

# 24 Pink Lily Road, Pink Lily 4702

Flood Statement

**ROCKHAMPTON REGIONAL COUNCIL**

**APPROVED PLANS**

These plans are approved subject to the current conditions of approval associated with

**Development Permit No.: D/155-2024**

**Dated: 10 January 2025**

DATE  
20 September 2024

REF  
R002-24-25-004

CLIENT  
Connaire Small

COMMERCIAL IN CONFIDENCE


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### Document Information

Prepared for	Connaire Small
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Revision	A

### Document History

Revision	Date	Description of Revision	Prepared by	Approved by		
				Name	Signature	RPEQ No
A	20/09/2024	Original Issue	T. Lisle	R. Bywater		23569

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# Appendices

- Appendix A: Flood Hazard Overlay Code Responses
- Appendix B: Site Layout & Structure Plans
- Appendix C: Flood Search Report

# 1 Introduction

McMurtrie Consulting Engineers (MCE) have been engaged by Connaire Small to provide a Flood Statement report to support the proposed construction of a structure in the Flood Overlay zone. The site is located at 24 Pink Lily Road, Pink Lily 4702, on land described as Lot 12 on RP604085.

The proposed development includes:

- A 6m x 6m cold-formed steel shed.

# 2 Flooding Assessment

## 2.1 Existing Conditions

The site is a residential lot with a single dwelling located on the northern side of the property.

The site is located within the Flood Hazard Overlay area as defined by the Rockhampton Regional Council (RRC) Planning Scheme. Specifically, the proposed development is affected by the following overlay triggers:

- Fitzroy River Flood, category H5

In order to assess the existing flooding characteristics at the site, a Flood Search was requested from RRC, which has been attached in Appendix C. The results of the flood search have been summarised in Table 1.

Table 1 - Summary of Flood Search Results

	Fitzroy River Flooding		Local Catchment Flooding	
	Max Level (m AHD)	Max Velocity (m/s)	Max Level (m AHD)	Max Velocity (m/s)
<b>1% AEP</b>	11.51	0.82	N/A	N/A
<b>5% AEP</b>	10.61	0.74	N/A	N/A
<b>10% AEP</b>	9.86	0.68	N/A	N/A

Based on the expected ground surface level at the location of the proposed development, 9.00m AHD, the expected range of flooding depths are presented in Table 2.

Table 2 - 1% AEP Flooding Depths

	Fitzroy River Flooding	Local Catchment Flooding
	Max Depth (m)	Max Depth (m)
<b>1% AEP</b>	2.51	N/A



Figure 1 - Site Layout Plan

## 2.2 Flood Impact

The results of the flood search indicate that the riverine flooding event is slow moving, and typically indicative of overbank or backwater flooding. All areas of the site experience significant depths of flooding during the defined flood event, with an expected velocity of 0.82m/s. The structure has been provided with roller doors on opposing sides to allow the free movement of water through the structure during a flooding event. As such no afflux is expected to be generated by a loss of cross-sectional area of flow, and similarly no impacts are expected to the surrounding structures or infrastructure.

With reference to the Australian Disaster Resilience Handbook *Guideline 7-3 Flood Hazard*, the flooding at the location of the proposed development would be categorised as H5 flooding, which indicates it is unsafe for people and vehicles, as well as rendering buildings vulnerable to structural damage. It is suggested that the structure should be designed to accommodate for the structural loading that the flooding will induce.

There is no creek catchment flooding at the site.

## 2.3 Emergency Management Procedure

Given the flooding that affects the site is riverine in nature, significant warning time can be expected due to the size of the basin catchment.

The occupants of the dwelling on the site should monitor the Bureau of Meteorology website prior to and during extended rainfall events in order to ensure they are prepared to evacuate the site if needed. It is expected that evacuation will be via Pink Lily Road. All stored items should be moved to ground that is above the flood zone, as well as the site cleaned of debris that could otherwise impact neighbouring properties.

Following the event, the occupants should wait until given advice from the relevant authorities that it is safe to return to the site.

