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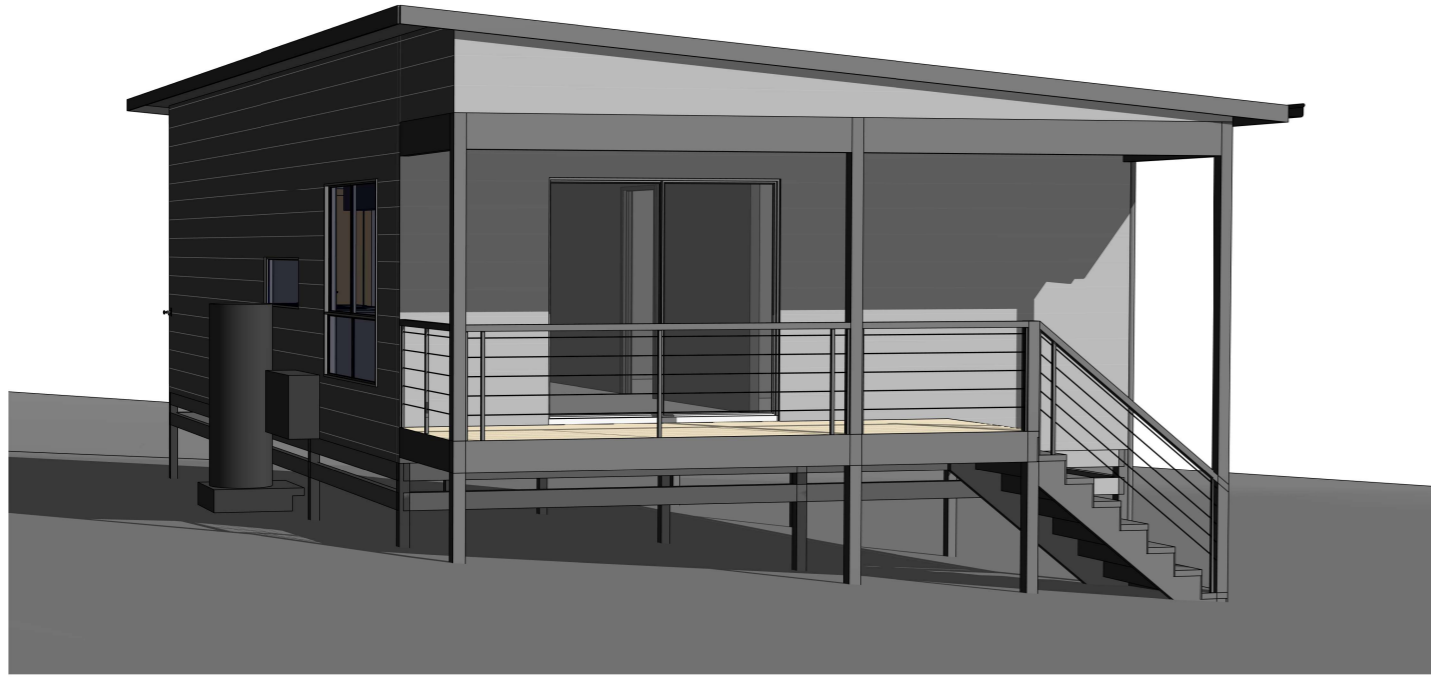
ROCKHAMPTON REGIONAL COUNCIL

APPROVED PLANS

These plans are approved subject to the current conditions of approval associated with

Development Permit No.: D/146-2024

Dated: 31 January 2025



3D View 1 - PROPOSED GRANNY FLAT



3D View 2 - PROPOSED GRANNY FLAT

Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary



PREPARED FOR EXCLUSIVE USE FOR DC HOUSE
 Ph 07 5635 8990 team@dchouse.com.au
 23-25 Prosper Crescent Burleigh Heads 4220
 QBCC LIC 1310310
 ACN 640 265 974 ABN 19 604 265 974
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GENERAL NOTES:
 - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
 - WINDOWS DIMENSIONED AS HEIGHT X WIDTH
 - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

- BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DO NOT SCALE FROM PLAN
- ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY
- TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)
- ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:
CERTIFICATION ISSUE WEDNESDAY, 11 SEPTEMBER 2024

CLIENT:
DC HOUSE TEAM

SITE ADDRESS:
 3 Lanigan St, Wandal, QLD 4700

DRAWING TITLE:
PERSPECTIVE

SCALE:
 A3

JOB NO:
J1442

SHEET NO:
01

DRAWN BY:
 KA

CHECKED BY:
 KA

DESIGN:
DCH 8

GENERAL NOTES

THIS GENERAL NOTES PAGE REFERS TO CLASS 1 AND 10 BUILDINGS, AND CLASS 2 (BUT IS NOT LIMITED TO) UNDER THE NATIONAL CONSTRUCTION CODE (NCC) 2019. ALL BUILDING WORKS SHALL COMPLY BUT NOT LIMITED TO THE REQUIREMENTS OF THE NCC, THE QUEENSLAND DEVELOPMENT CODE (QDC), THE LOCAL AUTHORITY AND

THE RELEVANT AUSTRALIAN STANDARDS LISTED BELOW. AUSTRALIAN STANDARDS LISTED BELOW APPLY TO ALL BUILDING CLASSES.

DO NOT SCALE FROM PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE IN MILLIMETRES. THE BUILDER & SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF BUILDING WORKS AND ORDERING MATERIALS, AND ARE TO BE

RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE ABOVE MENTIONED PROVISIONS AND REGULATIONS. NOTE SOME PARTS MAY NOT BE RELEVANT TO THIS JOB.

AUSTRALIAN STANDARDS

AS2870 - 2011 RESIDENTIAL SLAB AND FOOTING CONSTRUCTION

AS3660 - 2000 & 2004 BARRIERS FOR SUBTERANNEAN TERMITES

AS3600 - 2009 CONCRETE STRUCTURES & AS4671 - 2001 REINFORCING STEEL IN CONCRETE AND MASONRY

AS3700 - 2011 MASONRY IN BUILDINGS

AS1684 - 2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION 1 & 2 STOREYS / AS1720 - 2010 FOR ALL OTHER TIMBER FRAME STRUCTURES

AS4055 - 1992 WIND LOADINGS FOR HOUSING

AS4100 - 1996 STEEL STRUCTURES

AS2904 - 1995 DAMP PROOF COURSES & FLASHINGS

AS1562 - 1992 INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING

AS2050 - 1995 INSTALLATION OF ROOF TILES

AS3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS1657 - 2013 - STAIRS, LADDERS & PLATFORMS

