

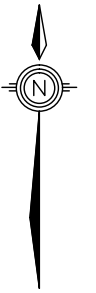
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/112-2024

Dated: 20 September 2024



IMPORTANT NOTE

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In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.

This note is an integral part of this plan.

client
Colaaco Pty Ltd
A.C.N. 125 353 826

project
Stringy Bark Avenue,
Norman Gardens

plan of
Reconfiguration Plan
 1 Lot into 3 Lots
 (With QLD Globe Underlay)

rdp
Lot 900 on SP348680

lga
Rockhampton Regional Council

issue	date	details	authorised
A	8-08-2024	Initial Issue	RJKF



scale
1:1250 @ A3
 sheet no.
1 of 1
 plan no.
8175-01-ROL

datum
 -
 cad file
8175-01-ROL-A
 issue
A



REDRIDGE ENGINEERING
GROUP

ROCKHAMPTON REGIONAL COUNCIL

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Development Permit No.: D/112-2024

Dated: 20 September 2024

PO Box 722

Rockhampton City QLD 4700

ABN: 84 663 503 106

Our Ref: 2403_Forest Park Balance Land ROL

16 August 2024

Manager – Planning and Development Approvals
Rockhampton Regional Council
PO Box 1860, ROCKHAMPTON QLD 4700

FOREST PARK ESTATE – ROL APPLICATION, THREE STAGES BALANCE LAND ENGINEERING REPORT

1. INTRODUCTION

- 1.1 This engineering report is provided on behalf of COLAACO PTY LTD to assist Council with assessment of the aspects relevant to an ROL application to create three (3) administrative allotments in three (3) stages. The stage numbering is consistent with previous ROL submissions to Council as shown on the attached Drawing No 980-1 and this is reaffirmed with attached Redridge Engineering drawing No 2403-ROL-01 STAGING PLAN.
The Capricorn Surveys proposal plan is attached as 8175-01-ROL Issue A.
- 1.2 The subject land is currently described as Lot 900 SP348680. Lot 900 is in three (3) separate parcels linked by vinculums across River Rose Drive and Stringybark Avenue.
Refer attached survey plan SP348680.
- 1.3 These three (3) separate parcels were formed from the balance of the Forest Park estate as a result of the dedication of the required road reserves in late 2022 to allow road construction on River Rose Drive and Stringybark Avenue to proceed.
Refer attached Pages from Rockhampton Regional Council Construction Plans for RIVER ROSE DRIVE.
- 1.4 Subsequent to this, a new cadastral survey was required to adjust the front boundaries of proposed lot 504 to accommodate Council's construction work in River Rose Drive. The existing trunk watermain was found to be off the standard alignment which would result in encroachment of the new multiple electricity and telecommunications conduiting into the proposed lot 504 land.
The cheapest solution to ensure the standard alignment was maintained for the new conduits was for COLAACO PTY LTD to volunteer to provide additional land in order for Council to attain the correct service alignments.
COLAACO PTY LTD was not compensated for the provision of this extra land into road reserve or the new survey plan to accommodate these boundary adjustments. The land was provided by COLAACO Pty Ltd solely in the spirit of co-operation.
- 1.5 The subject land is zoned Low Density Residential in the Council's current Planning Scheme. The three (3) proposed lots cannot be developed without further applications to Council. No siteworks (earthworks and/or retaining walls) are planned, proposed or necessary to create the three (3) separate titles. No drainage works are planned, proposed or necessary.



admin@RedridgeEG.com.au



07 4863 5613

No roadwork is planned, proposed or necessary. The status quo for drainage and stormwater will remain unchanged. No inter-allotment drainage is required. The impervious area will not change.

1.6 No landscaping is proposed or necessary to create these three (3) administrative lots. No entry statements or street gardens are proposed. No irrigation is proposed. The standard landscaping suite of conditions is therefore not reasonably imposed on this approval. Landscaping is an issue for future development applications.

1.7 The land is being readied for individual commercial sales for future development either by COLAACO PTY via further applications to Council or by another unrelated entity via further applications to Council through the purchase of one of the lots from COLAACO Pty Ltd. The areas of each parcel are in the order of 0.5 ha, 1 ha and 2.4 ha. Consequently, this land while zoned low density residential, will not be developed as three (3) individual residential lots. A higher and better use for each lot will be the subject of future applications to Council.

1.8 Currently the three (3) parcels exist under one (1) title and can only be sold all together as three (3) parcels under a single title. There is more potential to sell and develop each separate parcel provided separate titles can be obtained.

Any potential sale or future development application will be simplified if a separate title can be obtained for each parcel. This is the sole purpose of this application.

2. FLOODING & STORMWATER

2.1 Council's current AECOM *Splitters Creek Local Catchment Study* shows that the subject land is free of inundation in the 1% AEP being the relevant benchmark in the Planning Scheme.

Refer below for Figure 1 - the extent of 1% AEP inundation.

Consequently, the extent of flooding is not a relevant matter in assessment of this ROL application to potentially obtain three (3) separate titles.



Figure 1 – 1% AEP

2.2 All three (3) parcels have separate access to legal points of discharge for stormwater. All three parcels have frontage to either River Rose Drive with under road drainage and/or Stringybark Avenue with under road drainage. Each of the three (3) parcels is also immediately adjacent a major drainage channel under the control of Council.

Refer attached Redridge Engineering drawing No 2403-ROL-03 EXISTING LOT CONTOURS (AHD).

2.3 Consequently, there are stormwater design options for each parcel to be developed in the future with immediate and direct access to legal points of discharge without causing adverse effects to surrounding lands or infrastructure.

2.4 There is no requirement for inter-allotment drainage as allotment runoff can be directed to the existing frontage kerb and channel or the swale drainage channels adjacent.

3. WATER SERVICING

3.1 All three (3) parcels have immediate access to Council reticulation watermains in the road reserves fronting each proposed lot.

Refer attached Redridge Plan No 2403-ROL-02 INFRASTRUCTURE DETAILS.

3.2 Given each parcel will be further developed in the future and most likely will require an upgrade from the standard residential water service to address a future MCU or ROL approval, it is requested that Council condition a bond for a standard water service as an interim strategy to allow a survey plan to be released for each stage.

4. SEWERAGE CONNECTIONS

4.1 All three (3) parcels have immediate access to sewer reticulation mains either within each parcel or to sewer infrastructure in the road reserve fronting the relevant parcel.

Refer attached Redridge Plan No 2403-ROL-02 INFRASTRUCTURE DETAILS.

4.2 As each parcel will be developed in the future and will potentially require an upgraded sewer connection to address a future MCU approval and/or ROL approval, the connection may be required in a different location. It is therefore requested that Council condition a bond for a standard sewer jump-up as an interim strategy to allow a survey plan to be released for each stage.

Stage 18 has sewer within its boundaries and access to a manhole.

Stage 15 has access to a manhole adjacent and within Council controlled land.

Stage 14 has direct access to a stub connection at a manhole within the road reserve of Stringybark Avenue.

5. ELECTRICITY & TELECOMMUNICATIONS

5.1 Each of the three parcels has access to existing power and telecommunications and/or can be relatively easily be provided with same.

Refer attached Redridge Plan No 2403-ROL-03 INFRASTRUCTURE DETAILS.

6. ROADWORKS

6.1 The full road construction including the relevant pedestrian paths, pedestrian ramps and public street lighting for both River Rose Drive and Stringybark Avenue for the full frontage of the subject land is complete. The majority of the construction work inclusive of the relevant lighting was completed in February 2024 with a significant monetary contribution from COLAACO PTY LTD.

6.2 No relevant roadwork can be identified as outstanding. No condition of approval for roadwork is reasonably required to be imposed on an ROL approval.

7. STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL

7.1 The existing and post development receiving environments in the event of approval of the subject three (3) lot subdivision of the parent parcel (Lot 900 SP348680) will be unchanged.

7.2 No new roadwork is required. No earthworks are required. No new sewer or water reticulation mains are required. Further underground electricity and telecommunications conduits are not required as these were installed with the recent Council roadworks construction.

The impervious area will be unchanged. Therefore, there will be no impact arising from creation of the three (3) proposed lots on stormwater quantity and quality and/or the receiving environment.

- 7.3 An Erosion and Sedimentation Control Plan for construction and post construction phases is4
It is un-necessary to demonstrate that the management of stormwater “post” development results in no worsening of impacts compared to the “pre” development conditions as the impervious area is unchanged and no construction work is required to cause a change in runoff flows and/or the risk of erosion and sedimentation.
- 7.4 There will be no concentration of stormwater flows arising from approval of the subdivision as no construction work is required.
- 7.5 No mitigation measures are proposed or necessary as there are no potential stormwater impacts and no worsening of impacts.
- 7.6 State Planning Policy Assessment Benchmarks – Water Quality
The proposed reconfiguration of this urban lot, while greater than 2,500 square metres in area, will not result in the creation of six (6) or more lots nor will the impervious area change and any necessary minor operational works will result in a very minor disturbance of land area. The proposal, as it currently stands in three (3) parcels, will remain physically unchanged in the event of approval of the subject application. The only change will be three (3) separate land titles will legally exist. The proposed development will not cause any impacts that warrant works to address compliance with the water quality provisions of the State Planning Policy July 2017.

