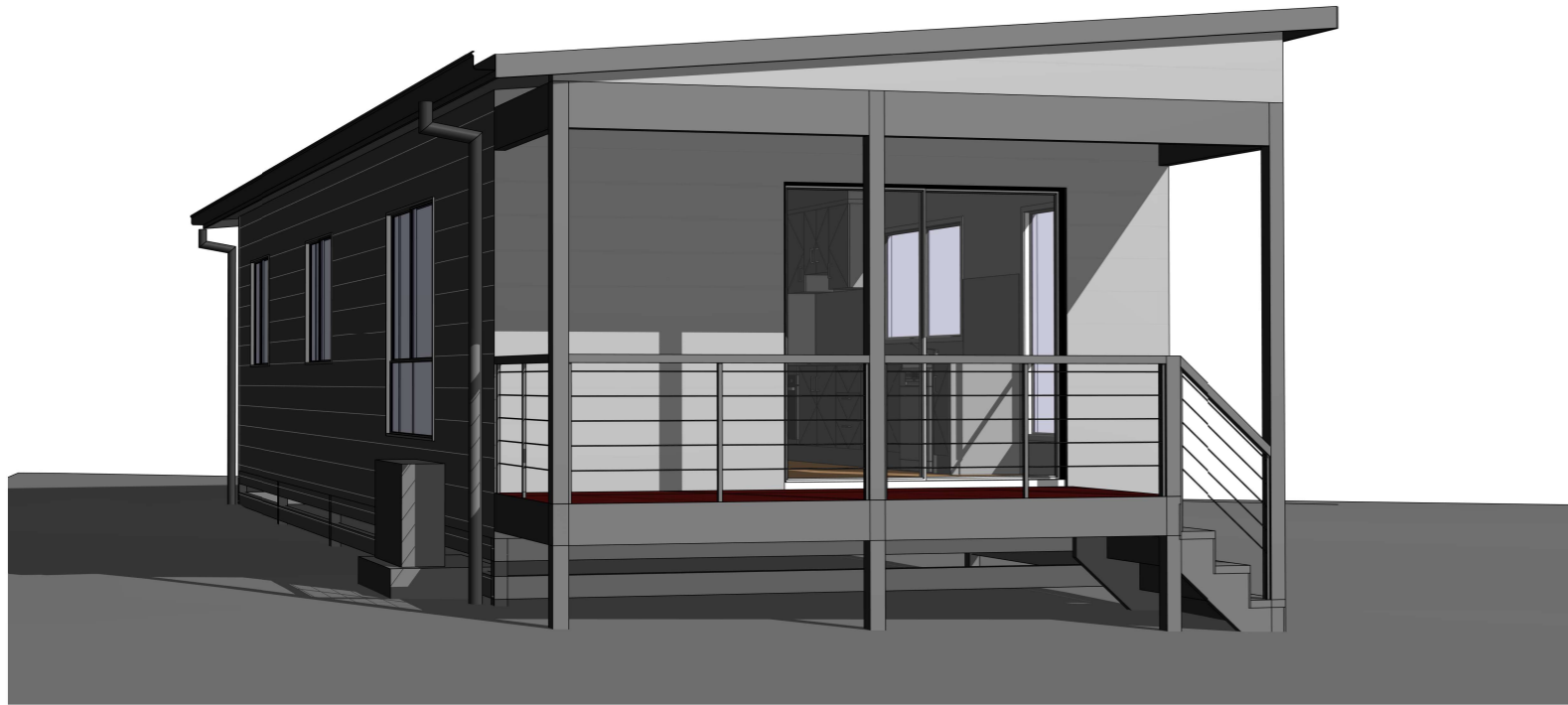


DRAWING LIST

Sheet Name	Sheet Number
PERSPECTIVE	01
GENERAL NOTES	02
GENERAL NOTES	03
SITE	04
GROUND FLOOR PLAN	05
CARPORT PLAN	06
ELEVATIONS	07
SECTION	08
ROOF PLAN	09
ELECTRICAL	10
FLOOR COVERINGS	11
DETAILS	12
FIRE SEPARATION DETAIL	13
CABINETY DETAIL 1	14



3D View 1 - PROPOSED GRANNY FLAT

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/138-2024

Dated: 19 December 2024



3D View 2 - PROPOSED GRANNY FLAT

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary



PREPARED FOR EXCLUSIVE USE FOR DC HOUSE
 Ph 07 5635 8990 team@dchouse.com.au
 23-25 Prosper Crescent Burleigh Heads 4220
 QBCC LIC 1310310
 ACN 640 265 974 ABN 19 604 265 974
 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN

GENERAL NOTES:
 - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
 - WINDOWS DIMENSIONED AS HEIGHT X WIDTH
 - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

- BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DO NOT SCALE FROM PLAN
- ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
- TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
- ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:
CERTIFIED ISSUE TUESDAY, 05 NOVEMBER 2024

REVISION:
 REVISION B
 REVISION C
 REVISION D

CLIENT:
DC HOUSE TEAM

SITE ADDRESS:
 25 Amy St, Gracemere, QLD 4702

DRAWING TITLE:
PERSPECTIVE

SCALE:
 A3

JOB NO:
J2070

SHEET NO:
01

DRAWN BY:
 KA

CHECKED BY:
 KA

DESIGN:
DCH 11

GENERAL NOTES

THIS GENERAL NOTES PAGE REFERS TO CLASS 1 AND 10 BUILDINGS, AND CLASS 2 (BUT IS NOT LIMITED TO) UNDER THE NATIONAL CONSTRUCTION CODE (NCC) 2019. ALL BUILDING WORKS SHALL COMPLY BUT NOT LIMITED TO THE REQUIREMENTS OF THE NCC, THE QUEENSLAND DEVELOPMENT CODE (QDC), THE LOCAL AUTHORITY AND

THE RELEVANT AUSTRALIAN STANDARDS LISTED BELOW. AUSTRALIAN STANDARDS LISTED BELOW APPLY TO ALL BUILDING CLASSES.

DO NOT SCALE FROM PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE IN MILLIMETRES. THE BUILDER & SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF BUILDING WORKS AND ORDERING MATERIALS, AND ARE TO BE

RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE ABOVE MENTIONED PROVISIONS AND REGULATIONS. NOTE SOME PARTS MAY NOT BE RELEVANT TO THIS JOB.

AUSTRALIAN STANDARDS

- AS2870 - 2011 RESIDENTIAL SLAB AND FOOTING CONSTRUCTION
- AS3660 - 2000 & 2004 BARRIERS FOR SUBTERANNEAN TERMITES
- AS3600 - 2009 CONCRETE STRUCTURES & AS4671 - 2001 REINFORCING STEEL IN CONCRETE AND MASONRY
- AS3700 - 2011 MASONRY IN BUILDINGS
- AS1684 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION 1 & 2 STOREYS / AS1720 - 2010 FOR ALL OTHER TIMBER FRAME STRUCTURES
- AS4055 - 1992 WIND LOADINGS FOR HOUSING
- AS4100 - 1996 STEEL STRUCTURES
- AS2904 - 1995 DAMP PROOF COURSES & FLASHINGS
- AS1562 - 1992 INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING
- AS2050 - 1995 INSTALLATION OF ROOF TILES
- AS3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS1657 - 2013 - STAIRS, LADDERS & PLATFORMS
- AS1859 - 2004 - RECONSTITUTED WOOD BASED PANELS / WET PROCESSED FIBREBOARD
- AS2047 - 2014 - WINDOWS IN BUILDING - SELECTION AND INSTALLATION / AS4505 - 2012 GARAGE DOORS & LARGE ACCESS DOORS
- AS1276 - 1999 - ACOUSTICS & RATING OF SOUND INSULATION IN BUILDINGS

- AS1288 - 2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS3786 - 1993 & 2004 - SMOKE ALARMS
- AS1530 - 2007 FIRE TEST FOR ALL BUILDING MATERIALS
- AS3000 - 2003 ELECTRICAL WIRING
- AS3500 - 2003 & 2012 - PLUMBING & DRAINAGE
- AS5601 SET 2010 - INSTALLATION OF GAS
- AS1576.1 - 2010 SCAFFOLDING GENERAL REQUIREMENTS
- AS4994 - 2009 TEMPORARY ROOF EDGE PROTECTION INSTALLATION
- AS4859 - 2009 MATERIALS FOR THE THERMAL INSULATION OF A BUILDING
- AS2589 - 2007 GYPSUM LINING - PLASTERING APPLICATION
- AS3958 - 2007 INSTALLATION OF CERAMIC TILING
- AS3959 - 2009 - BUILDING IN BUSHFIRE PRONE AREAS
- AS4654 - 2012 - WATERPROOFING MEMBRANES FOR ABOVE GROUND EXTERNAL USE
- AS1668 - 2012 - AIR CONDITIONING & MECHANICAL VENTILATION / AS4254 2012 DUCTWORK
- AS1926 - 2012, 2007, 2010 - SWIMMING POOL SAFETY / BARRIERS
- AS4072 - 2005 - FIRE RESISTANT SEPERATING ELEMENTS

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/138-2024** Dated: 19 December 2024

LEGEND	
NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE)
QDC	QUEENSLAND DEVELOPMENT CODE
AS	AUSTRALIAN STANDARDS
AHD	AUSTRALIAN HEIGHT DATUM
FW	FLOOR WASTE
DP	DOWNPIPE
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW
LW	LOUVRE WINDOW
FG	FIXED GLASS
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
SH	SINGLE HUNG WINDOW
WC	WATER CLOSET
WIR	WALK IN ROBE
LB	LOAD BEARING
GL	GROUND LEVEL
FL / MFL	FLOOR LEVEL / MAIN FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
FRF	FIRE RATED DOOR FURNITURE

1. THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. FOR SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEER'S SOIL TEST.
2. ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AS3660.1/2004 (A) & (B) AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS 3600.1/2009.
3. SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: ALL ROOMS WITHIN 500mm VERTICAL OFF THE FLOOR, BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE, FULLY GLAZED DOORS, SHOWER SCREENS, WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL.
4. WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITHIN MANUFACTURER, FLASHING ALL AROUND.
5. ALL GUTTERS TO BE STRAMIT QUEENSLANDER QUAD GUTTERING WITH MIN. 100 X 75 RECTANGULAR OR 100 dia. DOWNPIPES TO SERVICE A MAX. 36m2 OF ROOF AREA, IN ACCORDANCE WITH AS3500.2003, THE NCC VOL 2. PART 3.1.2 & 3.5.2, AND THE QDC PART NMP 1.8.
6. STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT LOCAL AUTHORITY.
7. FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENCED SURVEYOR.
8. TILED DECKS OVER LIVEABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUFACTURERS SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
9. ALL WET AREAS TO COMPLY WITH NCC VOL 2. PART 3.8.1 AND AS3740 - 2010. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF WALL.
10. FOR BRICK VENEER CONSTRUCTION PROVIDE BRICK TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS.
11. SUB-FLOOR VENTILATION MIN. 7500mm² FOR EXTERNAL WALLS AND 1500mm² FOR INTERNAL WALLS BELOW BEARER.
12. THERMAL INSULATION TO BE MINIMUM R3.0 BATTS TO CEILING AND R1.5 BATTS TO WALLS AND R1.0 REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING. REFER AS4859 - 2009.
13. STAIR REQUIREMENTS: MINIMUM TREAD GOING 240mm AND MAXIMUM 355mm, MINIMUM RISER 115mm AND MAXIMUM 190mm. SLOPE RELATIONSHIP IS 2R + G = 550mm - 700mm. SPACE BETWEEN OPEN TREADS TO BE MAXIMUM 125mm. STAIRS MUST NOT BE MORE THAN 18 RISERS IN ONE FLIGHT OR LESS THAN 2 RISERS. LANDINGS TO BE NOT LESS THAN 750mm. STAIRS TO COMPLY WITH NCC VOL 2 PART 3.9.1. AND AS 1657.2013.
14. BALLUSTRADING TO BE MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL WITH A MAX OPENING OF 125mm AND IN ACCORDANCE WITH NCC VOL 2 PART 3.9.2. FOR STAINLESS STEEL BALLUSTRADING REFER TABLE 3.9.2.1. OF THE NCC VOL 2.
15. PROVIDE LIFT OFF HINGES TO W.C. OR OPEN OUT OR MINIMUM 1200mm CLEARANCE FROM DOOR TO PAN.
16. EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE AND AS PER AS1668.2
17. THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS.
18. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF THE EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
19. ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
20. THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE AUTHOR.
21. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED. IT IS HIGHLY RECOMMENDED FOR ALL EXISTING ENTRY/EXIT DOOR FURNITURE TO BE ADDRESSED FOR FIRE SAFETY
22. ALL CLADDING SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS - MANUFACTURERS SPECS. SUPERSEDE THIS DOCUMENTATION SPECS.