AS1859 - 2004 - RECONSTITUTED WOOD BASED PANELS / WET PROCESSED FIBRE BOARD

AS2047 - 2014 - WINDOWS IN BUILDING - SELECTION AND INSTALLATION / AS4505 - 2012 GARAGE DOORS & LARGE ACCESS DOORS

AS1276 - 1999 - ACOUSTICS & RATING OF SOUND INSULATION IN BUILDINGS

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. FOR SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEER'S SOIL TEST.
- ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AS3660.1/2004 (A) & (B) AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS 3600.1/2009.
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: ALL ROOMS WITHIN 500mm VERTICAL OFF THE FLOOR, BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE, FULLY GLAZED DOORS, SHOWER SCREENS, WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL.
- WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITHIN MANUFACTURER, FLASHING ALL AROUND.
- ALL GUTTERS TO BE STRAMIT QUEENSLANDER QUAD GUTTERING WITH MIN. 100 X 75 RECTANGULAR OR 100 dia. DOWNPIPES TO SERVICE A MAX. 36m2OF ROOF AREA, IN ACCORDANCE WITH AS3500.2003, THE NCC VOL 2. PART 3.1.2 & 3.5.2, AND THE QDC PART NMP 1.8.
- STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT LOCAL AUTHORITY.
- FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENCED SURVEYOR.
- TILED DECKS OVER LIVEABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUFACTURERS SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.
- ALL WET AREAS TO COMPLY WITH NCC VOL 2. PART 3.8.1 AND AS3740 - 2010. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF WALL.
- FOR BRICK VENEER CONSTRUCTION PROVIDE BRICK TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS.
- SUB-FLOOR VENTILATION MIN. 7500mm2 FOR EXTERNAL WALLS AND 1500mm2 FOR INTERNAL WALLS BELOW BEARER.
- THERMAL INSULATION TO BE MINIMUM R3.0 BATTS TO CEILING AND R1.5 BATTS TO WALLS AND R1.0 REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING. REFER AS4859 - 2009.
- STAIR REQUIREMENTS: MINIMUM TREAD GOING 240mm AND MAXIMUM 355mm, MINIMUM RISER 115mm AND MAXIMUM 190mm. SLOPE RELATIONSHIP IS 2R + G = 550mm - 700mm. SPACE BETWEEN OPEN TREADS TO BE MAXIMUM 125mm. STAIRS MUST NOT BE MORE THAN 18 RISERS IN ONE FLIGHT OR LESS THAN 2 RISERS. LANDINGS TO BE NOT LESS THAN 750mm. STAIRS TO COMPLY WITH NCC VOL 2 PART 3.9.1. AND AS 1657.2013.
- BALLUSTRADING TO BE MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL WITH A MAX OPENING OF 125mm AND IN ACCORDANCE WITH NCC VOL 2 PART 3.9.2. FOR STAINLESS STEEL BALLUSTRADING REFER TABLE 3.9.2.1. OF THE NCC VOL 2.
- PROVIDE LIFT OFF HINGES TO W.C. OR OPEN OUT OR MINIMUM 1200mm CLEARANCE FROM DOOR TO PAN.
- EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AIR OR TO A VENTED ROOF SPACE AND AS PER AS1668.2
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF THE EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE AUTHOR.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED. IT IS HIGHLY RECOMMENDED FOR ALL EXISTING ENTRY/EXIT DOOR FURNITURE TO BE ADDRESSED FOR FIRE SAFETY
- ALL CLADDING SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS - MANUFACTURERS SPECS. SUPERSEDE THIS DOCUMENTATION SPECS.

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AS1288 - 2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION

AS3786 - 1993 & 2004 - SMOKE ALARMS

AS1530 - 2007 FIRE TEST FOR ALL BUILDING MATERIALS

AS3000 - 2003 ELECTRICAL WIRING

AS3500 - 2003 & 2012 - PLUMBING & DRAINAGE

AS5601 SET 2010 - INSTALLATION OF GAS

AS1576.1 - 2010 SCAFFOLDING GENERAL REQUIREMENTS

AS4994 - 2009 TEMPORARY ROOF EDGE PROTECTION INSTALLATION

AS4859 - 2009 MATERIALS FOR THE THERMAL INSULATION OF A BUILDING

AS2589 - 2007 GYPSUM LINING - PLASTERING APPLICATION

AS3958 - 2007 INSTALLATION OF CERAMIC TILING

AS3959 - 2009 - BUILDING IN BUSHFIRE PRONE AREAS

AS4654 - 2012 - WATERPROOFING MEMBRANES FOR ABOVE GROUND EXTERNAL USE

AS1668 - 2012 - AIR CONDITIONING & MECHANICAL VENTILATION / AS4254 2012 DUCTWORK

AS1926 - 2012, 2007, 2010 - SWIMMING POOL SAFETY / BARRIERS

AS4072 - 2005 - FIRE RESISTANT SEPERATING ELEMENTS

LEGEND

NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE)
QDC	QUEENSLAND DEVELOPMENT CODE
AS	AUSTRALIAN STANDARDS
AHD	AUSTRALIAN HEIGHT DATUM
FW	FLOOR WASTE
DP	DOWNPIPE
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW
LW	LOUVRE WINDOW
FG	FIXED GLASS
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
SH	SINGLE HUNG WINDOW
WC	WATER CLOSET
WIR	WALK IN ROBE
LB	LOAD BEARING
GL	GROUND LEVEL
FL / MFL	FLOOR LEVEL / MAIN FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
FRF	FIRE RATED DOOR FURNITURE

SITE PLAN & DRAINAGE NOTES

- ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH THE NCC VOL 2. PARTS 3.1.2 & 3.5.2, AS3500.2003 AND QDC NMP1.8.
- ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PITS TO THE LOCAL AUTHORITY REQUIREMENTS.
- THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING AND SURFACE WATER TO BE CHANNELED TO COUNCIL STORMWATER DRAINAGE SYSTEM.
- THE HEIGHT OF THE OVERFLOW RELIEF GULLY RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.
- ROOFWATER DOWNPIPES TO CONNECT TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER PVC.
- STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:80, DISCHARGE TO COMPLY WITH THE LOCAL AUTHORITY REGULATION.
- 2 DOWNPIPES MAXIMUM TO EACH 100mm STORMWATER PIPE, SURFACE PIPES TO BE 100mm IN DIAMETER, ANY UNDERSLAB PIPING TO HAVE AN INSPECTION OPENING AT UPPER END AND IS TO BE 100mm SEWER GRADE PIPING WITH NO JOINS UNDER SLAB.
- LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
- VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
- ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS1926.2007.