8. CONCLUSIONS.

- 8.1 The three (3) parcels have been separated by road reserve for some time albeit under the umbrella of one (1) title. No roadworks, drainage works or site works are required to prepare these three (3) parcels for three (3) separate titles. Minor servicing conditions may be required solely to meet administrative requirements of the Planning Act.
- 8.2 A reasonable requirement in the event of an ROL approval is a reduced set of Council’s standard suite of ROL approval conditions tailored to be reasonable and relevant.
- 8.3 Any imposed reasonable and relevant approval conditions must recognise that future Material Changes of Use and/or Reconfiguration of Lot applications will be required for any further development to occur. In the meantime, the status quo will remain.



N GARDNER RPEQ 2393 for

REDRIDGE ENGINEERING GROUP

Attachments

- a) Capricorn Surveys Proposal Plan **No 8175-01-ROL Issue A.**
- b) Redridge Engineering Drawing No 2403-ROL-01 STAGING PLAN
- c) FIGURE 980-1 Staging Plan of Forest Park Estate
- d) Redridge Plan No 2403-ROL-02 INFRASTRUCTURE DETAILS
- e) Redridge Plan No 2403-ROL-03 EXISTING LOT CONTOURS (AHD)
- f) Current Survey Plan SP348680.
- g) Pages from Rockhampton Regional Council Construction Plans for River Rose Drive

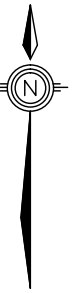
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1 Lot into 3 Lots
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rpd
Lot 900 on SP348680

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1 of 1
 plan no.
8175-01-ROL

datum
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 cad file
8175-01-ROL-A
 issue
A

2403 FOREST PARK BASE.DWG LAST MODIFIED 12/AUGUST/2024



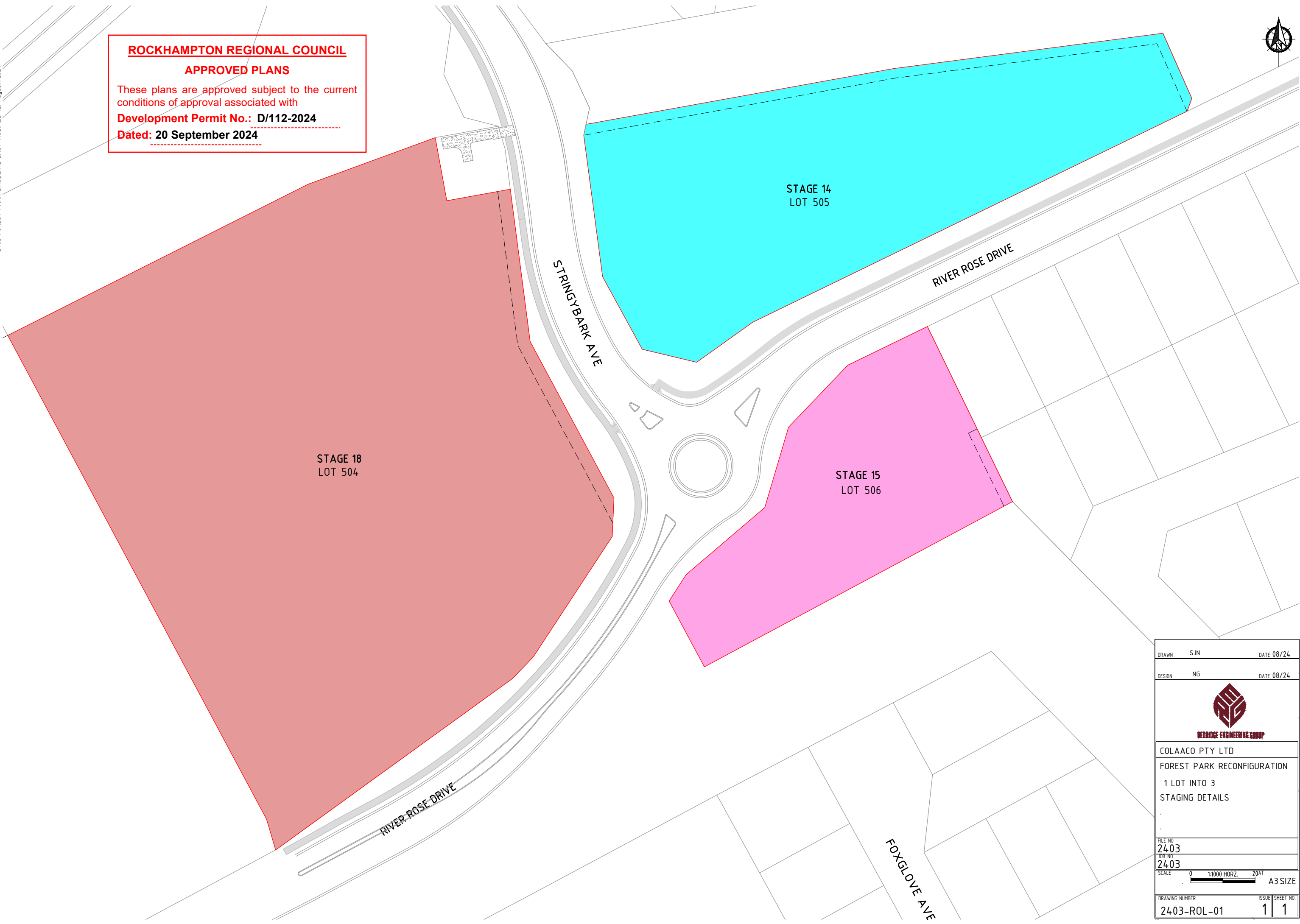
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DRAWN	SJN	DATE	08/24
DESIGN	NG	DATE	08/24
 REDBRIDGE ENGINEERING GROUP			
COLAACO PTY LTD			
FOREST PARK RECONFIGURATION			
1 LOT INTO 3			
STAGING DETAILS			
FILE NO	2403		
JOB NO	2403		
SCALE	0 1:1000 HORZ. 20M		A3 SIZE
DRAWING NUMBER	ISSUE	SHEET NO.	
2403-ROL-01	1	1	

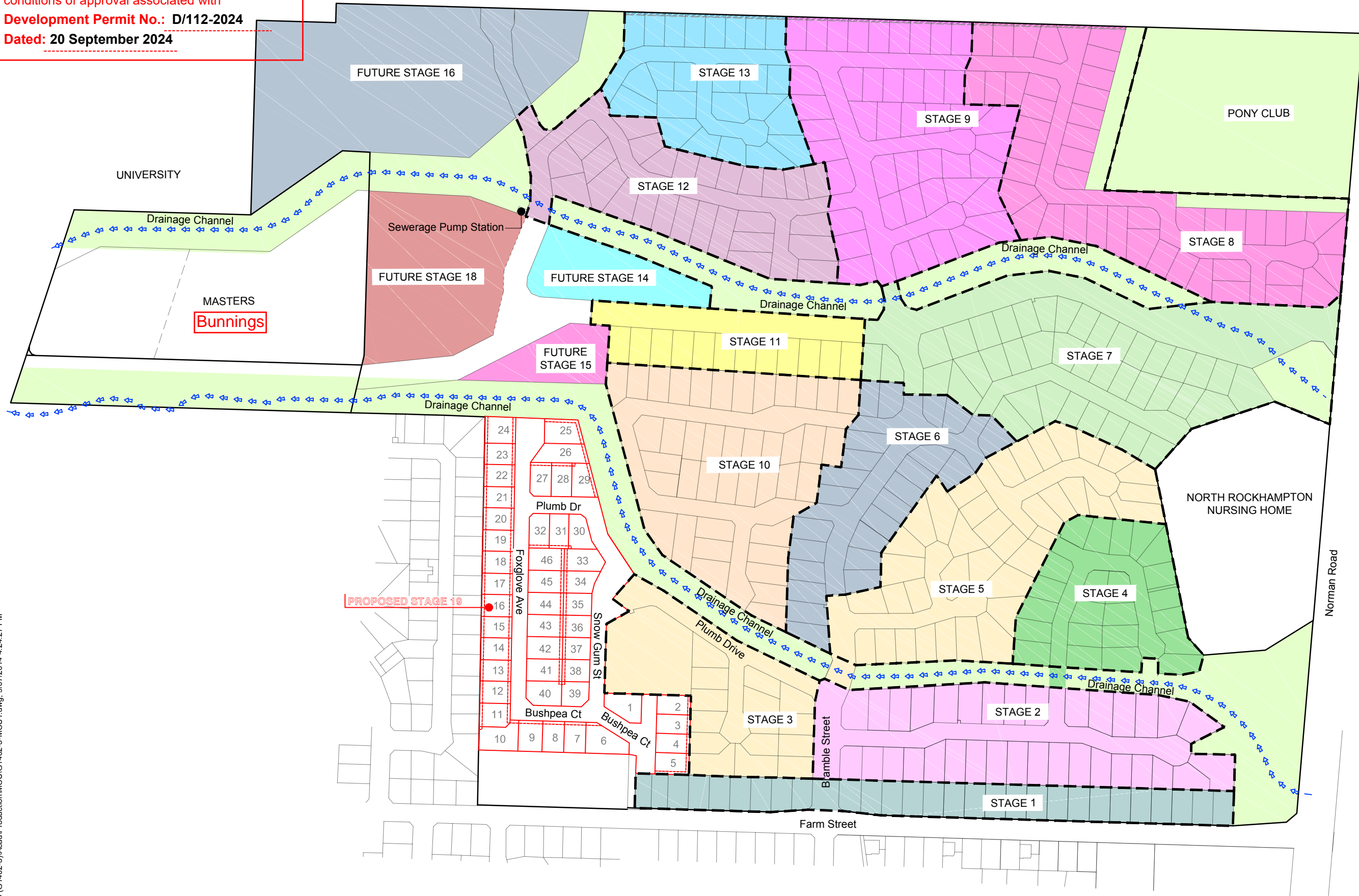
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E:\Jobs Current\Forest Park 19 (G1402-3)\Acad\Production\MCU1402-3-MCU1.dwg, 9/07/2014 4:24:27 PM