## 3 Conclusion

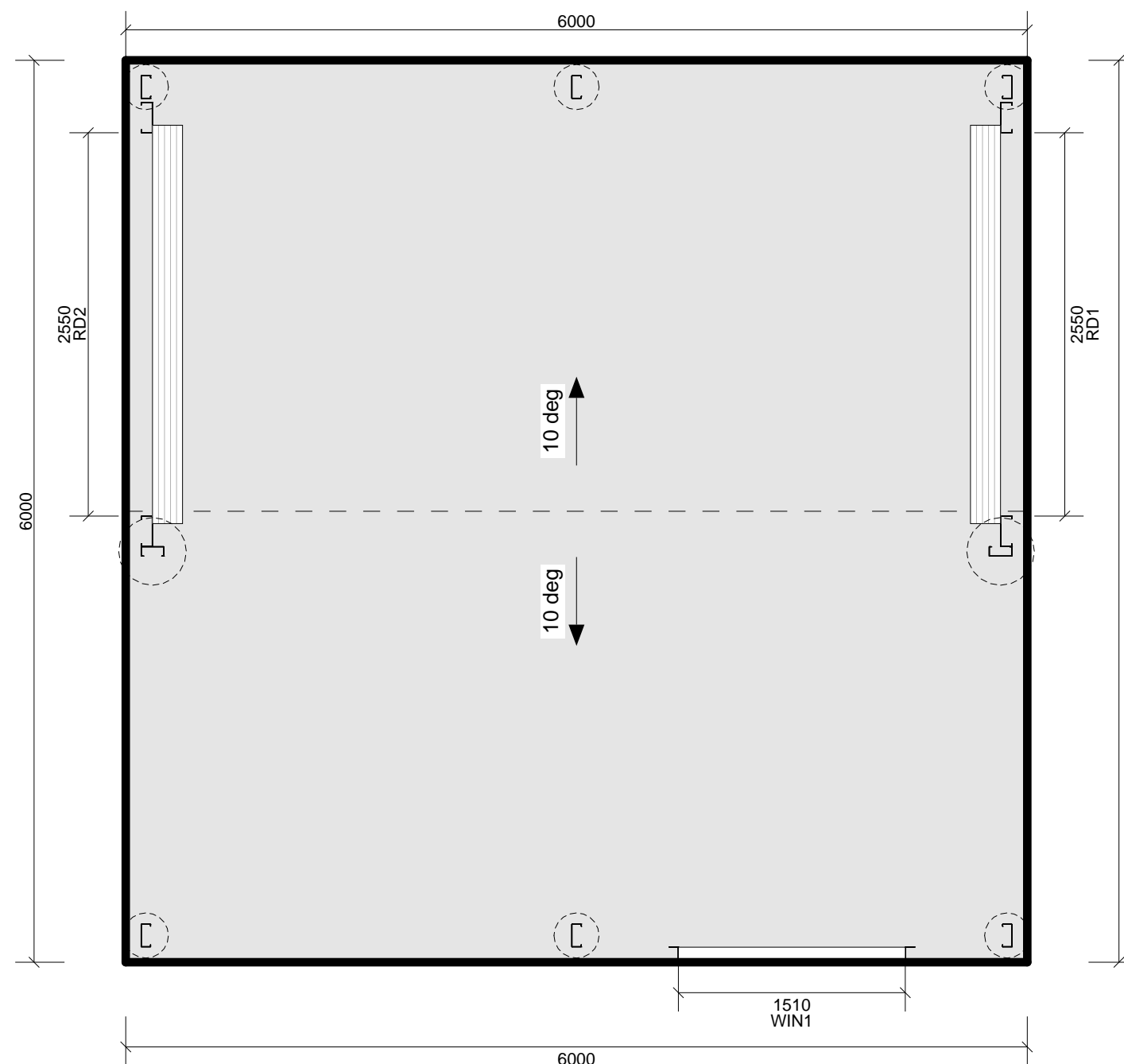
The proposed development is a 6m x 6m shed in the Flood Overlay zone located at 24 Pink Lily Road, Pink Lily 4702, on land described as Lot 12 on RP604085. The development is not expected to result in a material increase in flood level or flood hazard upstream, downstream or adjacent to the site.

### 3.1 Qualifications

This flood statement has been prepared by MCE to support a Building Works Assessable Against the Planning Scheme application, for a proposed structure located within the Flood Hazard Overlay zone.

The analysis and overall approach were specifically catered to the requirement of this project and may not be applicable beyond this scope. For this reason, any other third parties are not authorised to utilise this report without further input and advice from MCE.