FLOOR PLAN NOTES

- THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
- WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE.
- 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STAR WELS RATING. PROVIDE LIFT OFF HINGES TO TOILET DOOR.
- ROBE SHELVES AT 1700mm ABOVE FLOOR WITH RAIL UNDER, WALK IN ROBES AT 1800mm / 2100 FOR DOUBLE RAIL. LINEN, PANTRY AND STORES TO HAVE 4 NUMBERS OF SHELVES BROOM CUPBOARDS SHELF AT 1600mm.
- ALL HANDRAILS TO BE FINISHED AT 1050mm ABOVE FINISHED FLOOR LEVEL.
- PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO RANGEHOOD SPACE & GARAGE DOOR MOTOR. PROVIDE GPO TO FRIDGE SPACE.
- 70mm WALL FRAMES TO HAVE R2.0 WALL BATTS & 90mm FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.5 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 CEILING BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
- DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
- DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

SUSTAINABILITY NOTES

- WATER SAVINGS TARGETS - CLASS 1 BUILDINGS SUPPLIED DIRECTLY WITH WATER FROM THE RETICULATED TOWN WATER SYSTEM MUST ACHIEVE WATER SAVINGS TARGETS OF 70KL PER YEAR FOR NEW DETACHED HOUSES AND 42KL PER YEAR FOR OTHER NEW CLASS 1 DWELLINGS.
- MINIMUM 4 STAR WELS RATING TAPS ARE TO BE USED INTERNALLY FOR ALL BATHROOM AND KITCHEN TAPS AND ALL WHITEGOODS. TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM 4 STAR WELS RATING. SHOWER HEADS ARE TO BE A MINIMUM OF 3 STAR WELS RATING.
- ENERGY EFFICIENCY TO QDC PART 4.1 AND NCC VOL 2. PART 3.12.
- GAS SYSTEM TO BE MINIMUM 5 STAR AGA ENERGY RATING (SUPPLY FROM RETICULATED NATURAL GAS OR LPG BOTTLES).

PREPARED FOR EXCLUSIVE USE FOR DC HOUSE

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2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE

3. DO NOT SCALE FROM PLAN

4. ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY

5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B)

6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

JOB DESCRIPTION:

PROPOSED DUAL OCCUPANCY

CLIENT:

DC HOUSE TEAM

ISSUE / DATE:

CERTIFICATION ISSUE WEDNESDAY,11 SEPTEMBER 2024

REVISION:

REVISION A

REVISION B

SITE ADDRESS:

3 Lanigan St, Wandal, QLD 4700

DRAWING TITLE:

GENERAL NOTES

SCALE:

A3

JOB NO:

J1442

SHEET NO:

02

DRAWN BY:

KA

CHECKED BY:

KA

DESIGN:

DCH 8

GENERAL NOTES

H1 - STRUCTURE

SITE PREPARATION

-All earthworks will be carried out in accordance with H1D3 of the NCC 2022 or in accordance with Parts 3.2 & 4.22 of the ABCB Housing Provisions

FRAMING - GENERAL

- All framing will be carried out in accordance with H1D6 of the NCC 2022
- Steel framing will be designed and constructed in accordance with H1D6 of the NCC 2022 and will comply with
 - A. Residential and low-rise steel framing: NASH Standard 'Residential and Low-Rise Steel Framing' Part 1 or Part 2.
 - B. AS 4100 - Steel Structures.
 - C. AS/NZS 4600 - Cold-formed steel structures.
- Timber framing will be designed and constructed in accordance with the following as per the NCC H1D6;
 - A. Design of timber structures; AS 1720.1
 - B. Design of nailplated timber roof trusses: AS 1720.5
 - C. Residential timber-framed construction -non-cyclonic areas: AS1684.2 or AS 1684.4
 - D. Residential timber-framed construction - cyclonic areas: AS 1684.3
 - E. Installation of particleboard flooring: AS 1860.2
- Structural steel members will be designed and constructed in accordance with the following as per the NCC H1D6;
 - A. Steel structures: AS 4100.
 - B. Cold-formed steel structures: AS/NZS 4600
 - C. For structural stability, strength and deflection, and subject to (6), Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022
 - D. For corrosion protection, clause 6.3.9 of Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022

ROOF CLADDING

- Roof Cladding will be carried out in accordance with H1D7 of the NCC 2022
 - A. Metal roofing; AS 1562.1; and with Figure 2.2.3 in Section 2 of the ABCB Housing Provisions (cyclonic areas)
 - B. Plastic sheet roofing: AS 1562.3
 - C. Metal sheet roofing: Part 7.2 of the ABCB Housing Provisions, provided the building is located in an area with a wind class of not more than N3.
 - D. Terracotta, fiber-cement and timber slates and shingles: AS 4597
 - E. Roof tiles: AS 2050; or Part 7.3 of the ABCB Housing Provisions as outlined in H1D7 of the NCC 2022

WALL CLADDING

- Timber and composite wall cladding will be carried out in accordance with H1D7 of the NCC 2022
 - A. Autoclaved aerated concrete wall cladding, AS 5146.1; or
 - B. Wall cladding, part 7.5 of the ABCB Housing Provisions
- Metal wall cladding will be designed and constructed in accordance with AS 1562.1

GLAZING

-Glazing and windows, glazed assemblies, glazed assemblies at risk of human impact will be designed and constructed in accordance with H1D8 of the NCC 2022 and will comply with AS 2047; AS 4055; AS 1288 and/or comply with Part 8.4 of the ABCB Housing Provisions as specifically outlined under H1D8 of the NCC 2022

EARTQUAKE AREAS

-Class 1 and 10 buildings constructed in areas subject to seismic activity is satisfied if the building is constructed in accordance with Section 2 of the ABCB Housing Provisions 2022 as outlined under H1D9 of the NCC 2022

FLOOD HAZARD AREAS

-Class 1 building constructed in a flood hazard area is satisfied if the building is constructed in accordance with the ABCB Standard for Construction of Buildings in Floor Hazard Areas as outlined under H1D10 of the NCC 2022

ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE

-The attachment of a deck or balcony to an external wall will be designed and constructed in accordance with Part 12.3 of the ABCB Housing Provisions as outlined under H1D11 of the NCC 2022

PILED FOOTINGS

-Piled footings are to be designed and installed in accordance with H1D12 of the NCC 2022 & AS 2159

H2 - DAMP & WEATHERPROOFING

DRAINAGE

-All drainage works will be carried out in accordance with H2D2 of the NCC 2022 and will comply with AS/NZS 3500.5 or in accordance with Parts 3.3 of the ABCB Housing Provisions as outlined under H2D2 of the NCC 2022

FOOTINGS AND SLABS

-Footings and slabs will be designed and installed in accordance with H2D3 of the NCC 2022

ROOF AND WALL CLADDING

-Gutters & Downpipes will be carried out in accordance with H2D6 of the NCC 2022 and comply with AS/NZS 3500.3; or, Part 7.4 of the ABCB Housing Provisions as outlined in accordance with H2D6 of the NCC 2022

GLAZING

-Weatherproofing Glazing will be carried out in accordance with H2D7 of the NCC 2022 & in accordance with H2D8 of the NCC 2022

H3 - FIRE SAFETY

FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS

- The following materials may be used wherever a non combustible material is required as outlined under H3D2 of the NCC 2022
- Plasterboard, Perforated Gypsum Lath with normal paper finish, Fibrous-plaster sheed, Fibre reinforced cement sheeting, Pre-finished metal sheeting(as outlined), Sarking-type materials & Bonded laminated materials (as outlined).
- Fire hazard properties for Class 1 Building, including floor or ceiling spaces common with Class 10 buildings will be carried out in accordance with H3D2 of the NCC 2022.

