATIONS



0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: -	11/12/2023 1:54:59 PM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-07	



DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS	

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	3D VIEW

dezinelements
BUILDING DESIGNERS

0407 271 336 **M**
info@dezi nelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	29/04/2024 8:18:42 AM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-01	

PROJECT

NEW DEVELOPMENT

ADDRESS

59 LUCAS STREET, BERSERKER

CLIENT

JJ KERRS APPLIANCES PTY LTD



DO NOT SCALE DRAWING

ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:

DEVELOPMENT

Address:

**59 LUCAS STREET,
BERSERKER**

Drawing Title:

3D VIEW



0407 271 336 **M**

info@dezinements.com.au **E**

QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:
Date: DEC 2023	-
Drawn: Author	

Project No: Drawing No:

23_252 S-02

29/04/2024 8:18:43 AM



DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
3D VIEW



0407 271 336 **M**
info@dezi elements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale:	Rev:	29/04/2024 8:18:43 AM
Date: DEC 2023	-	
Drawn: Author		
Project No: 23_252	Drawing No: S-03	

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:

REVISIONS

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

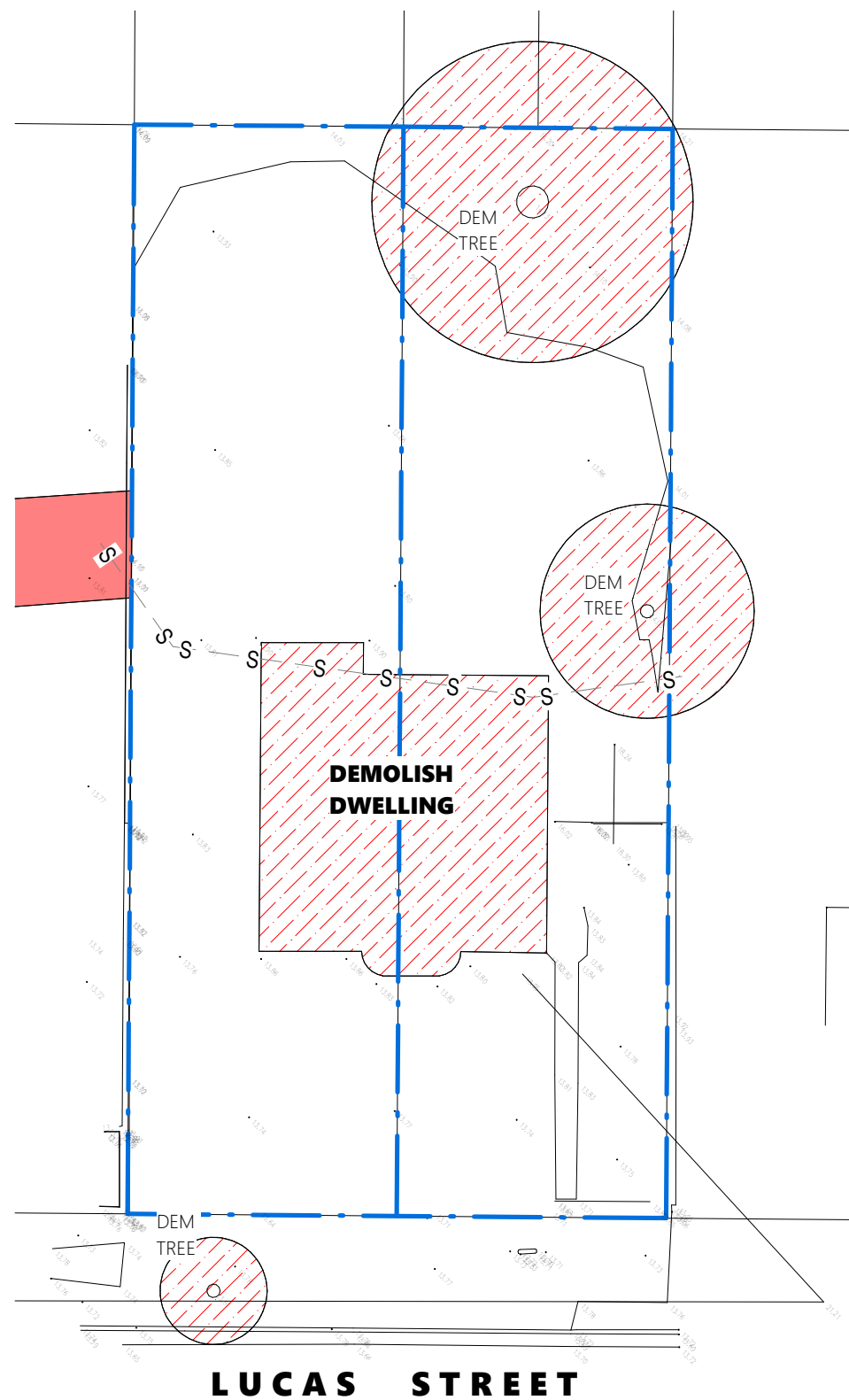
Drawing Title:
SITE PLAN



0407 271 336 M
info@deziignelements.com.au E
QBCC No: 1247120 BDAQ No: 0001677

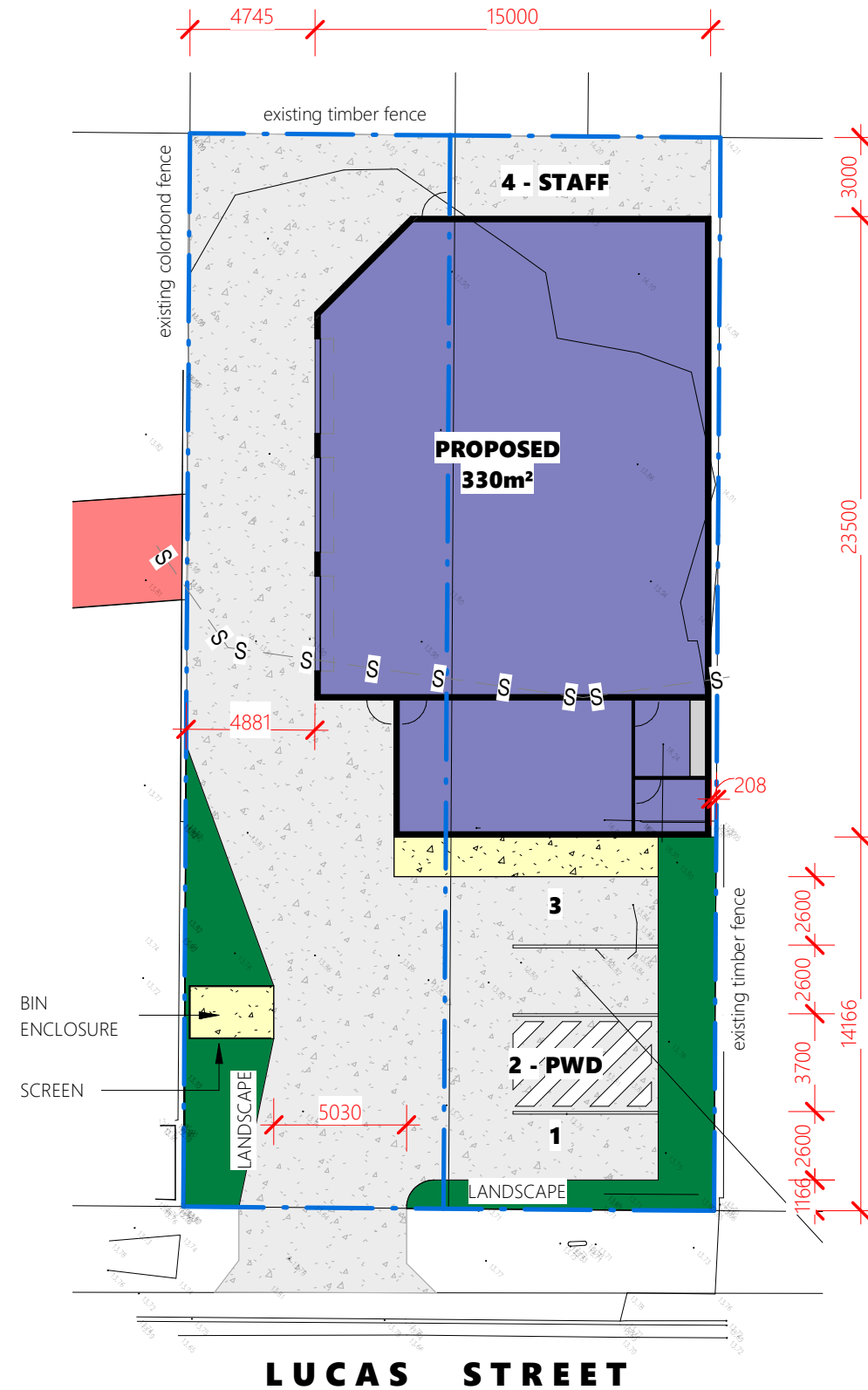
Scale: 1 : 250	Rev: -
Date: DEC 2023	
Drawn: NJB	
Project No: 23_252	Drawing No: S-04