OPENING SCHEDULE	
Code	Stock
RD1	2550mm x 2275mm
RD2	2550mm x 2280mm
WIN1	GW900X1510



Scale 1:40

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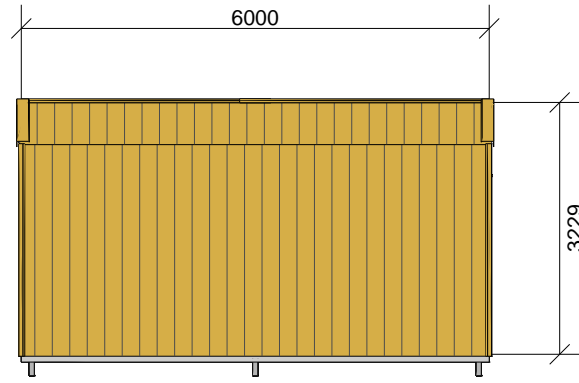
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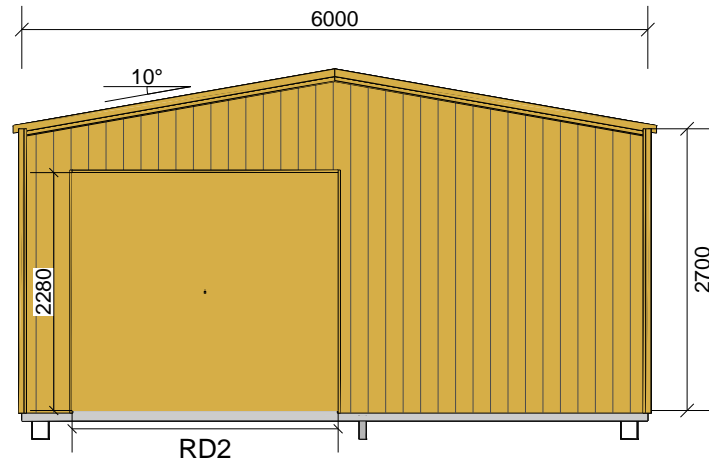
Quote Layout

 <b>BF Sheds and Garages</b> 68 Fitzroy St, Rockhampton City QLD 4700 ABN: 29 120 471 552 QBCC Lic: PH: 07 4927 2249 E: sales@bfsheds.com.au	Project No: <b>-P4392</b>	Site: <b>24 Pink Lily Rd, Pink Lily QLD 4702</b>	Region: <b>C</b>	Date: <b>15/08/2024</b>
	Customer: <b>Connaire Small</b>	LOT: _____ RP/SP: _____	Terrain Cat: <b>2</b>	Sheet <b>1 / 2</b>
	PH: _____	Quote Name: <b>Shed</b>	ULT Wind Speed: <b>50.74</b>	
	MOB: <b>0432263748</b>	Drawing Set: <b>QLYOT1</b>	Servicability: <b>35.26</b>	

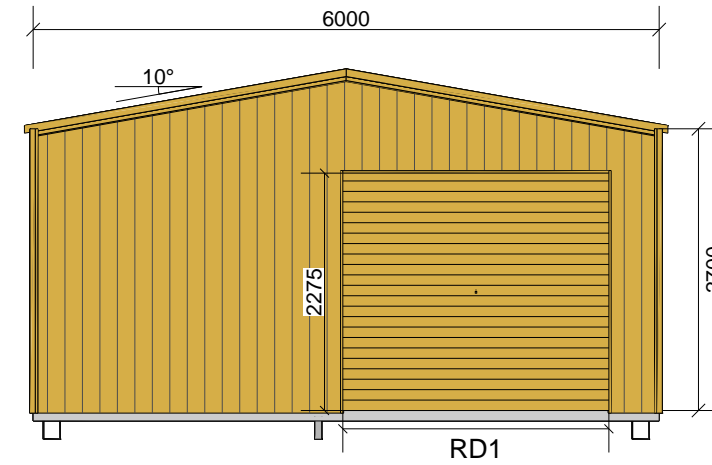
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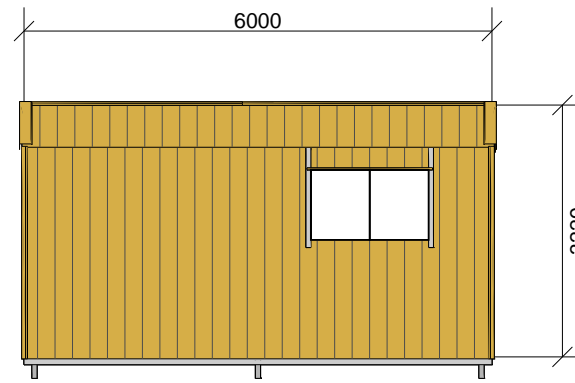
Left



Front



Back



WIN1

Right

Elevation w/cladding

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 Sheet **2 / 2**