SITE PLAN & DRAINAGE NOTES

1. ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH THE NCC VOL 2. PARTS 3.1.2 & 3.5.2, AS3500.2003 AND QDC NMP1.8.
2. ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE LOCAL AUTHORITY REQUIREMENTS.
3. THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING AND SURFACE WATER TO BE CHANNELED TO COUNCIL STORMWATER DRAINAGE SYSTEM.
4. THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
5. ROOFWATER DOWNPIPES TO CONNECT TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER PVC.
6. STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO COMPLY WITH THE LOCAL AUTHORITY REGULATION.
7. 2 DOWNPIPES MAXIMUM TO EACH 100mm STORMWATER PIPE, SURFACE PIPES TO BE 100mm IN DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END AND IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
8. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
9. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
10. ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS1926.2007.

FLOOR PLAN NOTES

1. THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
2. WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE.
3. 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STAR WELS RATING. PROVIDE LIFT OFF HINGES TO TOILET DOOR.
4. ROBE SHELVES AT 1700mm ABOVE FLOOR WITH RAIL UNDER, WALK IN ROBES AT 1800mm / 2100 FOR DOUBLE RAIL. LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES BROOM CUPBOARDS SHELF AT 1600mm.
5. ALL HANDRAILS TO BE FINISHED AT 1050mm ABOVE FINISHED FLOOR LEVEL.
6. PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO RANGEHOOD SPACE & GARAGE DOOR MOTOR. PROVIDE GPO TO FRIDGE SPACE.
7. 70mm WALL FRAMES TO HAVE R2.0 WALL BATTS & 90mm FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.5 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 CEILING BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
8. DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
9. DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

SUSTAINABILITY NOTES

1. WATER SAVINGS TARGETS - CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SYSTEM MUST ACHIEVE WATER SAVINGS TARGETS OF 70KL PER YEAR FOR NEW DETACHED HOUSES AND 42KL PER YEAR FOR OTHER NEW CLASS 1 DWELLINGS.
2. MINIMUM 4 STAR WELS RATING TAPS ARE TO BE USED INTERNALLY FOR ALL BATHROOM AND KITCHEN TAPS AND ALL WHITEGOODS. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM 4 STAR WELS RATING. SHOWER HEADS ARE TO BE A MINIMUM OF 3 STAR WELS RATING.
3. ENERGY EFFICIENCY TO QDC PART 4.1 AND NCC VOL 2. PART 3.12.
4. GAS SYSTEM TO BE MINIMUM 5 STAR AGA ENERGY RATING (SUPPLY FROM RETICULATED NATURAL GAS OR LPG BOTTLES).

 <p>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</p>	GENERAL NOTES: - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH	1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B) 6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY	CLIENT: DC HOUSE TEAM	DRAWING TITLE: GENERAL NOTES	JOB NO: J2070	DESIGN: DCH 11			
			ISSUE / DATE: CERTIFIED ISSUE TUESDAY, 05 NOVEMBER 2024	REVISION: REVISION B REVISION C REVISION D	SHEET NO: 02	SCALE: A3		DRAWN BY: KA	CHECKED BY: KA	
						SITE ADDRESS: 25 Amy St, Gracemere, QLD 4702				

GENERAL NOTES

H1 - STRUCTURE

SITE PREPARATION

-All earthworks will be carried out in accordance with H1D3 of the NCC 2022 or in accordance with Parts 3.2 & 4.22 of the ABCB Housing Provisions

FRAMING - GENERAL

- All framing will be carried out in accordance with H1D6 of the NCC 2022
- Steel framing will be designed and constructed in accordance with H1D6 of the NCC 2022 and will comply with
 - A. Residential and low-rise steel framing: NASH Standard 'Residential and Low-Rise Steel Framing' Part 1 or Part 2.
 - B. AS 4100 - Steel Structures.
 - C. AS/NZS 4600 - Cold-formed steel structures.
- Timber framing will be designed and constructed in accordance with the following as per the NCC H1D6;
 - A. Design of timber structures; AS 1720.1
 - B. Design of nailplated timber roof trusses: AS 1720.5
 - C. Residential timber-framed construction -non-cyclonic areas: AS1684.2 or AS 1684.4
 - D. Residential timber-framed construction - cyclonic areas: AS 1684.3
 - E. Installation of particleboard flooring: AS 1860.2
- Structural steel members will be designed and constructed in accordance with the following as per the NCC H1D6;
 - A. Steel structures: AS 4100.
 - B. Cold-formed steel structures: AS/NZS 4600
 - C. For structural stability, strength and deflection, and subject to (6), Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022
 - D. For corrosion protection, clause 6.3.9 of Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022

ROOF CLADDING

- Roof Cladding will be carried out in accordance with H1D7 of the NCC 2022
 - A. Metal roofing; AS 1562.1; and with Figure 2.2.3 in Section 2 of the ABCB Housing Provisions (cyclonic areas)
 - B. Plastic sheet roofing: AS 1562.3
 - C. Metal sheet roofing: Part 7.2 of the ABCB Housing Provisions, provided the building is located in an area with a wind class of not more than N3.
 - D. Terracotta, fiber-cement and timber slates and shingles: AS 4597
 - E. Roof tiles: AS 2050; or Part 7.3 of the ABCB Housing Provisions as outlined in H1D7 of the NCC 2022

WALL CLADDING

- Timber and composite wall cladding will be carried out in accordance with H1D7 of the NCC 2022
 - A. Autoclaved aerated concrete wall cladding, AS 5146.1; or
 - B. Wall cladding, part 7.5 of the ABCB Housing Provisions
- Metal wall cladding will be designed and constructed in accordance with AS 1562.1

GLAZING

-Glazing and windows, glazed assemblies, glazed assemblies at risk of human impact will be designed and constructed in accordance with H1D8 of the NCC 2022 and will comply with AS 2047; AS 4055; AS 1288 and/or comply with Part 8.4 of the ABCB Housing Provisions as specifically outlined under H1D8 of the NCC 2022

EARTQUAKE AREAS

-Class 1 and 10 buildings constructed in areas subject to seismic activity is satisfied if the building is constructed in accordance with Section 2 of the ABCB Housing Provisions 2022 as outlined under H1D9 of the NCC 2022

FLOOD HAZARD AREAS

-Class 1 building constructed in a flood hazard area is satisfied if the building is constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas as outlined under H1D10 of the NCC 2022

ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE

-The attachment of a deck or balcony to an external wall will be designed and constructed in accordance with Part 12.3 of the ABCB Housing Provisions as outlined under H1D11 of the NCC 2022

PILED FOOTINGS

-Piled footings are to be designed and installed in accordance with H1D12 of the NCC 2022 & AS 2159

H2 - DAMP & WEATHERPROOFING

DRAINAGE

-All drainage works will be carried out in accordance with H2D2 of the NCC 2022 and will comply with AS/NZS 3500.5 or in accordance with Parts 3.3 of the ABCB Housing Provisions as outlined under H2D2 of the NCC 2022

FOOTINGS AND SLABS

-Footings and slabs will be designed and installed in accordance with H2D3 of the NCC 2022

ROOF AND WALL CLADDING

-Gutters & Downpipes will be carried out in accordance with H2D6 of the NCC 2022 and comply with AS/NZS 3500.3; or, Part 7.4 of the ABCB Housing Provisions as outlined in accordance with H2D6 of the NCC 2022

GLAZING

-Weatherproofing Glazing will be carried out in accordance with H2D7 of the NCC 2022 & in accordance with H2D8 of the NCC 2022

H3 - FIRE SAFETY

FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS

- The following materials may be used wherever a non combustible material is required as outlined under H3D2 of the NCC 2022
- Plasterboard, Perforated Gypsum Lath with normal paper finish, Fibrous-plaster sheed, Fibre reinforced cement sheeting, Pre-finished metal sheeting(as outlined), Sarking-type materials & Bonded laminated materials (as outlined).
- Fire hazard properties for Class 1 Building, including floor or ceiling spaces common with Class 10 buildings will be carried out in accordance with H3D2 of the NCC 2022.

FIRE SEPARATION OF EXTERNAL WALLS

-Fire separation of the external walls will be carried out in accordance with Part 9.2 of the ABCB Housing Provisions as outlined under H3D3 of the NCC 2022

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

-Fire protection of separation walls and floors will be carried out in accordance with Part 9.3 of the ABCB Housing Provisions as outlined under H3D4 of the NCC 2022

SMOKE ALARMS AND EVACUATION LIGHTING

- Smoke alarms and evacuation lighting will be carried out in accordance with Part 9.5 of the ABCB Housing Provisions as outlined under H3D6 of the NCC 2022
- A Class 1 building includes a Class 10, a private garage located above or below will be carried out in accordance with H3D6 of the NCC 2022

H4 - AMENITY

WET AREAS

-Wet areas will be designed and constructed in accordance with AS370; or Parts 10.2 of the ABCB Housing Provisions as outlined under H4D2 of the NCC 2022

MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS

-Materials will be designed and constructed in accordance with AS370; or, relevant parts under 10.2 of the ABCB Housing Provisions as outlined under H4D3 of the NCC 2022

ROOM HEIGHTS

-Room heights will be designed and constructed in accordance with Parts 10.3 of the ABCB Housing Provisions as outlined under H4D4 of the NCC 2022

LIGHT

-Lighting will be designed and constructed in with Parts 10.5 of the ABCB Housing Provisions as outlined under H4D6 of the NCC 2022

VENTILATION

-Room heights will be designed and constructed in accordance with H4D7 of the NCC 202 & Parts 10.6 of the ABCB Housing Provisions as outlined under H4D7 of the NCC 2022

SOUND INSULATION

-Sound insulation will be designed and constructed in accordance with Part 10.7 of the ABCB Housing Provisions as outlined under H4D8 of the NCC 2022

H5 - SAFE MOVEMENT AND ACCESS

STAIRWAY AND RAMP CONSTRUCTION

-Stairway and ramps will be designed and constructed in accordance with Parts 11.2 of the ABCB Housing Provisions as outlined under H5D2 of the NCC 2022

BARRIERS AND HANDRAILS

-Barriers and handrails will be designed and constructed in accordance with Parts 11.3 of the ABCB Housing Provisions as outlined under H5D3 of the NCC 2022

H8 - LIVABLE HOUSING DESIGN

LIVABLE HOUSING DESIGN

- Class 1a dwellings will be designed and constructed in accordance with the ABCB Standard for Livable Housing Design as outlined under H8D2 of the NCC 2022

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/138-2024

Dated: 19 December 2024

GENERAL NOTES:

- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
- WINDOWS DIMENSIONED AS HEIGHT X WIDTH
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
3. DO NOT SCALE FROM PLAN
4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:
CERTIFIED ISSUE TUESDAY, 05 NOVEMBER 2024

REVISION:
REVISION B
REVISION C
REVISION D

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

25 Amy St, Gracemere, QLD 4702

DRAWING TITLE:

GENERAL NOTES

SCALE:
A3

JOB NO:

J2070

SHEET NO:

03

DRAWN BY:
KA

CHECKED BY:
KA

DESIGN:

SITE GENERAL NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.
6. IT IS RECOMMENDED TO OBTAIN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO COMMENCEMENT OF WORK.
7. SEWER TO HOUSE CONNECTION AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, SUBJECT TO SURVEY OR SERVICE LOCATION

SITE PREPARATION & DRAINAGE NOTES:

1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSF TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC VOL 2. PART 3.2.
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC VOL 2. PART 3.5.2.
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTICING STRUCTURAL ENGINEER (RPEQ).