29/04/2024 8:18:43 AM



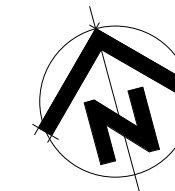
Existing Site Plan

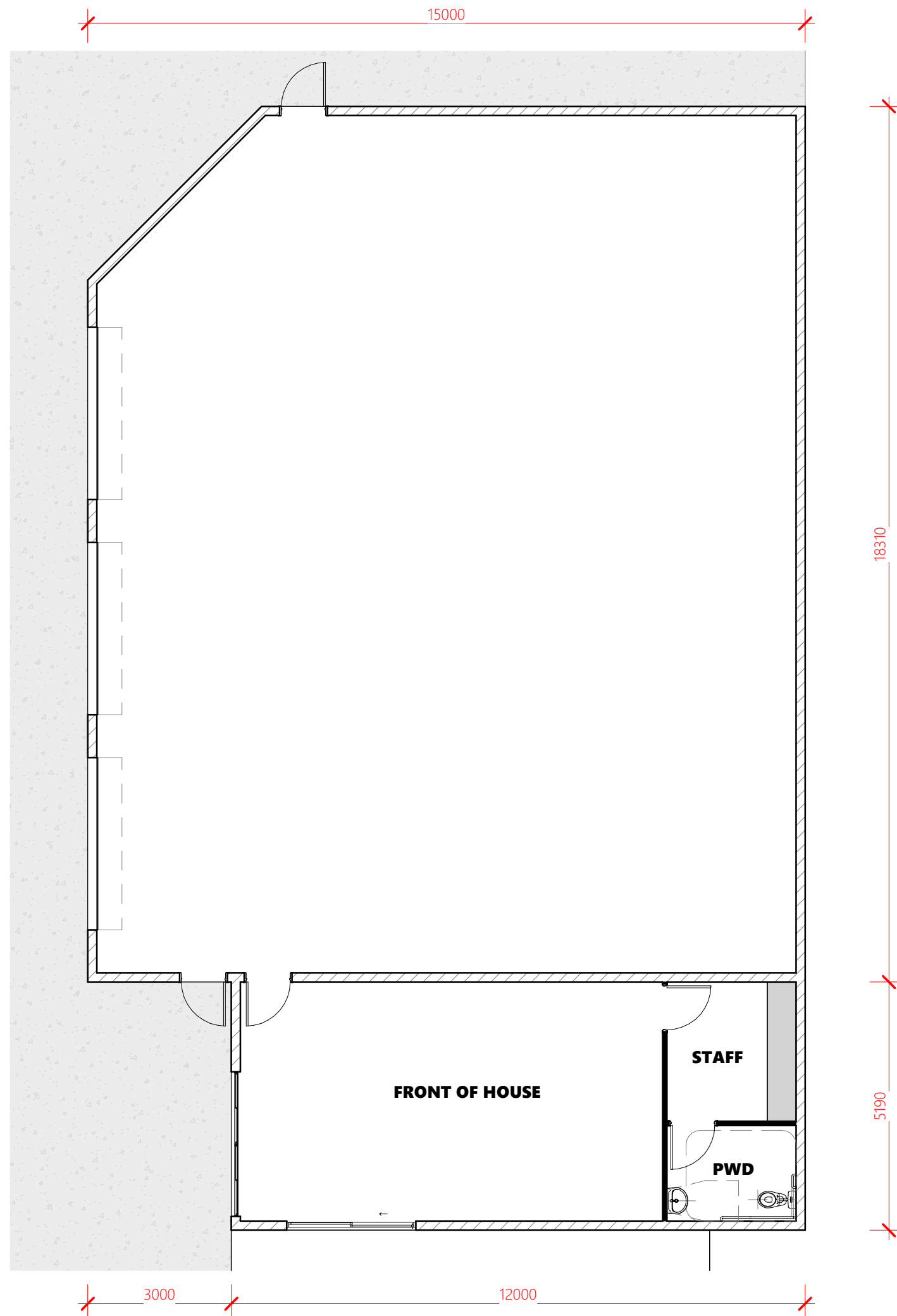
1 : 250



Proposed Site Plan

1 : 250





Proposed Floor Plan

1 : 100

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

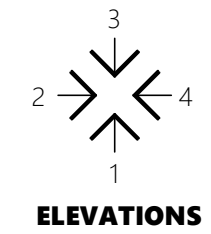
No:	Description:	Date:	REVISIONS