FIRE SEPARATION OF EXTERNAL WALLS

-Fire separation of the external walls will be carried out in accordance with Part 9.2 of the ABCB Housing Provisions as outlined under H3D3 of the NCC 2022

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

-Fire protection of separation walls and floors will be carried out in accordance with Part 9.3 of the ABCB Housing Provisions as outlined under H3D4 of the NCC 2022

SMOKE ALARMS AND EVACUATION LIGHTING

- Smoke alarms and evacuation lighting will be carried out in accordance with Part 9.5 of the ABCB Housing Provisions as outlined under H3D6 of the NCC 2022
- A Class 1 building includes a Class 10, a private garage located above or below will be carried out in accordance with H3D6 of the NCC 2022

H4 - AMENITY

WET AREAS

-Wet areas will be designed and constructed in accordance with AS370; or Parts 10.2 of the ABCB Housing Provisions as outlined under H4D2 of the NCC 2022

MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS

-Materials will be designed and constructed in accordance with AS370; or, relevant parts under 10.2 of the ABCB Housing Provisions as outlined under H4D3 of the NCC 2022

ROOM HEIGHTS

-Room heights will be designed and constructed in accordance with Parts 10.3 of the ABCB Housing Provisions as outlined under H4D4 of the NCC 2022

LIGHT

-Lighting will be designed and constructed in with Parts 10.5 of the ABCB Housing Provisions as outlined under H4D6 of the NCC 2022

VENTILATION

-Room heights will be designed and constructed in accordance with H4D7 of the NCC 202 & Parts 10.6 of the ABCB Housing Provisions as outlined under H4D7 of the NCC 2022

SOUND INSULATION

-Sound insulation will be designed and constructed in accordance with Part 10.7 of the ABCB Housing Provisions as outlined under H4D8 of the NCC 2022

H5 - SAFE MOVEMENT AND ACCESS

STAIRWAY AND RAMP CONSTRUCTION

-Stairway and ramps will be designed and constructed in accordance with Parts 11.2 of the ABCB Housing Provisions as outlined under H5D2 of the NCC 2022

BARRIERS AND HANDRAILS

-Barriers and handrails will be designed and constructed in accordance with Parts 11.3 of the ABCB Housing Provisions as outlined under H5D3 of the NCC 2022

H8 - LIVABLE HOUSING DESIGN

LIVABLE HOUSING DESIGN

- Class 1a dwellings will be designed and constructed in accordance with the ABCB Standard for Livable Housing Design as outlined under H8D2 of the NCC 2022

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Dated: 31 January 2025

 <p>PREPARED FOR EXCLUSIVE USE FOR DC HOUSE Ph 07 5635 8990 team@dchouse.com.au 23-25 Prosper Crescent Burleigh Heads 4220 QBCC LIC 1310310 ACN 640 265 974 ABN 19 604 265 974</p> <p>© 2023 REPRODUCTION IN PART OR WHOLE IS STRICTLY FORBIDDEN</p>	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> - REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY - WINDOWS DIMENSIONED AS HEIGHT X WIDTH - DOORS AND CUPBOARDS DIMENSIONED AS WIDTH 	<ol style="list-style-type: none"> BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DO NOT SCALE FROM PLAN ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF THE LOCAL AUTHORITY TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600. 1/2009 (A)&(B) ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS. 	<p>JOB DESCRIPTION: PROPOSED DUAL OCCUPANCY</p>	<p>CLIENT: DC HOUSE TEAM</p>	<p>DRAWING TITLE: GENERAL NOTES</p>	<p>JOB NO: J1442</p>	<p>DESIGN: DCH 8</p>
			<p>ISSUE / DATE: CERTIFICATION ISSUE WEDNESDAY, 11 SEPTEMBER 2024</p>	<p>REVISION: REVISION A REVISION B</p>	<p>SITE ADDRESS: 3 Lanigan St, Wandal, QLD 4700</p>	<p>SCALE: A3</p>	

SITE GENERAL NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.
6. IT IS RECOMMENDED TO OBTAIN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO COMMENCEMENT OF WORK.
7. SEWER TO HOUSE CONNECTION AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, SUBJECT TO SURVEY OR SERVICE LOCATION

SITE PREPARATION & DRAINAGE NOTES:

1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSF TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER NCC VOL 2. PART 3.2.
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO NCC VOL 2. PART 3.5.2.
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTISING STRUCTURAL ENGINEER (RPEQ).

TERMITE PROTECTION:

1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2004 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

REAL PROPERTY DESCRIPTION

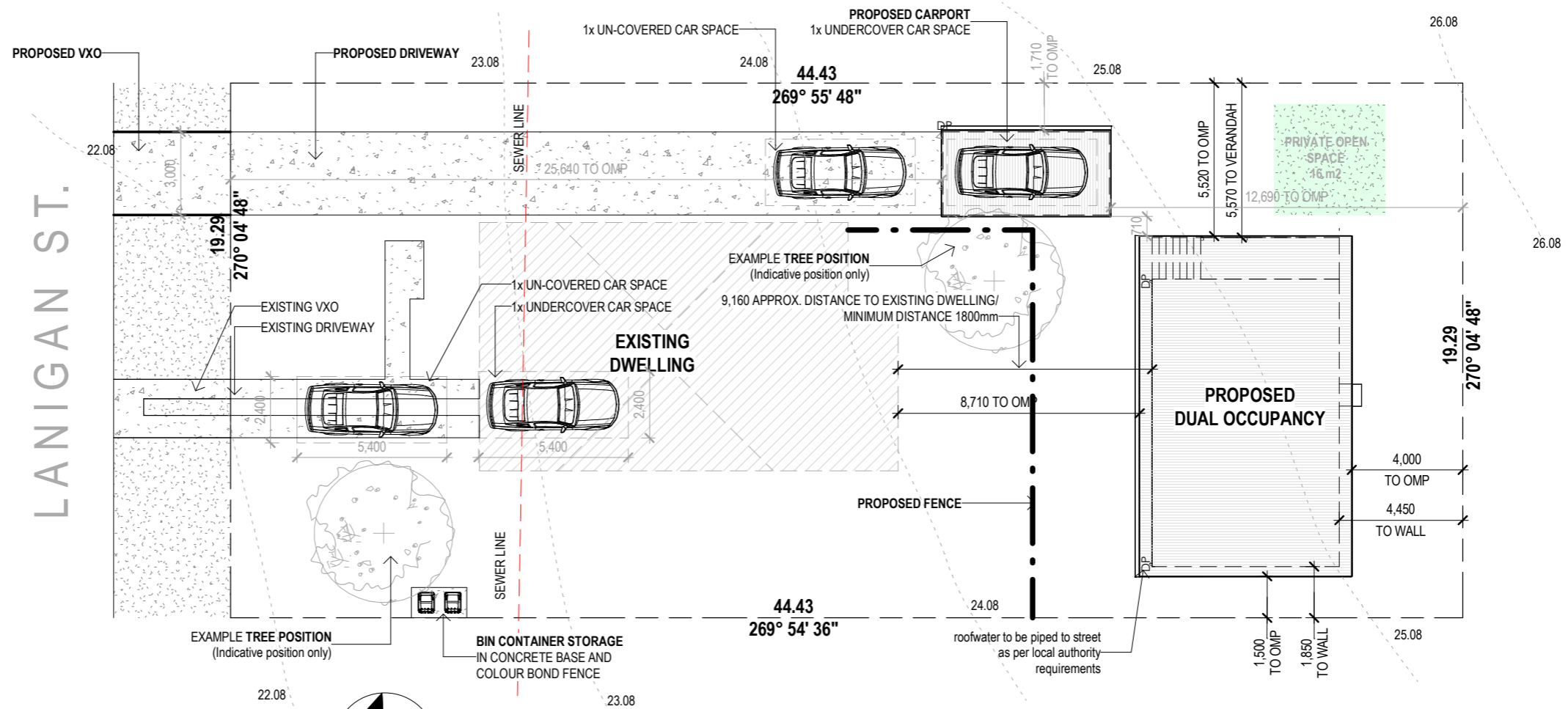
ADDRESS: 3 Lanigan St, Wandal, QLD 4700
 SITE AREA: 854.86m²
 LOT NUMBER: 11
 PLAN NUMBER: RP600739
 PARISH:
 COUNTY: Rockhampton City Council
 LOCAL AUTHORITY: 175m²
 BUILDING AREA: 20%
 SITE COVERAGE:

SURVEYING NOTE

CONTOUR / DETAIL SURVEY / LEVELS NOT PROVIDED BY OWNER.
 IT IS RECOMMENDED TO CARRY OUT A DETAIL SURVEY PRIOR TO FINALISING DESIGN, AND ANY DISCREPANCIES RESOLVE WITH THIS OFFICE.
 IT IS THE BUILDER'S RESPONSIBILITY TO CONDUCT AN IDENTIFICATION SURVEY AND SEWER LOCATION PRIOR TO CONSTRUCTION

DUAL OCCUPANCY NOTES

- car parking spaces to comply with AS2890.1 - 2 covered and 2 uncovered
- setbacks in accordance with QDC MP1.3
- prior to construction builder to locate sewer line and ensure footing setback is 1200mm minimum from sewer, clearance above sewer connection 2500mm minimum -
- to comply with QDC part MP1.4
- any alteration to existing vehicular crossovers to comply with the local authority requirements

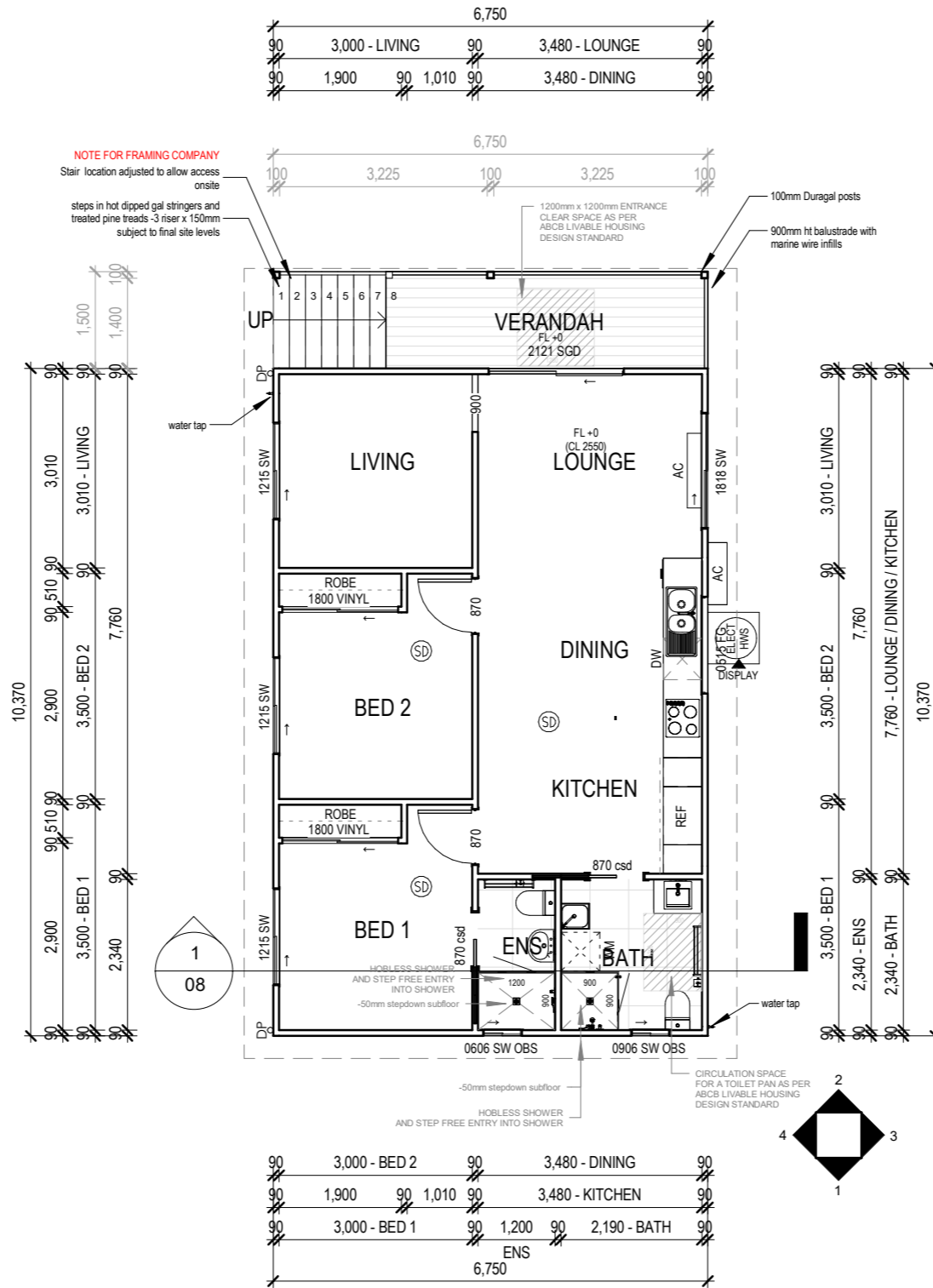


1 Site Plan
 1 : 200

ROCKHAMPTON REGIONAL COUNCIL
APPROVED PLANS
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FLOOR PLAN NOTES

- SOME PARTS MAY NOT BE RELEVANT TO THIS JOB
- DO NOT SCALE FROM PLAN & DO NOT SCALE WINDOW & DOOR LOCATIONS FROM PLAN. IF IN DOUBT CONTACT THE DESIGNER OR BUILDER.
 - THE DEVELOPMENT WILL COMPLY WITH THE LOCAL ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE AREA AS REQUIRED.
 - WINDOW OPENING SIZES ARE TO BE CHECKED PRIOR TO MANUFACTURE. CONTACT THIS OFFICE IF IN DOUBT OF WINDOW POSITION.
 - ALL NEW OR REPLACED WINDOWS ARE DIMENSIONED, EXISTING UNCHANGED WINDOWS ARE LEFT UN-DIMENSIONED.
 - 4 STAR WELS RATING TAPS AND FITTINGS ARE TO BE USED FOR KITCHEN, BATHROOMS AND LAUNDRY.
 - TOILETS ARE TO BE DUAL FLUSH WITH A MINIMUM WELS RATING OF 4 STARS. SHOWER HEAD TO BE MINIMUM 3 STARS WELS RATING.
 - PROVIDE LIFT OFF HINGES TO TOILET DOOR.
 - ROBE SHELVES AT 1700MM ABOVE FLOOR WITH RAIL UNDER. WALK IN ROBES AT 1800MM / 2100 FOR DOUBLE RAIL LINEN, PANTRY AND STORES TO HAVE A 4 NUMBERS OF SHELVES. BROOM CUPBOARDS SHELF AT 1600MM.
 - SQ. SET DOOR HAMPERS ARE TO BE SQUARE SET AND 2100MM HEAD HEIGHT OR TO MATCH INTERNAL DOOR HEIGHTS.
 - ALL HANDRAILS TO BE FINISHED AT 1050MM ABOVE FINISHED FLOOR LEVEL.
 - PROVIDE A GPO AND COLD WATER CONNECTION TO DISHWASHER SPACE. PROVIDE GPO TO FRIDGE & RANGEHOOD SPACE.
 - 70MM WALL FRAMES TO HAVE R1.5 WALL BATTS & 90MM FRAMES TO HAVE R2.0 WALL BATTS, FLAT CEILINGS TO HAVE R3.0 CEILING BATTS & PITCHED CEILINGS TO HAVE R4.0 BATTS - INSULATION REQUIREMENTS MAY VARY WITH WALL FINISHES/COLOURS AND SUBJECT TO ENERGY REPORT.
 - DOWNPIPES TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