TERMITE PROTECTION:

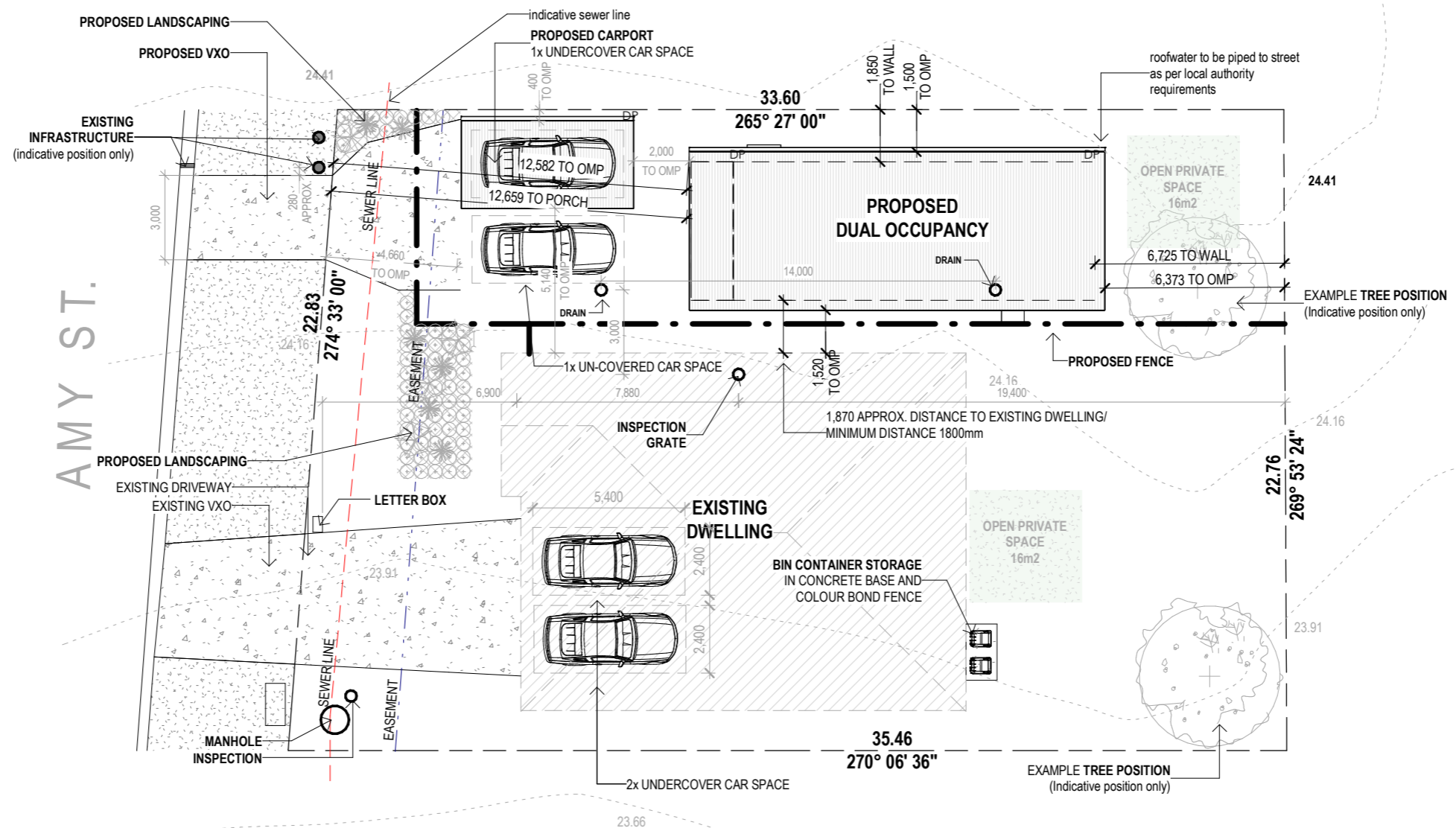
1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2004 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

REAL PROPERTY DESCRIPTION
 ADDRESS: 25 Amy St, Gracemere, QLD 4702
 SITE AREA: 784.17m²
 LOT NUMBER: 107
 PLAN NUMBER: SP247733
 PARISH:
 COUNTY:
 LOCAL AUTHORITY: Rockhampton City Council
 BUILDING AREA: 228.8m²
 SITE COVERAGE: 29%

SURVEYING NOTE
 CONTOUR / DETAIL SURVEY / LEVELS NOT PROVIDED BY OWNER.
 IT IS RECOMMENDED TO CARRY OUT A DETAIL SURVEY PRIOR TO FINALISING DESIGN, AND ANY DISCREPANCIES RESOLVE WITH THIS OFFICE.
 IT IS THE BUILDER'S RESPONSIBILITY TO CONDUCT AN IDENT SURVEY AND SEWER LOCATION PRIOR TO CONSTRUCTION

DUAL OCCUPANCY NOTES

- car parking spaces to comply with AS2890.1 - 2 covered and 2 uncovered
- setbacks in accordance with QDC MP1.3
- prior to construction builder to locate sewer line and ensure footing setback is 1200mm minimum from sewer, clearance above sewer connection 2500mm minimum - to comply with QDC part MP1.4
- any alteration to existing vehicular crossovers to comply with the local authority requirements



1 Site Plan
 1 : 200

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

 PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974 © 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN	GENERAL NOTES: - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH	1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE 3. DO NOT SCALE FROM PLAN 4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY 5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B) 6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.	JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY	CLIENT: DC HOUSE TEAM	DRAWING TITLE: SITE	JOB NO: J2070	DESIGN: DCH 11
		ISSUE / DATE: CERTIFIED ISSUE TUESDAY, 05 NOVEMBER 2024	REVISION: REVISION B REVISION C REVISION D	SITE ADDRESS: 25 Amy St, Gracemere, QLD 4702	SCALE: 1 : 200 A3	SHEET NO: 04	
				DRAWN BY: KA	CHECKED BY: KA		

FLOOR PLAN NOTES

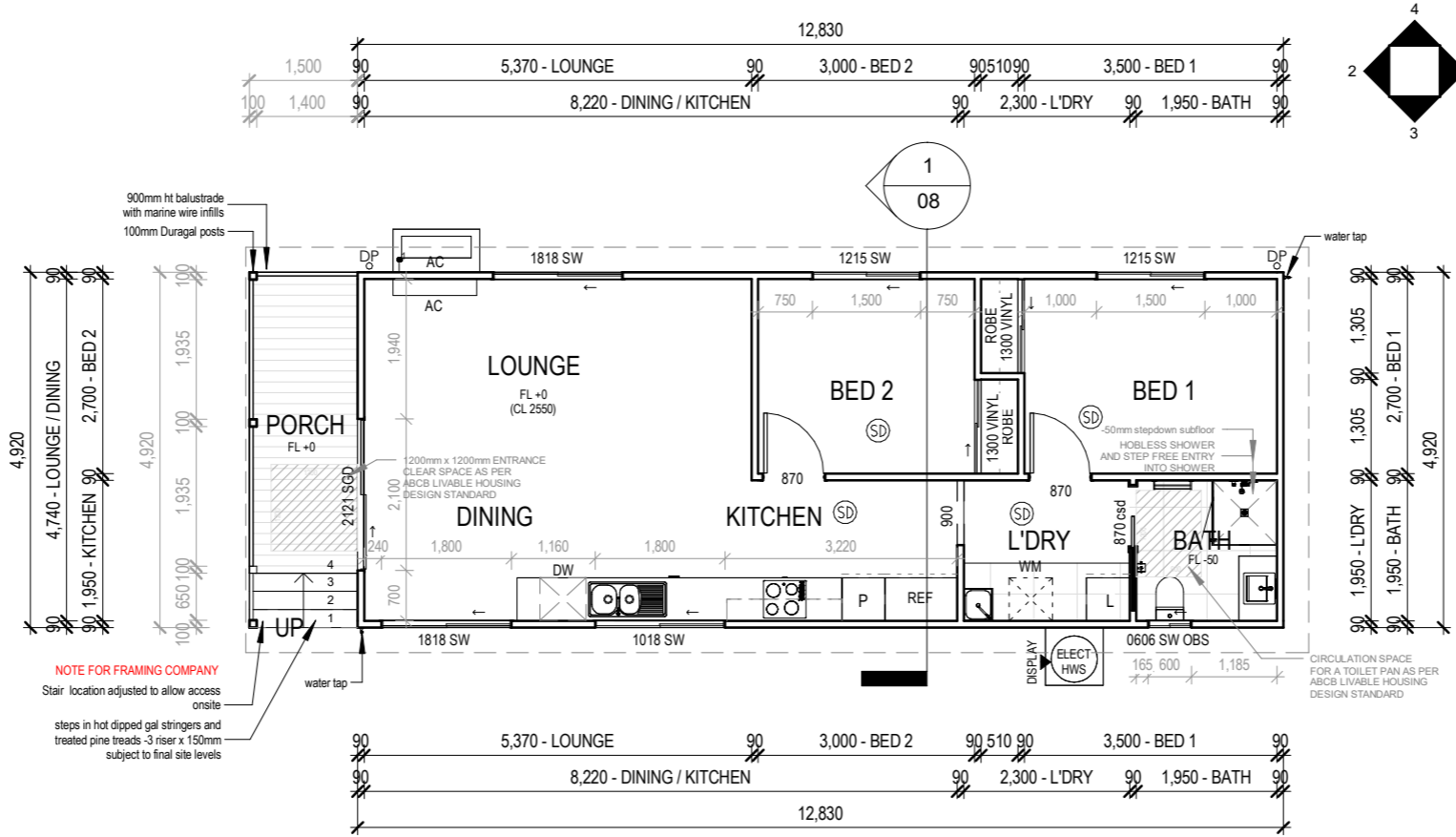
- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
 - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
 - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
 - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
 - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
 - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
 - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
 - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE A 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
 - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
 - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
 - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
 - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
 - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
 - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
 - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
 - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
 - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
 - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME

WALL & CEILING INSULATION

R.20 BATTS TO EXTERNALL WALL 70 & 900MM FRAMES
 R3.0 BATTS TO CEILING
 ALL WALLS AND ROOF FRAME TO HAVE R.10 SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)
 WEATHER SEALS TO ALL DOORS & WINDOWS
 NOTE: FINAL BUILDING COLOURS MAY EFFECT R-VALUES REFER ENERGY REPORT

WALL CLADDING NOTE

PROVIDE CAVITY BATTEN BETWEEN CLADDING AND FRAME - SEE DETAILS PAGE
 ALL CLADDINGS TO BE INSTALLED TO MANUFACTURER SPECIFICATIONS



1 Ground Floor Plan
 1 : 100

FLOOR PLAN LEGEND

(SD)	SMOKE ALARM PHOTOELECTRIC
o D	DOWNPIPE LOCATION
MH	MANHOLE LOCATION
ELECT HWS	HOT WATER SERVICE
ELECT MB	ELECTRICAL METERBOARD T&D
CJ	VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8

NB SEE GENERAL NOTES FOR ABBREVIATIONS

EST FLOOR AREAS

Names	Area m2
Verandah	6.26
Living Area	63.12
	69.38

ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

WINDOWS & EXTERNAL DOORS

Family and Type	Width	Height	Comments
SGD 2 Panel: 2121 SGD	2100	2100	External aluminium window and door frames
SW 3 Panel Vertical: 1818 SW	1800	1800	External aluminium window and door frames
SW: 0606 SW OBS	600	600	External aluminium window and door frames
SW: 1018 SW	1800	1000	External aluminium window and door frames
SW: 1215 SW	1500	1200	External aluminium window and door frames

FLOOR PLAN NOTES

- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
 - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
 - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
 - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
 - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
 - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
 - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
 - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
 - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
 - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
 - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
 - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
 - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
 - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
 - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
 - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
 - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEANT TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
 - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME

WALL & CEILING INSULATION

R.20 BATTS TO EXTERNAL WALL 70 & 90MM FRAMES
 R3.0 BATTS TO CEILING
 ALL WALLS AND ROOF FRAME TO HAVE R.10
 SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)
 WEATHER SEALS TO ALL DOORS & WINDOWS
 NOTE: FINAL BUILDING COLOURS MAY EFFECT R-VALUES REFER ENERGY REPORT