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	PROPOSED FLOOR PLAN

dezinelements
BUILDING DESIGNERS

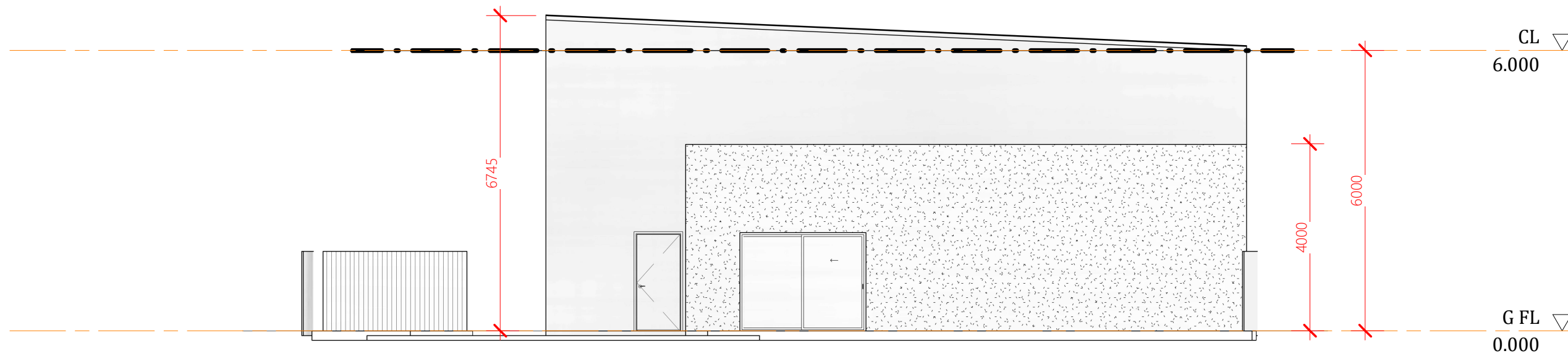
0407 271 336 **M**
info@dezi nelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677



Scale: 1 : 100	Rev: -	29/04/2024 8:18:43 AM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-05	