ACN 063 548 390
PH: 4927 3220
EMAIL: mail@ngga.com.au

0 1:500 HORZ. 10
DATUM MGA94 ZONE 56; LEVELS
ROCKHAMPTON SEWERAGE

FIGURE 980-1: Staging History

9/07/2014 Rev D

2403 FOREST PARK BASE.DWG LAST MODIFIED 12/AUGUST/2024

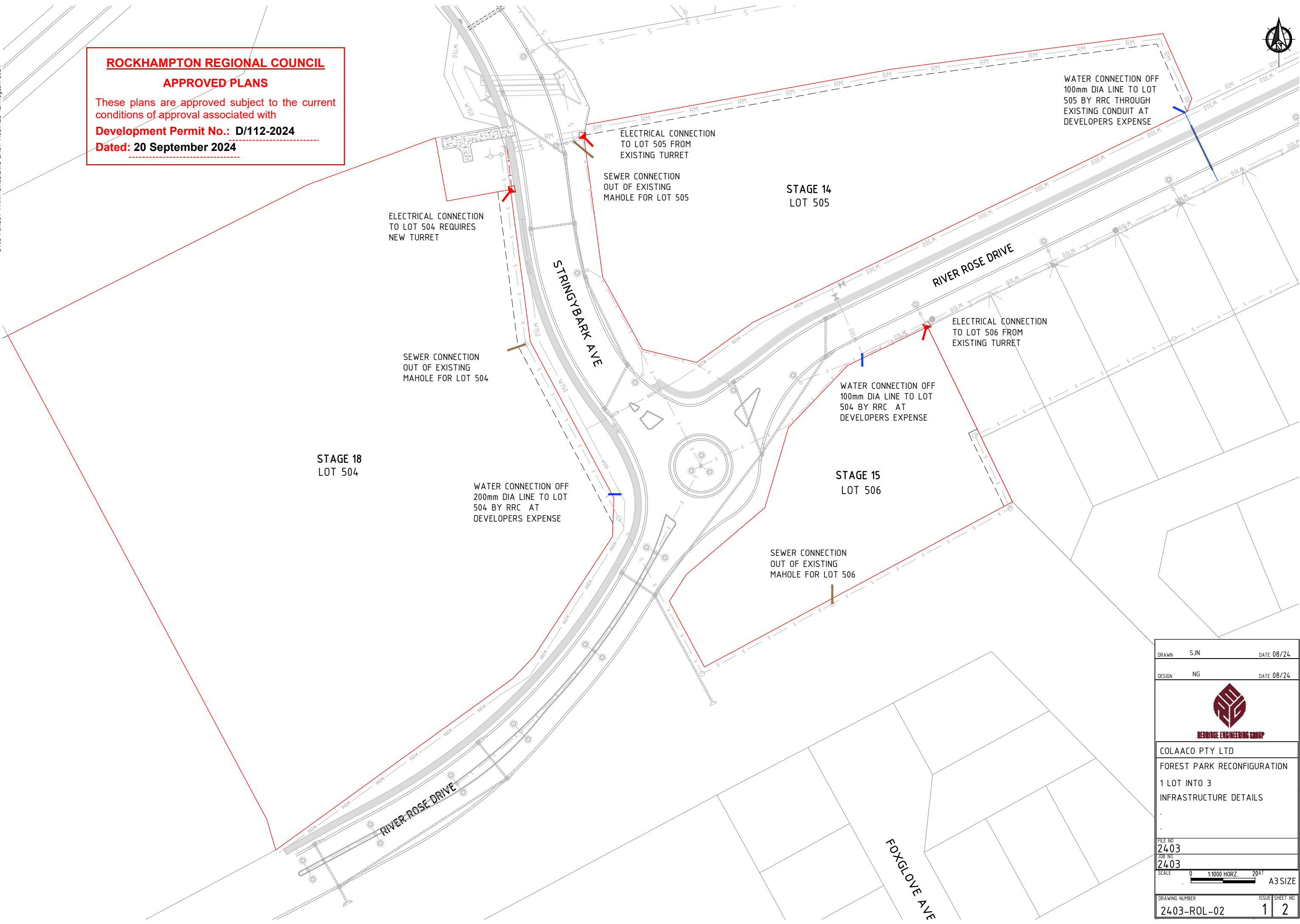
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WATER CONNECTION OFF 100mm DIA LINE TO LOT 505 BY RRC THROUGH EXISTING CONDUIT AT DEVELOPERS EXPENSE