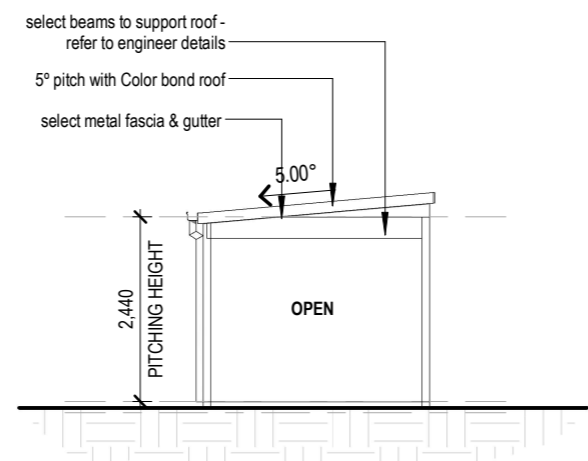
WALL CLADDING NOTE

PROVIDE CAVITY BATTEN BETWEEN CLADDING AND FRAME - SEE DETAILS PAGE
 ALL CLADDINGS TO BE INSTALLED TO MANUFACTURER SPECIFICATIONS

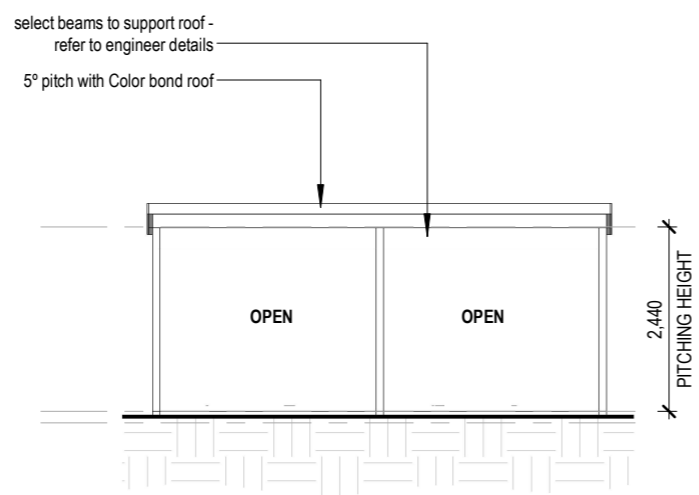
FLOOR PLAN LEGEND

	SMOKE ALARM PHOTOELECTRIC
	DOWNPIPE LOCATION
	MANHOLE LOCATION
	HOT WATER SERVICE
	ELECTRICAL METERBOARD TBD
CJ	VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8

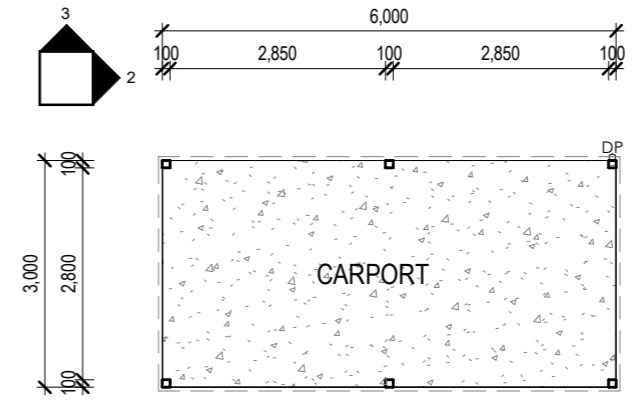
NB SEE GENERAL NOTES FOR ABBREVIATIONS



2 ELEVATION - A
 1 : 100



3 ELEVATION - B
 1 : 100



1 Proposed Carport Plan
 1 : 100

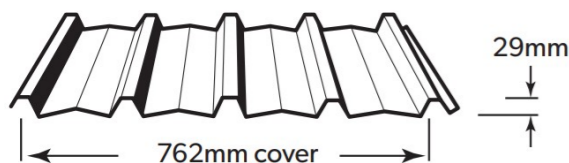
ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

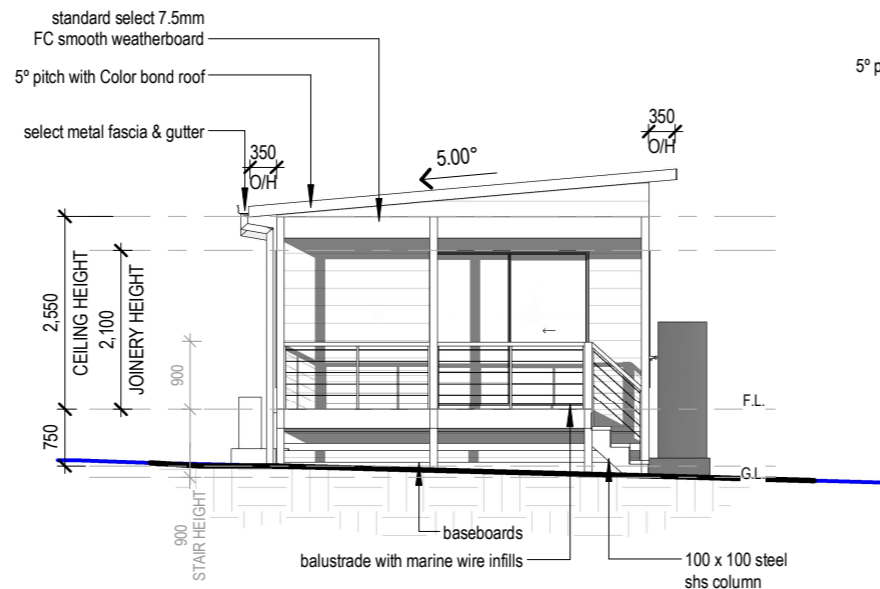
EST EXTERNAL WALLS

Type	Length	Area m2	Function	Comments
Baseboards	4850	2.93	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Baseboards	12760	7.64	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
90 FC Cladding	1500	0.82	Exterior	standard select 7.5mm FC smooth weatherboard
90 FC Cladding	4850	26.05	Exterior	standard select 7.5mm FC smooth weatherboard
90 FC Cladding	4875	1.60	Exterior	standard select 7.5mm FC smooth weatherboard
90 FC Cladding	12760	69.31	Exterior	standard select 7.5mm FC smooth weatherboard
Grand total		108.35		

TRIMDEK® cladding has a subtle square-fluted profile, available in long lengths, so on most jobs you can have one sheet from ridge to gutter without end-laps. TRIMDEK® cladding is made of high strength steel and despite its lightness, provides excellent spanning and rainwater carrying capacity. The strength, spanning ability, lightness and rigidity of TRIMDEK® cladding permits wide support spacings to be used with safety.

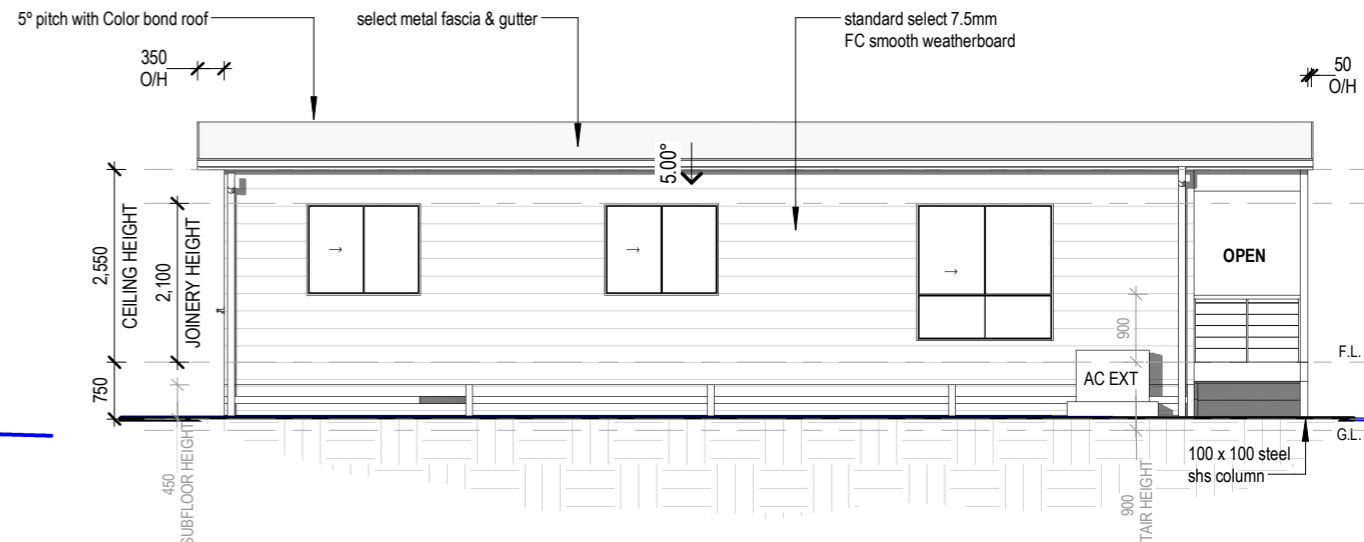


NOTE: WALL CLADDING TO BE CYCLONE RATED



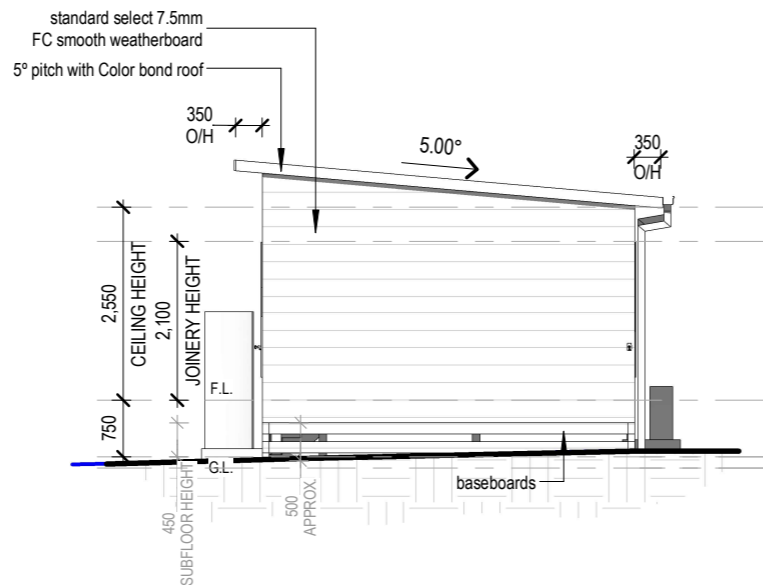
1 Elevation A
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



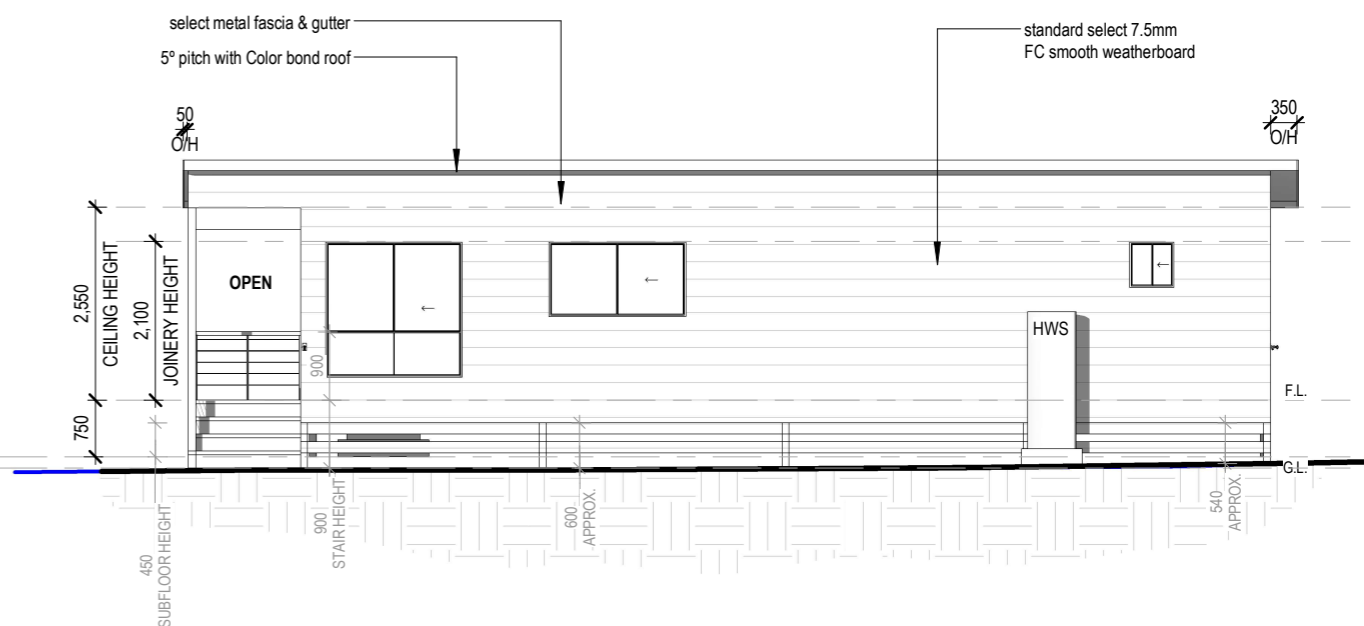
3 Elevation C
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