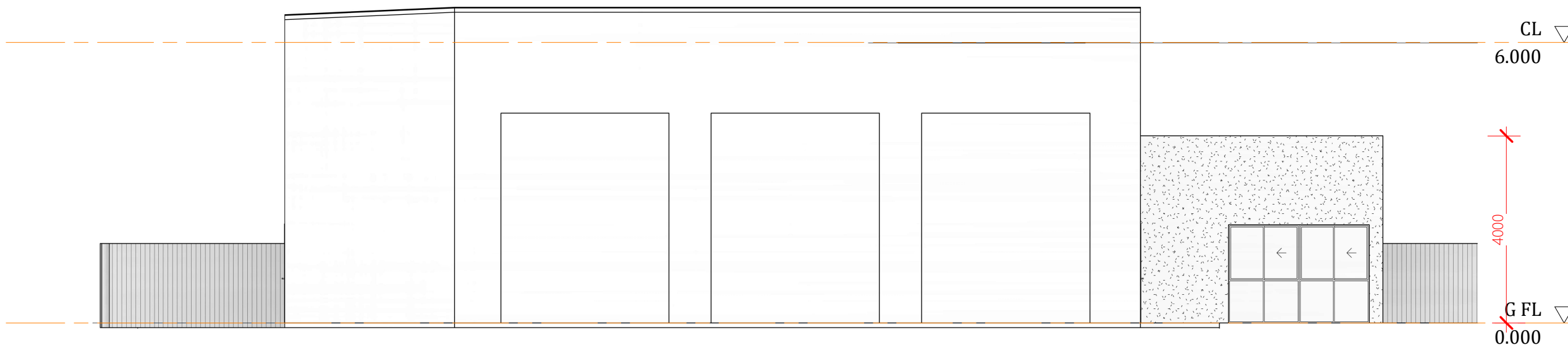
DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS



Proposed Elevation 1

1 : 100



Proposed Elevation 2

1 : 100

ISSUED FOR
PRELIMINARY

Project:	DEVELOPMENT
Address:	59 LUCAS STREET, BERSERKER
Drawing Title:	ELEVATIONS

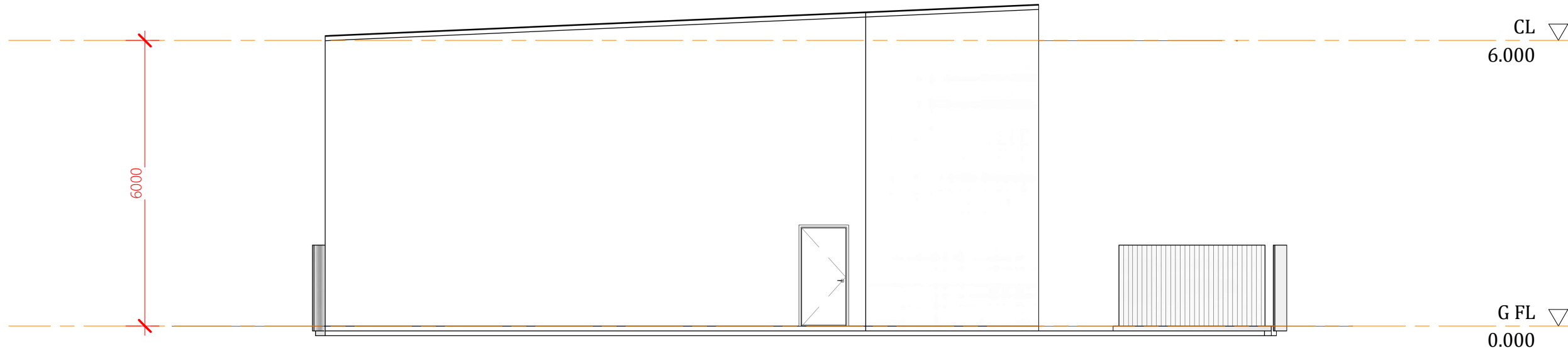


0407 271 336 **M**
info@dezienelements.com.au **E**
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 100	Rev: -	29/04/2024 8:18:44 AM
Date: DEC 2023		
Drawn: NJB		
Project No: 23_252	Drawing No: S-06	