ELECTRICAL CONNECTION TO LOT 505 FROM EXISTING TURRET

SEWER CONNECTION OUT OF EXISTING MAHOLE FOR LOT 505

STAGE 14 LOT 505

ELECTRICAL CONNECTION TO LOT 504 REQUIRES NEW TURRET

RIVER ROSE DRIVE

ELECTRICAL CONNECTION TO LOT 506 FROM EXISTING TURRET

SEWER CONNECTION OUT OF EXISTING MAHOLE FOR LOT 504

STRINGYBARK AVE

WATER CONNECTION OFF 100mm DIA LINE TO LOT 504 BY RRC AT DEVELOPERS EXPENSE

STAGE 18 LOT 504


WATER CONNECTION OFF 200mm DIA LINE TO LOT 504 BY RRC AT DEVELOPERS EXPENSE

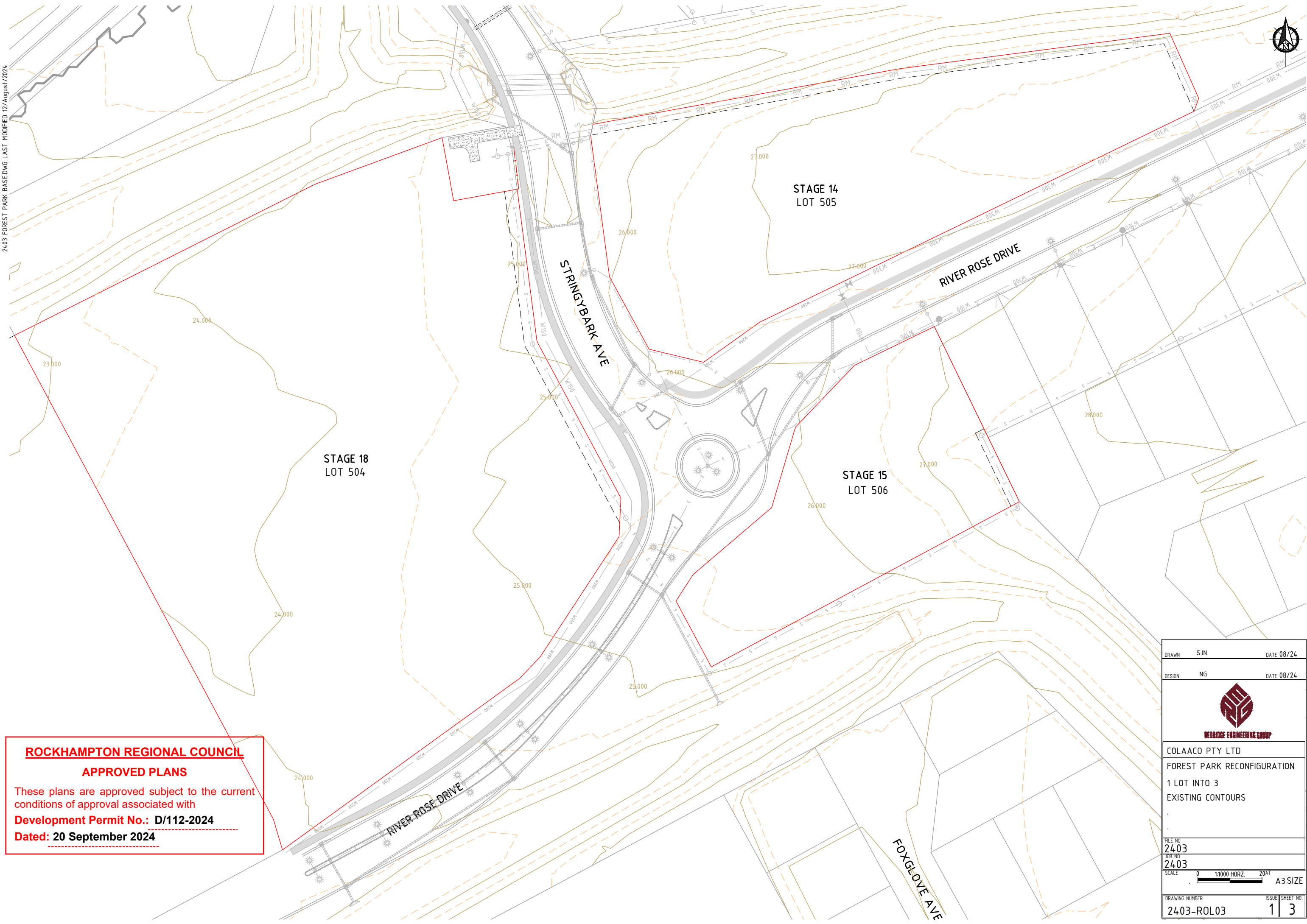
STAGE 15 LOT 506

SEWER CONNECTION OUT OF EXISTING MAHOLE FOR LOT 506


RIVER ROSE DRIVE

FOXGLOVE AVE

DRAWN	SJN	DATE	08/24
DESIGN	NG	DATE	08/24
 DEBRIDGE ENGINEERING GROUP			
COLAACO PTY LTD			
FOREST PARK RECONFIGURATION			
1 LOT INTO 3			
INFRASTRUCTURE DETAILS			
FILE NO	2403		
JOB NO	2403		
SCALE	0 1:1000 HORZ. 20M		A3 SIZE
DRAWING NUMBER	2403-ROL-02		ISSUE SHEET NO. 1 2



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REDBRIDGE ENGINEERING GROUP			
COLAACO PTY LTD			
FOREST PARK RECONFIGURATION			
1 LOT INTO 3			
EXISTING CONTOURS			
FILE NO	2403		
JOB NO	2403		
SCALE	0 1:1000 HORZ. 20M		A3 SIZE
DRAWING NUMBER	2403-ROL03	ISSUE SHEET NO.	1 3

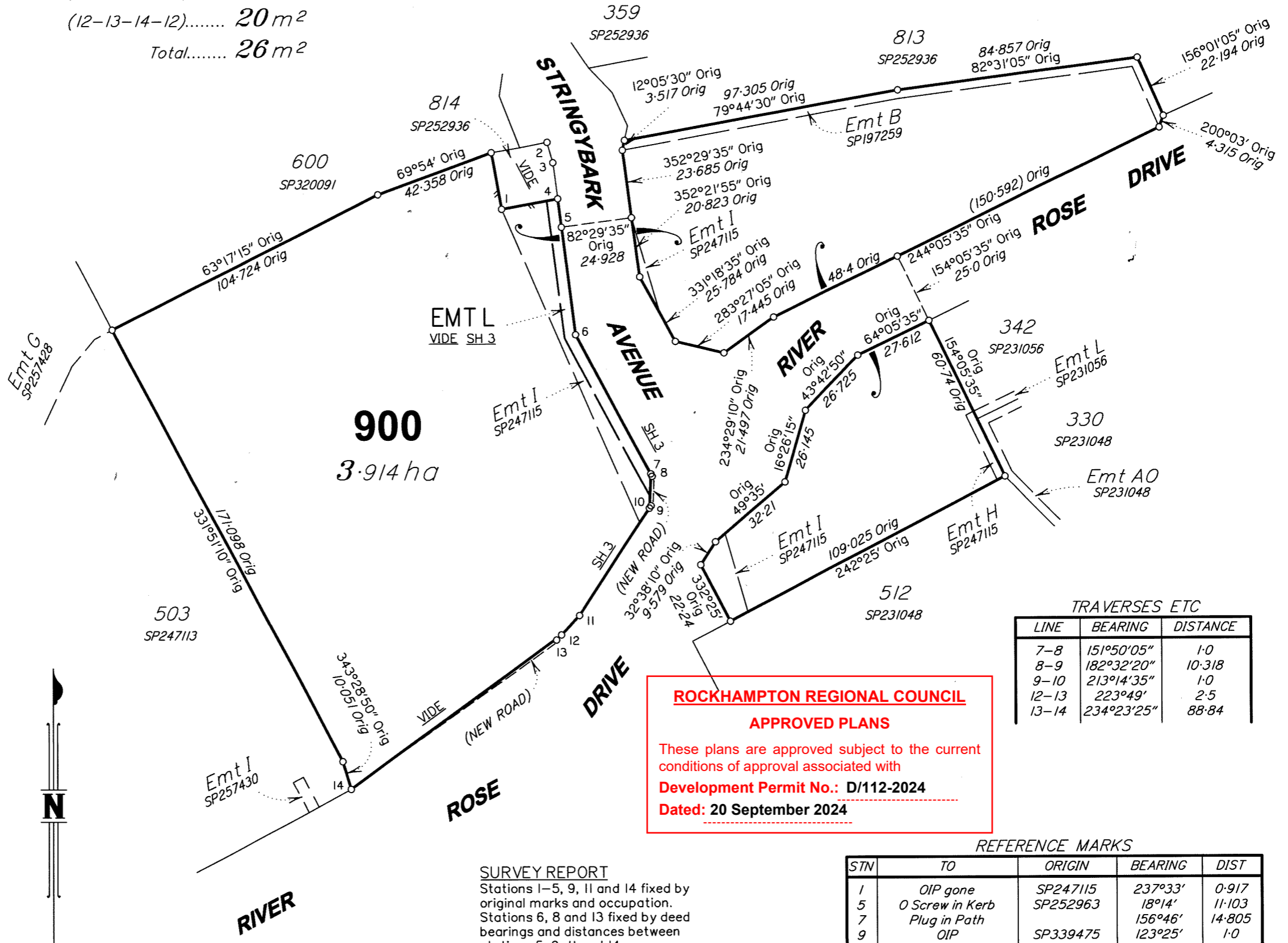
Original information compiled from
SP339475 in the Department of Resources.

Area of New Road
(7-8-9-10-7)..... **6m²**
(12-13-14-12)..... **20m²**
Total..... **26m²**

Capricorn Survey Group (CG) Pty Ltd (ACN 154 830 565) hereby certify that the land comprised in this plan was surveyed by the corporation, by Donald Leslie HIRON, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Richard Jon Knox FORD, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 2-05-2024.

Director / Cadastral Surveyor

20-06-24 Date



TRAVERSES ETC

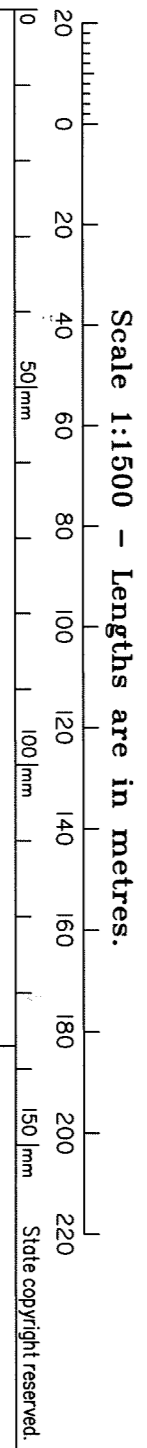
LINE	BEARING	DISTANCE
7-8	151°50'05"	1.0
8-9	182°32'20"	10.318
9-10	213°14'35"	1.0
12-13	223°49'	2.5
13-14	234°23'25"	88.84

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REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP gone	SP247115	237°33'	0.917
5	O Screw in Kerb	SP252963	18°14'	11.103
7	Plug in Path	SP339475	156°46'	14.805
9	OIP	SP339475	123°25'	1.0
14	O Plug	SP339475	238°49'	17.76

SURVEY REPORT
Stations 1-5, 9, 11 and 14 fixed by original marks and occupation.
Stations 6, 8 and 13 fixed by deed bearings and distances between stations 5, 9, 11 and 14.