2 Elevation B
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



4 Elevation D
1 : 100

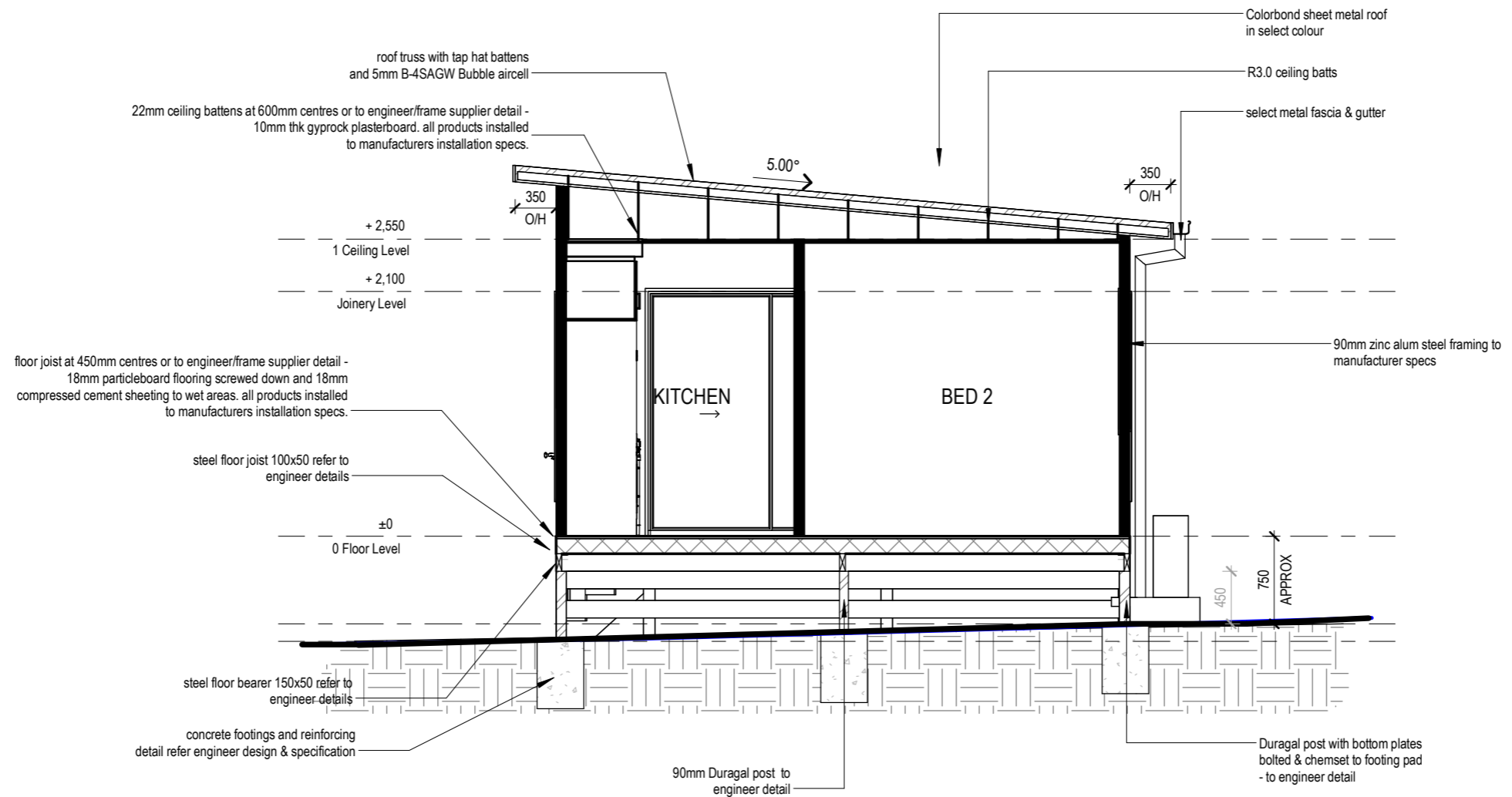
ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/138-2024**
Dated: 19 December 2024

STRUCTURAL NOTE
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

TERMITE PROTECTION
termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2009 (refer details page) - all select barrier products refer to manufacturers specification and conditions of approval

TRUSSED ROOF PANEL NOTE
all support beams for insulated and fly over roof panels are to be specified by engineer - unless otherwise noted

GENERAL NOTE
all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

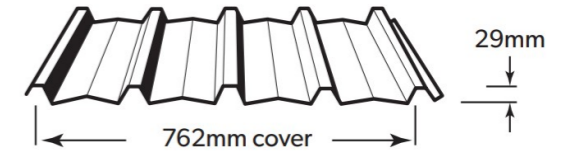


1 Section A-A
1 : 50

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

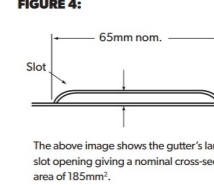
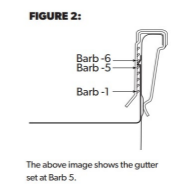
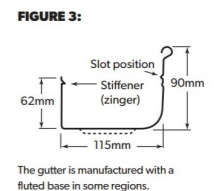
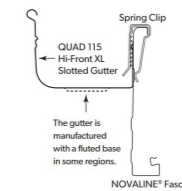
EST ROOF SCHEDULE	
Type	Area m2
Basic Roof	102.08

Next generation ZINCALUME® aluminium/zinc/magnesium alloy coated steel complies with AS 1397:2011 G550, AM125 (550 MPa minimum yield stress, 125g/m2 minimum coating mass). COLORBOND® is pre-painted steel for exterior roofing and walling. It is the most widely used. The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum yield strength is G550 (550 MPa). Minimum coating mass is AM100 (100g/m2). COLORBOND® Metallic is pre-painted steel for superior aesthetic qualities displaying a metallic sheen. COLORBOND® Ultra is pre-painted steel for severe coastal or industrial environments (generally within about 100-200 metres of the source). The painting complies with AS/NZS 2728:2013 and the steel base is an aluminium/zinc alloy-coated steel complying with AS 1397:2011. Minimum coating mass is AM150 (150g/m2). COLORBOND® Stainless is a pre-painted steel and is used for severe and coastal environments. The painting complies with AS/NZS 2728:2013 and the steel base is a stainless steel complying with AISI/ASTM Type 430; UNS No. S43000. Metallic finishes are available subject to enquiry. The base metal thickness is 0.42 or 0.48mm. The COLORBOND® pre-painted steel complies with AS/NZS 2728:2013.



EST FASCIA & GUTTER	
Type	Amount m
Fascia	40.71
Gutter	14.72

The compliance requirements for roof drainage systems including residential eaves gutter systems may be regulated as building work or plumbing work, depending on the local Building Authority. Where roof drainage systems are regulated as building work, NCC Volume Two or ABCB Housing Provisions Standard applies, and where regulated as plumbing work, NCC Volume Three applies. In practice, the eaves gutter requirements are similar between these references. Per Section A2G2 of NCC Volume Three - Plumbing Code of Australia, a Performance Solution is achieved by demonstrating that the solution is at least equivalent to the Deemed-to-Satisfy Provisions of the NCC. The ABCB Housing Provisions Standard contains Deemed-to-Satisfy Provisions that are considered to be acceptable forms of construction that meet the requirements for complying with Parts H1 to H8 of NCC Volume Two - Building Code of Australia. Per Section 7.4.6(1) of the ABCB Housing Provisions Standard, a slotted gutter with a slot opening area of 1200 mm2 per metre of the gutter, when installed with the lower edge of the slot being 25mm below the top of the fascia, is deemed to satisfy an overflow capacity of 0.5 L/s/m length of gutter for design purposes. LYSAGHT® QUAD 115 HI-FRONT XL SLOTTED GUTTER provides a slot opening area of 2055 mm2 per metre of the gutter, which far exceeds this compliance criterion.



MATERIALITY: PVC PIPES FOR DOWNPIPES

ROOF PLAN NOTES:

METAL ROOF SHEETING REFER AS1562.3 2006 ROOF FLASHINGS TO AS4654

ARROW DENOTES ROOF FALL.

STRUCTURAL ELEMENTS SUCH AS ROOF FRAMING, LINTELS, TIE DOWN AND BRACING TO AS1684, MANUFACTURERS SPECIFICATIONS AND ENGINEER DESIGN

ROOFWATER TO BE PIPED VIA 100MM DIA. PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM.

ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL. REFER AS3500.3 2003

DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.

INSULATION TO CEILING TO BE R3.0 BATTS

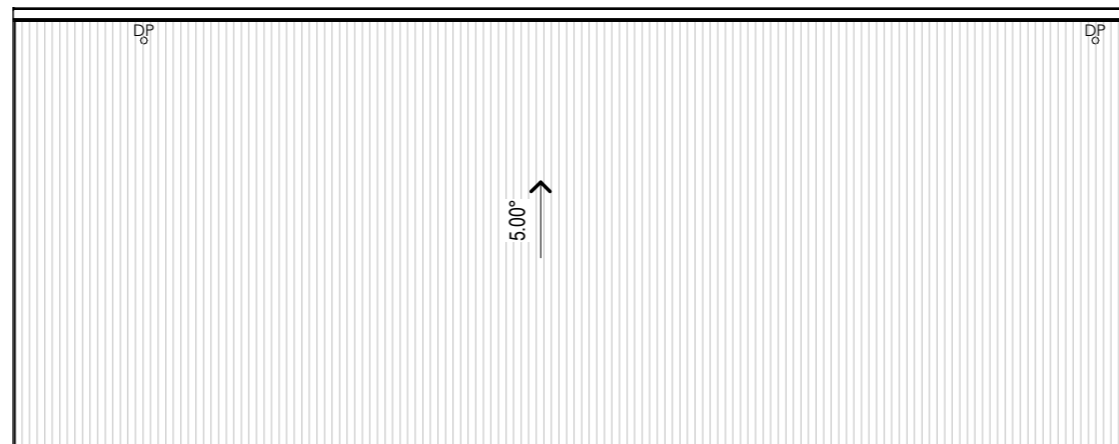
R 1.0 FOIL SARKING TO UNDERSIDE ROOF BATTENS

60MM ANTICON ROOF BLANKET

ONLY NEW DOWNPIPES ARE SHOWN - IN QUANTITIES AND SUGGESTED LOCATION ONLY, SUBJECT TO MOVE ON SITE AS REQUIRED BY BUILDER

ALL ROOFING AND DRAINAGE TO COMPLY WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE 2019

STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.