 - DRAINAGE TO BE IN ACCORDANCE WITH PART 3 OF THE BCA. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.
 - ALL NEW ENTRY DOOR FURNITURE IS TO BE FIRE SAFETY RATED, IT IS HIGHLY RECOMMENDED FOR BUILDER & OWNERS TO ADDRESS EXISTING ENTRY/EXIT DOOR FURNITURE FOR SAFETY RATING.
 - ALL BATHROOMS TO HAVE FLOOR WASTES IN ACCORDANCE WITH AS3740 OR SHOWERS TO HAVE MINIMUM 900MM WIDE PANEL.
 - STRUCTURES WITHIN 100 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL ROOF SHEETING OR EQUIVALENT, AND WITHIN 100 - 200 METRES TO HAVE COLORBOND ULTRA OR EQUIVALENT. METAL WALL CLADDING WITHIN 500 METRES OF OCEAN TO HAVE COLORBOND STAINLESS STEEL OR EQUIVALENT, AND WITHIN 500 METRES TO 1KM TO HAVE COLORBOND ULTRA.
 - FLOOR WASTES TO BATHROOMS TO AS3740, OR SHOWERS TO HAVE MINIMUM 900MM GLASS PANEL OR TILED WALL FRAME



1 Ground Floor Plan
1 : 100

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WALL & CEILING INSULATION
R.20 BATTS TO EXTERNAL WALL 70 & 90MM FRAMES
R3.0 BATTS TO CEILING
ALL WALLS AND ROOF FRAME TO HAVE R.10 SISALATION WRAP / R1.0 SLAB INSULATION (OPT.)
WEATHER SEALS TO ALL DOORS & WINDOWS
NOTE: FINAL BUILDING COLOURS MAY EFFECT R-VALUES REFER ENERGY REPORT

WALL CLADDING NOTE
PROVIDE CAVITY BATTEN BETWEEN CLADDING AND FRAME - SEE DETAILS PAGE
ALL CLADDINGS TO BE INSTALLED TO MANUFACTURER SPECIFICATIONS

NOTE:
THRESHOLDS FOR INTERNAL DOOR MUST BE LEVEL OR HAVE A HEIGHT NO MORE THAN 5MM
IF THE LIP IS ROUNDED OR BEVELLED OR BE RAMPED WITH THE DEPTH OF THE DOOR FRAME AND HAVE A GRADIENT 1:8 MAX
NOTE:
KITCHENS ARE FOR VISUAL PURPOSES ONLY
-DECKING BOARDS TO HAVE 8mm MINIMUM GAPS IN BETWEEN BOARDS

FLOOR PLAN LEGEND

(SD)	SMOKE ALARM PHOTOELECTRIC
o-D	DOWNPIPE LOCATION
MH	MANHOLE LOCATION
ELECT HWS DISPLAY	HOT WATER SERVICE
ELECT MB	ELECTRICAL METERBOARD TBD
CJ	VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
NB	SEE GENERAL NOTES FOR ABBREVIATIONS

EST FLOOR AREAS

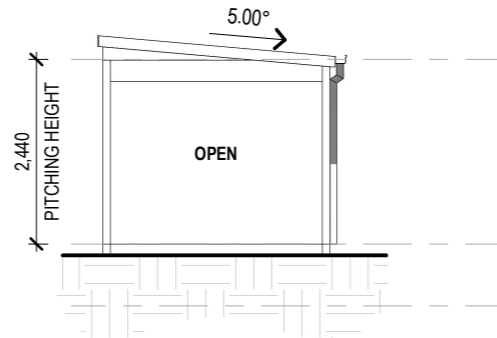
Names	Area m2
Verandah	7.50
GF LIVING	70.00
	77.50

WINDOWS & EXTERNAL DOORS

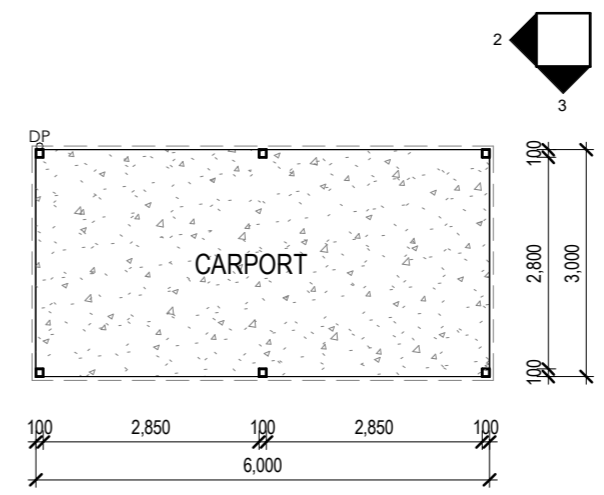
Family and Type	Width	Height	Comments
Fixed: 0515 FG	1500	500	External aluminium window and door frames
SGD 2 Panel: 2121 SGD	2100	2100	External aluminium window and door frames
SW 4 Panel: 1818 SW	1800	1800	External aluminium window and door frames
SW: 0606 SW OBS	600	600	External aluminium window and door frames
SW: 0906 SW OBS	600	900	External aluminium window and door frames
SW: 1215 SW	1500	1200	External aluminium window and door frames