Plan of Lot 900 and Emt L in Lot 900
Cancelling Lot 900 on SP339475

LOCAL GOVERNMENT: Rockhampton R.C. LOCALITY: Norman Gardens

Meridian: SP339475

Survey Records: No

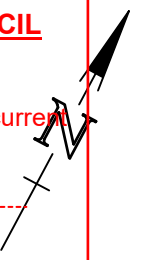
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Scale: 1:1500

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SP348680

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SURVEY STATION CO-ORDINATES				
STATION	EASTING	NORTHING	R.L	DESCRIPTION
178416	246733.509	7417989.394	26.678	PSM
STN 1	246610.722	7417904.116	25.276	O.I.P.
STN 2	246531.260	7417787.978	23.686	Survey Station
STN 3	246522.155	7417819.068	23.229	Survey Station
STN 4	246513.277	7417797.732	23.524	Survey Station
STN 5	246505.477	7417781.021	23.625	Survey Station
STN 6	246738.418	7417979.594	26.654	Survey Station
STN 7	246619.242	7418022.332	24.997	Survey Station
STN 8	246606.736	7418057.087	24.888	Survey Station </td
STN 9	246599.427	7418041.735	24.885	Survey Station
STN 10	246606.407	7418013.638	24.980	Survey Station
STN 11	246706.650	7417975.974	26.456	Survey Station
STN 12	246711.622	7417966.664	26.426	Survey Station
STN 13	246631.873	7417856.614	25.059	Star Picket

- CONSTRUCTION NOTES:**
- Existing kerbs to be removed to be sawcut, taken up and disposed of.
 - All new kerb and channel and kerb ramps to be installed in accordance with CMDG Std Dwg R-050 and CMDG Std Dwg R-060.
 - Tactile Ground Surface Indicators (TGSIs) to be installed in accordance with AS/NZS 1428.4.1:2009.
 - Grade of batters to be determined on site where not specified in design drawings. Batters to be protected as per Erosion & Sediment Control notes.
 - All dimensions are in metres unless otherwise shown.
 - Concrete to be 32MPa and in accordance with AS1379 and AS3600 unless specified otherwise. All new paths and kerb ramps to be light broom finish.
 - Dowels to be installed at joins of concrete construction (ie driveways, paths and kerbs).
 - Provide topsoil and min. 2 turf strips adjacent to back of kerb where shown. Finished level of topsoil prior to laying turf is to be 25mm below top of kerb level.
 - All hydrant and valve surface boxes installed in accordance with CMDG Std Dwg W-061.
 - Brass Service Conduit Markers to be installed where required in new kerb and channel.

- EROSION AND SEDIMENT CONTROL NOTES:**
- Disturbance to existing grass cover on all allotments shall be minimised. Civil Operations traffic shall not use grassed areas for parking equipment or stock piling materials.
 - Trees/shrubs not marked for removal shall be protected at all times. Civil Operations are responsible from the control of dust and silt on the site. Dust suppression measures shall be implemented at all times during clearing, grubbing and construction.
 - Silt fences are to be installed on the low side of all stockpiles, excavations and disturbed surface area in accordance with Std Dwg CMDG-D-050.
 - All drainage pits/inlets shall be protected from silt & sediment in accordance with Std Dwg CMDG-D-051. This is the last alternative; all practical measures shall be taken prior to installation of inlet protection. All sediment basins, trap embankments, swales and permanent slopes steeper or equal to 3:1 shall be stabilised with hydromulch or seed within seven (7) calendar days of establishment. Maintenance must be performed as necessary.
 - Prior to removal of sediment control measures, Civil Operations shall stabilise all contributory disturbed areas using hydromulch or seed.

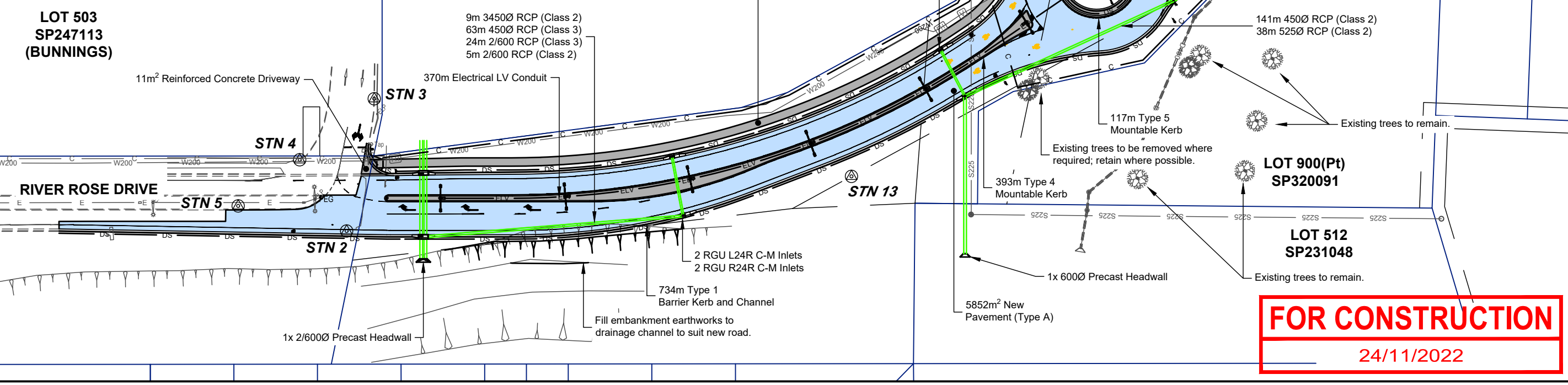
LEGEND:

New Pavement (Type A)
 40mm Asphalt Surfacing DG10
 110mm Base Course T2.1
 150mm Sub Base T2.3
 300mm Sub Base T2.5

Concrete Driveway
 175mm 32MPa Concrete SL72 Fabric min 50mm cover
 110mm Sub Base T2.3
 100mm Sub Base T2.5

Concrete Median
 150mm 32MPa Concrete SL62 Fabric min 50mm cover

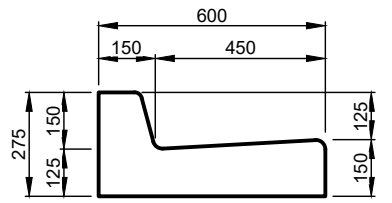
***NOTE:**
 Stormwater drainage shown in green for clarity.



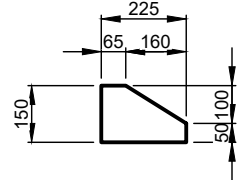
FOR CONSTRUCTION
 24/11/2022

Surveyed: CSG Date: JUN '21 Ref Mark: PSM 178146 R.L. 26.675 Datum: Horiz. GDA 2020 Vert. AHD DERIVED Zone: 56 Survey Book: NS06 XREF: 2021-152-00.dwg Aux Plans:	0 10 20m LAYOUT 1:1000 FULL SIZE A3 A Original Issue KBL	<table border="1"> <thead> <tr> <th>AMENDMENTS DESCRIPTION</th> <th>DRAWN</th> <th>APPR'D</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE						Designed: KBL AUG '22 Checked: Examined: Recomm.: APPROVAL: _____ RPEQ No. _____ DATE _____ MANAGER INFRASTRUCTURE PLANNING	Dwg No. 2021-152-01 Sheet No. 1 of 57 Job No: C.1158273 A
AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE										

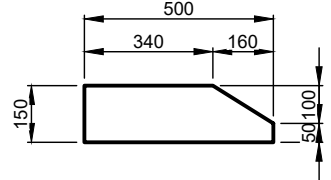
RIVER ROSE DRIVE
 BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
 ROADWORKS CONSTRUCTION
 OVERALL LAYOUT PLAN & DETAILS



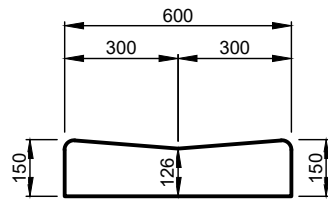
TYPE 1 - BARRIER KERB AND CHANNEL
Scale - 1:20