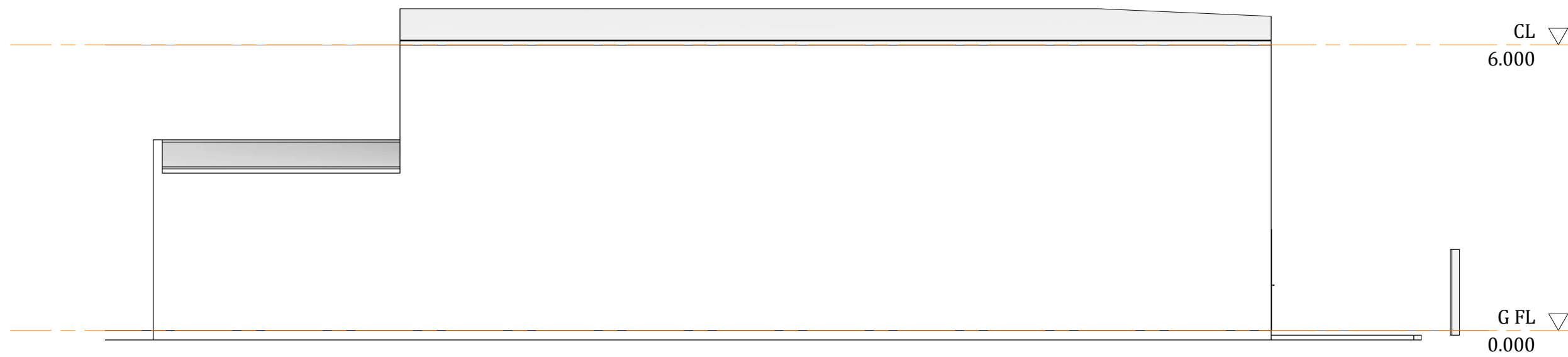
DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	



Proposed Elevation 3

1 : 100



Proposed Elevation 4

1 : 100

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
ELEVATIONS



0407 271 336 **M**

info@dezi elements.com.au **E**

QBCC No: 1247120 BDAQ No: 0001677

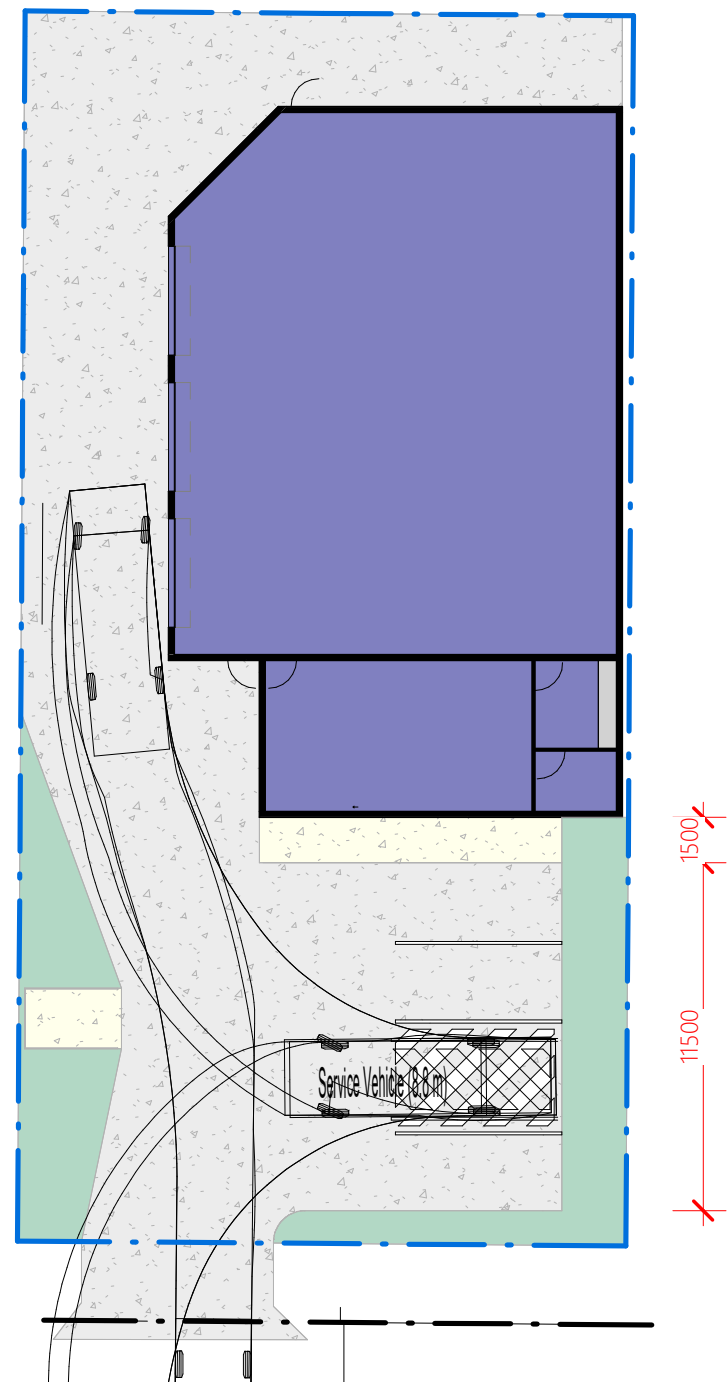
Scale: 1 : 100	Rev: -
Date: DEC 2023	
Drawn: NJB	