FLOOR PLAN NOTES

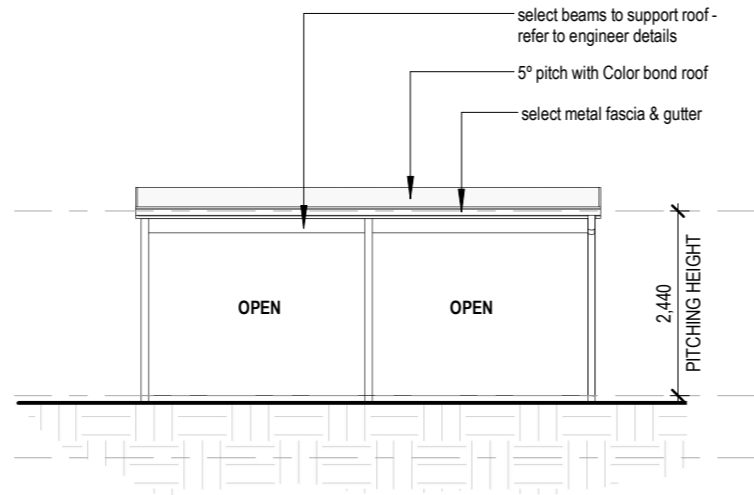
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2 Elevation - A
1 : 100



1 Proposed Carport Plan
1 : 100



3 Elevation - B
1 : 100

WALL & CEILING INSULATION

R.20 BATTS TO EXTERNALL WALL 70 & 900MM FRAMES
R.35 BATTS TO CEILING
ALL WALLS AND ROOF FRAME TO HAVE R.10
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FLOOR PLAN LEGEND

- SMOKE ALARM PHOTOELECTRIC
 - DOWNPIPE LOCATION
 - MANHOLE LOCATION
 - HOT WATER SERVICE
 - ELECTRICAL METERBOARD TBD
 - VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA VOLUME 2 CL. 3.3.1.8
- NB** SEE GENERAL NOTES FOR ABBREVIATIONS

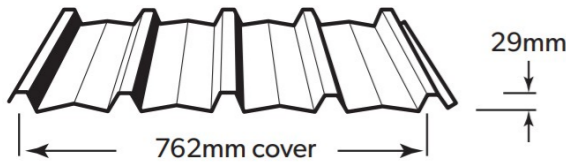
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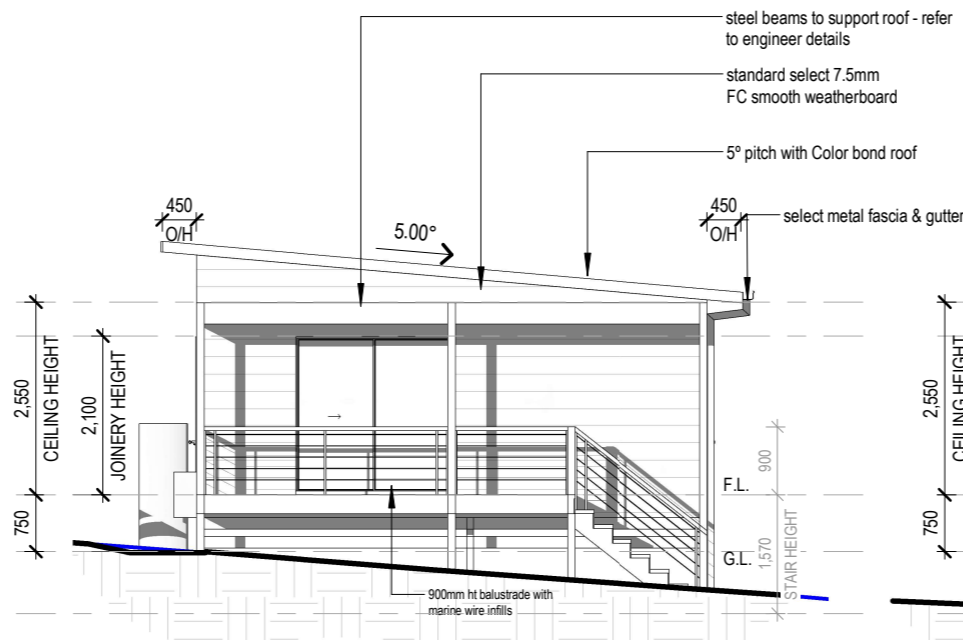
EST EXTERNAL WALLS

Family and Type	Length	Area m2	Function	Comments
Basic Wall: Baseboards	6680	4.01	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Baseboards	10300	6.18	Exterior	150 x 25mm Plinth H4 Treated Pine Sawn Wet 2.4m
Basic Wall: Stud 90mm weatherboard cladding	1500	1.27	Exterior	standard select 7.5mm FC smooth weatherboard
Basic Wall: Stud 90mm weatherboard cladding	6660	40.82	Exterior	standard select 7.5mm FC smooth weatherboard
Basic Wall: Stud 90mm weatherboard cladding	10280	58.26	Exterior	standard select 7.5mm FC smooth weatherboard
Grand total		110.54		

TRIMDEK® cladding has a subtle square-fluted profile, available in long lengths, so on most jobs you can have one sheet from ridge to gutter without end-laps. TRIMDEK® cladding is made of high strength steel and despite its lightness, provides excellent spanning and rainwater carrying capacity. The strength, spanning ability, lightness and rigidity of TRIMDEK® cladding permits wide support spacings to be used with safety.