TYPE 4 - SEMI-MOUNTABLE KERB
Scale - 1:20

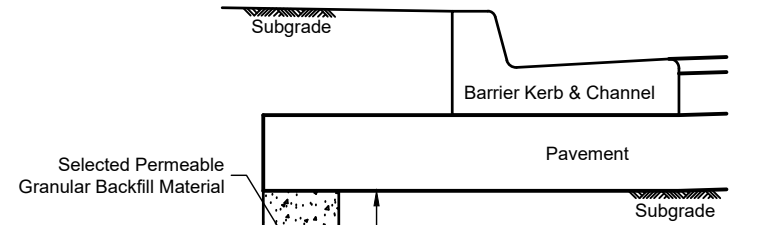


TYPE 5 - SEMI-MOUNTABLE KERB
Scale - 1:20



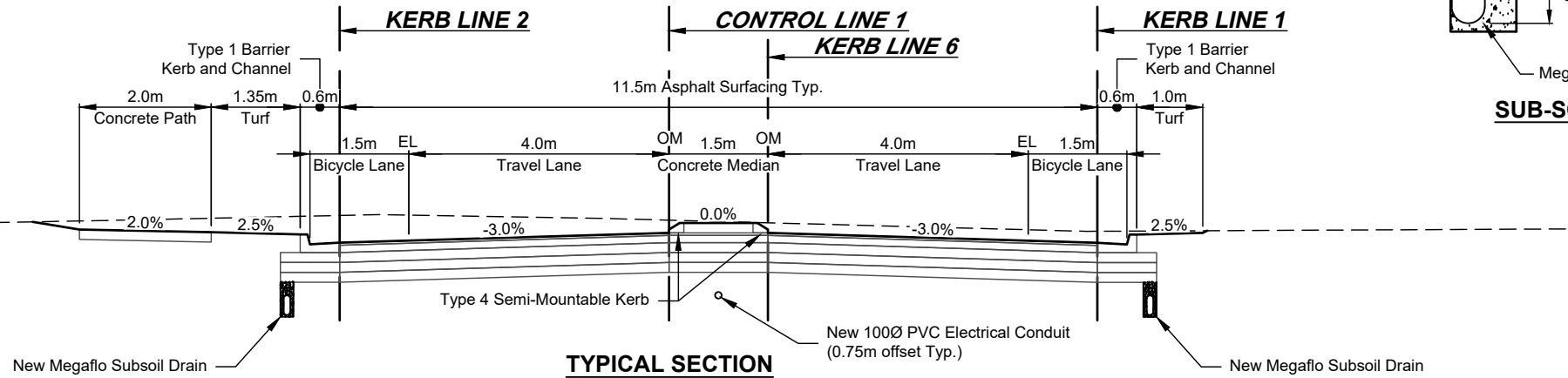
TYPE 6 - CONCRETE INVERT (600 WIDE)
Scale - 1:20

STANDARD KERB & CHANNEL PROFILES
(Dimensions in millimeters)

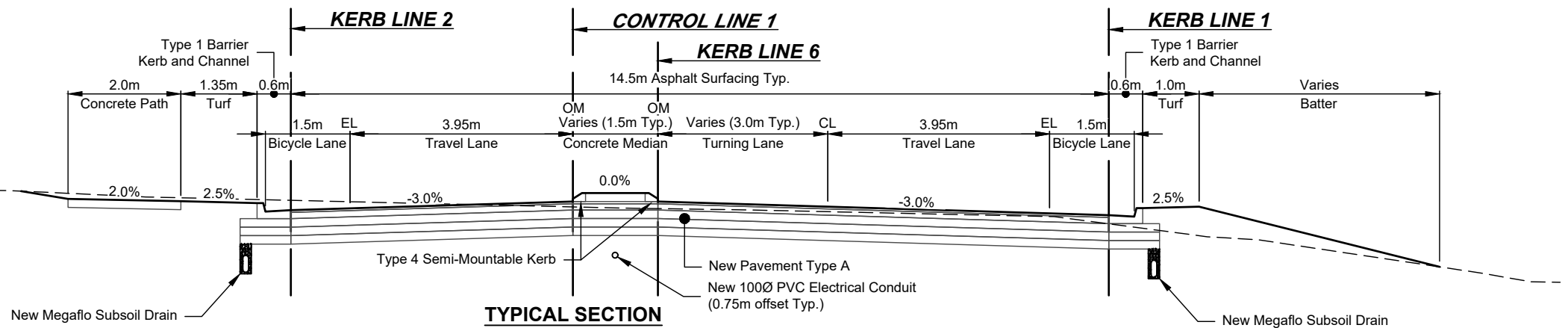


- SUB-SOIL NOTES:**
1. Minimum grade of subsoil drain to be 0.25%.
 2. Cleanouts to be installed at head of subsoil drains and at maximum spacings of 60m.
 3. Subsoil drains to be installed in accordance with DMR Std Dwg No.1116.

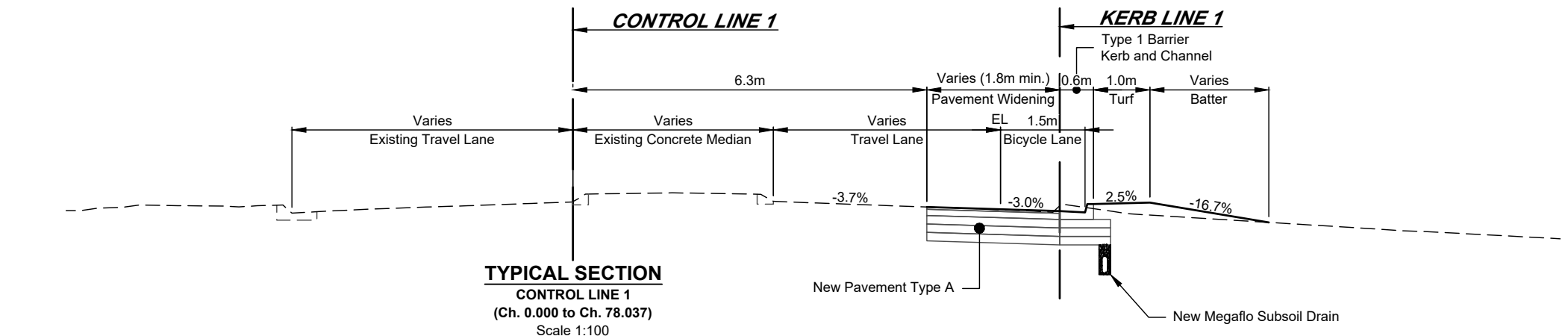
SUB-SOIL DRAIN DETAIL
Scale - 1:20



TYPICAL SECTION
CONTROL LINE 1
(Ch. 175 to Ch. 242.663)
Scale 1:100



TYPICAL SECTION
CONTROL LINE 1
(Ch. 78.037 to Ch. 175)
Scale 1:100



TYPICAL SECTION
CONTROL LINE 1
(Ch. 0.000 to Ch. 78.037)
Scale 1:100

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

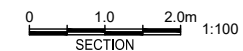
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/112-2024
Dated: 20 September 2024

LEGEND:

- New Pavement (Type A)**
40mm Asphalt Surfacing DG10
110mm Base Course T2.1
150mm Sub Base T2.3
300mm Sub Base T2.5
- Concrete Median**
150mm 32MPa Concrete SL62 Fabric min 50mm cover

FOR CONSTRUCTION
24/11/2022

Surveyed: CSG	Date: JUN '21
Ref Mark: PSM 178146	R.L. 26.675
Datum: Horiz. GDA 2020	Vert. AHD DERIVED
Zone: 56	Survey Book: NS06
XREF: 2021-152-00.dwg	
Aux Plans:	



SCALES

FULL SIZE A3

AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE
Original Issue	KBL		

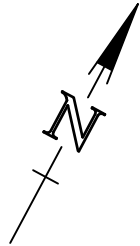


Designed	KBL	AUG '22
Checked		
Examined		
Recomm.		

APPROVAL _____
RPEQ No. _____ DATE _____
MANAGER INFRASTRUCTURE PLANNING

RIVER ROSE DRIVE
BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
ROADWORKS CONSTRUCTION
TYPICAL SECTIONS - SHEET 1 OF 2

Dwg No.	2021-152-02
Sheet No.	2 of 57
Job No.	C.1158273
A	



LEGEND

- W63 — Existing 63Ø Poly Water Service
- W150 — Existing 150Ø Water Main
- W200 — Existing 200Ø Water Main
- S225 — Existing 225Ø Sewer Main
- SR — Existing Sewer Rising Main
- T — Existing Telecommunication Cable
- ELV — Existing Low Voltage Underground Electrical
- D375 — Existing 375 RCP
- D450 — Existing 450 RCP
- D525 — Existing 525 RCP
- DS — Existing Subsoil Drainage
- Existing Bitumen Seal