Project No: 23_252	Drawing No: S-07
------------------------------	----------------------------

29/04/2024 8:18:47 AM

DO NOT SCALE DRAWING
ALL DIMENSION IN MILLIMETERS

No:	Description:	Date:	REVISIONS
-	-	-	



Proposed Site Plan - Turning Circle

1 : 250

8.8m VEHICLE

ISSUED FOR
PRELIMINARY

Project:
DEVELOPMENT

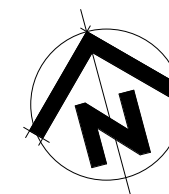
Address:
**59 LUCAS STREET,
BERSERKER**

Drawing Title:
TURNING CIRCLE



0407 271 336 M
info@dezinements.com.au E
QBCC No: 1247120 BDAQ No: 0001677

Scale: 1 : 250	Rev: -	29/04/2024 8:18:48 AM
Date: DEC 2023		
Drawn: Author		
Project No: 23_252	Drawing No: S-08	



Information Request Response Form
(to be returned to the Assessment Manager with the response)

I Madison Day choose to respond to the Assessment Manager's Information Request:

in full;

OR

in part, with this notice requiring the Assessment Manager and each referral agency to proceed with the assessment of the application;

OR

stating that I do not intend to supply any of the information requested; and requiring the Assessment Manager and each referral agency to proceed with the assessment of the application.

A copy of the response to the Assessment Manager's information request has been provided to all Referral Agencies nominated on the Confirmation Notice.

I understand the requirements of this Information Request as listed above.

Signed :  Date : 13/05/2024

Position : applicants representative

Notice of intention to commence public notification
Section 17.2 of the Development Assessment Rules

D/5-2024	[application reference number]
JJ Kerr's Appliances Pty Ltd	[applicant name]
C/- Capricorn Survey Group (CQ) Pty Ltd – PO Box 1391, Rockhampton QLD 4700 reception@csgcq.com.au	[contact address/email address]
(07) 4927 5199	[contact number]
17 May 2024	[notice date]
Kathy McDonald	[assessment manager's name]
Rockhampton Regional Council PO Box 1860, Rockhampton QLD 4700	[assessment manager's address]

RE: Application for:

[details of proposed development]

Material Change of Use for a Low Impact Industry

[street address]

59 Lucas Street, Berserker

[real property description]

Lots 131 on 132 on RP601289

Dear

[sir/madam/name]

Kathy

In accordance with section 17.2 of the Development Assessment Rules, I intend to start the public notification required under section 17.1 on:

[insert intended date of commencement]

20th May 2024

At this time, I can advise that I intend to: [provide details below if known]

Publish a notice in:

[insert name of the newspaper]

CQ Today

on

[intended date for publishing]

18th May 2024

and

Place notice on the premises in the way prescribed under the Development Assessment Rules

[intended date notice to be erected]

17th May 2024

and

Notify the owners of all lots adjoining the premises the subject of the application

[intended date owners to be notified]

16th May 2024

If you wish to discuss this matter further, please contact me on the above telephone number.

Yours sincerely

[applicant name, signature and date]

Madison Day



17 May 2024