1 Roof Plan
1 : 100

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current conditions of approval associated with **Development Permit No.: D/138-2024**
Dated: 19 December 2024

ELECTRICAL PLAN NOTES

1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
2. LIGHT SWITCHES @ 1300MM MAX ABOVE GROUND LEVEL
3. TOP OF METER BOX TO BE 1900 MM MAX ABOVE GROUND LEVEL
4. POWER OUTLETS ARE TO BE POSITIONED TO NEAREST STUD UNLESS OTHERWISE DIMENSIONED.
5. PROVIDE AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH NCC PART 3.7.2 AND AS3786 - 2004. SMOKE DETECTORS 2 OR MORE SHALL BE INTERCONNECTED AS PER NCC PART 3.7.2.
6. ADDITIONAL SMOKE DETECTORS TO BE PLACED IN ALL BEDROOMS AND INTERCONNECTED AS PER NCC REQUIREMENTS.
7. L.E.D. LIGHTING IS RECOMMENDED TO ALL POSSIBLE APPLICATIONS.
8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

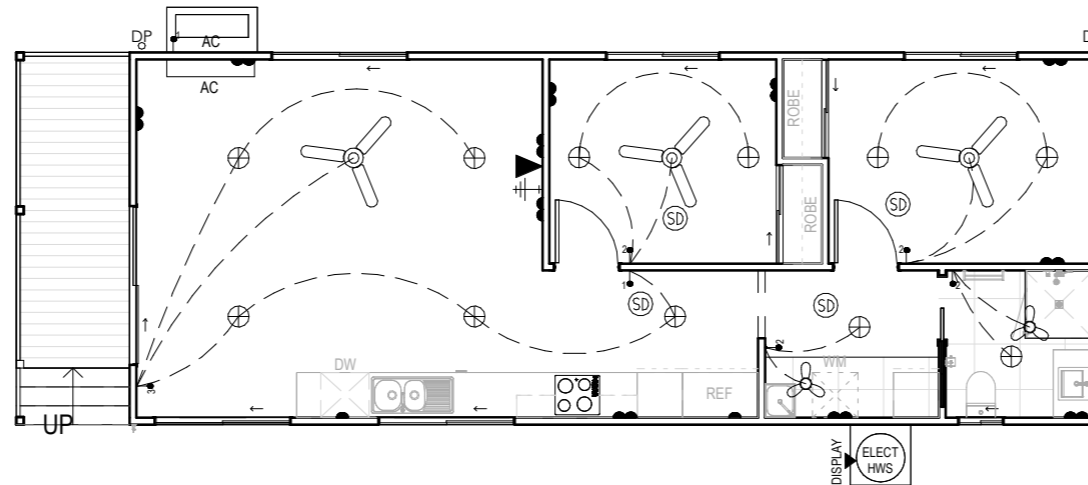
ENERGY EFFICIENT LIGHTING

THIS MEASURE APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTING IS USED FOR AT LEAST 40% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE OCCUPANCY UNIT. (REFER TO DEFINITION OF FLOOR AREA IN PART 29 OF THE QUEENSLAND DEVELOPMENT CODE). THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE A PART OF A HOUSE IS LIT BY MORE THAN ONE LIGHT SOURCE, AND ONE OR MORE OF THOSE SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING AND THEREFORE DOES NOT QUALIFY TOWARDS THE 40% EFFICIENT LIGHTING REQUIREMENT. FOR EXAMPLE, IF A KITCHEN HAS A FLUORESCENT LIGHT AS ITS CENTRAL LIGHT SOURCE AND HALOGEN LIGHTS PROVIDING TASK LIGHTING FOR A KITCHEN BENCH, THEN THE FLOOR AREA OF THE KITCHEN BENCH SHOULD BE SUBTRACTED FROM THE KITCHEN FLOOR AREA WHEN CALCULATING FLOOR AREA LIT BY EFFICIENT LIGHTING.

FINAL ASSESSMENT UPON COMPLETION OF THE BUILDING WILL REQUIRE CONFIRMATION THAT THE CORRECT LIGHTING HAS BEEN INSTALLED IN THE APPROPRIATE LIGHT FITTINGS. IT IS REASONABLE TO ACCEPT THIS CONFIRMATION FROM THE ELECTRICIAN WHO INSTALLED THE LIGHT FITTINGS.

NOTE
ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/ ELECTRICIAN DURING QUOTING AND BUILDING STAGES



1 GF Electrical Plan
1 : 100

EST ELECTRICAL FIXTURES	
Type	Count
1 Switch	1
2 Switches	4
3 Switches	1
Ceiling Fan	3
Data/Phone Point	1
dGPO	11
Downlight	12
Exhaust Fan	3
Isolating Switch	1
sGPO	2
Smoke Detector	4
TV Point	1
44	

EST AC/HWS	
Family and Type	Count
HWS Electric: Elect HWS 160L	1
AC Unit - EXT: AC Ext	1
AC Unit - INT: AC Int	1

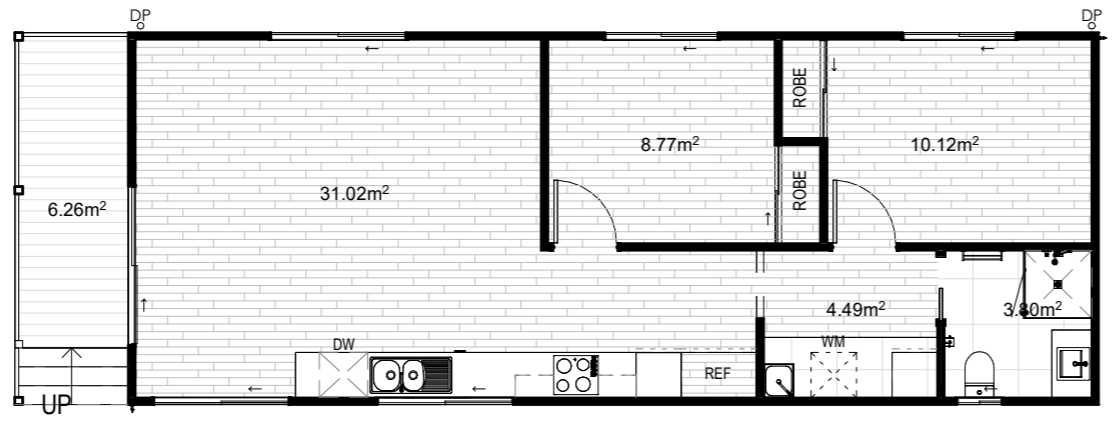
ELECTRICAL LEGEND




- SOLAR PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT
- EXHAUST 3 IN 1
- EXHAUST FAN
- SMOKE ALARM
- HEAT LAMP
- GAS OUTLET
- TV POINT
- DATA/PHONE POINT
- OYSTER LIGHTS MOUNTED
- DOWNLIGHT 240V
- BATTEN HOLDER
- PENDANT
- SINGLE GPO
- DOUBLE GPO
- ROOF SINGLE GPO
- WATERPROOF SINGLE GPO
- WATERPROOF DOUBE GPO
- WALL LIGHT
- FLOOD/SPOT LIGHT
- DOUBLE FLOOD/SPOT LIGHT
- SENSOR
- SGL FLURO TUBE 18W
- DBL FLURO TUBE 36W
- ISOLATION SWITCH
- SWITCH

ELECTRICAL POINTS' POSITIONS SUBJECT TO CONSTRUCTION CONSTRAINTS.

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

FLOOR COVERING & TILING NOTES:
 1. FLOOR TILE HATCHING SHOWN - INDICATES AREA TO BE TILED ONLY AND NOT THE FINISHED LAYOUT
 2. THESE DIMENSIONS ARE A PRICING GUIDE ONLY AND ALL AREAS AND SIZES MUST BE CHECK MEASURED ON SITE PRIOR TO FABRICATION OR CUTTING
 3. TRANSITIONS BETWEEN FLOOR COVERINGS TO BE CENTRALISED WITH DOOR THICKNESS



-  NOTE: 90mm Eko decking mod wood decking
DECKING
-  HYBRID FLOORING
-  WET AREA TILES

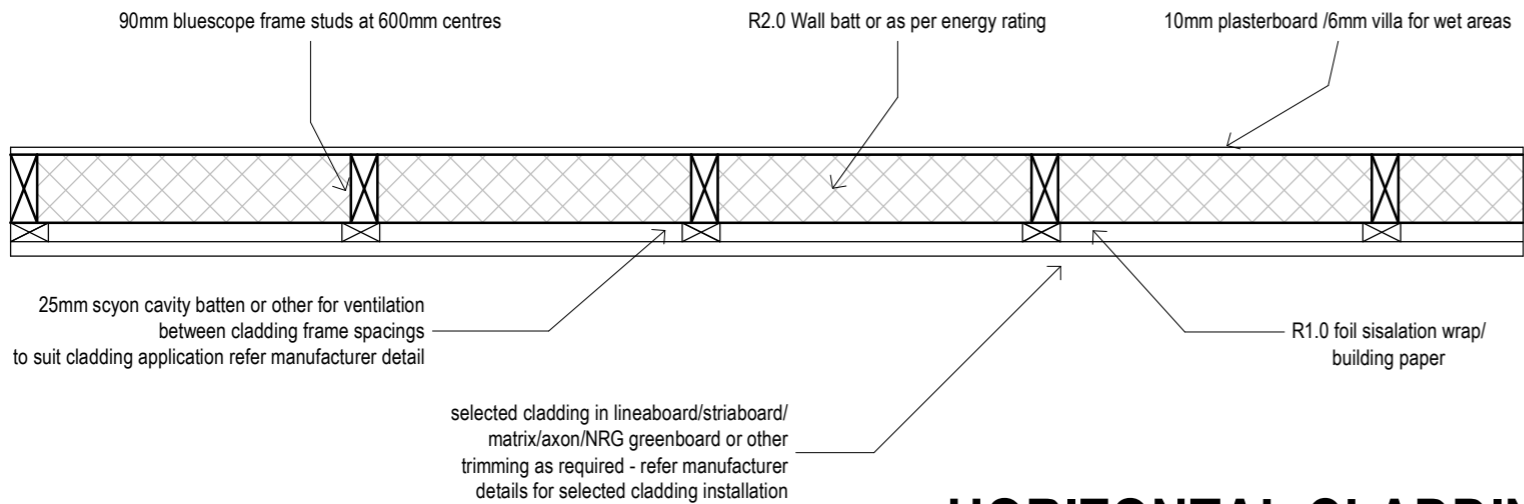
Decking Schedule		
Comments	Description	Area
ESTATE BROWN	Verandah	6.26 m²

FLOOR COVERINGS (m2)	
MATERIALS / LOCATION	OVERALL AREA: (APPROX.) (m²)
KITCHEN	9.78
DINING	10.12
LOUNGE	11.12
BED 2	8.10
BED 1	9.45
L'DRY	4.49
ROBE 1	0.67
ROBE 2	0.67
BATH	3.80

EST KITCHEN TILES AREA		EST LAUNDRY TILES AREA	
Type	Area m2	Type	Area m2
Kitchen Splashback	2.22	Laundry Wall Tiles	6.95
TOTAL	2.22	TOTAL	6.95

EST BATHS TILES AREA	
Type	Area m2
Bath Wall Tiles	4.26
Bath Vanity Splashback	0.54
Bath Shower	3.99
TOTAL	8.79

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

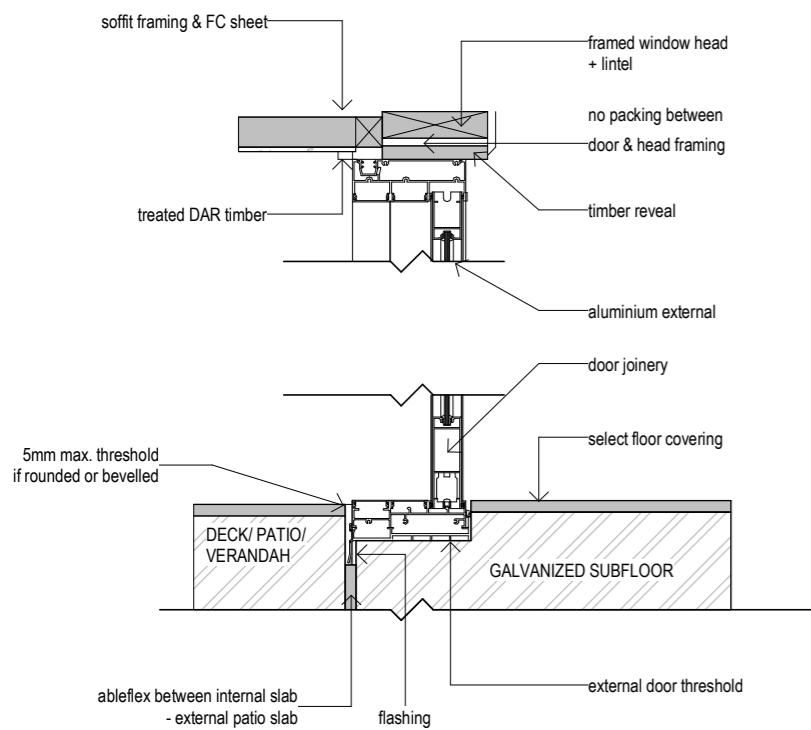


NOTE vermin proofing installed to base of cladding cavity as per manufacturers instructions