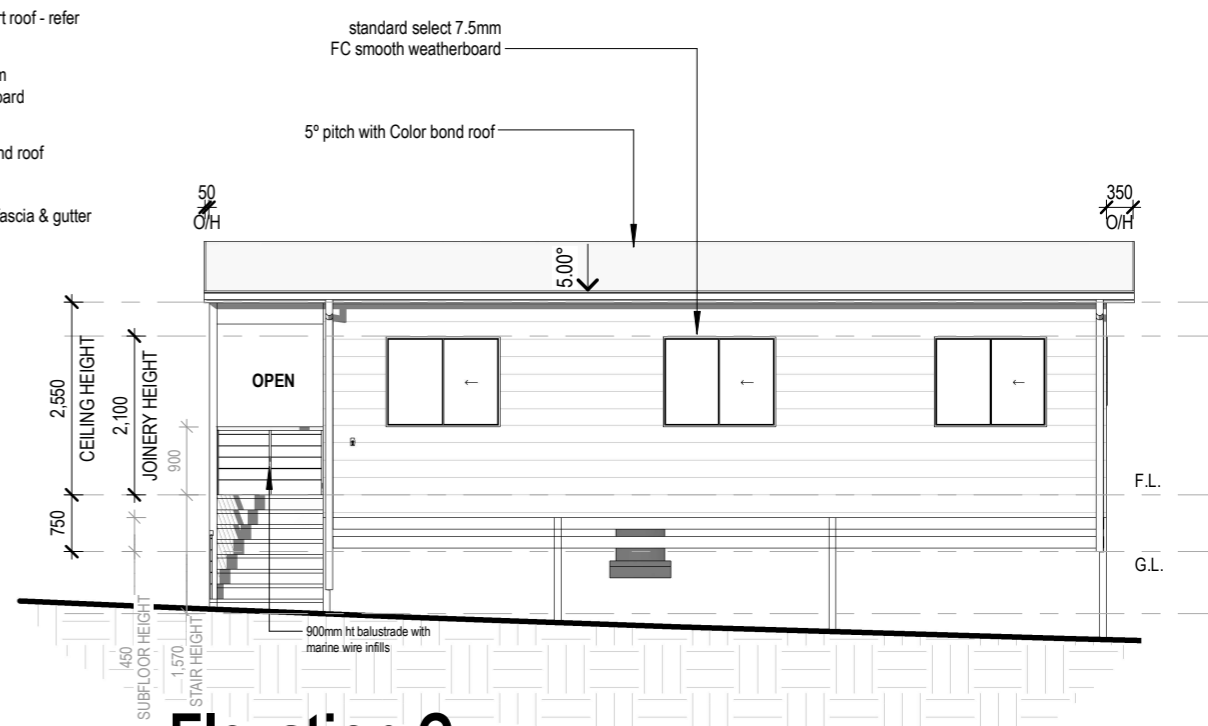


NOTE: WALL CLADDING TO BE CYCLONE RATED



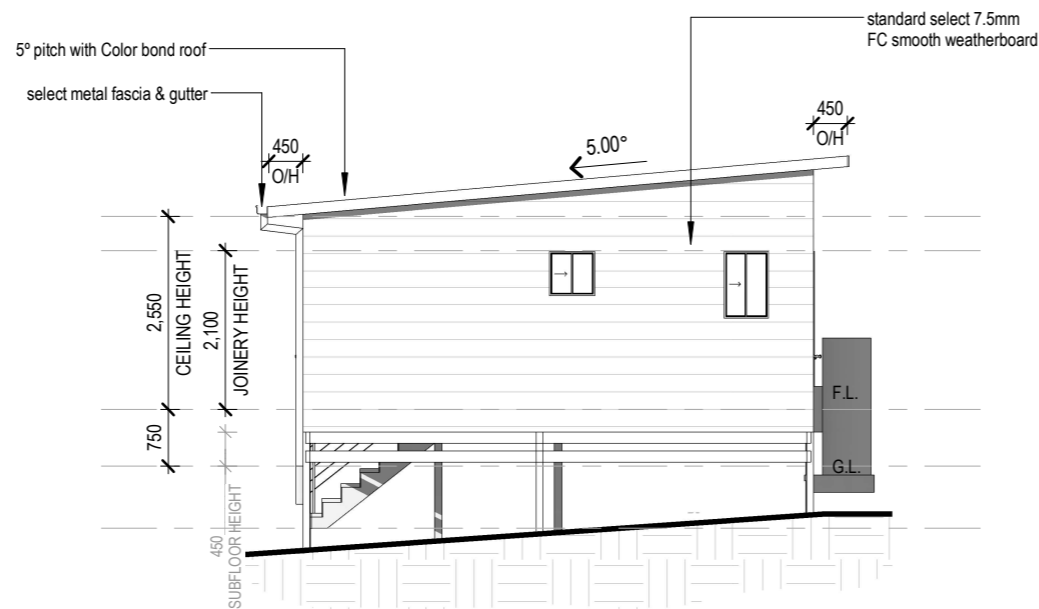
1 Elevation A
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



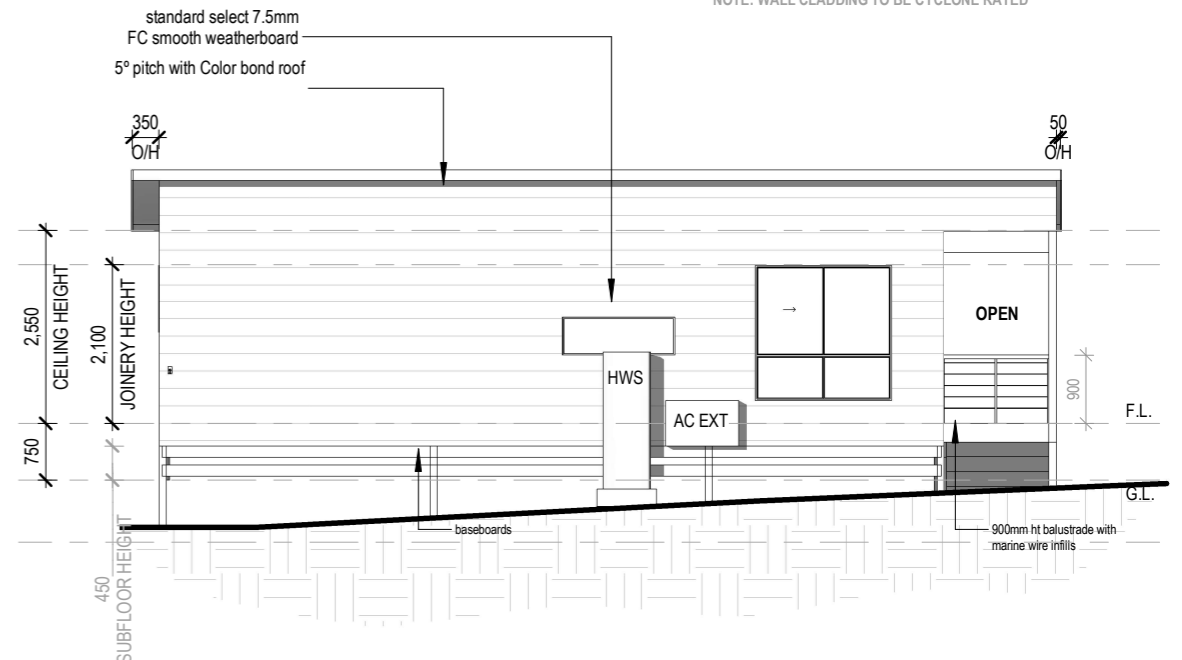
3 Elevation C
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



2 Elevation B
1 : 100

NOTE: WALL CLADDING TO BE CYCLONE RATED



4 Elevation D
1 : 100

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JOB DESCRIPTION:
PROPOSED DUAL OCCUPANCY

ISSUE / DATE:
CERTIFICATION ISSUE
WEDNESDAY, 11
SEPTEMBER 2024

REVISION:
REVISION A
REVISION B

CLIENT:

DC HOUSE TEAM

SITE ADDRESS:

3 Lanigan St, Wandal, QLD 4700

DRAWING TITLE:

ELEVATIONS

SCALE:
1 : 100 A3

JOB NO:

J1442

SHEET NO:

07

DRAWN BY:
KA

CHECKED BY:
KA

DESIGN:

DCH 8