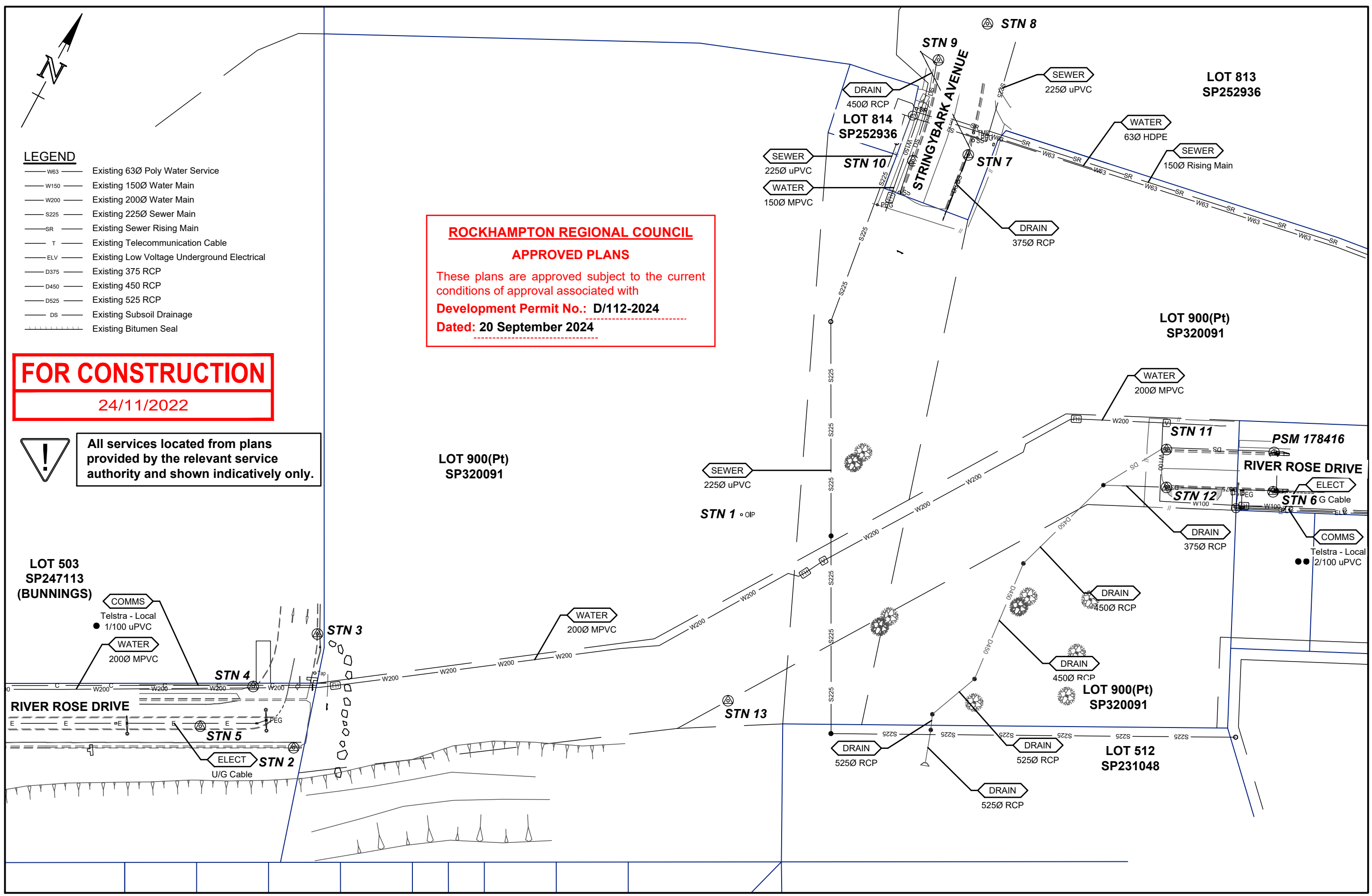
FOR CONSTRUCTION

24/11/2022

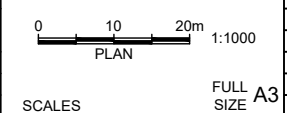


All services located from plans provided by the relevant service authority and shown indicatively only.

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/112-2024
Dated: 20 September 2024



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Datum: Horiz. GDA 2020	Vert. AHD DERIVED
Zone: 56	Survey Book: NS06
XREF: 2021-152-00.dwg	
Aux Plans:	



AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE



Designed	KBL	AUG '22
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Examined		
Recomm.		

APPROVAL _____
 RPEQ No. _____ DATE _____
 MANAGER INFRASTRUCTURE PLANNING

RIVER ROSE DRIVE
 BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
 ROADWORKS CONSTRUCTION
 EXISTING FEATURES & SERVICES

Dwg No.	2021-152-04
Sheet No.	4 of 57
Job No.	C.1158273
A	

LEGEND:

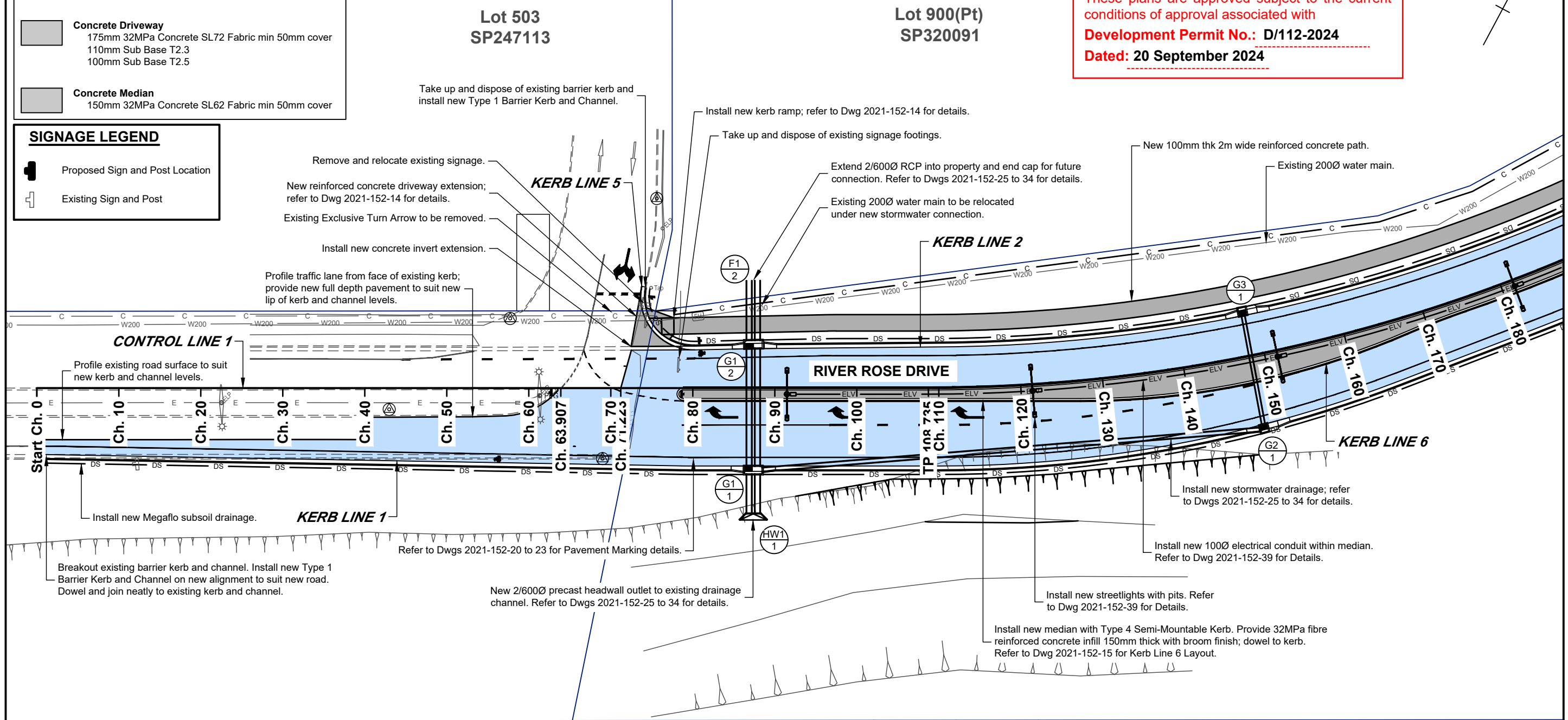
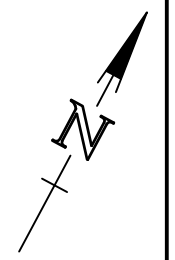
- New Pavement (Type A)**
40mm Asphalt Surfacing DG10
110mm Base Course T2.1
150mm Sub Base T2.3
300mm Sub Base T2.5
- Concrete Driveway**
175mm 32MPa Concrete SL72 Fabric min 50mm cover
110mm Sub Base T2.3
100mm Sub Base T2.5
- Concrete Median**
150mm 32MPa Concrete SL62 Fabric min 50mm cover

- SIGNAGE LEGEND**
- Proposed Sign and Post Location
 - Existing Sign and Post

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/112-2024
Dated: 20 September 2024

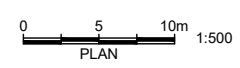


Lot 233 LN2205	Lot 514 RP843107	Lot 513 RP843107	Lot 512 RP843107	Lot 511 RP843107	Lot 1 GTP60127	Lot 2 GTP60127	Lot 509 RP843108	Lot 508 RP843108	Lot 507 RP843108
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FOR CONSTRUCTION

24/11/2022

Surveyed: CSG Date: JUN '21
Ref Mark: PSM 178146 R.L. 26.675
Datum: Horiz. GDA 2020
Vert. AHD DERIVED
Zone: 56 Survey Book: NS06
XREF: 2021-152-00.dwg
Aux Plans:



FULL SIZE A3

AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE



Designed	KBL	AUG '22
Checked		
Examined		
Recomm.		

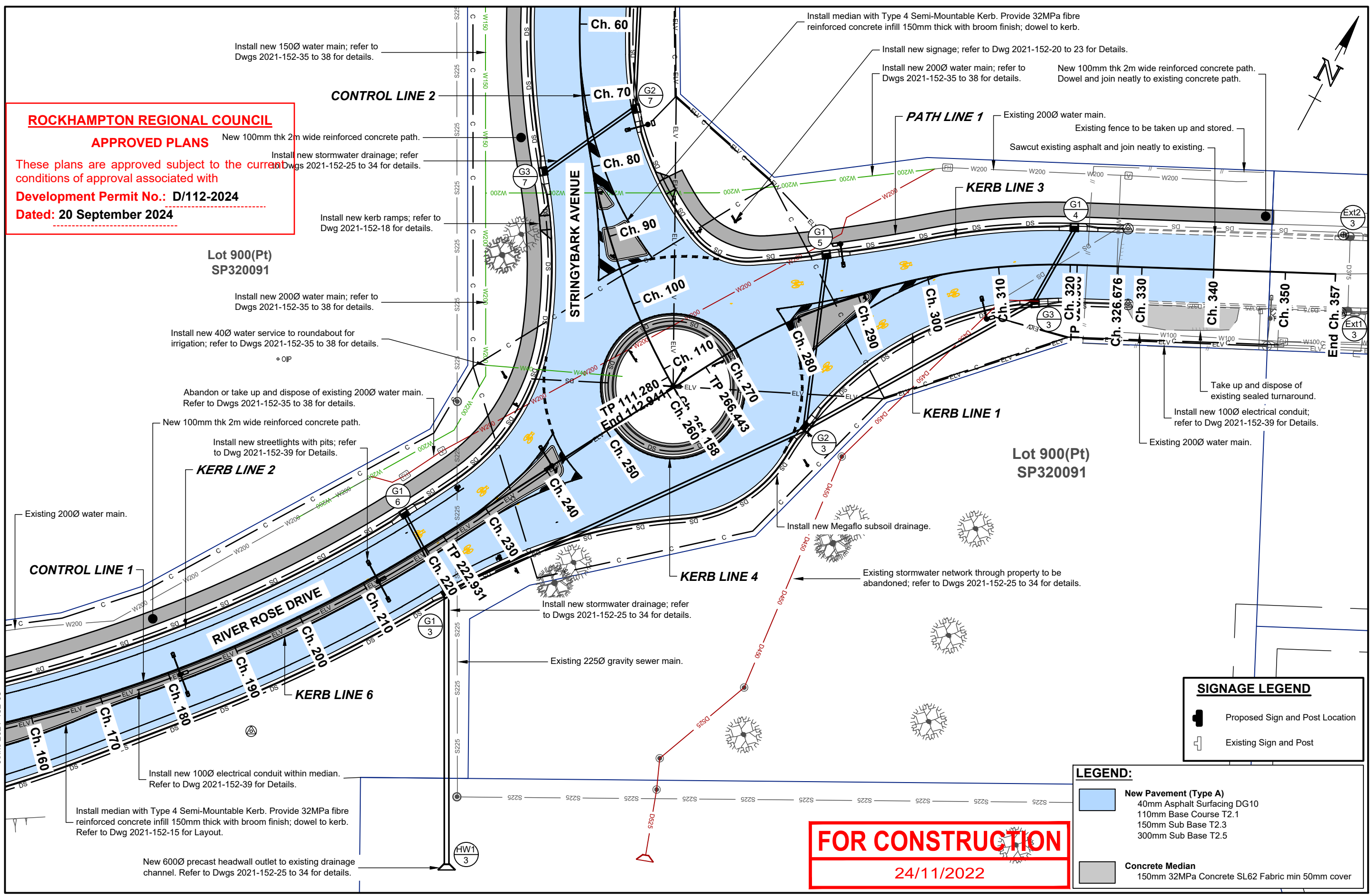
APPROVAL _____
RPEQ No. _____ DATE _____
MANAGER INFRASTRUCTURE PLANNING

RIVER ROSE DRIVE
BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
ROADWORKS CONSTRUCTION
LAYOUT PLAN & DETAILS - SHEET 1 OF 3

Dwg No.	2021-152-05
Sheet No.	5 of 57
Job No.	C.1158273

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/112-2024
Dated: 20 September 2024

**Lot 900(Pt)
 SP320091**



SIGNAGE LEGEND

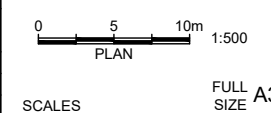
	Proposed Sign and Post Location
	Existing Sign and Post

LEGEND:

	New Pavement (Type A) 40mm Asphalt Surfacing DG10 110mm Base Course T2.1 150mm Sub Base T2.3 300mm Sub Base T2.5
	Concrete Median 150mm 32MPa Concrete SL62 Fabric min 50mm cover

Joins 2021-152-05

Surveyed: CSG	Date: JUN '21
Ref Mark: PSM 178146	R.L. 26.675
Datum: Horiz. GDA 2020	Vert. AHD DERIVED
Zone: 56	Survey Book: NS06
XREF: 2021-152-00.dwg	
Aux Plans:	



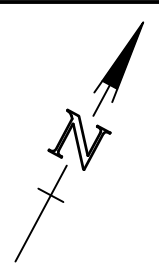
AMENDMENTS DESCRIPTION	DRAWN	APPR'D	DATE



Designed	KBL	AUG '22	APPROVAL
Checked			RPEQ No. _____ DATE _____
Examined			
Recomm.			MANAGER INFRASTRUCTURE PLANNING

RIVER ROSE DRIVE
 BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
 ROADWORKS CONSTRUCTION
 LAYOUT PLAN & DETAILS - SHEET 2 OF 3

Dwg No.	2021-152-06
Sheet No.	6 of 57
Job No.	C.1158273
A	



LEGEND:

- New Pavement (Type A)**
40mm Asphalt Surfacing DG10
110mm Base Course T2.1
150mm Sub Base T2.3
300mm Sub Base T2.5
- Concrete Median**
150mm 32MPa Concrete SL62 Fabric min 50mm cover

SIGNAGE LEGEND

- Proposed Sign and Post Location
- Existing Sign and Post

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/112-2024**

Dated: 20 September 2024

FOR CONSTRUCTION

24/11/2022

Lot 900(Pt)
SP320091

Lot 900(Pt)
SP320091

Lot 900(Pt)
SP320091

End of new Type 1 Barrier Kerb and Channel. Dowel and transition neatly to existing kerb and channel.

End of new Type 1 Barrier Kerb and Channel. Dowel and transition neatly to existing kerb and channel.

New 100mm thk 2m wide reinforced concrete path. Dowel and join neatly to existing concrete path.

New RGU C-M inlet on existing concrete chamber. Breakout existing manhole and join new stormwater network. Refer to Dwgs 2021-152-25 to 34 for details.

Existing fence to be taken up and stored.

Install new streetlights with pits. Refer to Dwg 2021-152-39 for Details.

Install new Megafluo subsoil drainage.

Install new Megafluo subsoil drainage.

Existing 225Ø gravity sewer main.

Install median with Type 4 Semi-Mountable Kerb. Provide 32MPa fibre reinforced concrete infill 150mm thick with broom finish; dowel to kerb.

Install new 150Ø water main; refer to Dwgs 2021-152-35 to 38 for details.

Install new 200Ø water main; refer to Dwgs 2021-152-35 to 38 for details.

Existing 200Ø water main.

New 100mm thk 2m wide reinforced concrete path. Dowel and join neatly to existing concrete path.

New 100mm thk 2m wide reinforced concrete path.

Existing fence to be taken up and stored.

Install new stormwater drainage; refer to Dwgs 2021-152-24 to 34 for details.

Sawcut existing asphalt and join neatly to existing.

Install new kerb ramps; refer Dwg 2021-152-18 for details.

Install new 200Ø water main; refer to Dwgs 2021-152-35 to 38 for details.

Install new 40Ø water service to roundabout for irrigation; refer to Dwgs 2021-152-35 to 38 for details.

Abandon or take up and dispose of existing 200Ø water main. Refer to Dwgs 2021-152-35 to 38 for details.

Take up and dispose of existing sealed turnaround.

Install new 100Ø electrical conduit; refer to Dwg 2021-152-39 for Details.

Existing 100Ø water main.

Existing stormwater network through property to be abandoned. Refer to Dwgs 2021-152-25 to 34 for details.

Joins 2021-152-06

Surveyed: CSG	Date: JUN '21
Ref Mark: PSM 178146	R.L. 26.675
Datum: Horiz. GDA 2020	Vert. AHD DERIVED
Zone: 56	Survey Book: NS06
XREF: 2021-152-00.dwg	
Aux Plans:	



SCALES FULL SIZE A3

AMENDMENTS DESCRIPTION	DRAWN	APPRD	DATE
Original Issue	KBL		



Designed	KBL	AUG '22
Checked		
Examined		
Recomm.		

APPROVAL _____
RPEQ No. _____ DATE _____
MANAGER INFRASTRUCTURE PLANNING

RIVER ROSE DRIVE
BRAMBLE ST TO YAAMBA RD (NORMAN GARDENS)
ROADWORKS CONSTRUCTION
LAYOUT PLAN & DETAILS - SHEET 3 OF 3

Dwg No.	2021-152-07
Sheet No.	7 of 57
Job No.	C.1158273
A	