1 HORIZONTAL CLADDING DETAIL

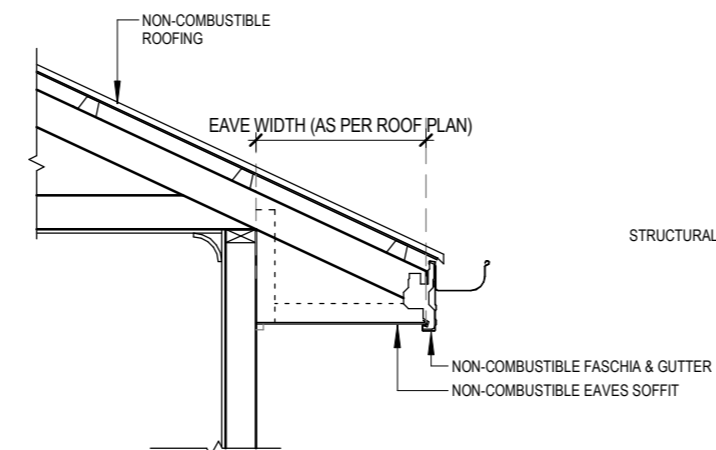
1 : 10 - WITH USE OF CAVITY BATTENS

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
 These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024



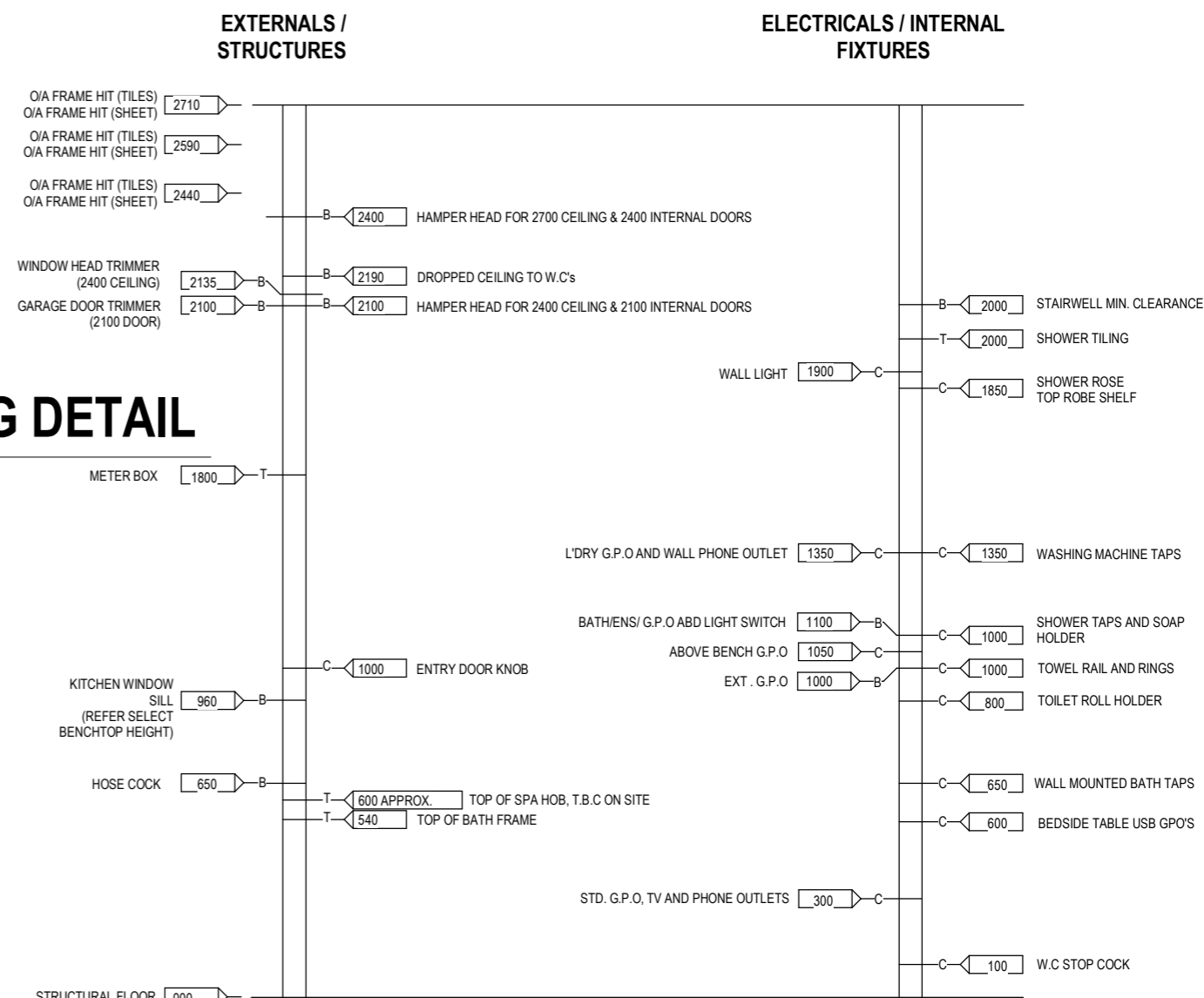
2 EXTERNAL DOOR DETAIL

1 : 10 - SLAB ON GROUND REBATE & HEAD DETAIL



3 TYPICAL EAVE AND SOFFIT DETAIL

1 : 20



*T DENOTES TOP
 *B DENOTES BOTTOM
 *C DENOTES CENTRE
 NOTES-
 * OUTLETS TO WALL OVEN, COOK TOP & RANGEHOOD TO BE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
 * KITCHEN WINDOW SILL HEIGHT AS ABOVE IS FOR WINDOWS SET ON TOP OF KITCHEN BENCH TOP ONLY

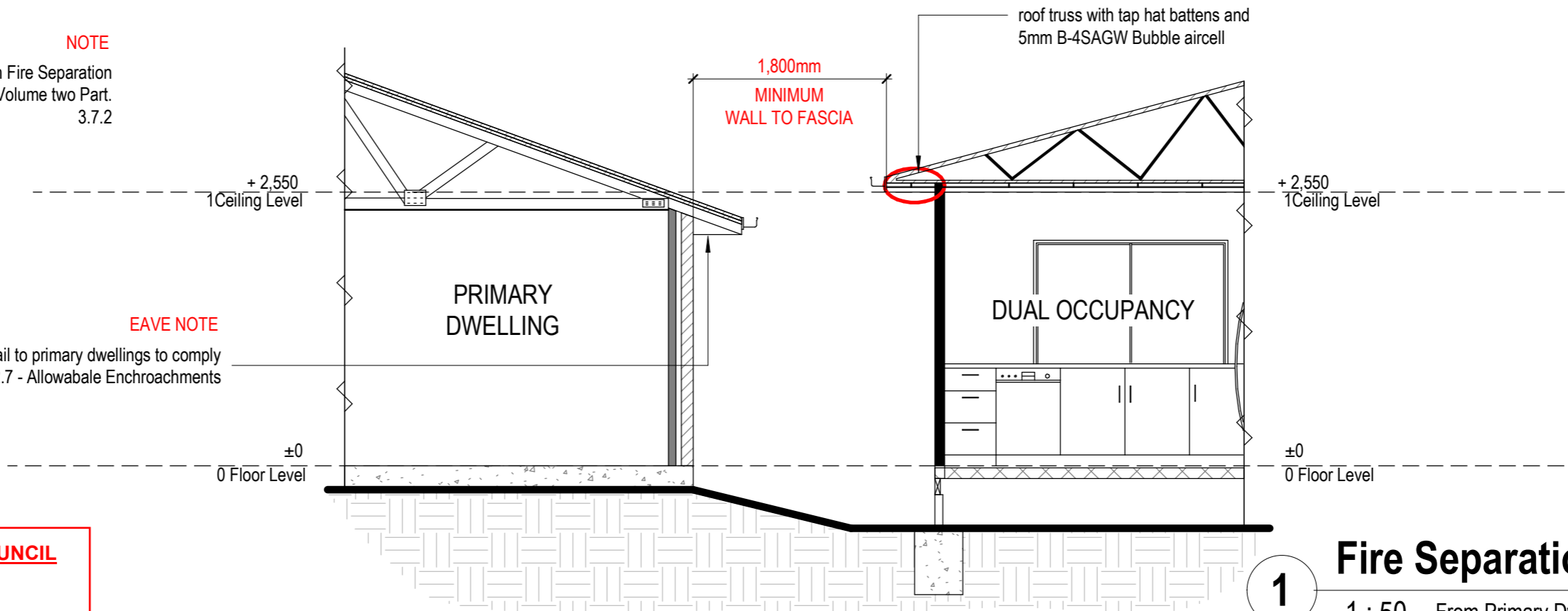
2740, 2590, and 2440mm high frame

4 STANDARD HEIGHTS

1 : 20

NOTE
all buildings to comply with Fire Separation External Walls as to NCC Volume two Part. 3.7.2

EAVE NOTE
the detail and eave detail to primary dwellings to comply with NCC Vol.2 2019 3.7.2.7 - Allowable Enroachments

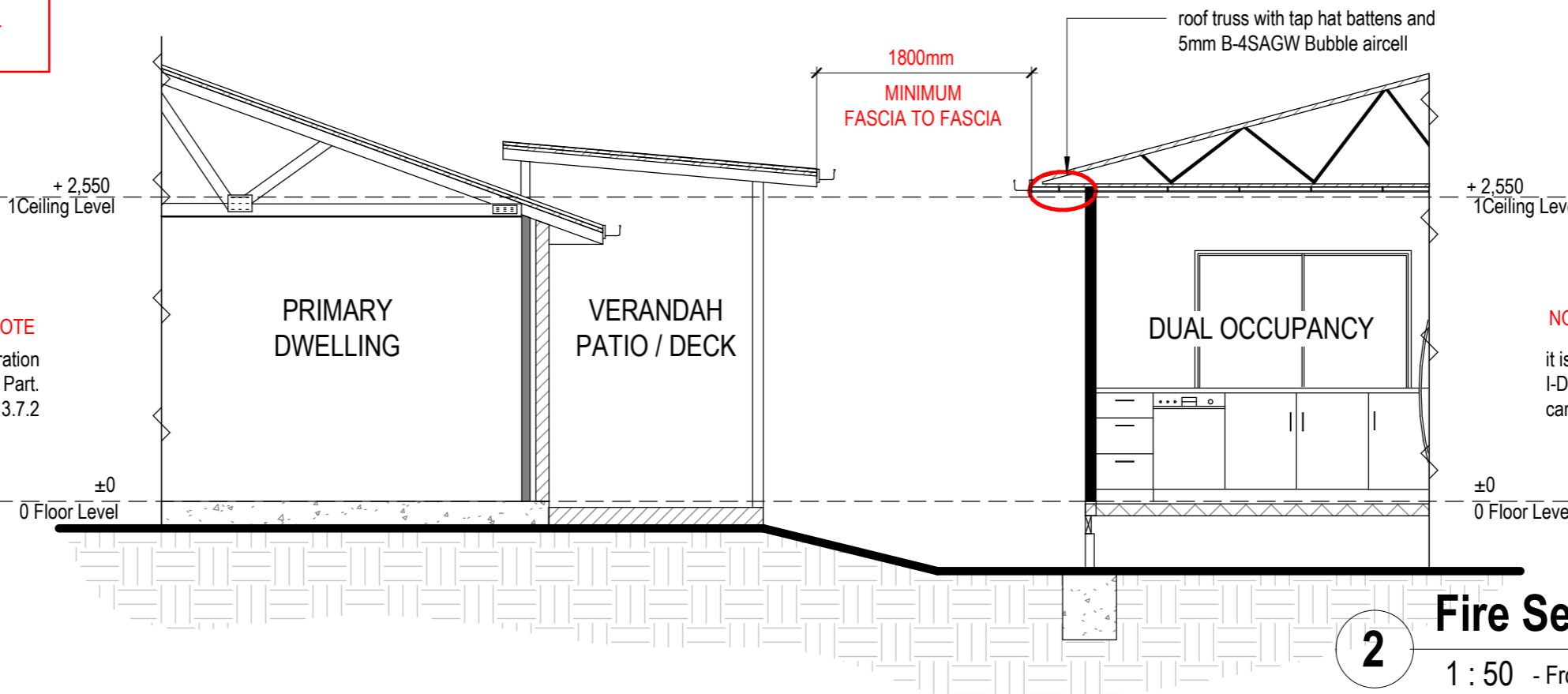


1 Fire Separation Detail
1 : 50 - From Primary Dwelling

**ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS**

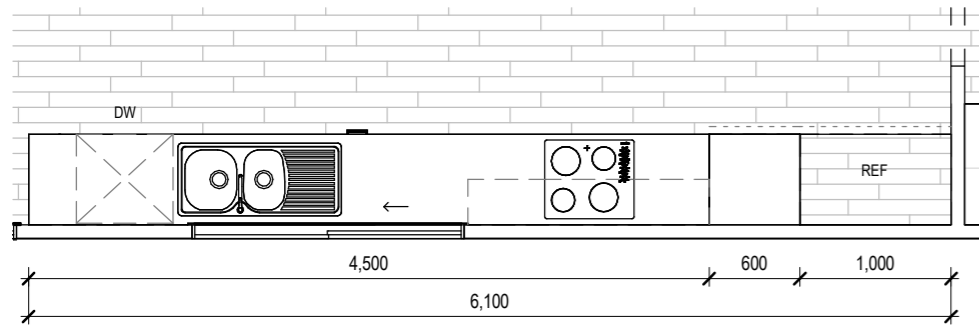
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

NOTE
all buildings to comply with Fire Separation External Walls as to NCC Volume two Part. 3.7.2

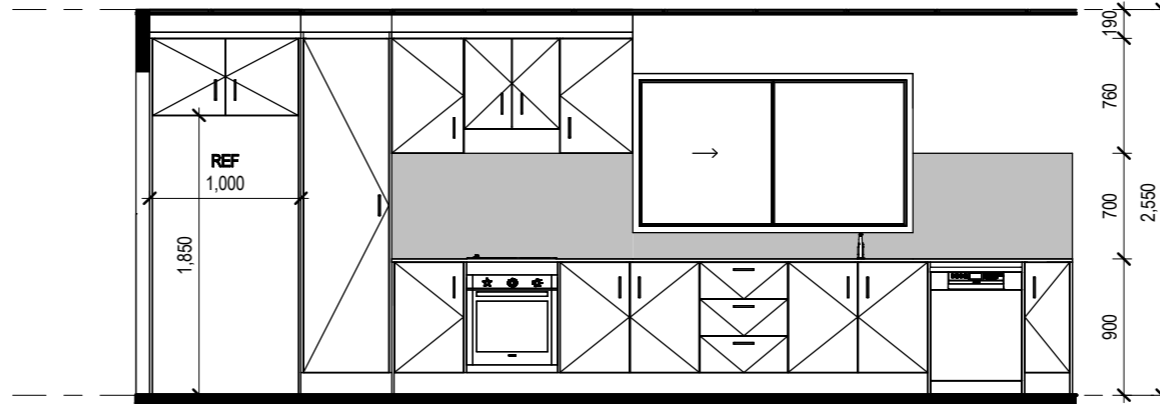


NOTE
it is the builders responsibility to conduct and I-Dent Survey prior to constructin to ensure carport roof setback from front and side boundaries

2 Fire Separation Detail.
1 : 50 - From Verandah/Patio/Deck



LAYOUT - KIT
1 : 50



KIT - A
1 : 50

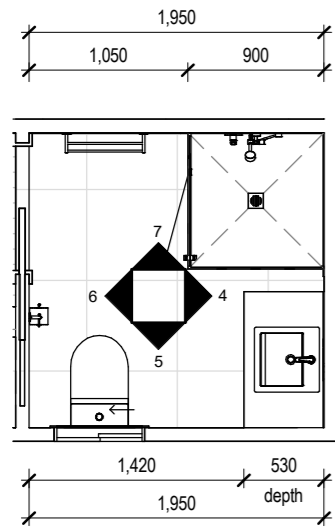
NOTE:
THIS KITCHEN DESIGN IS FOR VISUAL PURPOSES ONLY

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS

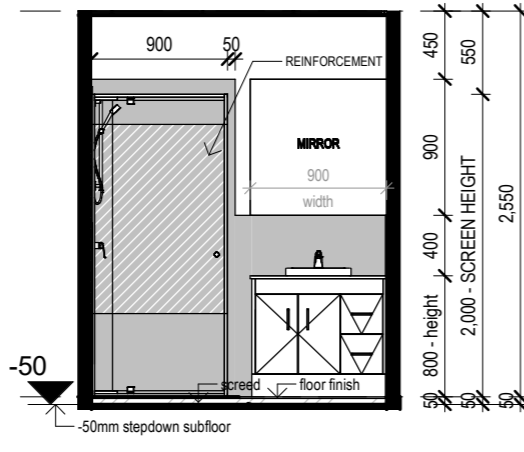
These plans are approved subject to the current conditions of approval associated with
Development Permit No.: D/138-2024
Dated: 19 December 2024

NOTE:
SHOWER TO BE HOBLESS WITH STEP FREE ENTRY AND LIP LOWER THAN 5MM

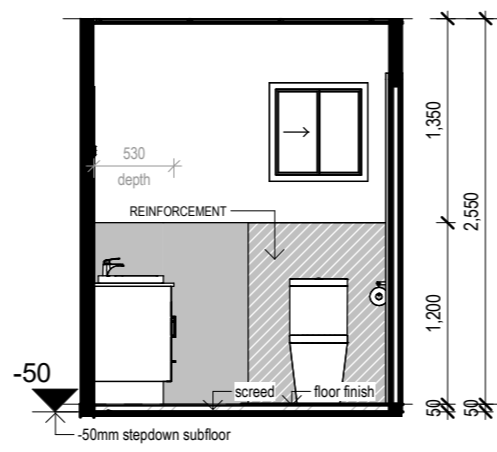
LEGEND:
 LOCATION OF SHEETING FOR WALL BEHIND A TOILET PAN, TO A WALL ADJACENT TO A TOILET PAN AND FOR SHOWER WALLS



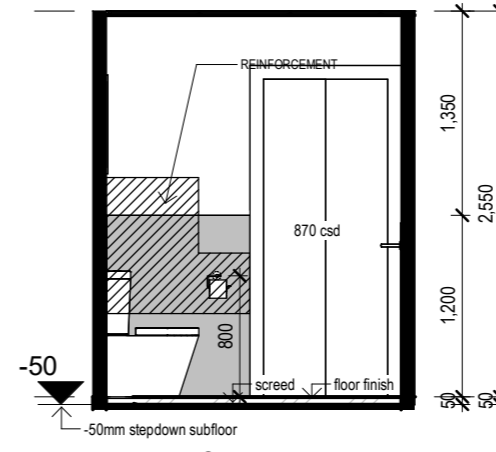
LAYOUT - BATH
1 : 50



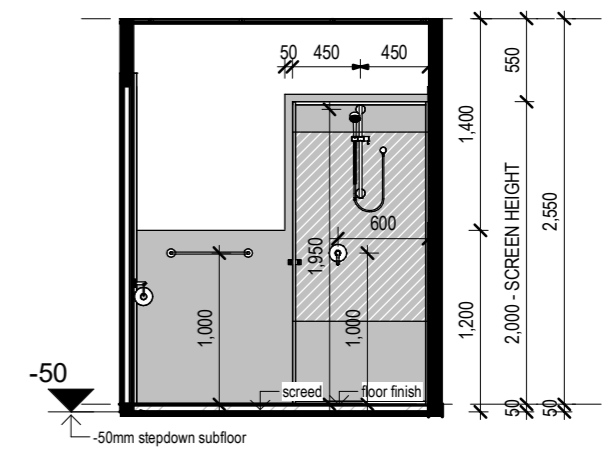
BATH - A
1 : 50



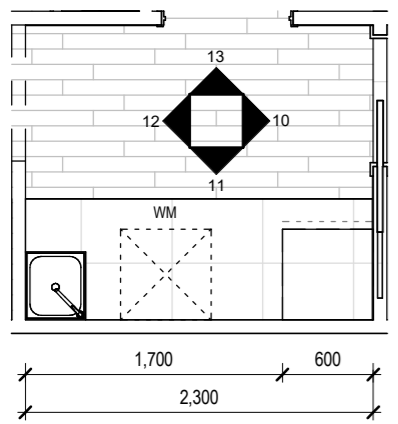
BATH - B
1 : 50



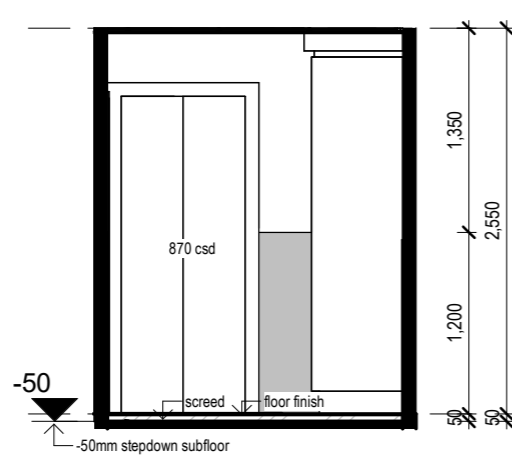
BATH - C
1 : 50



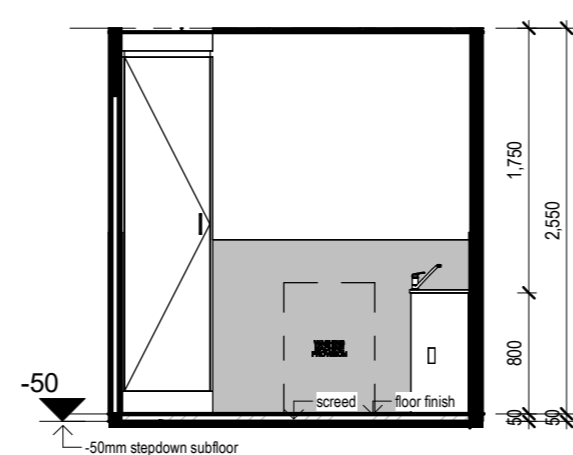
BATH - D
1 : 50



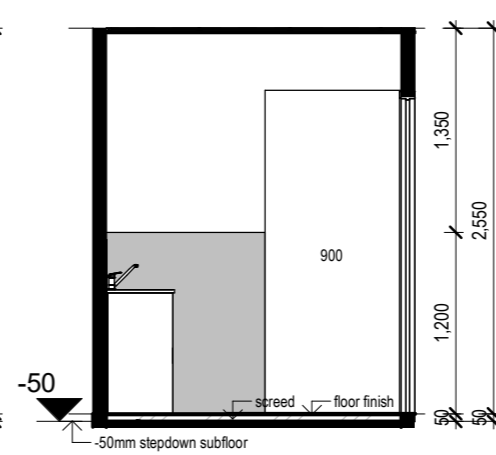
LAYOUT - L'DRY
1 : 50



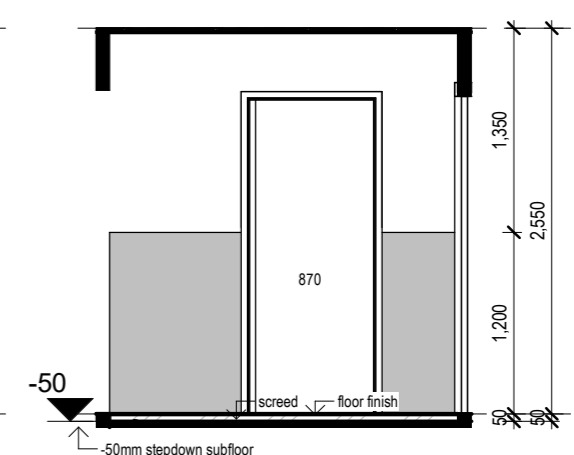
L'DRY - A
1 : 50



L'DRY - B
1 : 50



L'DRY - C
1 : 50



L'DRY - D
1 : 50

GENERAL NOTES:
- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
- WINDOWS DIMENSIONED AS HEIGHT X WIDTH
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

- BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DO NOT SCALE FROM PLAN
- ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
- TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
- ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:
PROPOSED DUAL OCCUPANCY
ISSUE / DATE:
CERTIFIED ISSUE
TUESDAY, 05
NOVEMBER 2024

CLIENT:
DC HOUSE TEAM
SITE ADDRESS:
25 Amy St, Gracemere, QLD 4702

DRAWING TITLE:
CABINETRY DETAIL 1
SCALE:
As indicated A3

JOB NO:
J2070
SHEET NO:
14
DRAWN BY:
KA
CHECKED BY:
KA

DESIGN: