

**ADOPTION OF ROCKHAMPTON
REGION PLANNING SCHEME MAJOR
AMENDMENT**

**Proposed Rockhampton Region
Planning Scheme Version 5**

Meeting Date: 11 March 2025

Attachment 2

**Rockhampton Region
Planning Scheme**

Growing a Stronger Future

[Intentionally blank]

Citation and commencement

This planning scheme may be cited as Rockhampton Region Planning Scheme.

A notice was published in the Government Gazette No. 92 on 21 August 2015 for the planning scheme for the Rockhampton Regional Council.

The commencement date for the planning scheme was 24 August 2015.

Amendments to the planning scheme are included at Appendix 2.

Community statement

Our ideal community is safe, friendly and well balanced; supporting community values, sustainable living and active recreation.

Editor's note—The community statement is extrinsic material to the planning scheme.

Strategic vision

“Celebrating and consolidating our strengths, planning for growth and a strong future”

Rockhampton and the surrounding areas have a long history as stable and well settled places. Rockhampton was founded on rural industries, notably beef cattle and sheep and as a major port for the gold rush of the late 1850's. It established a clear role as the services capital of Central Queensland, leading the way in the provision of major facilities for education, health and government services generally.

The area offers a wide variety of lifestyles, from the inner city living within Rockhampton to burgeoning suburban growth areas at Parkhurst and Gracemere, to more traditional rural areas and the character of Mount Morgan. A number of townships are the focus of life in rural areas.

Rockhampton city has a sense of stability and the characteristics of a traditional city, with a strong grid pattern and traditional built to the street form in its older areas, complemented by its expanding modern residential areas. Gracemere has boomed more recently, in response to the expansion of the resources industry and housing affordability. It is ideally located to serve both as a residential area and a location for service and logistics industries.

The area is building on its natural and historical strengths and the resources boom to underpin its future prosperity and as a preferred lifestyle choice. The principles among these are its:

- (1) strategic location at the intersection of the Bruce and Capricorn highways;
- (2) traditional retail, services, entertainment and administration centre role for the broader central region;
- (3) expanding role in servicing the mining industry;
- (4) ability to provide a wide range of affordable lifestyle choices at diverse locations;
- (5) tourism potential; and
- (6) secure water supply from the Fitzroy River.

The area is taking its new development opportunities and challenges seriously. There is an emphasis on urban design that responds to changing community needs, while providing for sustainable economic growth. This will deliver all the attributes of successful communities, such as:

- (1) centres which are well defined, concentrated and connected;
- (2) transport options which promote efficient, but still attractive urban areas;
- (3) a variety of housing and lifestyle options and the land to accommodate forecast growth;

- (4) plans that make allowance for those choosing to live here but work elsewhere;
- (5) new development that respects its setting;
- (6) balance between its urban areas and rural areas with well-defined boundaries;
- (7) plenty of room for economic development in defined areas protected from conflicting land uses now and in the future; and
- (8) protection for the food producing potential of its rural areas.

Editor's note—The strategic vision is extrinsic material to the planning scheme.

This is to certify that this is a true, correct and complete copy of the Rockhampton Region Planning Scheme, incorporating amendments up to and including the amendment made in accordance with the provisions of the *Planning Act 2016*, by the Rockhampton Regional Council, by resolution dated 11 March 2025 and having effect on and from 28 March 2025.

Signed

.....
Evan Pardon
Chief Executive Officer
Rockhampton Regional Council

Dated:

Contents

Citation and commencement	(i)
Community statement	(i)
Strategic vision	(i)
Contents	(iii)
Part 1 About the planning scheme	P1-19
1.1 Introduction	P1-1
1.2 Planning scheme components	P1-2
1.3 Interpretation	P1-4
1.4 Categories of development	P1-5
1.5 Hierarchy of assessment benchmarks	P1-5
1.6 Building work regulated under the planning scheme	P1-6
1.7 Local government administrative matters	P1-7
Part 2 State planning provisions	P2-1
2.1 State planning policy	P2-1
2.2 Regional plan	P2-1
2.3 Referral agency delegations	P2-1
2.4 Regulated requirements	P2-1
Part 3 Strategic framework	P3-1
3.1 Preliminary	P3-1
3.2 Strategic intent	P3-1
Strategic framework themes.....	P3-3
3.3 Settlement pattern	P3-3
3.3.1 Strategic outcomes	P3-3
3.3.2 Planning scheme places	P3-4
3.3.3 Element – Nature conservation, open space and natural corridor or link	P3-9
3.3.4 Element – Townships	P3-10
3.3.5 Element – Rural residential	P3-11
3.3.6 Element – Rural	P3-12
3.3.7 Element – Industrial (existing, new and future)	P3-14
3.3.8 Element – Urban and new urban	P3-17
3.3.9 Element – Future urban	P3-21
3.3.10 Element – Urban infill and intensification	P3-22
3.3.11 Element – Centres	P3-24
3.3.12 Element – Specialised centres	P3-29
3.3.13 Element – Specific use	P3-31
3.4 Natural environment and hazards.....	P3-33
3.4.1 Strategic outcomes	P3-33
3.4.2 Element – Areas of environmental significance	P3-34
3.4.3 Element – Natural hazards and climate change	P3-35
3.4.4 Element – Coastal environment	P3-36
3.4.5 Element – Water resources, catchment management and healthy waters	P3-36
3.4.6 Element – Landscape and scenic amenity	P3-37
3.4.7 Element – Air, noise and hazardous materials	P3-37
3.4.8 Element – Waste	P3-38
3.5 Community identity and diversity	P3-39
3.5.1 Strategic outcomes	P3-39

3.5.2	Element – Housing diversity, safe communities and equitable access	P3-40
3.5.3	Element – Community identity	P3-40
3.5.4	Element – Heritage and character	P3-40
3.5.5	Element – Sport and recreation and open space	P3-41
3.5.6	Element – Social, arts and cultural infrastructure	P3-41
3.6	Access and mobility	P3-43
3.6.1	Strategic outcomes	P3-43
3.6.2	Element – Public and active transport	P3-44
3.6.3	Element – Road network	P3-44
3.6.4	Element – Rail network	P3-45
3.6.5	Element – Freight network and key logistics hub	P3-45
3.6.6	Element – Air transport	P3-46
3.6.7	Element – Sea transport	P3-46
3.7	Infrastructure and services	P3-47
3.7.1	Strategic outcomes	P3-47
3.7.2	Element – Inter-regional networks	P3-48
3.7.3	Element – Local area networks	P3-48
3.8	Natural resources and economic development	P3-50
3.8.1	Strategic outcomes	P3-50
3.8.2	Element – Protection of key assets	P3-51
3.8.3	Element – Industrial development	P3-51
3.8.4	Element – Rural land	P3-51
3.8.5	Element – Extractive and mineral resources	P3-52
3.8.6	Element – Forestry	P3-52
3.8.7	Element – Marine resources	P3-53
3.8.8	Element – Tourism	P3-53
Part 4	Local government infrastructure plan	P4-1
4.1	Preliminary	P4-1
4.2	Planning assumptions	P4-2
4.2.1	Population and employment growth	P4-4
4.2.2	Development	P4-5
4.2.3	Infrastructure demand	P4-6
4.3	Priority infrastructure area	P4-7
4.4	Desired standards of service	P4-8
4.4.1	Water supply network desired standards of service	P4-8
4.4.2	Sewerage network desired standards of service	P4-10
4.4.3	Transport network desired standards of service	P4-12
4.4.4	Stormwater network desired standards of service	P4-14
4.4.5	Public parks and land for community facilities network desired standards of service	P4-15
4.5	Plans for trunk infrastructure	P4-21
4.5.1	Plans for trunk infrastructure maps	P4-21
4.5.2	Schedule of works	P4-21
	4.6 Extrinsic material	P4-22
Part 5	Tables of assessment	P5-1
5.1	Preliminary	P5-1
5.2	Reading the tables	P5-1
5.3	Categories of development and assessment	P5-1
5.3.1	Process for determining the category of development and the category of assessment for assessable development	P5-1
5.3.2	Determining the category of development and categories of assessment	P5-2
5.3.3	Determining the requirements for accepted development and assessment benchmarks and other matters for assessable development	P5-3

5.4	Categories of development and assessment — Material change of use	P5-4
5.4.1	Residential zones category	P5-4
5.4.2	Centre zones category	P5-15
5.4.3	Recreation zones category	P5-49
5.4.4	Environmental zones category	P5-57
5.4.5	Industry zones category	P5-58
5.4.6	Other zones category	P5-75
5.5	Categories of development and assessment — Reconfiguring a lot	P5-107
5.6	Categories of development and assessment — Building work	P5-109
5.7	Categories of development and assessment — Operational work	P5-110
5.8	Categories of development and assessment — Local plans	P5-116
5.9	Categories of development and assessment — Overlays	P5-117
Part 6	Zones	P6-1
6.1	Preliminary	P6-1
6.2	Residential zones category	P6-3
6.2.1	Low density residential zone code	P6-3
6.2.2	Low-medium density residential zone code	P6-19
6.2.3	High density residential zone code	P6-34
6.3	Centre zones category	P6-45
6.3.1	Principal centre zone code	P6-45
6.3.2	Major centre zone code	P6-72
6.3.3	District centre zone code	P6-83
6.3.4	Local centre zone code	P6-101
6.3.5	Neighbourhood centre zone code	P6-119
6.3.6	Specialised centre zone code	P6-135
6.4	Recreation zones category	P6-147
6.4.1	Sport and recreation zone code	P6-147
6.4.2	Open space zone code	P6-152
6.5	Environmental zones category	P6-158
6.5.1	Environmental management and conservation zone code	P6-157
6.6	Industry zones category	P6-162
6.6.1	Low impact industry zone code	P6-162
6.6.2	Medium impact industry zone code	P6-170
6.6.3	High impact industry zone code	P6-178
6.6.4	Special industry zone code	P6-187
6.6.5	Waterfront and marine industry zone code	P6-192
6.7	Other zones category	P6-200
6.7.1	Community facilities zone code	P6-200
6.7.2	Emerging community zone code	P6-206
6.7.3	Limited development (constrained land) zone code	P6-213
6.7.4	Rural zone code	P6-216
6.7.5	Rural residential zone code	P6-230
6.7.6	Special purpose zone code	P6-237
6.7.7	Township zone code	P6-246
Part 7	Local plans	P7-1
Part 8	Overlays	P8-1
8.1	Preliminary	P8-1
8.2	Overlay codes	P8-2
8.2.1	Acid sulfate soils overlay code	P8-2
8.2.2	Airport environs overlay code	P8-4
8.2.3	Biodiversity overlay code	P8-10
8.2.4	Bushfire hazard overlay code	P8-16
8.2.5	Character overlay code	P8-22
8.5.6	Coastal protection overlay code	P8-27

8.2.7	Extractive resources overlay code.....	P8-33
8.2.8	Flood hazard overlay code	P8-36
8.2.9	Heritage place overlay code	P8-43
8.2.10	Special management area overlay code	P8-46
8.2.11	Steep land overlay code	P8-48
8.2.12	Water resource catchments overlay code	P8-50
Part 9	Development codes	P9-1
9.1	Preliminary	P9-1
9.2	Use codes	P9-2
9.2.1	Extractive industry code.....	P9-2
9.2.2	Telecommunications facilities and utilities code.....	P9-5
9.3	Other development codes	P9-11
9.3.1	Access, parking and transport code	P9-11
9.3.2	Advertising devices code	P9-26
9.3.3	Filling and excavation code	P9-34
9.3.4	Landscape code	P9-37
9.3.5	Reconfiguring a lot code.....	P9-43
9.3.6	Stormwater management code	P9-58
9.3.7	Waste management code.....	P9-64
9.3.8	Water and sewer code.....	P9-66
9.3.9	Works code	P9-68
Part 10	Other plans	P10-1
10.1	State development areas – <i>State Development and Public Works Organisation Act 1971</i>	P10-1
10.2	Priority development area – <i>Economic Development Act 2012</i> ...	P10-1
10.3	Land use plan – <i>Transport Infrastructure Act 1994</i>	P10-2
Schedule 1	Definitions	SC1-1
SC1.1	Use definitions	SC1-1
SC1.1.1	Defined activity groups	SC1-26
SC1.1.2	Industry thresholds.....	SC1-26
SC1.2	Administrative definitions	SC1-27
Schedule 2	Mapping	SC2-1
SC2.1	Map index	SC2-1
SC2.2	Strategic framework maps	SC2-28
SC2.3	Zone maps	SC2-29
SC2.4	Local plan maps	SC2-30
SC2.5	Overlay maps	SC2-31
Schedule 3	Local government infrastructure plan mapping and tables	SC3-1
SC3.1	Planning assumption tables	SC3-2
SC3.1.1	Existing and projected population.....	SC3-2
SC3.1.2	Existing and projected employees	SC3-10
SC3.1.3	Existing and projected dwellings.....	SC3-17
SC3.1.4	Existing and projected non-residential floor space	SC3-24
SC3.2	Assumed scale of development and planned demand tables	SC3-31
SC3.2.1	Assumed scale of development.....	SC3-31
SC3.2.2	Planned demand.....	SC3-34
SC3.3	Priority infrastructure area.....	SC3-41
SC3.4	Plans for trunk infrastructure maps.....	SC3-42
SC3.5	Schedules of works	SC3-45

Schedule 4	Notations required under the Planning Act 2016	SC4-1
SC4.1	Notation of decisions affecting the planning scheme under section 89 of the Act	SC4-1
SC4.2	Notation of resolution(s) under Chapter 4, Part 2, Division 2 of the Act	SC4-3
SC4.3	Notation of registration for urban encroachment provisions under section 267 of the Act	SC4-3
Schedule 5	Designation of premises for development	SC5-1
Schedule 6	Planning scheme policies	SC6-1
SC6.1	Planning scheme policy index	SC6-1
SC6.2	Advertising devices planning scheme policy	SC6-2
SC6.3	Air, noise and hazard assessments planning scheme policy	SC6-6
SC6.4	Bicycle network planning scheme policy	SC6-10
SC6.5	Bushfire management planning scheme policy	SC6-17
SC6.6	Car parking contributions planning scheme policy	SC6-25
SC6.7	Coastal protection management planning scheme policy	SC6-28
SC6.8	Ecological assessment planning scheme policy	SC6-34
SC6.9	Economic impact assessment planning scheme policy	SC6-43
SC6.10	Flood hazard planning scheme policy	SC6-45
SC6.11	Geotechnical report planning scheme policy	SC6-68
SC6.12	Landscape design and street trees planning scheme policy	SC6-65
SC6.13	Local heritage planning scheme policy	SC6-80
SC6.14	Local parks planning scheme policy	SC6-84
SC6.15	Road infrastructure and hierarchy planning scheme policy	SC6-89
SC6.16	Scenic amenity planning scheme policy	SC6-92
SC6.17	Sewerage infrastructure planning scheme policy	SC6-95
SC6.18	Stormwater management planning scheme policy	SC6-101
SC6.19	Structure plan planning scheme policy	SC6-121
SC6.20	Waste management planning scheme policy	SC6-125
SC6.21	Water supply infrastructure planning scheme policy	SC6-129
	End of the planning scheme	SC6-124
Appendix 1	Index and glossary of abbreviations and acronyms	A1-1
Appendix 2	Table of amendments	A2-1

Tables

About the planning scheme

Table 1.6.1 — Building assessment provisions.....	SC1-6
Table 1.7.1 — Designated bushfire prone area for Australian Standard AS 3959-2018	SC1-7
Table 1.7.2 — Designated flood hazard area for Queensland Development Code MP3.5.....	SC1-7
Table 1.7.3 — Designated transport noise corridor for Queensland Development Code MP4.4	SC1-8

Strategic framework

Table 3.3.2.2 — Strategic map designations and descriptions	P3-5
---	------

Local government infrastructure plan

Planning assumptions:

Table 4.2.1 — Relationship between LGIP development categories, LGIP development types and uses.....	P4-2
Table 4.2.1.1 — Population and employment assumptions summary	P4-4
Table 4.2.2.1 — Residential dwellings and non-residential floor space assumptions summary.....	P4-5

Desired standards of service:

Table 4.4.1.1 — Water supply network design desired standards of service	P4-8
Table 4.4.1.2 — Water supply network design criteria.....	P4-10
Table 4.4.2.1 — Sewerage network desired standards of service.....	P4-10
Table 4.4.2.2 — Sewerage network design criteria.....	P4-11
Table 4.4.3.1 — Transport network desired standards of service.....	P4-12
Table 4.4.3.2 — Level of service (LOS) – Deemed to comply volumes.....	P4-13
Table 4.4.3.3 — Level of service (LOS) criteria for trunk roads using percentage of base free-flow speed and percentage of time spent following.....	P4-13
Table 4.4.3.4 — Level of service (LOS) criteria for road intersections using delay	P4-14
Table 4.4.3.5 — Maximum degree of saturation for road intersections	P4-14
Table 4.4.4.1 — Stormwater network desired standards of service.....	P4-14
Table 4.4.5.1 — Public parks and land for community facilities network desired standards of service	P4-16
Table 4.4.5.2 — Rate of land provision	P4-16
Table 4.4.5.3 — Accessibility standard	P4-17
Table 4.4.5.4 — Public parks and land for community facilities characteristics.....	P4-17
Table 4.4.5.5 — Indicative embellishments for the hierarchy of recreation parks	P4-18
Table 4.4.5.6 — Indicative embellishments for the hierarchy of sport parks.....	P4-19

Extrinsic material:

Table 4.6.1.1 — Extrinsic documents used in the interpretation of the local government infrastructure plan.....	P4-22
--	-------

Tables of assessment

Categories of development and assessment – Material change of use

Residential zones category:

Table 5.4.1.1 — Low density residential zone.....	P5-4
Table 5.4.1.1.1 — Low density residential zone — Fitzroy River accommodation precinct	P5-6
Table 5.4.1.1.2 — Low density residential zone — Residential stables precinct.....	P5-8
Table 5.4.1.2 — Low-medium density residential zone.....	P5-10
Table 5.4.1.3 — High density residential zone	P5-13

Centre zones category:

Table 5.4.2.1.1 — Principal centre zone — Business services precinct.....	P5-15
Table 5.4.2.1.2 — Principal centre zone — Core precinct	P5-18
Table 5.4.2.1.3 — Principal centre zone — Denison Street precinct	P5-20
Table 5.4.2.1.4 — Principal centre zone — Quay Street precinct.....	P5-22
Table 5.4.2.2 — Major centre zone	P5-25

Table 5.4.2.3 — District centre zone	P5-27
Table 5.4.2.4 — Local centre zone.....	P5-30
Table 5.4.2.5 — Neighbourhood centre zone	P5-34
Table 5.4.2.6.1 — Specialised centre zone — Gladstone Road and George Street precinct (including all sub-precincts)	P5-37
Table 5.4.2.6.2 — Specialised centre zone — Musgrave Street precinct (including all sub-precincts)	P5-43
Table 5.4.2.6.3 — Specialised centre zone — Yaamba Road precinct	P5-47
<u>Recreation zones category:</u>	
Table 5.4.3.1 — Sport and recreation zone	P5-50
Table 5.4.3.1.1 — Sport and recreation zone — Rockhampton major sports precinct....	P5-53
Table 5.4.3.2 — Open space zone.....	P5-56
Table 5.4.3.2.1 — Open space zone — Kershaw Gardens precinct	P5-58
<u>Environmental zone category:</u>	
Table 5.4.4.1 — Environmental management and conservation zone	P5-61
<u>Industry zones category:</u>	
Table 5.4.5.1 — Low impact industry zone	P5-62
Table 5.4.5.1.1 — Low impact industry zone — South Rockhampton precinct	P5-64
Table 5.4.5.2 — Medium impact industry zone	P5-65
Table 5.4.5.2.1 — Medium impact industry zone — Gracemere Saleyards precinct	P5-67
Table 5.4.5.3 — High impact industry zone	P5-69
Table 5.4.5.3.1 — High impact industry zone — Lakes Creek and Parkhurst precincts ..	P5-71
Table 5.4.5.4 — Special industry zone.....	P5-73
Table 5.4.5.5 — Waterfront and marine industry zone.....	P5-75
Table 5.4.5.5.1 — Waterfront and marine industry zone — Fitzroy River	P5-77
<u>Other zones category:</u>	
Table 5.4.6.1 — Community facilities zone	P5-79
Table 5.4.6.1.1 — Community facilities zone — Rockhampton health services precinct	P5-81
Table 5.4.6.2 — Emerging community zone	P5-83
Table 5.4.6.3 — Limited development (constrained land) zone (including Mount Morgan mine precinct)	P5-85
Table 5.4.6.4 — Rural zone (including Alton Downs precinct)	P5-87
Table 5.4.6.4.1 — Rural zone — Cropping and intensive horticulture precinct	P5-90
Table 5.4.6.5 — Rural residential zone	P5-93
Table 5.4.6.5.1 — Rural residential zone — Baree and Walterhall precinct	P5-95
Table 5.4.6.6 — Special purpose zone	P5-97
Table 5.4.6.6.1 — Special purpose zone — Depot Hill rail precinct	P5-98
Table 5.4.6.6.2 — Special purpose zone — Rockhampton Airport precinct (including all sub-precincts).....	P5-101
Table 5.4.6.7 — Township zone.....	P5-105
Table 5.4.6.7.1 — Township zone — Kabra and Stanwell precinct.....	P5-108
<u>Categories of development and assessment:</u>	
Table 5.5.1 — Reconfiguring a lot	P5-111
Table 5.7.1 — Operational work (excluding operational work associated with an advertising device).....	P5-114
Table 5.7.2 — Operational work associated with an advertising device	P5-116
<u>Categories of development and assessment — Overlays:</u>	
Table 5.9.1 — Acid sulfate soils overlay.....	P5-121
Table 5.9.2 — Airport environs overlay	P5-122
Table 5.9.3 — Biodiversity overlay	P5-123
Table 5.9.4 — Bushfire hazard overlay	P5-124
Table 5.9.5 — Character overlay.....	P5-126
Table 5.9.6 — Coastal protection overlay . P5-127	Table 5.9.7 — Extractive resources overlay P5-128
Table 5.9.8 — Flood hazard overlay	P5-129
Table 5.9.9 — Heritage place overlay	P5-133
Table 5.9.10 — Special management area overlay	P5-134
Table 5.9.11 — Steep land overlay	P5-135

Table 5.9.12 — Water resource catchments overlay	P5-137
Zone codes	
Residential zones category:	
<u>Low density residential zone code:</u>	
Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-5
Table 6.2.1.3.2 — Development outcomes for assessable development	P6-11
Table 6.2.1.3.3 — Minimum site area requirements	P6-18
<u>Low-medium density residential zone code:</u>	
Table 6.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-20
Table 6.2.2.3.2 — Development outcomes for assessable development	P6-26
Table 6.2.2.3.3 — Minimum site area requirements	P6-33
<u>High density residential zone code:</u>	
Table 6.2.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-35
Table 6.2.3.3.2 — Development outcomes for assessable development	P6-38
Table 6.2.3.3.3 — Minimum building setback from street frontage	P6-43
Table 6.2.3.3.4 — Minimum site area requirements	P6-43
Centre zones category:	
<u>Principal centre zone code:</u>	
Table 6.3.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-48
Table 6.3.1.3.2 — Development outcomes for assessable development	P6-63
<u>Major centre zone code:</u>	
Table 6.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-73
Table 6.3.2.3.2 — Development outcomes for assessable development	P6-77
<u>District centre zone code:</u>	
Table 6.3.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-84
Table 6.3.3.3.2 — Development outcomes for assessable development	P6-91
<u>Local centre zone code:</u>	
Table 6.3.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-103
Table 6.3.4.3.2 — Development outcomes for assessable development	P6-110
<u>Neighbourhood centre zone code:</u>	
Table 6.3.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-121
Table 6.3.5.3.2 — Development outcomes for assessable development	P6-128
<u>Specialised centre zone code:</u>	
Table 6.3.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-138
Table 6.3.6.3.2 — Development outcomes for assessable development	P6-141
Recreation zone code category:	
<u>Sport and recreation zone code:</u>	
Table 6.4.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-148
Table 6.4.1.3.2 — Development outcomes for assessable development	P6-150
<u>Open space zone code:</u>	
Table 6.4.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-153
Table 6.4.2.3.2 — Development outcomes for assessable development	P6-154
Environment zone code category:	
Table 6.5.1.3.1 — Development outcomes for assessable development	P6-157
Industry zone code category:	
<u>Low impact industry zone code:</u>	
Table 6.6.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-163
Table 6.6.1.3.2 — Development outcomes for assessable development	P6-166

Medium impact industry zone code:

Table 6.6.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-170
Table 6.6.2.3.2 — Development outcomes for assessable development.....	P6-174

High impact industry zone code:

Table 6.6.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-178
Table 6.6.3.3.2 — Development outcomes for assessable development.....	P6-181

Special industry zone code:

Table 6.6.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-187
Table 6.6.4.3.2 — Development outcomes for assessable development.....	P6-188

Waterfront and marine industry zone code:

Table 6.6.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-192
Table 6.6.5.3.2 — Development outcomes for assessable development.....	P6-196

Other zones category:

Community facilities zone code:

Table 6.7.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-200
Table 6.7.1.3.2 — Development outcomes for assessable development.....	P6-202

Emerging community zone code:

Table 6.7.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-206
Table 6.7.2.3.2 — Development outcomes for assessable development.....	P6-208

Limited development (constrained land) zone code:

Table 6.7.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-213
--	--------

Rural zone code:

Table 6.7.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-217
Table 6.7.4.3.2 — Development outcomes for assessable development.....	P6-222

Rural residential zone code:

Table 6.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-230
Table 6.2.5.3.2 — Development outcomes for assessable development.....	P6-234

Special purpose zone code:

Table 6.7.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-238
Table 6.7.6.3.2 — Development outcomes for assessable development.....	P6-242

Township zone code:

Table 6.7.7.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-246
Table 6.7.7.3.2 — Development outcomes for assessable development.....	P6-250

Overlay codes

Acid sulfate soils overlay code:

Table 8.2.1.3.1 — Development outcomes for assessable development.....	P8-2
--	------

Airport environs overlay code:

Table 8.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-4
Table 8.2.2.3.2 — Development outcomes for assessable development.....	P8-5
Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards.....	P8-7
Table 8.2.2.3.4 — Desirable indoor design sound levels for building type and activity.....	P8-7
Table 8.2.2.3.5 — Compatible and incompatible land uses within ANEF contours.....	P8-8

Biodiversity overlay code:

Table 8.2.3.3.1 — Development outcomes for assessable development.....	P8-11
--	-------

Bushfire hazard overlay code:

Table 8.2.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-16
Table 8.2.4.3.2 — Development outcomes for assessable development.....	P8-19
Table 8.2.4.3.3 — Water storage requirements.....	P8-21
<u>Character overlay code:</u>	
Table 8.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-23
Table 8.2.5.3.2 — Development outcomes for assessable development.....	P8-25
<u>Coastal protection overlay code:</u>	
Table 8.2.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-28
Table 8.2.6.3.2 — Development outcomes for assessable development.....	P8-29
<u>Extractive resources overlay code:</u>	
Table 8.2.7.3.1 — Development outcomes for assessable development.....	P8-33
<u>Flood hazard overlay code:</u>	
Table 8.2.8.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-37
Table 8.2.8.3.2 — Development outcomes for assessable development.....	P8-40
Table 8.2.8.3.3 — Flood event level for community and public uses.....	P8-42
<u>Heritage place overlay code:</u>	
Table 8.2.9.3.1 — Development outcomes for assessable development.....	P8-43
<u>Special management area overlay code:</u>	
Table 8.2.10.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-46
Table 8.2.10.3.2 — Development outcomes for assessable development.....	P8-47
<u>Steep land overlay code:</u>	
Table 8.2.11.3.1 — Development outcomes for assessable development.....	P8-48
Table 8.2.11.3.2 — Minimum lot size and road frontage widths for slopes.....	P8-49
<u>Water resource catchments overlay code:</u>	
Table 8.2.12.3.1 — Development outcomes for assessable development.....	P8-50

Development codes

Use codes:

Extractive industry code:

Table 9.2.1.3.1 — Development outcomes for assessable development.....	P9-2
--	------

Telecommunications facilities and utilities code:

Table 9.2.2.3.1 — Development outcomes for assessable development.....	P9-5
--	------

Other development codes:

Access, parking and transport code:

Table 9.3.1.3.1 — Development outcomes for assessable development.....	P9-11
Table 9.3.1.3.2 — Parking requirements.....	P9-16

Advertising devices code:

Table 9.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P9-26
Table 9.3.2.3.2 — Sign requirements.....	P9-28
Table 9.3.2.3.3 — Maximum luminance of an advertising device for land use zones.....	P9-33

Filling and excavation code:

Table 9.3.3.3.1 — Development outcomes for assessable development.....	P9-34
--	-------

Landscape code:

Table 9.3.4.3.1 — Development outcomes for assessable development.....	P9-37
--	-------

Reconfiguring a lot code:

Table 9.3.5.3.1 — Development outcomes for assessable development.....	P9-44
Table 9.3.5.3.2 — Minimum lots sizes and dimensions.....	P9-54
Table 9.3.5.3.3 — Separation distances to electricity transmission line easement.....	P9-57

Stormwater management code:

Table 9.3.6.3.1 — Development outcomes for assessable development.....	P9-58
--	-------

Waste management code:

Table 9.3.7.3.1 — Development outcomes for assessable development.....	P9-64
--	-------

Water and sewer code:

Table 9.3.8.3.1 — Development outcomes for assessable development	P9-66
---	-------

Works code:

Table 9.3.9.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P9-68
--	-------

Schedule 1 Definitions

Use definitions:

Table SC1.1.1 — Index of use definitions	SC1-1
Table SC1.1.2 — Use definitions	SC1-2
Table SC1.1.2.1 — Industry thresholds.....	SC1-26

Administrative definitions:

Table SC1.2.1 — Index of administrative definitions.....	SC1-29
Table SC1.2.2 — Administrative definitions	SC1-29

Advertising Devices definitions:

Table SC1.3.1 — Index and definitions of advertising devices	SC1-38
--	--------

Schedule 2 Mapping

Table SC2.1.1 — Map index	SC2-1
Table SC2.1.2 — List of maps.....	SC2-2

Schedule 3 Local government infrastructure plan mapping and supporting material

Table SC3.1 — Locality area reference index.....	SC3-1
Table SC3.1.1.1 — Existing and projected population.....	SC3-3
Table SC3.1.2.1 — Existing and projected employees	SC3-11
Table SC3.1.3.1 — Existing and projected dwellings.....	SC3-18
Table SC3.1.4.1 — Existing and projected non-residential floor space	SC3-25
Table SC3.2.1.1 — Assumed scale of development for residential uses	SC3-31
Table SC3.2.1.2 — Assumed scale of development for non-residential uses	SC3-32
Table SC3.2.2.1 — Residential zones planned demand.....	SC3-35
Table SC3.2.2.2 — Non-residential zones planned demand	SC3-37
Table SC3.2.2.3 — Residential uses planned demand.....	SC3-40
Table SC3.2.2.4 — Non-residential uses planned demand	SC3-40
Table SC3.3.1 — Priority infrastructure area	SC3-41
Table SC3.4.1 — Plans for trunk infrastructure maps.....	SC3-42
Table SC3.5.1 — Schedule of works – Water supply network.....	SC3-45
Table SC3.5.2 — Schedule of works – Sewerage network.....	SC3-47
Table SC3.5.3 — Schedule of works – Transport network	SC3-54
Table SC3.5.4 — Schedule of works – Stormwater network	SC3-61
Table SC3.5.5 — Schedule of works – Public parks and land for community facilities network.....	SC3-62

Schedule 4 Notations required under the *Planning Act 2016*

Table SC4.1.1 — Notation of decisions affecting the planning scheme under section 89 of the Act.....	SC4-1
Table SC4.2.1 — Notation of resolutions under Chapter 4, Part 2, Division 2 of the Act	SC4-3
Table SC4.3.1 — Notation of registrations made under section 267 of the Act.....	SC4-3

Schedule 5 Designation of premises for development

Table SC5.1 — Designation of premises for development of infrastructure under section 42 of the Act.....	SC5-1
--	-------

Schedule 6 Planning scheme policies

Table SC6.1.1 — Planning scheme policy index	SC6-1
<u>Advertising devices planning scheme policy:</u>	
Table SC6.2.3.2.1 — Basis for calculating total sign face area for a site	SC6-3
<u>Bicycle network planning scheme policy:</u>	
Table 6.4.7.1 — Bicycle parking facilities provisional rates.....	SC6-12
Table 6.4.7.2 — Classification of bicycle facilities	SC6-14

Table 6.4.8.1.1 — Exclusive bicycle land/sealed shoulder	SC6-14
Table 6.4.8.1.2 — Wide kerbside lane	SC6-14
Table 6.4.8.1.3 — With parallel parking	SC6-15
Table 6.4.8.1.5 — With angle parking	SC6-15
Table 6.4.8.2.1 — Shared paths.....	SC6-16
Table 6.4.8.2.2 — Bicycle paths.....	SC6-16
<u>Car parking contributions planning scheme policy:</u>	
Table SC6.6.4.1 — Contribution charge rates	SC6-25
<u>Coastal protection management planning scheme policy:</u>	
Table SC6.7.5.1.1 — Classification of development intensification.....	SC6-28
<u>Flood hazard planning scheme policy:</u>	
Table SC6.10.3.3.2 — Combined hazard curves – vulnerability thresholds.....	SC6-47
Table SC6.10.3.3.3 — Combined hazard curves – vulnerability thresholds classification limits	SC6-48
<u>Geotechnical report planning scheme policy:</u>	
Table SC6.11.4.1 — Geotechnical report template.....	SC6-59
<u>Landscape design and street trees planning scheme policy:</u>	
Table SC6.12.12.1 — Identified significant vegetation in the Rockhampton region	SC6-69
Table SC6.12.13.1 — Undesirable species of vegetation.....	SC6-71
<u>Local heritage planning scheme policy:</u>	
Table SC6.13.10 — Local heritage place register.....	SC6-79
<u>Local parks planning scheme policy:</u>	
Table SC6.14.5.1 — Local parks – Planning and design criteria.....	SC6-82
Table SC6.14.5.2 — Local parks – Rate of land provision.....	SC6-82
Table SC6.14.5.3 — Local parks – Accessibility standard.....	SC6-82
Table SC6.14.5.4 — Local parks – Design characteristics	SC6-82
Table SC6.14.5.5 — Local parks – Indicative embellishments	SC6-83
Table SC6.14.6.1 — Reconfiguring a lot for residential, commercial and industrial purposes	SC6-84
Table SC6.14.6.2 — Material change of use for residential purposes.....	SC6-84
<u>Road infrastructure and hierarchy planning scheme policy:</u>	
Table SC6.15.3.1.1 — Road classification.....	SC6-86
<u>Scenic amenity planning scheme policy:</u>	
Table SC6.16.5.1 — Unmapped scenic amenity areas	SC6-90
<u>Waste management planning scheme policy:</u>	
Table SC6.20.4.1.1 — Residential minimum waste storage capacity requirements ...	SC6-116
Table SC6.20.4.2.1 — Non-residential minimum waste storage capacity requirements	SC6-117
Appendix 1	
Table AP1.1 — Abbreviations and acronyms.....	A1-1
Appendix 2	
Table AP2.1 — Table of amendments	A2-1

Figures

About the planning scheme

Map 1 — Local government planning scheme area and context	P1-1
---	------

Strategic framework

Figure 3.3.2.1 — Planning scheme places.....	P3-4
--	------

Tables of assessment

Figure 5.9.1.1 — Areas and development to which the acid sulfate soils overlay applies	P5-117
--	--------

Zone codes

Residential zones category

Low density residential zone code

Figure 6.2.1.3.1a — Site plans for dual occupancies.....	P6-11
--	-------

Figure 6.2.1.3.2a — Development site plan	P6-18
---	-------

Low-medium density residential zone code

Figure 6.2.2.3.1a — Site plans for dual occupancies.....	P6-25
--	-------

Figure 6.2.2.3.2a — Development site plan	P6-32
---	-------

High density residential zone code

Figure 6.2.3.3.2a — Development site plan	P6-42
---	-------

Figure 6.2.3.3.3a — Front building setbacks.....	P6-43
--	-------

Centre zones category:

Principal centre zone code:

Figure 6.3.1.3.1a — Maximum building heights in the business services precinct.....	P6-50
---	-------

Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements)	P6-51
--	-------

Figure 6.3.1.3.1c — Maximum building heights in the core precinct.....	P6-55
--	-------

Figure 6.3.1.3.1d — Built form in the core precinct	P6-55
---	-------

Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements)	P6-56
---	-------

Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements).....	P6-57
--	-------

Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements).....	P6-59
--	-------

Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements).....	P6-62
---	-------

Figure 6.3.1.3.2a — Built form and streetscape appearance.....	P6-64
--	-------

Figure 6.3.1.3.2b — Development on intersections	P6-65
--	-------

Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements).....	P6-67
---	-------

Figure 6.3.1.3.2d — Core precinct concept plan - East Street (assessable elements) ...	P6-68
--	-------

Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements)	P6-71
---	-------

Major centre zone code:

Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements)	P6-76
--	-------

Figure 6.3.2.3.2a — Development on intersections	P6-80
--	-------

Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).....	P6-81
--	-------

Figure 6.3.2.3.2c — Shopping centre layout and design	P6-82
---	-------

District centre zone code:

Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements).....	P6-89
---	-------

Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements).....	P6-90
--	-------

Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements)	P6-91
--	-------

Figure 6.3.3.3.2a — Development on intersections	P6-96
--	-------

Figure 6.3.3.3.2b — Allenstown District centre concept plan (assessable elements)	P6-97
---	-------

Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements).....	P6-98
---	-------

Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).....	P6-99
Figure 6.3.3.3.2e — Shopping centre layout and design	P6-100
<u>Local centre zone code:</u>	
Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements)	P6-108
Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements) ..	P6-109
Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements) ..	P6-109
Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements).....	P6-110
Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements)	P6-115
Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements).....	P6-116
Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements).....	P6-117
Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements) .	P6-118
<u>Neighbourhood centre zone code:</u>	
Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-126
Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-127
Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-127
Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-128
Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements).....	P6-132
Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements).....	P6-133
Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements).....	P6-133
Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements).....	P6-134
Other zones category:	
<u>Emerging community zone code:</u>	
Figure 6.7.2.3.2a — Concept diagram for a urban development	P6-211
Overlays	
Figure 8.2.5.3.1a — Residential character streetscape	P8-25
Development codes	
Figure 9.3.4.3.1a — Height restriction for corner sites.....	P9-40
Figure 9.3.5.3.1a — Subdivision layout.....	P9-53
Schedule 6 Planning scheme policies	
<u>Advertising devices planning scheme policy:</u>	
Figure SC6.2.3.2.2 — Schematic 3-D view of building for calculating total sign face area.....	SC6-3
Figure SC6.2.3.2.3 — Plan view of building for calculating total sign face area.....	SC6-3
Figure SC6.2.3.3.1 — Front view of building for calculating total sign face area.....	SC6-5
<u>Bicycle network planning scheme policy:</u>	
Figure SC6.4.8.1.4 — Typical bicycle/car parking lanes layout – parallel parking	SC6-15
Figure SC6.4.8.1.6 — Typical bicycle/car parking lanes layout – angle parking	SC6-16

<u>Bushfire management planning scheme policy:</u>	
Figure SC6.5.5.1.1 — Bushfire safety based on slope and orientation	SC6-19
Figure SC6.5.5.1.2 — Preferred site layout	SC6-20
Figure SC6.5.5.2.1 — Preferred road layout in and adjoining bushfire hazard areas ...	SC6-21
Figure SC6.5.5.2.2 — Unacceptable road layout in and adjoining bushfire hazard areas	SC6-21
Figure SC6.5.5.5.1 — Creation of buffer zones between buildings and hazardous materials	SC6-23
<u>Coastal protection management planning scheme policy:</u>	
Figure SC6.7.5.1.2 — Example of acceptable mitigation measures for minor intensification in a high coastal hazard area.....	SC6-30
<u>Flood hazard management planning scheme policy:</u>	
Figure SC6.10.3.3.1 — General flood hazard vulnerability curves	SC6-47
<u>Landscape design and street trees planning scheme policy:</u>	
Figure SC6.12.14.1.1 — Suggested planting layouts for buffers	SC6-75
<u>Stormwater management planning scheme policy</u>	
Figure SC6.18.5.8.1 — Peak discharge and allowable change	SC6-102

[Intentionally blank]

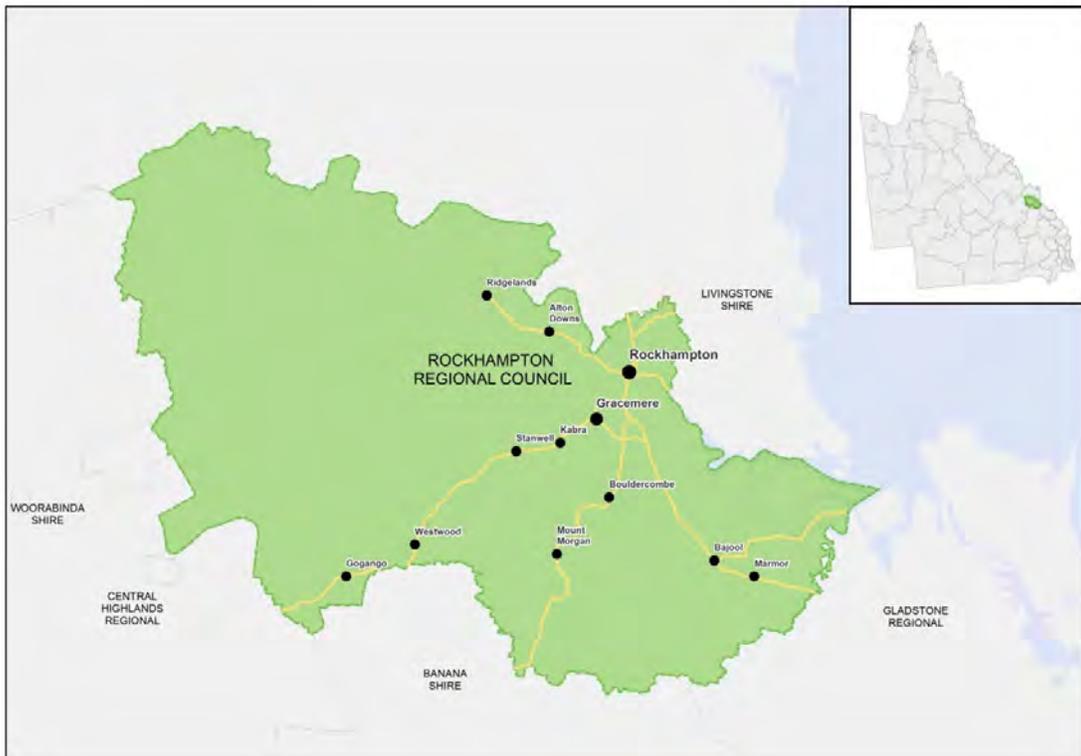
Part 1 About the planning scheme

1.1 Introduction

- (1) The Rockhampton Region Planning Scheme (planning scheme) has been prepared in accordance with the *Sustainable Planning Act 2009* (the SP Act) as a framework for managing development in a way that advances the purpose of the SP Act.
- (2) The planning scheme was amended for alignment with the *Planning Act 2016* (the Act) by the Minister's rules under section 293 of the Act on 3 July 2017.
- (3) In seeking to achieve this purpose, the planning scheme sets out Rockhampton Regional Council's intention for the future development in the planning scheme area, over the next twenty (20) years.
- (4) The planning scheme seeks to advance state and regional policies through more detailed local responses taking into account the local context.
- (5) While the planning scheme has been prepared with a twenty (20) year horizon, it will be reviewed periodically in accordance with the Act to ensure that it responds appropriately to the changes of the community at a local, regional and state level.
- (6) The planning scheme applies to the planning scheme area of Rockhampton Regional Council including all premises, roads, internal waterways and interrelates with the surrounding local government areas illustrated in Map 1.

Editor's note—State legislation may state that the planning scheme does not apply to certain areas, for example strategic port land under the *Transport Infrastructure Act 1994* and priority development areas.

Editor's note—Areas which are not subject to the jurisdiction of the planning scheme are noted in the relevant zone codes and on the planning scheme maps.



Map 1 — Local government planning scheme area and context

1.2 Planning scheme components

- (1) The planning scheme comprises the following components:
- (a) about the planning scheme
 - (b) state planning provisions
 - (c) the strategic framework
 - (d) the local government infrastructure plan
 - (e) tables of assessment
 - (f) the following zones:
 - Residential zones category:**
 - (i) Low density residential zone
 - (A) Fitzroy River accommodation precinct
 - (B) Residential stables precinct
 - (ii) Low-medium density residential zone
 - (iii) High density residential zone
 - Centre zones category:**
 - (i) Principal centre zone
 - (A) Business services precinct
 - (B) Core precinct
 - (C) Denison Street precinct
 - (D) Quay Street precinct
 - (ii) Major centre zone
 - (iii) District centre zone
 - (iv) Local centre zone
 - (v) Neighbourhood centre zone
 - (vi) Specialised centre zone
 - (A) Gladstone Road and George Street precinct
 - a. Outdoor sales and services sub-precinct
 - b. Residential and food services sub-precinct
 - (B) Musgrave Street precinct
 - a. Mixed use sub-precinct
 - b. Outdoor sales and services sub-precinct
 - (C) Yaamba Road precinct
 - Recreation zones category:**
 - (i) Sport and recreation zone
 - (A) Rockhampton major sports precinct
 - (ii) Open space zone
 - (B) Kershaw Gardens precinct
 - Environmental zones category:**
 - (i) Environmental management and conservation zone
 - Industry zones category:**
 - (i) Low impact industry zone
 - (A) South Rockhampton precinct
 - (ii) Medium impact industry zone
 - (A) Gracemere saleyards precinct
 - (iii) High impact industry zone
 - (A) Lakes Creek precinct
 - (B) Parkhurst precinct
 - (iv) Special industry zone
 - (v) Waterfront and marine industry zone
 - (A) Fitzroy River industry precinct
 - Other zones category:**
 - (i) Community facilities zone
 - (A) Rockhampton health services precinct
 - (ii) Emerging community zone
 - (iii) Limited development (constrained land) zone
 - (A) Mount Morgan mine precinct
 - (iv) Rural zone
 - (A) Alton Downs precinct

- (v) (B) Cropping and intensive horticulture precinct
 - (v) Rural residential zone
 - (A) Baree and Waltherhall precinct
 - (vi) Special purpose zone
 - (A) Depot Hill rail precinct
 - (B) Rockhampton Airport precinct
 - a. Airport sub-precinct
 - b. Airport terminal sub-precinct
 - c. Business services sub-precinct
 - d. Airport expansion sub-precinct
 - (vii) Township zone
 - (A) Kabra and Stanwell precinct
 - (g) there are no local plans
 - (h) the following overlays:
 - (i) Acid sulfate soils overlay
 - (ii) Airport environs overlay
 - (iii) Biodiversity overlay
 - (iv) Bushfire hazard overlay
 - (v) Character overlay
 - (vi) Coastal protection overlay
 - (vii) Extractive resources overlay
 - (viii) Flood hazard overlay
 - (ix) Heritage place overlay
 - (x) Special management area overlay
 - (xi) Steep land overlay
 - (xii) Water resource catchments overlay
 - (i) the following development codes:
 - Use codes:**
 - (i) Extractive industry code
 - (ii) Telecommunications facilities and utilities code
 - Other development codes:**
 - (i) Access, parking and transport code
 - (ii) Advertising devices code
 - (iii) Filling and excavation code
 - (iv) Landscape code
 - (v) Reconfiguring a lot code
 - (vi) Stormwater management code
 - (vii) Waste management code
 - (viii) Water and sewer code
 - (ix) Works code
 - (j) The following other plans:
 - (i) Stanwell-Gladstone infrastructure corridor state development area
 - (ii) Central Queensland University (CQU) Priority Development Area
 - (iii) Gladstone Ports Corporation land use plan 2012 – Port Alma
 - (k) schedules and appendices
- (2) The following planning scheme policies support the planning scheme:
- (a) Advertising devices planning scheme policy
 - (b) Air, noise and hazard assessments planning scheme policy
 - (c) Bicycle network planning scheme policy
 - (d) Bushfire management planning scheme policy
 - (e) Car parking contributions planning scheme policy
 - (f) Coastal protection management planning scheme policy
 - (g) Ecological assessment planning scheme policy
 - (h) Economic impact assessment planning scheme policy
 - (i) Flood hazard planning scheme policy
 - (j) Geotechnical report planning scheme policy
 - (k) Landscape design and street trees planning scheme policy
 - (l) Local heritage planning scheme policy
 - (m) Local parks planning scheme policy

- (n) Road infrastructure and hierarchy planning scheme policy
- (o) Scenic amenity planning scheme policy
- (p) Sewerage infrastructure planning scheme policy
- (q) Stormwater management planning scheme policy
- (r) Structure plan planning scheme policy
- (s) Waste management planning scheme policy
- (t) Water supply infrastructure planning scheme policy

1.3 Interpretation

1.3.1 Definitions

- (1) A term used in the planning scheme has the meaning assigned to that term by one of the following:
 - (a) the *Planning Act 2016* (the Act)
 - (b) the *Planning Regulation 2017* (the Regulation), other than the regulated requirements
 - (c) the definitions in Schedule 1 of the planning scheme
 - (d) the *Acts Interpretation Act 1954*
 - (e) the ordinary meaning where that term is not defined in any of the above.
- (2) In the event a term has been assigned a meaning in more than one of the instruments listed in clause 1.3.1(1), the meaning contained in the instrument highest on the list will prevail.
- (3) A reference in the planning scheme to any act includes any regulation or instrument made under it, and where amended or replaced, if the context permits, means the amended or replaced act.
- (4) A reference in the planning scheme to a specific resource document or standard means the latest version of the resource document or standard.
- (5) A reference to a part, section, table or schedule is a reference to a part, section, table or schedule of the planning scheme.

Editor's note—The regulated requirements do not apply to this planning scheme.

1.3.2 Standard drawings, maps, notes, editor's notes and footnotes

- (1) Standard drawings contained in codes or schedules are part of the planning scheme.
- (2) Maps provide information to support the outcomes and are part of the planning scheme.
- (3) Notes are identified by the title "note" and are part of the planning scheme.
- (4) Editor's notes and footnotes are extrinsic material, as per the *Acts Interpretation Act 1954*, and are identified by the title "editor's note" and "footnote" and are provided to assist in the interpretation of the planning scheme; they do not have the force of law.

Note—This is an example of a note.

Editor's note—This is an example of an editor's note.

Footnote¹—See example at bottom of page.

1.3.3 Punctuation

- (1) A word followed by “;” is considered to be “and”
- (2) A word followed by “; or” means either or both options can apply.

1.3.4 Zones for roads, closed roads, waterways and reclaimed land

- (1) The following applies to a road, closed road, waterway or reclaimed land in the planning scheme area:

¹ Footnote—This is an example of a footnote.

- (a) if adjoined on both sides by land in the same zone — the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land
- (b) if adjoined on one side by land in a zone and adjoined on the other side by land in another zone — the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land when measured from a point equidistant from the adjoining boundaries
- (c) if the road, closed road, waterway or reclaimed land is adjoined on one side only by land in a zone — the entire waterway or reclaimed land is in the same zone as the adjoining land
- (d) if the road, closed road, waterway or reclaimed land is covered by a zone then that zone applies.

Editor's note—The boundaries of the local government area are described by the maps referred to in the *Local Government Regulation 2012*.

1.4 Categories of development

- (1) The categories of development under the Act are:
 - (a) accepted development

Editor's note—A development approval is not required for development that is accepted development. Under section 44(6)(a) of the Act, if a categorising instrument does not apply a category of development to a particular development, the development is accepted development. Schedule 6 of the Regulation also prescribes accepted development that a planning scheme can not make assessable.

Editor's note—In this planning scheme, some development is categorised as accepted, subject to meeting certain requirements. These requirements are identified in the tables of assessment and in the relevant codes.

- (b) assessable development
 - (i) code assessment
 - (ii) impact assessment

Editor's note—A development approval is required for assessable development. Schedules 9, 10 and 12 of the Regulation also prescribe assessable development.

- (c) prohibited development.

Editor's note—A development application may not be made for prohibited development. Schedule 10 of the Regulation prescribes prohibited development.

- (2) The planning scheme states the category of development for certain types of development, and specifies the category of assessment for assessable development in the planning scheme area in Part 5.

Editor's note—Section 43 of the Act identifies that a categorising instrument categorises development and specifies categories of assessment and may be a regulation or local categorising instrument. A local categorising instrument includes a planning scheme, a TLPI or a variation approval.

1.5 Hierarchy of assessment benchmarks

- (1) Where there is inconsistency between provisions in the planning scheme, the following rules apply:
 - (a) relevant assessment benchmarks specified in the Regulation prevail over the planning scheme to the extent of any inconsistency
 - (b) the strategic framework prevails over all other components to the extent of the inconsistency for impact assessment
 - (c) overlays prevail over all other components (other than the matters mentioned in (a) and (b) to the extent of the inconsistency
 - (d) local plan codes prevail over zone codes, use codes and other development codes to the extent of the inconsistency
 - (e) zone codes prevail over use codes and other development codes to the extent of the inconsistency
 - (f) provisions of Part 10 may override any of the above.

1.6 Building work regulated under the planning scheme

- (1) Section 17(b) of the Regulation identifies that a local planning instrument must not be inconsistent with the effect of the building assessment provisions stated in the *Building Act 1975*.
- (2) The building assessment provisions are listed in section 30 of the *Building Act 1975*.

Editor's note—The building assessment provisions are stated in section 30 of the *Building Act 1975* and are assessment benchmarks for the carrying out of building assessment work or building work that is accepted development subject to any requirements (see also section 31 of the *Building Act 1975*).

- (3) This planning scheme, through Part 5 (Tables of assessment), regulates building work in accordance with sections 32 and 33 of the *Building Act 1975*.

Editor's note—The *Building Act 1975* permits planning schemes to:

- regulate, for the Building Code of Australia (BCA) or the Queensland Development Code (QDC), matters prescribed under a regulation under the *Building Act 1975* (section 32). These include variations to provisions contained in parts MP1.1, MP1.2 and MP1.3 of the QDC such as heights of buildings related to obstruction and overshadowing, siting and design of buildings to provide visual privacy and adequate sight lines, on-site parking and outdoor living spaces. It may also regulate other matters, such as designating land liable to flooding, designating land as bushfire prone areas and transport noise corridors
- deal with an aspect of, or matter related or incidental to building work prescribed under a regulation under section 32 of the *Building Act 1975*
- specify alternative boundary clearances and site cover provisions for Class 1 and 10 structures under section 33 of the *Building Act 1975*.

Refer to Schedule 9 of the Regulation to determine assessable development, the type of assessment and any referrals applying to the building work.

- (4) The building assessment provisions are specified in Table 1.6.1 (Building assessment provisions) below:

Table 1.6.1 Building assessment provisions

Building assessment provision	Relevant section of planning scheme	<i>Building Act 1975</i> (BA) and <i>Building Regulation</i> (BR)
Bushfire hazard		
Designation of bushfire hazard areas for the BCA or QDC	Refer to Table 1.7.1 – Designated bushfire prone area for Australian Standard AS3959-2018	Section 32(a) BA and section 12 BR
Flood hazard		
Designation of flood hazard areas for the BCA or QDC	Refer to Table 1.7.2 – Designated flood hazard area for Queensland Development Code MP3.5	Section 32(a) BA and section 13 BR
Declaration within the flood hazard area that the finished floor level of habitable rooms exceeds 300 millimetres	Flood hazard overlay code Note –The finished floor level in a flood hazard area for habitable rooms must be a minimum of 500 millimetres above the defined flood level.	Section 32(a) BA and section 13 BR
QDC alternative provisions		
Alternative provisions to the QDC MP1.1 and QDC MP1.2 for a class 1 and 10 building or structure	Low density residential zone code Low-medium density residential zone code Character overlay code	Sections 32(b), 32(c) and 33 BA and section 10 BR

Editor's note—A decision in relation to building work that is assessable development under the planning scheme should only be issued as a preliminary approval. See section 83(b) of the *Building Act 1975*.

Editor's note—In a development application, the applicant may request preliminary approval for building work. The decision on that development application can also be taken to be a referral agency's response under section 56 of the Act, for building work assessable against the *Building Act 1975*. The decision notice must state this.

1.7 Local government administrative matters

- (1) For the purpose of section 32(a) of the *Building Act 1975* and section 12 of the *Building Regulation 2006*, the land identified in Table 1.7.1 is a 'designated bushfire prone area'.

Table 1.7.1 – Designated bushfire prone area for Australian Standard AS 3959-2018

Designated bushfire prone area	<p>Land identified in the following sub-categories on the Bushfire hazard overlay map:</p> <ul style="list-style-type: none"> • Very high hazard area sub-category; • High hazard area sub-category; • Medium hazard area sub-category; and • Buffer hazard area sub-category.
--------------------------------	---

- (2) For the purpose of section 32(a) of the *Building Act 1975*, section 13(a) of the *Building Regulation 2006* and Queensland Development Code MP 3.5 Construction of buildings in flood hazard areas, the land identified in Table 1.7.2 is a 'designated flood hazard area'.

Table 1.7.2 – Designated flood hazard area for Queensland Development Code MP3.5

Designated flood hazard area	<p>Land identified in the following sub-categories:</p> <p>Fitzroy River flood overlay maps:</p> <ul style="list-style-type: none"> • H6 (Extreme hazard area sub-category); • H5 (Extreme hazard area sub-category); • H4 (High hazard area sub-category); • H3 (High hazard area sub-category); • H2 (Medium hazard area sub-category); and • H1 (Low hazard area sub-category). • North Rockhampton flood management area. <p>Local catchment flood overlay map:</p> <ul style="list-style-type: none"> • Planning Area 1 sub-category; and • Planning Area 2 sub-category. <p>Floodplain investigation area overlay map.</p>
------------------------------	---

- (3) For the purpose of section 32(a) of the *Building Act 1975* and Queensland Development Code MP 4.4 Buildings in a transport noise corridor, the land identified in Table 1.7.3 is a 'designated transport noise corridor'.

Table 1.7.3 – Designated transport noise corridor for Queensland Development Code MP4.4

Designated transport noise corridor	Land identified in the following sub-categories on the Transport noise corridor overlay maps: <ul style="list-style-type: none"> • Main Roads sub-category 0; • Main Roads sub-category 1; • Main Roads sub-category 2; • Main Roads sub-category 3; • Main Roads sub-category 4; • Railway noise corridor; and • Railway noise corridor 80 metre buffer.
-------------------------------------	--

Editor's note—For the purposes of the *Building Act 1975* and application of the Queensland Development Code in relation to declaration of transport noise corridors, the planning scheme has not declared such transport noise corridors, except for information purposes only.

Part 2 State planning provisions

2.1 State planning policy

The Minister has identified that the state planning policy is integrated in the planning scheme in the following ways:

State interests in the state planning policy appropriately integrated

- Housing supply and diversity
- Liveable communities
- Agriculture
- Development and construction
- Mining and extractive resources
- Tourism
- Biodiversity
- Coastal environment
- Cultural heritage
- Water quality
- Emissions and hazardous activities
- Natural hazards, risk and resilience
- Energy and water supply
- Infrastructure integration
- Transport infrastructure
- Strategic airports and aviation facilities
- Strategic ports

State interests in the state planning policy not appropriately integrated

Nil

State interests in the state planning policy not relevant to Rockhampton Regional Council

Nil

Editor's note—In accordance with section 8(4)(a) of the Act the State Planning Policy applies to the extent of any inconsistency.

2.2 Regional plan

The Minister has identified that the planning scheme, specifically the strategic framework, appropriately advances the Central Queensland Regional Plan 2013, as it applies in the planning scheme area.

2.3 Referral agency delegations

Schedule 10 of the Regulation identifies referral agencies for certain aspects of development. No referral agencies have delegated referral agency jurisdictions to Rockhampton Regional Council.

2.4 Regulated requirements

The following regulated requirements prescribed in the Planning Regulation 2017 dated 27 October 2017 are appropriately reflected in the planning scheme:

- use terms (schedule 3 of the Regulation)
- administrative terms (schedule 4 of the Regulation)

[Intentionally blank]

Part 3 Strategic framework

3.1 Preliminary

- (1) The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs in the planning scheme area for the life of the planning scheme.
- (2) Mapping for the strategic framework is included in Schedule 2.
- (3) For the purpose of describing the policy direction for the planning scheme, the strategic framework is structured in the following way:
 - (a) the strategic intent;
 - (b) the following six (6) themes that collectively represent the policy intent of the scheme:
 - (i) Settlement pattern;
 - (ii) Natural environment and hazards;
 - (iii) Community identity and diversity;
 - (iv) Access and mobility;
 - (v) Infrastructure and services; and
 - (vi) Natural resources and economic development;
 - (c) the strategic outcome(s) proposed for development in the planning scheme area for each theme;
 - (d) the element(s) that refine and further describe the strategic outcomes;
 - (e) the specific outcomes sought for each, or a number of, elements; and
 - (f) the land use strategies for achieving these outcomes.
- (4) Although each theme has its own section, the strategic framework in its entirety represents the policy intent for the planning scheme.

Note—The life of a planning scheme is ten (10) years from the date of adoption before a review is required; however, the strategic elements of the planning scheme have at least a twenty (20) year planning horizon.

3.2 Strategic intent

The planning scheme area includes the three (3) main urban areas of Rockhampton, Gracemere and Mount Morgan, significant rural areas (including townships), and national parks.

The landscape is diverse. It moves from the Fitzroy River delta in the east through expansive areas of productive pastoral and agricultural land as you move west. The Fitzroy River is a dominant natural feature that provides for both the livelihood of the area and a hard constraint on development in some areas due to regular significant flood events. More importantly, it is foundation for further sustainable economic and residential growth. It is also imperative that planned measures to reduce flooding impacts on important transport infrastructure are completed.

The resident population of the planning scheme area in 2020 was 81,999, mostly located in urban areas. Rockhampton, located approximately forty (40) kilometres inland on the Fitzroy River is the largest centre with 61,595 people. The area is forecast to grow at a rate of 1 per cent per annum to 104,383 by 2036.

Gracemere is the second largest town and is located approximately ten (10) kilometres south west of Rockhampton. It has been a fast growing residential area on the back of more affordable housing and being a preferred location for "drive in drive out" employees servicing the resources sector to the west. Based on demonstrated interest and current approvals, higher growth is planned to continue over the longer term.

Continued growth in the resources sector and industrial growth at Gladstone will support further growth in service and logistics industries in the planning scheme area. This, along with the ongoing strength of existing businesses and traditional and emerging primary industries, will underpin the forecast growth rate.

The changing age demographic and a desire for more affordable and efficient lifestyles will start shifting the preferred dwelling preferences away from suburban dwelling houses towards more compact dwelling styles closer to centres, transport infrastructure and services.

The planning scheme area contains many attractive natural and man-made features which are important to maintaining or enhancing the lifestyles of residents and visitors. It is important these are protected, but also able to be accessed and enjoyed.

Council is particularly concerned with making the principal centre of Rockhampton the focus of inner city living and community and cultural activity in the medium-term.

The planning scheme seeks to provide for the forecast growth in a way that balances the importance of assuring the ability to grow with the need to deliver preferred lifestyle choices and protect places of value.

Strategic framework themes



3.3 Settlement pattern

3.3.1 Strategic outcomes

- (1) The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions.
- (2) Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.
- (3) Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.
- (4) Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.
- (5) Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.

Editor's note—To remove any doubt centres include specialised centres.

- (6) Future urban areas and future industrial areas are the preferred locations for greenfield development beyond 2031.
- (7) The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.
- (8) Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.
- (9) The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character outlined in the zone. Buildings are oriented to the street and public places enhance the quality of the street, create a human scale at street level and are designed to promote accessibility and walkability.

- (10) Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.
- (11) The centres hierarchy is maintained and the role and function of designated centres service the planning scheme area. Centres provide a mix of land uses, including residential development that supports each centres viability and activity.
- (12) Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.
- (13) An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.
- (14) The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.
- (15) Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.
- (16) The productive capacity of all rural land is protected.
- (17) Rural lands and natural areas are maintained for their rural and landscape values.
- (18) The scenic and environmental values of areas identified as nature conservation or natural corridor or link are protected.
- (19) The cultural heritage of Rockhampton is conserved for present and future communities.
- (20) Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.

3.3.2 Planning scheme places

This strategic framework identifies a series of places which generally show a progression through natural and rural hinterlands, then a sequence of human settlements of increasing density and scale. Figure 3.3.2.1 is a diagrammatic representation of how the various types of place evolve. This diagram indicates each place type, the future expected form and layout to be achieved from the outcomes contained within this planning scheme and more specifically, the strategic framework and supporting strategic framework maps (SFM-1 to SFM-4). Each strategic place designation has been further described in Table 3.3.2.2.

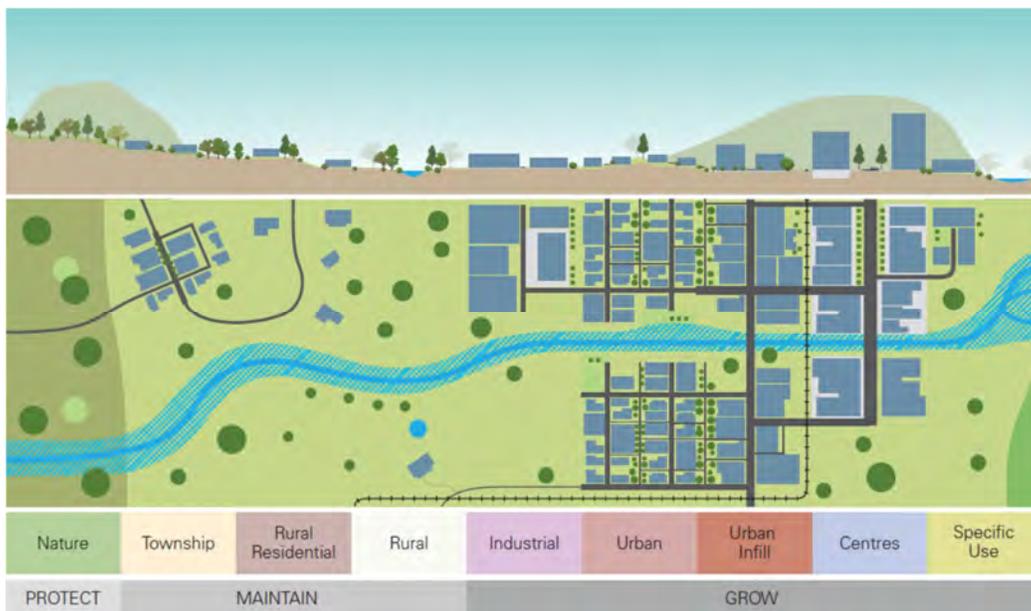


Figure 3.3.2.1 — Planning scheme places

Table 3.3.2.2 — Strategic map designations and descriptions

Place	Designation	Description	Location
Nature	Nature conservation and open space	These areas will remain dominated by the natural environment and are protected from urban development.	<ul style="list-style-type: none"> • Bouldercombe Gorge Conservation Park • Goodedulla National Park • Mount Archer National Park and Berserker foothills • Rockhampton Botanical Gardens
	Natural corridor or link	Provide flora and fauna links between nature conservation and open space areas through rural land and urban areas.	<ul style="list-style-type: none"> • Rural, nature conservation and open space areas
Township	Township	Provide for the convenience needs of small, discreet rural communities and typically include traditional activities such as a general store, stock and station agent, service station and hotel. Township centres are a strong focus for surrounding rural areas.	<ul style="list-style-type: none"> • Bajool • Bouldercombe • Gogango • Kabra • Marmor • Stanwell • Westwood
Rural residential	Rural residential	Provides for residential development on large lots within a rural setting. Rural residential development is limited to infill within the designated areas.	<ul style="list-style-type: none"> • Bouldercombe • Gracemere (South Gracemere) • Lakes Creek • Mount Morgan • Parkhurst (Belmont Road)
Rural	Rural	The balance of the non-urban area which contains rural production and landscapes. These areas will not accommodate urban development.	<ul style="list-style-type: none"> • Balance of the non-urban area
Industrial	Industrial	Existing industrial development or land preferred for industrial uses, which are expected to occur to 2026. These areas are fully serviced to an urban standard.	<ul style="list-style-type: none"> • Park Avenue industrial area • Parkhurst industrial area • South Rockhampton industrial area • Gracemere industrial area
	New industrial	Identifies new industrial land, projected to be required before 2031. These areas will be fully serviced and will require more detailed structure planning.	<ul style="list-style-type: none"> • Parkhurst industrial area • Gracemere industrial area

Place	Designation	Description	Location
	Future industrial	Identifies land to accommodate industrial development beyond 2031, to at least 2041. These areas are protected from fragmentation and development of land uses which could potentially compromise their longer term use for industrial development.	<ul style="list-style-type: none"> • Parkhurst industrial area • Gracemere industrial area
Urban	Urban	Existing urban footprint and areas with development potential which will expect to be developed by 2026. These areas are fully serviced to an urban standard and include current land uses that provide for a localised service function including neighbourhood centres and non-residential uses (community facilities, open space and sport and recreation).	<ul style="list-style-type: none"> • Rockhampton • Gracemere • Mount Morgan
	New urban	Provides for urban development to accommodate the projected population to 2031. These areas will be fully serviced and will require more detailed structure planning.	<ul style="list-style-type: none"> • Parkhurst and Norman Gardens • Gracemere
	Future urban	Accommodates urban development beyond 2031, to approximately 2041. These areas will require further investigation to determine their suitability for urban development and are protected from fragmentation and development of land uses which could potentially compromise their longer term use for urban development.	<ul style="list-style-type: none"> • Parkhurst • Gracemere
Urban infill	Urban infill and intensification	Areas within the urban footprint where increased residential densities are desirable to promote compact neighbourhoods. These areas also provide opportunities for replacement of older housing stock and are located in proximity to service centres and major infrastructure.	<ul style="list-style-type: none"> • Rockhampton City • Allenstown • Berserker (Musgrave Street) • Gracemere

Place	Designation	Description	Location
Centres	Principal centre	The highest order centre comprising the primary administrative, civic, commercial, retail, service, cultural and entertainment functions that align with the primary intent of each precinct and servicing the planning scheme area and beyond. It includes higher density short-term accommodation and long-term residential development where appropriately located. It also offers a range of specialised niche and destination retailing and convenience shopping.	<ul style="list-style-type: none"> Rockhampton
	Major centre	A broad range of activities, including high order retail, residential, community, cultural and entertainment facilities that service the regional catchment area.	<ul style="list-style-type: none"> North Rockhampton
	District centre	A concentration of land uses including retail, residential, small-scale offices, administrative and health services, community, entertainment and recreational facilities capable of servicing a catchment area of 5,000 to 8,000 households.	<ul style="list-style-type: none"> Allenstown Gracemere Parkhurst (Boundary Road)
	Local centre	Provides for the day-to-day convenience needs of the surrounding catchment area of between 3,000 to 5,000 households. The convenience needs include medical and personal services, food and drink outlets, shops and a hotel or other uses that provide a community focal point. Community services that directly support the immediate community and residential development are supported within these centres.	<ul style="list-style-type: none"> Frenchville (Dean Street) Norman Gardens (Farm Street) Norman Gardens (Norman Road) Mount Morgan Parkhurst (William Palfrey Road – Lot 5 on SP238731)

Place	Designation	Description	Location
	Neighbourhood centre	A small mix of land uses contained within the urban area that service a catchment area of around 1,500 households and includes small-scale convenience shopping and community services that directly support the immediate community.	<ul style="list-style-type: none"> • Berserker (Elphinstone Street) • Kawana (Richardson Road) • Park Avenue (Main Street) • South Gracemere (proposed) • Wandal <p>Editor's note—Neighbourhood centres are not depicted on the strategic framework maps (identified by zoning only).</p>
	Specialised centre	Focused on providing a particular retail function that is highway focussed or convenience shopping that services the immediate neighbourhood area.	<ul style="list-style-type: none"> • Gladstone Road and George Street • Musgrave Street • Yaamba Road
Specific use	Specific use	Large single use/focus places that do not fit into other place types.	<ul style="list-style-type: none"> • Major social infrastructure (CQUniversity, Mount Morgan Hospital, Rockhampton Base Hospital and Mater Hospital) • Major sport and recreation (Wandal, Parkhurst and The Common) • Mount Morgan mine • Port Alma • Railway yards (Depot Hill) • Rockhampton Airport • Tourism or ecotourism development (Mount Morgan Railway Museum, Rockhampton Botanical Gardens and Quay Street)



3.3.3 Element – Nature conservation, open space and natural corridor or link

3.3.3.1 Specific outcomes

- (1) Nature conservation and open space areas contain national parks, public open space, environmentally significant areas (including corridors) as shown on strategic framework maps (SFM-1 to SFM-4) and other important ecological and landscape values. These areas are protected from urban development.
- (2) Nature conservation and open space areas do not accommodate development other than activities which allow access for recreation and maintenance. Other forms of development may be suitable when designed to accommodate, integrate with and where possible rehabilitate the natural environment (this may include some low-scale ecotourism development).
- (3) Urban development that encroaches into undeveloped natural places will not occur. Environmentally significant natural features (including wetlands, waterways, threatened flora species and hill slopes) will continue to be protected from urban encroachment.
- (4) Development is designed to assist with the achievement of energy efficiency outcomes, is sensitive to adjoining natural features and is undertaken in a way that ensures the protection of the ecological and scenic values.
- (5) On privately owned land, rural or other activities do not intrude on the ecological values of these places.

Rockhampton

- (6) Urban development that further encroaches on the undeveloped Berserker foothills will not occur. The steep and environmentally significant land within the Berserker Range (including the foothills and Mount Archer National Park) are protected to ensure the scenic and natural backdrop to Rockhampton is maintained.



3.3.4 Element – Townships

3.3.4.1 Specific outcomes

- (1) Townships are compact, walkable, provide for mixed uses and the convenience needs of small rural communities and the surrounding rural areas. Townships are supported by local community facilities and services but rely on larger centres for higher order uses such as employment, major retail and shopping, health services, education and cultural facilities.
- (2) Buildings are of a low-scale, as townships are located in a rural setting. Future development within these areas will be based on the traditional grid street pattern.
- (3) Townships will not expand beyond their boundaries (with the possible exception of Bouldercombe).

Bouldercombe

- (4) Expansion beyond the existing township zone is limited and infill development is the preferred means of accommodating additional growth. Any expansion will not result in further rural residential development beyond areas already identified.

Kabra and Stanwell townships

- (5) No expansion or infill residential development beyond a single dwelling house on a single existing lot within the Kabra and Stanwell townships is to occur due to conflicts with existing and potential future land uses (such as the Gracemere Industrial Area) and the impact of flooding.



3.3.5 Element – Rural residential

3.3.5.1 Specific outcomes

- (1) Rural residential development occurs only within the identified rural residential designated areas as shown on the strategic framework maps (SFM-1 to SFM-4). No further expansion of rural residential areas is supported.
- (2) Rural residential development is limited to existing designated areas for the following reasons:
 - (a) protect existing agricultural land, natural resources and the natural environment;
 - (b) protect natural and scenic landscapes;
 - (c) maximise the use of existing available infrastructure;
 - (d) encourage urban development into defined urban areas and new urban areas as identified on the strategic framework maps (SFM-1 to SFM-4); and
 - (e) avoid impeding the efficient expansion of the urban footprint.
- (3) Home based businesses involving heavy vehicles may establish within rural residential areas, where no significant impact occurs on adjoining sensitive land uses. However, larger scale transport and freight uses (which do not fall within the definition of a home based business) must be located within the designated industrial areas or areas specifically identified elsewhere within this strategic framework, rather than in rural residential areas.
- (4) Small-scale rural uses (such as animal keeping or cropping) are supported provided that they are in accordance with the rural residential zone code.
- (5) New subdivisions within rural residential areas must be serviced to an urban standard (including constructed roads and stormwater drainage).

Editor's note—Rural residential land will continue to be reviewed to reduce the extent within areas that are suitable for rural activities.

Mount Morgan – Baree and Walterhall

- (6) To provide for adequate water and sewer services on-site, rural residential development in the Baree and Walterhall precinct will be required to be on an allotment of 4,000 square metres or greater, which may require the amalgamation of land.



3.3.6 Element – Rural

3.3.6.1 Specific outcomes

- (1) Rural land has important economic, environmental and scenic values and provides for uses including primary production, mining and tourism.
- (2) Rural land is not used for urban development and is to be protected for its productive, landscape and natural resource values.
- (3) Sensitive land uses in rural areas will not occur when in proximity to incompatible development (for example industrial uses). The special management area overlay provides a separation distance between industry (such as the Lakes Creek meatworks, Bajool explosives reserve, Marmor limeworks, landfill sites and the Gracemere industrial area) and new sensitive land uses. Within this overlay no further subdivision or the establishment of new sensitive land uses is supported.
- (4) Development will not alienate or impact on the productive agricultural capacity of rural areas.
- (5) Separation areas from existing and future planned residential land uses are provided to maximise, preserve and protect agricultural production capacity and amenity values.
- (6) Subdivision of rural land will be regulated by minimum lot sizes established to maintain the productive potential of the land. The amalgamation of existing smaller lots into larger proportions is encouraged.
- (7) Subdivision of rural land into rural residential lots will not occur, including areas adjoining land designated for rural residential development.
- (8) Dwellings are not established and further subdivision does not occur in historic subdivisions.

Editor's note—Historic subdivisions throughout the region have been zoned limited development.

- (9) Intensive rural uses that will have a negative impact on the water quality in mapped wetlands and waterways, in particular the Fitzroy River and Dam 7 at Mount Morgan will not occur.
- (10) The cropping and intensive horticulture precinct identifies areas where the productive capacity of the land is maximised and land use and development is primarily associated with cropping and intensive horticulture.
- (11) Intensive animal industry (particularly feedlots), is a potential growth industry but will be required to be located away from sensitive land uses, existing and future planned urban areas, townships, areas subject to natural hazards and areas of environmental significance. These uses will also need to consider the impact and location with respect to the local transport network.
- (12) The establishment of farm-stays and ecotourism will be supported to capitalise on the natural and scenic attractiveness of the area.
- (13) Value-adding cottage industries in proximity to horticultural areas that could lead to strengthening of the local economy and promotion of co-located like uses will be

supported. However, they should not detract from the productive capacity of the land and environmental and scenic values.

- (14) Other uses that are required to coexist with rural uses will be accommodated where they do not:
 - (a) diminish the productivity of agricultural land;
 - (b) impact on adjoining or nearby uses;
 - (c) impact on the capacity and safety of state controlled roads; and
 - (d) result in fragmentation of rural land.
- (15) Transport and freight uses (which do not fall within the definition of a home based business) must be located within designated industrial areas or areas specifically identified elsewhere within this strategic framework rather than in rural areas.
- (16) Renewable energy technology uses will be supported where there are no adverse impacts on adjoining and nearby uses, including impacts associated with noise, light, emissions, infrastructure requirements or transport movements on transport networks.
- (17) Sustainable forestry and processing of forestry products will be encouraged, however are not located within the cropping and intensive horticulture precinct.
- (18) The ongoing use of the Benedict Road, Peak Hill and Pink Lily key resource areas will be protected from the encroachment of incompatible uses by appropriate separation distances. Expansion of extractive operations in key resource areas and new extractive operations is supported, but will be required to minimise potential conflicts with nearby land uses, the natural environment and naturally occurring hazards. They must maintain a suitable standard of infrastructure services.

Editor's note—The extractive resources overlay identifies key resource areas and separation distances where incompatible land uses must not be located.

Alton Downs

- (19) Development within the Alton Downs precinct reflects the desired character of the area, being smaller rural lots for lifestyle purposes. A suitable provision for infrastructure is required for new development including adequate water supply, sewage treatment and disposal and access to a sealed road.



3.3.7 Element – Industrial (existing, new and future)

3.3.7.1 Specific outcomes

- (1) Industrial development will be consolidated within the industrial areas designated on the strategic framework maps (SFM-1 to SFM-3). These areas have sufficient land to accommodate growth beyond 2036 and provide for a full range of industrial use types. These areas are located to reduce land use conflicts in the medium- to long-term, and to allow for the most efficient infrastructure delivery.
- (2) Industrial areas have been planned in accordance with the following principles:
 - (a) the consolidation of industrial uses on planned industrial land;
 - (b) good access to key transport networks;
 - (c) the timely and most efficient delivery of appropriate infrastructure services; and
 - (d) the minimisation of land use conflicts.
- (3) On larger sites a structure plan will be required in accordance with the relevant zone code and planning scheme policies. These areas are well planned and demonstrate the following:
 - (a) subdivision occurs in a sequenced manner in coordination with future planned infrastructure and services;
 - (b) the land does not have significant environmental or ecological values, including but not limited to, areas of environmental significance, wildlife and environmental corridors and waterways and wetlands;
 - (c) new development does not expand into areas affected by natural hazards;
 - (d) development minimises amenity impacts when located adjoining urban areas and zones intended to accommodate sensitive land use(s);
 - (e) development maintains the balance of land or future stages in large parcels, to assist in future development options;
 - (f) development of land within the industrial and new industrial areas occurs prior to future industrial areas; and
 - (g) development is consistent with the strategic framework maps (SFM-1 to SFM-3).
- (4) The fragmentation of land that prevents or impedes the efficient and properly coordinated development of identified industrial land will not occur. The consolidation of smaller properties into larger land holdings will be encouraged.
- (5) Sufficient land is identified to support the need for low impact and service industries in local communities where growth is forecast.
- (6) The integrity of all industrial areas is maintained and not compromised by the establishment of sensitive land uses within or adjoining these areas.

Editor's note—The special management area overlay identifies the areas whereby the intensification or the establishment of new sensitive land use(s) will not occur.

- (7) The functional needs of the industrial use prevail over the built form except where adjoining visually sensitive areas, including residential areas and major road corridors. Ancillary office and sales areas are to be sited and orientated towards the primary street frontage.
- (8) Development provides for vegetated buffers where sites adjoin major road corridors (including state controlled roads) into Gracemere and Rockhampton to ensure there are no adverse visual impacts and to maintain and enhance the entry points into these areas.
- (9) Sufficient off-street parking is provided to ensure the function and safety of industrial roads is protected. Customer and employee parking must not hinder heavy vehicle access necessary for successful operation of the intended level of industry.

Rockhampton

- (10) To eliminate land use conflicts within and bordering onto urban areas, it is preferred that historically located, medium impact, high impact and special industries at Lakes Creek, Depot Hill and Port Curtis are relocated to the Gracemere industrial area. In the interim, lawful uses on their current sites can continue to operate; however, increased production or any diversification must address impacts on adjoining sensitive land uses (including environmental nuisances) and maintain appropriate separation distances.
- (11) The Parkhurst and Lakes Creek precincts will continue to accommodate existing high impact industries (acknowledged by establishing precincts within the high impact industry zone). The future expansion of existing industries within these two (2) precincts must be controlled and environmental nuisances such as noise, dust, light and odour are contained onsite to ensure surrounding residential communities (including future residential communities) are not impacted upon.
- (12) The Parkhurst and Park Avenue industrial areas (excluding areas zoned high impact industry) will accommodate primarily low and medium impact industries due to their proximity to residential communities.
- (13) The industrial area off Alexandra Street (between Main Street and Richardson Road) is surrounded by low density residential development. The current use of the site for service industry and low impact industry can continue; however, the redevelopment of the entire site for residential or community/recreational related uses would be considered appropriate.
- (14) The South Rockhampton industrial area will continue to provide for predominantly service and low impact industries. Development within the South Rockhampton precinct will be limited due to the impact from flooding.
- (15) The Waterfront and marine industry zone and Fitzroy River industry precinct facilitates marine industry related uses. These areas will provide for boat storage, maintenance and marine servicing facilities.

Gracemere

- (16) The Gracemere industrial area (including the Stanwell Power Station) will be developed as a major regional industrial area by accommodating a range of industrial uses. Sufficient land has been identified to accommodate at least thirty (30) years of projected industrial growth. The continued expansion of infrastructure (including the grade-separated overpass) will provide a significant trigger for further development in accordance with the industrial, new industrial and future industrial designated areas as shown on strategic framework map SFM-3.
- (17) To achieve effective separation from adjoining sensitive land uses, new large-scale and intensive industrial uses (particularly high impact industry and special industry land uses) will be encouraged to establish in the Gracemere industrial area.
- (18) Large-scale development including the subdivision of land will be undertaken in accordance with an approved structure plan which will identify (inter alia) future infrastructure corridors, the preferred location of land uses and associated buffer areas.

- (19) The Gracemere saleyards is a significant regional facility (acknowledged by the Gracemere saleyards precinct) which is to be protected from incompatible land uses. The area situated along Hall Road, adjacent to the Gracemere saleyards precinct, which is unaffected by flooding, may be suitable for future service and low impact industrial uses. This will only occur if the development of a suitable standard road access and other trunk infrastructure can be viably established and a clear need can be demonstrated.

Regional area

- (20) Significant regional facilities such as the Bajool explosives reserve are to be buffered from sensitive land use(s). Future expansion of these industries, while supported due to the contribution to the local economy, must minimise impacts upon nearby or adjoining sensitive land use(s).



3.3.8 Element – Urban and new urban

3.3.8.1 Specific outcomes

- (1) Urban and new urban areas are characterised by walkability between housing and activity nodes, such as a park, shop or bus stop. They offer a choice of housing types, including dwelling houses, semi-detached or dual occupancy housing, row or terrace houses, some multiple dwellings (in accordance with specific outcome (6) below) and small scale live/work buildings (i.e. home based businesses). While dwelling houses are the most common use, many dwelling houses are on a range of smaller lots.
- (2) Urban and new urban areas allow for adaptable dwellings that provide intergenerational housing options catering to young people, families and support for ageing in place.
- (3) Urban and new urban areas have a feel of openness at the street level. Streets are characterised by street trees that provide shade and character, footpaths for walking trips, and streets shared by cars and bikes. New streets are laid out on a grid-based pattern in order to provide good connectivity and legibility and to reduce the need to drive.
- (4) The planning scheme has identified sufficient land supply for future greenfield development up to 2031. No further residential development is to occur beyond the areas designated as urban and new urban as shown on the strategic framework maps (SFM-1 to SFM-4) before 2031. Future urban areas will only be considered for future residential development when addressing the outcomes identified under section 3.3.9.

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

Editor's note—Future urban areas have been generally identified by the emerging community zone.

- (5) Urban development is contained within the urban and new urban areas to achieve the following outcomes:
 - (a) the impacts from natural hazards are avoided, including the potential future impacts resulting from climate change;
 - (b) environmental values and green breaks are maintained;
 - (c) rural, natural asset, landscape and environmental values are protected;
 - (d) a coordinated sequence that ensures the efficient delivery of infrastructure and services;
 - (e) safe and efficient access to retail goods and services, community and recreational facilities and employment opportunities;
 - (f) a range of housing and lifestyle options consistent with the forecast changing demographic characteristics and expectations;
 - (g) the opportunity for increasingly sustainable and healthy lifestyles, including a reduced dependence on motor vehicles by providing convenient access to public transport, walking and cycling; and

- (h) infill and intensification is focused around centres and transport facilities.
- (6) Housing other than dwelling houses are located on lots with particular attributes, like corner lots, lots with rear lane access, and lots located on higher order roads and with convenient walking distance to centres, parks and major community facilities or public transport .
- (7) A variety of residential lot sizes and designs is provided to cater for diverse and changing housing needs within the community. The scale of buildings is appropriate to the size of the lot and to the character of the neighbourhood.

Editor's note—A variety of lot sizes is achieved through implementing the provisions of the reconfiguring a lot code.

- (8) Urban and new urban areas (excluding neighbourhood centres) contain existing land uses that provide for a localised service function such as small-scale food and drink outlets, community uses and services. These land uses can continue; however, the expansion of these uses or the establishment of new uses must function to service the needs of the immediate local residential community, not conflict with sensitive land uses, not compromise the role and function of designated centres and be consistent with the relevant zone code.
- (9) No expansion of existing centres or industrial areas will occur into residential zoned areas (unless otherwise identified within the planning scheme). This will:
 - (a) maintain the viability and sustainability of existing centres and industrial areas;
 - (b) provide certainty to the owners and occupants;
 - (c) encourage the reinvestment and redevelopment of existing centres and industrial areas; and
 - (d) prevent the spread of 'ribbon' development along state controlled roads and major roads.
- (10) Neighbourhood centres do not expand to service a wider local centre catchment.
- (11) Greenfield urban and new urban areas in Rockhampton and Gracemere will provide at least fifteen (15) dwellings per hectare of land (net developable area). On larger sites, a structure plan must be provided in accordance with the relevant zone code and planning scheme policies.

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

- (12) These new communities are well planned and demonstrate the following:
 - (a) subdivision occurs in a sequenced manner and coordinated with surrounding land;
 - (b) development creates attractive streets that are well-connected to parks, community facilities and centres to support sustainable lifestyles including pedestrian and cycle transport;
 - (c) the land retains significant environmental or ecological values, including but not limited to areas of environmental significance, wildlife and environmental corridors and waterways and wetlands;
 - (d) the physical characteristics of the land are suitable for development. New development does not expand into land that is subject to adverse impacts from natural hazards;
 - (e) development will protect significant landscape features and areas of high scenic value;
 - (f) future social and economic needs and characteristics are catered for;
 - (g) development does not cause or exacerbate existing land use conflicts with respect to major industrial uses (including the Gracemere and Parkhurst industrial areas) or other land uses such as existing intensive rural land uses or extractive industry;
 - (h) development provides for a variety of residential lot sizes and designs;
 - (i) the balance of land or future stages of large greenfield sites are retained in large parcels;

- (j) development is sequenced and coordinated in a way that provides for the most efficient connection and maintenance of existing and future infrastructure and services; and
- (k) development is consistent with the strategic framework maps (SFM-1 to SFM-4).

Editor's note—The biodiversity overlay identifies areas of environmental value and new development may be required to submit an environmental report demonstrating that no environmental values exist or impacts are minimised, avoidance is not feasible and an environmental offset is provided.

Editor's note—A variety of lot sizes and the preferred subdivision design is achieved through implementing the provisions of the reconfiguring a lot code.

- (13) Greenfield urban and new urban areas may provide higher residential densities (generally in accordance with the urban infill and intensification section) when adjoining a new centre that is designated within this strategic framework.
- (14) Until planned and developed, urban and new urban areas are maintained in large parcels to prevent fragmentation which will compromise the future coordination of urban development.

Rockhampton

- (15) Future greenfield development in Rockhampton is directed to Norman Gardens and Parkhurst to avoid areas affected by flooding to the south and west and steep land/environmental constraints to the east.
- (16) The planned Central Queensland University (CQU) priority development area is a significant greenfield development site within the urban area which will provide additional opportunities to accommodate residential growth.
- (17) The residential stables precinct will continue to be a suitable location for the stabling of horses within proximity to Callaghan Park, provided that impacts upon surrounding sensitive land uses are mitigated.
- (18) No additional local centres or higher order centres are required within greenfield areas with the exception of a local centre in North Parkhurst (along William Palfrey Road on Lot 5 SP238731) that develops commensurate with the population of the immediate catchment.
- (19) The Fitzroy River accommodation precinct provides for short-term accommodation in the form of the re-use of an existing dwelling and small scale non-residential uses directly associated with boating activities (for example bait and tackle shops, food and drink outlets), provided they do not adversely affect residential amenity.

Gracemere

- (20) Gracemere will continue to grow as a major urban area and will accommodate additional residential growth within the planning horizon. New residential development will occur within the urban and new urban areas located on the southern and eastern boundaries of Gracemere in accordance with a structure plan.
- (21) Provision of additional open spaces and community facilities in the southern and eastern parts of Gracemere will be facilitated and pedestrian and bicycle linkages to these facilities improved.
- (22) The subdivision of land for residential purposes on the northern side of the Capricorn Highway will not occur.
- (23) Residential development will not occur to the west of Gracemere due to the conflicts generated by the current and future development of the Gracemere industrial area.
- (24) No additional centres are required within greenfield areas with the exception a neighbourhood centre in the southern part of Gracemere commensurate with the population of the immediate catchment.

Mount Morgan

- (25) Mount Morgan currently provides an affordable housing option; however, there will be no expansion of the current urban areas due to insufficient infrastructure and local employment opportunities. Challenges include providing a reliable water supply, sewerage treatment capacity and safe commuter road access to other centres.

3.3.8.2 Land use strategies

Rockhampton

The construction of a levee bank and associated infrastructure to provide greater flood immunity to the flood prone areas of South Rockhampton is being investigated. In the event construction proceeds, a review of possible land uses in the area and an amendment to the planning scheme may become necessary.

3.3.9 Element – Future urban

3.3.9.1 Specific outcomes

- (1) Future urban areas identify the preferred direction of growth beyond urban and new urban areas. Rural uses which do not compromise future urban development can continue within future urban areas.

Editor's note—Future urban areas have been generally identified through the emerging community zone.

- (2) No urban development is expected to occur within future urban areas before 2031. Future urban areas will only be considered for urban development before this date when:
 - (a) a demonstrated need is established through actual population growth rates being higher (over a three (3) to five (5) year period) than the planning assumptions used for this planning scheme and land identified for development prior to 2031 is inadequate to accommodate the additional demand;
 - (b) no further land or suitable land remains for urban development within the urban and new urban areas;
 - (c) development is consistent with the pattern of growth as outlined in strategic framework maps (SFM-1 to SFM-4);
 - (d) a structure plan is provided in accordance with the applicable zone and planning scheme policies; and
 - (e) development pays for any infrastructure costs which are not planned for in the local government infrastructure plan in the manner permitted under the relevant legislation.

Note—Provisions regarding the development of greenfield areas under urban and new urban areas would also need to be met.

3.3.9.2 Land use strategies

Gracemere

The area immediately adjacent to the landfill site in Lucas Street may be suitable for urban development in the long-term after the landfill function of the facility ceases.



3.3.10 Element – Urban infill and intensification

Editor's note—Infill refers to development within existing urban areas that generally involves higher density forms of housing.

3.3.10.1 Specific outcomes

- (1) Urban infill and intensification areas are designated for higher density and walkable neighbourhoods that accommodate a wide range of different dwelling choice. These areas include older suburbs in proximity to centres located at Gracemere and Rockhampton, as shown on the strategic framework maps (SFM-1 to SFM-3).
- (2) Urban infill and intensification areas are characterised by residential uses, providing ready access to a range of shopping, community and other local services and facilities. Long-term and short-term residential land uses are within easy walking and cycling distance to non-residential uses and public transport.
- (3) Urban infill and intensification areas provide for low-medium and high density developments that are consistent with the low-medium and high density residential zone codes. These neighbourhoods have a sense of enclosure at the street level provided by small building setbacks, with the built environment part of its character usually dominant. Streets are characterised by street trees which provide shade and character, footpaths for walking trips, and through pavements shared by cars and bikes. These streets are usually grid-based and well connected, reducing the need to drive.
- (4) The expansion of industrial areas and centres (including specialised centres) into the urban infill and intensification area will not occur.
- (5) Development provides for land uses consistent with the zone outcomes, densities and urban form which supports walkable, self-contained communities that:
 - (a) provide choice of housing types and contributes to “affordable living” by including smaller and inexpensive options close to centres;
 - (b) reduce vehicle-based trip making and travel costs;
 - (c) provide access to employment, retail and commercial services, recreational opportunities and community facilities; and
 - (d) protect residential amenity commensurate with its location.

Rockhampton

- (6) Victoria Parade, Bolsover Street and Alma Street (identified by the high density residential zone) will be the primary focus for high density residential development. Non-residential uses are appropriate at ground level and focused on the consumptive and entertainment needs of surrounding residents including land uses such as small-scale food and drink outlets, shops and community related activities. Urban infill and intensification areas located outside of this area will provide for low-medium density residential development.
- (7) No further expansion of commercial, retail or industrial uses along High Street, and east and west of Musgrave Street (outside of the specialised centre) will occur.

Gracemere

- (8) Low-medium density residential development has been designated for areas around the Gracemere district centre to provide for an alternative housing choice in Gracemere with access to employment, retail and commercial services, recreational opportunities and community facilities.



3.3.11 Element – Centres

3.3.11.1 Specific outcomes

- (1) The settlement pattern is supported by a hierarchy of centres (refer to Table 3.3.2.2) that:
 - (a) have a range of employment, goods and services, with principal, major and district centres offering a greater scale and diversity and local and neighbourhood centres servicing local needs only;
 - (b) provide a destination and a focus for various activities, including commerce, meeting, entertainment, recreation, health, education, transport and sport;
 - (c) provide for short-term accommodation and long-term residential development unless otherwise limited for a specific centre elsewhere;
 - (d) promote the creation of lively, pedestrian-friendly environments which provide safe, comfortable and universally accessible links between important public spaces and activities;
 - (e) are contained in well-defined areas, preventing the expansion of commercial and retail uses into adjoining residential zones; and
 - (f) support the redevelopment of existing sites and reuse of buildings within centres.

Editor's note—Long-term residential development refers to dual occupancy, multiple dwelling, retirement facility uses and the like.

- (2) The centres hierarchy is maintained to ensure a concentration of employment and business activity that services the planning scheme area. This concentration of activities will ensure:
 - (a) efficient use of existing infrastructure provided by both the public and private sectors;
 - (b) efficient means of undertaking activities within the one area, reducing the need for multiple trips;
 - (c) co-location of activities to promote choice for users and competition between businesses;
 - (d) public transport networks, based around a concentration of critical mass of activities and people, are supported;
 - (e) business activity is maintained and vacancies and low levels of amenity are reduced; and
 - (f) increased confidence in investment decisions.
- (3) Large-scale administrative and professional offices, including regional offices of government and private sector head-offices are located within the core precinct of the principal centre to support its primacy in the centres hierarchy.

Editor's note—All office proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on the principal centre.

- (4) Large-scale retail developments are to be located within the principal centre (in accordance with the designated precincts) and major centre (including a major department store and additional discount department stores).

Editor's note—All retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on higher order centres.

Editor's note—Retail generally refers to food and drink outlet, service industry, shop, shopping centre, showroom and the like.

- (5) Lower order centres in the hierarchy do not detract from the role and function of the principal, major or district centres.
- (6) The expansion of an existing centre or the establishment of retail and office activities outside of the identified centres will not occur, except where specifically intended in a particular zone, precinct or sub-precinct. Showrooms and retail-based hardware stores are to be located within designated centres.
- (7) Emerging centres in greenfield locations (including Gracemere and North Parkhurst) are not intended to accommodate full line supermarkets.
- (8) Residential development (including short-term or permanent residential uses) is supported in all centres (except in the Denison Street precinct in the principal centre) to enhance the viability and convenience of the centre and to maximise public transport use. Residential development is to be located above ground floor level or behind active uses such as commercial, retail and community uses and the like.
- (9) Development within centres is outwardly focussed at the ground level. Buildings are built to the street frontage and public places have awnings that create a safe and shaded pedestrian environment with uses that generate activity such as shops and food and drink outlets (cafes and restaurants). Car parking areas do not dominate the street frontage and are predominantly located behind buildings.
- (10) New developments must address key corners, be responsive to the regions climate and create a pedestrian friendly environment.
- (11) All centres are connected by efficient, reliable and safe passenger and freight transport networks to a standard necessary to support planned population and economic growth.
- (12) A development involving a significant increase in gross floor area (exceeding the threshold outlined in the applicable zone code) is accompanied by a master plan which demonstrates how an appropriate level of integration, connectivity and quality in the public realm is achieved with the balance of the centre and with the surrounding urban areas.

Rockhampton principal centre

- (13) The principal centre is the highest order centre and serves the planning scheme area and beyond. The centre is laid out in a grid pattern, and at the centre of transport networks, for public transport, cycling and pedestrians. The principal centre provides for high order retail and commerce, cultural and entertainment uses in accordance with the principal centre zone and the business, core, Denison Street and Quay Street precincts.
- (14) The principal centre is a meeting place, with squares and urban parks. Its large-scale and intensity provides vitality and interest unlike any other part of the planning scheme area. The level of activity in the principal centre increases in line with population growth. Vacancy rates are kept low by avoiding unnecessary expansion of lower order centres to reinforce the role of the principal centre and to reduce the threat of leakage from the principal centre core.
- (15) The core precinct is the preferred location for retail, entertainment, professional services, government services, civic, commercial development and high density residential development (including permanent occupancy and a range of short-term accommodation choices). Large-scale administrative and professional offices, including regional offices of government and private sector head-offices are located in the core precinct and not within any other centre or precinct.
- (16) Development that has the potential to consolidate and strengthen the core precinct, such as the relocation, or establishment of new state or federal government offices, educational institutions (such as universities/TAFE) or a major department store is encouraged.

- (17) The core precinct will accommodate the tallest commercial buildings in the planning scheme area, which dominate the tree lined streets that have constructed footpaths and on-street parking. To reinforce the significance of the core precinct building height is consistent with or greater than surrounding buildings (including a minimum building height of two (2) storeys). Ground level development is outwardly focussed, built to the street frontage with continuous awnings, and creates a safe and shaded pedestrian environment.
- (18) The business services precinct provides for supporting services to the core precinct such as large format retail, business to business operations, outdoor sales, hardware and trade supplies and garden centres and the like.
- (19) Large-scale offices are not located within the business services, Denison Street or Quay Street precincts as these are preferred in the core precinct. This will support a concentration of employment and business activity with flow-on benefits for other tenants and facilities. It also promotes a centralised public transport network based on a concentrated critical mass of activities and people and to achieve the desired built form outcomes.
- (20) The Denison Street precinct will accommodate service and low impact industry uses that service the core precinct and business services precinct. Long-term residential development (with the exception of caretaker's accommodation) in this precinct will not occur due to the surrounding land use conflicts. The removal of the north/south rail corridor in this precinct would provide the opportunity for streetscape improvements (including pedestrian and bicycle infrastructure).
- (21) The Quay Street precinct will accommodate retail, tourism, markets, short-term and permanent accommodation. This precinct will provide a focal point for active frontages by accommodating food and drink outlets (cafe and restaurants) and entertainment facilities, taking advantage of being located close to the riverbank and access to the Fitzroy River. Uses that do not support an active frontage such as offices at the ground floor level are not preferred in this precinct. However, small scale offices may face Quay Lane where they create fine grained facades and provide for extensive overlooking of the street.
- (22) The Quay Street precinct and other areas of the principal centre with valuable heritage and commercial character buildings are encouraged to redevelop through reduced requirements for the reuse of an existing building. New development along Quay Street or adjoining an existing historic building is to be in keeping with the streetscape in relation to height, form and materials used.
- (23) New development in the principal centre will ensure that the following is retained, utilised and enhanced:
 - (a) views from major public viewer places to Mount Archer and the Berserker Range, which provide an attractive setting and backdrop to the north of Rockhampton;
 - (b) the structured grid pattern layout of streets and lanes which creates maximum street frontage, pedestrian access (including designated pedestrian links) and efficient transport movements;
 - (c) the wide streets and wide footpaths, which provide opportunities for the incorporation of well-designed on-street car parking, landscaping and shade trees, dedicated on-street off-street bikeways, footpath dining and furniture, art and public meeting space along the footpaths;
 - (d) the visual amenity of the Fitzroy River and recreation space along its banks, which provide opportunities for informal and formal recreation, temporary entertainment uses, and a focal point for footpath dining on Quay Street and Victoria Parade;
 - (e) the large number of heritage and commercial character buildings located throughout the centre;
 - (f) the facade and parapet built form, with a minimum of two (2) storeys in the Rockhampton principal centre core for new development; and
 - (g) public spaces (and opportunities for additional public spaces provided by the wide road reserves) as places for street art.

- (24) The principal centre provides the opportunity for significant redevelopment as there is a large stock of under-utilised land. Within the business services, core and Quay Street precincts, these sites provide an opportunity for higher density residential living for short-term and long-term residents. The increase in residential dwelling density and associated increased activity will improve the viability of commercial and retail uses and the attractiveness of inner city living. It will also improve personal security within the principal centre and along the banks of the Fitzroy River.
- (25) Post 2021, the principal centre may require a second full-line supermarket to service the population growth that is predicted to occur in South Rockhampton.

North Rockhampton major centre

- (26) The major centre provides for higher order shopping needs, entertainment and community facilities including supermarkets, department stores, variety stores and specialist retailing to service a regional catchment.
- (27) Commercial uses involving large-scale offices are not located in the major centre, as they will detract from and undermine the role of the principal centre.
- (28) Residential development is supported to enhance the viability and convenience of the centre and maximise public transport options.
- (29) The major centre is to be well serviced by public and active transport networks and offer active, pedestrian-focussed street level environments by addressing street frontages.

Allenstown, Gracemere and Parkhurst district centres

- (30) District centres provide for household's major weekly or fortnightly shopping, and therefore are the intended location for a full-line supermarket. New full-line supermarkets are to be located in the Gracemere district centre (not the Allenstown district centre) and Parkhurst (Boundary Road) district centre (limited to one (1) full-line supermarket to service the Parkhurst catchment) or higher order centres and not in lower order centres or out of centre locations, unless specifically provided for elsewhere.
- (31) District centres are a focus for surrounding communities and a hub for public transport, pedestrians and cyclists and are surrounded by, and connected to, residential areas. These centres have a strong sense of enclosure at the street level, with little or no building setback to the street. Buildings are punctuated by squares and quality urban parks. These centres include a mix of uses, high levels of activity and offer high quality urban lifestyles. Streets are lined with street trees, have constructed footpaths and provide on- and off-street parking.
- (32) The Allenstown district centre will continue to service Allenstown and surrounding localities with a concentration of land uses including retail, residential, offices (limited in size), and services. With the expansion of the Gracemere district centre, it is not envisioned that Allenstown will require an additional supermarket.

Local and neighbourhood centres

- (33) Local and neighbourhood centres will consolidate and continue to accommodate a mixture of commercial and retail services that are focussed on servicing the local catchment. Regional scale commercial, office and retail services which are located in local and neighbourhood centres are to relocate to the principal centre overtime.
- (34) The expansion of commercial and retail uses into adjoining residential areas will be avoided.
- (35) Local and neighbourhood centres have a strong sense of enclosure at the street level, with little or no building setback to the street. Buildings are punctuated by squares and quality urban parks. These centres include a mix of uses, high levels of activity and support high quality urban lifestyles. Streets are lined with street trees, have constructed footpaths and provide on- and off-street parking.

- (36) No additional local centres (beyond those that are zoned) are required within the existing urban areas. Existing neighbourhood centres are not to expand beyond serving a wider local centre catchment. Greenfield areas may accommodate new centres with a local centre in North Parkhurst (along William Palfrey Road on Lot 5 SP238731) being required where commensurate with the growth of the immediate catchment and that does not detract from the Parkhurst (Boundary Road) district centre. Gracemere may also require a neighbourhood centre in the southern growth area to service the predicted population growth. It is not expected that local or neighbourhood centres will accommodate a full-line supermarket.
- (37) The Mount Morgan local centre will accommodate a mix of uses including future retail, commercial and service industry to service the local community. The expansion of these uses into the adjoining low density residential zone will be avoided.

3.3.12 Element – Specialised centres

3.3.12.1 Specific outcomes

- (1) Specialised centres provide a retail function that is limited to showrooms or outdoor sales with food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre as well as convenience shopping for the immediate neighbourhood and local customers (in this regard having a similar function to a neighbourhood centre).
- (2) To protect the vitality, role and function of higher order centres, specialised centres do not accommodate large-scale offices, department stores, discount department stores or large-scale shopping centres, unless specifically provided for elsewhere.

Editor's note—All office and retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on higher order centres.

- (3) Specialised centres are protected from encroachment by incompatible development.
- (4) Further expansion of these centres into adjacent residential zones and outside the designated centre areas (including ribbon development along roads) will not occur. This is to ensure the redevelopment of existing buildings and vacant land within these centres occurs and to mitigate against impacts where adjoining residential areas.
- (5) New development provides for active frontages and built design elements such as awnings that are orientated towards the primary street frontage.
- (6) A development involving a significant increase in gross floor area (exceeding 3,000 square metres) is accompanied by a master plan which demonstrates how an appropriate level of integration, connectivity and quality in the public realm is achieved with the balance of the centre and with the surrounding urban areas.

Gladstone Road and George Street

- (7) The Gladstone Road and George Street precinct provides for highway orientated uses including short-term accommodation, service stations, service industries, food and drink outlets and showrooms when consistent with the specialised centre zone code.
- (8) This area is not intended to accommodate large-scale office activities and shopping centres. In addition, large-scale shops such as a full-line supermarket will not occur (with the exception of Lot 1 SP161848 and Lot 1 SP191827 when involving the reuse of the existing building onsite). This will ensure that this centre does not compromise and undermine the role and function of higher order centres.
- (9) The outdoor sales and service sub-precinct provides for showrooms and outdoor sales, while the residential and food services sub-precinct is to transition to primarily residential uses (including short-term accommodation) and small-scale uses supporting travellers such as food and drink outlets, visitor information facilities and service stations.

Musgrave Street

- (10) The Musgrave Street precinct will continue to accommodate retail outlets, food and drink outlets and hotels. Small-scale shops providing for convenience shopping for the immediate community are supported, when having a similar function to a neighbourhood centre.
- (11) Residential development is supported in the mixed use sub-precinct; however, long-term permanent residential uses such as multiple dwellings are located above the ground floor level or behind ground storey commercial, retail or community uses.
- (12) Low impact industries, outdoor sales, warehousing and service industries are supported within the outdoor sales and services sub-precinct provided that the use does not compromise the amenity of the urban infill and intensification area.
- (13) Office activities (greater than 200 square metres in gross floor area) and shops such as full-line supermarkets are not located in this centre to avoid undermining the role and function of higher order centres.

- (14) Existing government and regional scale offices located along Musgrave Street relocate to the principal centre over time.
- (15) New development is built towards Musgrave Street, Queen Elizabeth Drive and Bridge Street with the continuation of awnings along the street frontage. Car parking areas do not dominate the street frontage and are predominantly located behind buildings.

Yaamba Road

- (16) The Yaamba Road precinct provides for large-scale bulk sales and display areas such as showrooms, which may include eating and dining facilities for customers.
- (17) Large-scale office activities and shops such as supermarkets (with the exception of Lot 25 on RP610513 for a shop) are not intended in this centre to avoid undermining the function of other centres.



3.3.13 Element – Specific use

3.3.13.1 Specific outcomes

- (1) Specific use places are large single use or single focus places which do not fit into other place types. These places are shown on the strategic framework maps (SFM-1 to SFM-4) and include the following:
 - (a) major social infrastructure (Rockhampton Base Hospital, Mater Hospital, CQUniversity and Mount Morgan Hospital);
 - (b) major sport and recreation areas (Wandal, Parkhurst and The Common);
 - (c) Mount Morgan mine;
 - (d) Port Alma;
 - (e) railway yards (Depot Hill);
 - (f) Rockhampton Airport; and
 - (g) tourism or ecotourism development (Mount Morgan Railway Museum, Rockhampton Botanical Gardens and Quay Street).
- (2) These places will continue to provide significant employment and services to the planning scheme area.
- (3) The further development of these places is supported, provided that amenity impacts upon nearby sensitive land use(s) can be avoided.
- (4) Future development of major social infrastructure and major sport and recreation areas must demonstrate how the expansion integrates with the surrounding urban area and identify linkages with centres and where appropriate open space networks.
- (5) Development within specific use areas does not detract from the role and viability of centres.

Editor's note—All office and retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on centres.

Rockhampton

- (6) Development within the Rockhampton Airport area (identified by the Rockhampton airport precinct) provides for airport related activities and supporting services. Supporting services includes commercial, retail, low impact industry and short-term accommodation that primarily serve the commuting passenger and military activities. Future expansion of commercial uses servicing the airport is supported south of Hunter Street within the airport precinct. All development must be in accordance with the intent of the designated sub-precincts and must not detract from the orderly development of existing centres. New development will be required to mitigate against known flood impacts, through appropriate design and siting, to ensure prompt recovery after flood events.

- (7) Rockhampton Base Hospital and Rockhampton Mater Hospital and associated uses will continue to develop as the regional health services centre. Development that assists the amenity and functionality of this centre for patients and their families, including some short-term accommodation and car parking will be supported provided that the development of these uses does not detract from the role, function and vitality of Rockhampton's principal centre and other nearby centres.
- (8) CQUniversity will remain the focus of tertiary education and vocational training. Expansion of the university facilities is supported. Opportunities exist for the future redevelopment of the CQUniversity site on Canning Street for either community or residential related land uses.

Editor's note—It is important to acknowledge that part of the CQUniversity site has been identified as a priority development area (PDA) and is subject to development requirements outside the jurisdiction of this planning scheme.

- (9) The railway yards located in Depot Hill will continue to accommodate activities associated with passenger transport, railway workshops, depots, warehousing and rail freight centre in accordance with the special purposes zone code.
- (10) The Rockhampton major sports precinct is a suitable location for a regional scale sports stadium and associated facilities. The expansion of residential accommodation in adjacent areas is supported, particularly in the event that a major sports stadium is constructed at Wandal.

Editor's note—Alternative sites for such facilities may also be suitable pending further investigation.

- (11) The major sport and recreation area identified in Parkhurst (Olive Street) must provide linkages and connectivity with existing and future planned residential developments, planned or existing pedestrian infrastructure, open space and corridor networks and community facilities.

Mount Morgan

- (12) The Mount Morgan mine will continue to provide for tourist related uses. Further expansion of these uses is supported, provided that natural and environmental constraints posed by the site can be avoided. The reuse of the site for mining and processing is supported provided that impacts on the surrounding community, scenic amenity and the environment are properly managed.

3.3.13.2 Land use strategies

Rockhampton

The Rockhampton Airport is a major transport hub associated with time sensitive freight, defence operations and training, and the mining industry. It is the regional air travel connection to most major urban centres in Australia. The airport has strategic significance for defence due to its central location and capacity to accept larger aircraft. Planned future growth of the airport will be protected from conflicting developments. New development mitigates against flood impacts by including flood resilient design and siting techniques,

The railway yards and supporting activities located in Depot Hill provide an opportunity for redevelopment in the future. In the event that the impacts of flooding on this land can be reduced through mitigation measures such as levees further investigations and collaboration will be carried out to establish the best long-term use for the land.



3.4 Natural environment and hazards

3.4.1 Strategic outcomes

- (1) The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area's biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.
- (2) Development does not create unsustainable impacts on:
 - (a) the natural functioning of floodplains;
 - (b) environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and
 - (c) the quality of water entering waterways, wetlands and local catchments.
- (3) Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding, bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas.
- (4) Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.

3.4.2 Element – Areas of environmental significance

3.4.2.1 Specific outcomes

- (1) A network of environmental areas and linking natural corridors of environmental significance are identified within the planning scheme area (as shown on strategic framework maps SFM-5 to SFM-8) for protection and enhancement. These areas and corridors include:
 - (a) places of national, state and local environmental significance;
 - (b) regulated vegetation;
 - (c) flora and fauna habitats;
 - (d) wetlands and watercourses, in particular, wetlands of high environmental significance in Great Barrier Reef catchments;
 - (e) coastal areas;
 - (f) undeveloped hill slopes;
 - (g) areas of high environmental significance; and
 - (h) natural corridors ensuring the ecological sustainability of flora and fauna.

Editor's note—Regulated vegetation is defined by mapping associated with the *Vegetation Management Act 1999*.

- (2) Environmentally significant natural corridors are maintained and where appropriate, rehabilitated and expanded to support:
 - (a) the natural movement and proliferation of native species;
 - (b) ecological responses to climate change;
 - (c) the maintenance of large-scale migratory lifecycle processes; and
 - (d) connectivity between significant habitat areas and patches of regulated vegetation.
- (3) Areas of environmental significance are protected and development avoids significant environmental impacts. Where this cannot be reasonably achieved, impacts are minimised and residual impacts are offset locally.
- (4) Natural corridors, wildlife habitat areas, waterways and wetlands provide for:
 - (a) movement of native fauna;
 - (b) viable habitat areas;
 - (c) maintenance of the hydrological functions of waterways or wetlands; and
 - (d) appropriate access for sustainable recreation.
- (5) Existing habitat areas are retained and protected from fragmentation, particularly where it impacts on the future health of populations of native fauna and flora species.
- (6) Decisions regarding the location of major infrastructure corridors and land management practices make the protection of areas of environmental significance a priority.

3.4.3 Element – Natural hazards and climate change

3.4.3.1 Specific outcomes

- (1) Development in areas subject to natural hazards (including flood, bushfire, steep land, erosion and storm tide) avoids an unacceptable risk associated with the extent or severity of the natural hazard, and the safety of people is maintained and damage to property is not increased.
- (2) Urban and rural residential areas do not expand into areas of natural hazard and the risks in existing built up areas is not increased.
- (3) Significant areas of the Rockhampton region are already established within the Fitzroy River floodplain and local catchment areas. Within these areas, the flood risk will be managed by avoiding the intensification of development in high or extreme hazard areas and planning area 1.
- (4) The creation of additional lots within all Fitzroy River flood hazard areas, North Rockhampton flood management area and local catchment planning areas will be avoided.
- (5) Development does not occur where the risk of release of hazardous materials as a result of a natural hazard event can not be avoided.
- (6) Development ensures the natural processes and the protective function of landforms and vegetation is maintained in natural hazard areas.
- (7) Land identified for future hazard mitigation works is protected from development that compromises these projects.

3.4.3.2 Land use strategies

Rockhampton and Gracemere

Rockhampton and Gracemere are subject to major flood events from the Fitzroy River as well as flash flooding of creeks that feed the Fitzroy River system including Moores Creek, Limestone Creek, Splitters Creek, Gavial Creek, Ramsay Creek, Frenchmans Creek, Thozet Creek, Gracemere Creek, Middle Creek and Washpool Creek. Development must mitigate flood impacts and avoid areas required for future flood mitigation projects intended to increase flood resilience to an acceptable level, particularly road and rail alignments identified in the Fitzroy River Floodplain and Road Planning Study.

Further flood mitigation options for areas heavily impacted by flooding from the Fitzroy River will continue to be investigated. In the event that new flood mitigation measures such as a levee are implemented for areas such as Depot Hill and Port Curtis, the planning assumptions and associated development provisions for these areas may be amended.

The city has also experienced severe bushfires in recent years and the risks to existing and future development will be mitigated by minimising new development in areas particularly at risk. Development in areas that may be impacted upon by bushfire must mitigate against the possible impacts. Development beyond the existing urban areas into the Berserker ranges will be avoided.

3.4.4 Element – Coastal environment

3.4.4.1 Specific outcomes

- (1) Coastal environments are protected and enhanced and impacts on natural physical coastal processes are avoided by development.
- (2) Opportunities for sustainable coastal dependent development are protected and undertaken in a manner that minimises impacts on coastal resources.
- (3) Coastal areas that are fragile, important to the stability of the foreshore, and necessary to ensure the scenic, environmental and recreational values are maintained in their natural state and protected from incompatible development.
- (4) Environmentally sustainable public access is provided to coastal areas, national parks, areas of cultural significance and waterways so that the community can enjoy them in a safe and environmentally sustainable way.

3.4.5 Element – Water resources, catchment management and healthy waters

3.4.5.1 Specific outcomes

- (1) The Fitzroy River and other waterways and floodplains in the planning scheme area, are recognised for their multiple values, including hydrologic functioning, ecological processes, nature conservation and outdoor recreation. They continue to be maintained for the quality and quantity of water available for both natural processes and consumptive uses.
- (2) New development occurs in accordance with the identified settlement pattern (SFM-1 to SFM-4) in order to ensure efficient water treatment and distribution.
- (3) Development within urban, new urban and future urban areas (SFM-1 to SFM-4) minimises the disturbance to natural drainage and flow rates, impact on groundwater levels and landscape features. Development does not increase the risk of erosion.
- (4) Water quality and the health of associated ecosystems is achieved by:
 - (a) protecting water resource catchments, in particular the Fitzroy River including all feeder systems up stream of the barrage and Dam 7 at Mount Morgan from development;
 - (b) necessary regulation and continued monitoring and controls on the quality of water entering the Fitzroy River from western tributaries, in particular control of the quality and timing of water discharging from industry and mining;
 - (c) incorporating total water cycle management, water sensitive urban design and wastewater quality management measures; and
 - (d) efficient water use and improved demand management.
- (5) The release of acid sulfate soils and associated metal contaminants into the environment is avoided.
- (6) Land development enables sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.
- (7) Natural waterways and nutrient hazard areas are not disturbed or diminished by development unless there is an overriding community benefit for the development and the impacts are mitigated.
- (8) Public access and use of the state coastal land, watercourses and water bodies is maintained, but does not diminish environmental values, water supply reliability and recreational benefits for future generations.

3.4.6 Element – Landscape and scenic amenity

3.4.6.1 Specific outcomes

- (1) Areas having regionally and locally significant landscape values are protected from the adverse impacts of development.

Editor's note—Development within these areas may be required to undertake a visual impact assessment in accordance with SC6.16 — Scenic amenity planning scheme policy.

- (2) Views from significant public lookouts and viewing points (listed below) are protected from:
 - (a) development which would significantly interrupt an existing natural skyline;
 - (b) development which would result in the removal of vegetation which is not replaced with appropriate landscaping as part of the development; and
 - (c) development which would result in permanent scarring on natural landscapes by way of road cuttings, pathways, pipelines, transmission lines and the like.

Note—Public lookouts and viewing points include:

- (1) the top of Mount Archer and other developed public lookouts;
 - (2) coastal areas and Fitzroy Riverbank walkways; and
 - (3) 'Gateway' views created by the crests of ridges or the turning of significant corners which open up long vistas along intraregional roads including Bruce Highway (including Gladstone Road, George Street, Moores Creek Road, Norman Road and Yaamba Road) and entry points to Rockhampton, Gracemere and Mount Morgan.
- (3) Open spaces, rural and natural areas defining the limits of urban areas are protected from development, to ensure a natural separation between urban areas.
 - (4) Within urban areas, development takes into account and is sensitive to the characteristics of the natural land, to ensure any impacts on the environment, topography and landscape are minimised.

Rockhampton

- (5) Areas that have a significant landscape value in and proximate to Rockhampton including the Berserker Range (including Mount Archer National Park and foothills), the Fitzroy River and creek banks (Moores Creek, Ramsay Creek, Thozet Creek, Lion Creek and Limestone Creek) and identified open space network and reserves are protected from urban encroachment and development.

Mount Morgan

- (6) Mount Morgan Range provides a significant backdrop to Mount Morgan and development encroaching into more elevated areas will not occur if the development results in a significant visual disturbance.

3.4.7 Element – Air, noise and hazardous materials

3.4.7.1 Specific outcomes

- (1) The health, well-being, amenity and safety of communities and individuals are protected from the impacts of air, noise and odour emissions, and hazardous materials.
- (2) The interface between land zoned for industry and zones that contain or planned to contain future sensitive land uses is planned to protect the amenity and well-being of residents and to support and protect industrial uses in areas identified in the settlement pattern for industrial development. In particular, the planning of the Gracemere industrial area provides for the long-term separation of higher order industries from the future development of sensitive land uses.
- (3) Development is avoided on land which is already contaminated unless rehabilitated.
- (4) Development involving the storage and handling of hazardous materials is appropriately located, designed and constructed to minimise health and safety risks to communities and adverse impacts on the environment.

3.4.8 Element – Waste

3.4.8.1 Specific outcomes

- (1) Development minimises the generation of solid and liquid waste and the impacts of waste on the natural environment.
- (2) Waste facilities are located to minimise the impact on the local and state controlled road network and are protected from encroachment by sensitive land uses.

Editor's note—The special management area overlay identifies the areas whereby the intensification or the establishment of sensitive land use(s) will not occur.

- (3) Waste treatment facilities not within the urban service area must be able to demonstrate that their operations are consistent with best and current practice environmental standards.
- (4) Existing landfill sites will continue to service the community. Incompatible development adjacent to these sites, such as sensitive land use(s) are not supported while they remain operational.



3.5 Community identity and diversity

3.5.1 Strategic outcomes

- (1) The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.
- (2) The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.
- (3) Cultural heritage is conserved and the character and identity of communities in urban and rural areas is enhanced.
- (4) Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.

3.5.2 Element – Housing diversity, safe communities and equitable access

3.5.2.1 Specific outcomes

- (1) Development contributes to and enhances housing choice, affordability and access to services and meets the needs of a diverse population with changing needs.
- (2) Residential development provides for a range of housing types that recognise a range of income levels, the changing household demographic and physical needs of residents during their lifetime. This is achieved by providing:
 - (a) dwellings in a range of sizes to maximise choice and affordability across the community;
 - (b) adaptable accommodation to suit the needs of residents throughout their lifetime without the need for major adaptation or specialised design; and
 - (c) a dwelling mix that allows residents to remain living in their preferred community as they age (ageing in place).
- (3) Development contributes to the creation of safe residential environments that do not contribute to greater social isolation, particularly for young people, the elderly and the disabled.
- (4) Development creates safe environments that discourage antisocial behaviour by providing:
 - (a) a range of complementary land uses that encourage a public presence and activity at different times of the day and night;
 - (b) passive surveillance, clear boundaries between public and private areas and strong sight lines;
 - (c) limited opportunities for vandalism and nuisance;
 - (d) efficient and effective lighting; and
 - (e) safe pedestrian entries and pathways.

3.5.3 Element – Community identity

3.5.3.1 Specific outcomes

- (5) Development contributes to:
 - (a) the identification and enhancement of public and civic spaces, which provide a focus for a strong community connection, high usage and create a sense of civic pride for these spaces; and
 - (b) well designed and engaging centres, buildings, spaces and outdoor areas that are inviting and encourage greater use by residents as meeting places, for recreation and accessing services and facilities.

3.5.4 Element – Heritage and character

3.5.4.1 Specific outcomes

- (1) Development is compatible with heritage values, including indigenous cultural heritage values, places, buildings, features and landscapes reflecting the history and identity of the planning scheme area.
- (2) Development contributes to and enhances the character and identity of existing and new communities in both urban and rural areas.

The cultural values of the heritage place or area that are potentially associated with the landscape features of a site and its surroundings, including coastal features, wetlands and relics of past activities found during development of the site, are respected and are not subject to changes that would significantly impact on the values or features.
- (3) Rockhampton and Mount Morgan possess specific areas of residential and commercial character. These areas are maintained by retaining specific buildings and ensuring sensitive redevelopment and demolition controls to preserve the streetscapes and built form.

- (4) The Rockhampton Principal Centre (particularly Quay Street) contains many heritage listed and commercial character buildings. New development within this centre is in keeping with the surrounding built form and streetscape and the reuse and upkeep of existing buildings is supported.

3.5.5 Element – Sport and recreation and open space

3.5.5.1 Specific outcomes

- (1) Communities have access to open space and public spaces such as parks, reserves and recreation facilities that contribute to health, active lifestyles, well-being and residential amenity.
- (2) Sport, recreation and community facilities are planned, developed and maintained to encourage co-location that meets the needs of the community and makes efficient use of infrastructure in accordance with the desired standards of service, as contained in the local government infrastructure plan, for these facilities.
Regionally and locally significant sport and recreation facilities, particularly those within the Rockhampton major sports precinct (Wandal), continue to meet community needs and are protected from encroachment by inappropriate development.
- (3) Further development of regional level sporting facilities located at the Rockhampton major sports precinct (Wandal) is encouraged by co-locating community, entertainment, sporting and recreational uses, within current and new multi-use facilities. This will strengthen the region's capability of holding major sporting and entertainment events, within proximity to existing commercial centres, accommodation, infrastructure services and community assets.
- (4) Development contributes to the provision of public open spaces and sport and recreation facilities, including land in greenfield areas in accordance with the desired standards of service as contained in the local government infrastructure plan and SC6.14 — Local parks planning scheme policy.
- (5) Recreation uses are encouraged within areas of environmental significance when not impacting or jeopardising the intrinsic environmental values of these areas or the enjoyment of future generations.
- (6) The open space network is effectively linked by a safe pedestrian and cycle path network that takes in areas of environmental and cultural value to the extent that is reasonable and affordable.

3.5.6 Element – Social, arts and cultural infrastructure

3.5.6.1 Specific outcomes

- (1) Social and community infrastructure is:
 - (a) Co-located in or near centres where possible and easily accessed by public transport;
 - (b) adaptable and responds to diverse and changing community needs;
 - (c) appropriately separated from incompatible development; and
 - (d) appropriately located to function effectively during and after natural hazard events.
- (2) New social infrastructure, services and facilities:
 - (a) are planned and delivered in coordination with service providers, including the State and Commonwealth governments, to support the needs and expectations of existing and new communities within urban and new urban areas;
 - (b) are generally located in centres, ensuring higher order services and facilities are located in higher order centres; and
 - (c) are located and designed to maximise accessibility for all residents who have a need to access the service and a reasonable expectation to benefit from the social infrastructure or facilities.
- (3) Development is encouraged to contribute to the provision of arts, social and community infrastructure to assist with meeting community needs.
- (4) The principal centre is the focus of regional scale entertainment and cultural facilities.

- (5) New arts and cultural facilities within the planning scheme area make for more attractive and interesting public places. New development contributes to these facilities creatively and in their delivery. This is particularly important in the principal and major centres, in areas of infill and intensification and in major tourism locations.



3.6 Access and mobility

3.6.1 Strategic outcomes

- (1) Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.
- (2) The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.
- (3) The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.
- (4) The safety and efficiency of transport infrastructure, including the Bruce and Capricorn Highways and other state and local roads, rail, airport and seaports, are not compromised by development.

3.6.2 Element – Public and active transport

3.6.2.1 Specific outcomes

- (1) The location, density and scale of development do not adversely affect access to the transport network for residents, workers and visitors. Development does not reduce the current level of service from each network for all residents over the long-term.
- (2) The transport network (including the location and design of future links) is designed to minimise impacts on existing and future communities, natural environments and scenic amenity.
- (3) Development contributes to the establishment and extension of safe, comfortable and convenient transport networks catering for pedestrians, cyclists, mobility scooters and the like. The networks link residential areas with centres, employment areas, community facilities, recreation and tourism areas, including the link between the principal centre and the major centre.
- (4) Development in and around centres:
 - (a) contributes to a high quality pedestrian environment, including shade/weather protection, seating, street trees, and safe parking for bicycles; and
 - (b) promotes safe cycling.
- (5) The transport network supports a progressive reduction in car dependency and the increasing use of public and active transport by the community. In particular, the safety and well-being of people who choose public and active transport will be a critical design criterion.
- (6) Residential uses such as multiple dwellings and the like are located in or near centres to encourage increased public transport use.
- (7) Centres are designed and developed to include safe and convenient public transport stops and interchanges which meet the needs of those with limited mobility.
- (8) Recognition of and continued provision for public transport with access to other higher order centres, specific use locations and activity nodes.

3.6.3 Element – Road network

3.6.3.1 Specific outcomes

- (1) The local road network and connections to state roads are safe, efficient and legible for all road users. In particular, work on the local network to facilitate the Gracemere industrial area and north and south Yeppen floodplain upgrades will be prioritised.
- (2) The road network achieves a high level of flood resilience through the timely implementation of the projects identified by the Fitzroy River Floodplain and Road Planning Study.
- (3) Development contributes to or provides local roads to support the state road network, to the extent provided for by the local government infrastructure plan.
- (4) Development recognises the identified function of roads within the network, and provides an acceptable level of access to, and impact on, each road. In particular:
 - (a) the interregional functions of the Bruce, Burnett, and Capricorn Highways for freight and all passenger vehicles, are protected through limited access and, where possible, appropriate separation distances between development and the road corridor;
 - (b) the intraregional functions of major roads that provide access for freight, all vehicles, cyclists and pedestrians between centres and industrial and employment areas are protected through limited access and, where necessary, separation or buffering between development and the road corridor;
 - (c) the local road network provides safe connections for cyclists, pedestrians, and all vehicles between residential and rural areas to higher order roads.
- (5) The safety, efficiency and effectiveness of all existing and future road networks are protected from incompatible land uses and impacts of development.
- (6) The future road alignments designated on strategic framework maps SFM-9 to SFM-12 are not compromised by development.

- (7) The road network accommodates and prioritises a variety of transport needs, including:
 - (a) freight;
 - (b) public transport; and
 - (c) pedestrian and cycle paths.
- (8) The Gracemere and Parkhurst industrial areas are well linked to the road network, which includes a grade-separated access to the Gracemere industrial area.
- (9) New development provides safe access during hazard events on land identified by a relevant hazard overlay.

3.6.4 Element – Rail network

3.6.4.1 Specific outcomes

- (1) A coordinated approach to achieving a high level of flood resilience will be progressed through the timely implementation of the projects identified by the Fitzroy River Floodplain and Road Planning Study. This supports improved access and mobility to major industrial areas including Parkhurst and Gracemere, major mining areas further west and safer and more efficient road and rail travel generally.
- (2) The safety, efficiency and effectiveness of rail networks in the planning scheme area are protected from incompatible land uses and impacts of development.
- (3) Rockhampton and the industrial areas at Gracemere and Parkhurst are linked to the rail network by flood-free rail links.
- (4) The rail network is separated from both the road network and the pedestrian and cycle network to maximise community safety and maintain the efficiency of each network.
- (5) Development mitigates the possible flood impacts on critical access to rail corridors.

3.6.5 Element – Freight network and key logistics hub

3.6.5.1 Specific outcomes

- (1) The location of Rockhampton and Gracemere at the junction of the Bruce and Capricorn Highways and accessible air, sea, road and rail links supports their role as key logistics hubs in Central Queensland. Fully developed, these hubs will ensure the planning scheme area is well connected to other areas of Queensland, interstate and internationally. Land necessary to facilitate these developments is protected, including the provision of separation distances from sensitive land uses.
- (2) The safety, efficiency and effectiveness of the freight network is protected from incompatible land uses.
- (3) Freight networks are located to ensure that the amenity of existing communities and designated growth areas is conserved. In particular, where operations permanently or frequently span a full twenty-four (24) hour day they will be located in areas that will minimise negative impacts on sensitive land uses.
- (4) The freight network includes strategically located multi-modal freight hubs, including:
 - (a) Gracemere industrial area – rail and road freight;
 - (b) Parkhurst industrial area – rail and road freight;
 - (c) Port Alma (strategic port land) – sea and road freight with good links to the railway siding at Bajool; and
 - (d) Rockhampton Airport – air and road freight.
- (5) The strategic freight network has an improved level of flood resilience that is mitigated, where possible, or at least not diminished by development.
- (6) The major rail freight network is relocated from the centre of Rockhampton.

3.6.6 Element – Air transport

3.6.6.1 Specific outcomes

- (1) Rockhampton Airport, as the 'gateway to the region', provides connections to inter-regional and intraregional air, bus, rail and road networks and promotes the economic growth of the region. The safe and efficient development of the airport is not impacted by development which would limit the achievement of its highest strategic potential.
- (2) Air traffic and key access routes associated with the Rockhampton Airport are protected from development that may compromise its safe efficient operation and continued development.
- (3) Ancillary retail and office development at the airport serves the local needs of the airport, but does not detract from the role and function of centres.
- (4) Improved flood resilience of the Rockhampton Airport is an objective in the design of future road and rail networks to the west of the airport.
- (5) The Rockhampton airport and associated aviation facilities ensure that impacts are minimised on surrounding development.

3.6.7 Element – Sea transport

3.6.7.1 Specific outcomes

- (1) Access to Port Alma (strategic port land) for the shipping of goods is protected. It remains isolated from built-up areas to maintain the long-term viability of the port and its continued potential to transfer explosives. It is well linked to state road and rail networks.
- (2) Development does not compromise the current uses or planned future development of Port Alma by the Gladstone Ports Corporation.
- (3) Additional boat launching and retrieval facilities on the Fitzroy River will be supported, which:
 - (a) can be efficiently serviced by infrastructure;
 - (b) minimise the loss of environmental values;
 - (c) provide for safe all tide access to the public; and
 - (d) minimise impacts on existing sensitive land uses.



3.7 Infrastructure and services

3.7.1 Strategic outcomes

- (4) Infrastructure and services are planned and delivered in a logical and cost efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:
 - (a) efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;
 - (b) the long-term needs of the community, industry and business are met; and
 - (c) the desired standards of service in Part 4 — Local government infrastructure plan are achieved.

3.7.2 Element – Inter-regional networks

3.7.2.1 Specific outcomes

- (1) Key sites and corridors for current and future infrastructure and services are identified, preserved and protected (for example through the use of separation areas). These sites and corridors include those shown on the strategic framework maps (SFM-9 to SFM-12).
- (2) Federal, state and approved private infrastructure networks are delivered in an integrated and coordinated way that support the settlement pattern.
- (3) Telecommunications infrastructure meets the needs of the community, industry and business by ensuring reliable connection to national and international services.
- (4) Utility installations and infrastructure services and their corridors including bulk water supply and networks, gas pipelines and electricity transmission and distribution lines, are protected from encroachment and impacts of development. The location of these installations will be considerate of the amenity and safety of sensitive land uses (as shown on the strategic framework maps SFM-9 to SFM-12).
- (5) Development provides for the safe and efficient provision of energy infrastructure adequate to satisfy the community's needs and where possible accommodate sustainable/alternative energy options such as solar.
- (6) Development in urban expansion areas provides adequate suitable land for electricity infrastructure, including land for substations and transmission lines, required to service or traverse the area.

3.7.3 Element – Local area networks

3.7.3.1 Specific outcomes

- (1) The local function component of state and federal infrastructure networks is recognised as a legitimate and integral function of these networks.
- (2) Local areas are supplied with infrastructure meeting specified desired standards of service which meet the needs of residents and other users, in a timely way and in accordance with the local government infrastructure plan.

Editor's note—Desired standards of service are identified for each infrastructure network, within Part 4 — Local government infrastructure plan.

- (3) Urban development is serviced by or connected to:
 - (a) a reliable supply of potable water;
 - (b) a reliable sewerage network;
 - (c) effective stormwater drainage and treatment;
 - (d) an effective and safe transport network;
 - (e) a reliable and safe electricity network; and
 - (f) communication networks (including the National Broadband Network).
- (4) Waste is safely and efficiently managed to meet relevant environmental standards at the optimal cost.
- (5) Opportunities for renewable and alternative energy generation are supported where there is no significant impact upon the local environment and community.
- (6) The design and location of infrastructure maximises the use and benefits of existing infrastructure and minimises the need for additional infrastructure and services.
- (7) Development contributes to the delivery of necessary infrastructure to the extent provided for by the local government infrastructure plan and formal Council infrastructure charging and conditioning arrangements.

3.7.3.2 Land use strategies

Rockhampton

Greater residential and employment density will be dependent on aligning growth with infrastructure renewal and capacity increases. It is intended that new development will contribute to the provision of necessary trunk infrastructure specified in the local government infrastructure plan. New infrastructure will be considerate of the need for improved energy efficiency. The increased density in and around centres and better located pedestrian and bicycle paths will gradually decrease community dependence on motor vehicles.

The critical main north/south road and rail corridor and the airport require greater flood resilience as a matter of priority. A western ring road around the city centre with increased flood immunity is required to ensure the interregional role of the Bruce Highway remains intact and Rockhampton and areas to the north are not isolated during the defined flood event. Major adjustments to the local road network will be required to accommodate infrastructure of this scale. In particular the proposed corridor connecting the existing Bruce Highway to the proposed third bridge west of the city will need to be planned and protected. The alignments specified in the Fitzroy River Floodplain and Road Planning Study will be protected from further incompatible development.

Gracemere

Continued residential and industrial growth at Gracemere will require planning and funding by all levels of government to construct the necessary supporting infrastructure and to ensure a reasonable level of residential amenity.

Mount Morgan

Future growth at Mount Morgan is currently constrained by a lack of water, sewerage and road infrastructure. New development within Mount Morgan will be required to address these infrastructure constraints.



3.8 Natural resources and economic development

3.8.1 Strategic outcomes

- (1) The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.
- (2) The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).
- (3) The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.
- (4) Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.
- (5) Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.

3.8.2 Element – Protection of key assets

3.8.2.1 Specific outcomes

- (6) Key economic assets are protected from encroachment of incompatible development and supported to continue and grow their primary function. These assets include but are not limited to:
 - (a) major energy and transport infrastructure such as the Rockhampton Airport, Stanwell Power Station, the Bruce and Capricorn Highways and major rail freight corridors;
 - (b) major infrastructure corridors;
 - (c) port infrastructure at Port Alma Strategic Port Land;
 - (d) established industries of regional economic significance, including the Lakes Creek meatworks, Queensland Magnesium (Parkhurst industrial area), Hastings Deering (Port Curtis) and salt works near Bajool;
 - (e) major industrial areas at Gracemere, Parkhurst and Bajool;
 - (f) Bajool explosives reserve;
 - (g) Rockhampton Base Hospital, the Rockhampton Mater Hospital and associated medical facilities; and
 - (h) CQUniversity.

3.8.3 Element – Industrial development

3.8.3.1 Specific outcomes

- (1) Existing lawful industrial uses which are located outside of designated industrial areas may continue to operate. The increased production or diversification of these uses may only occur if the adverse impacts on nearby sensitive land uses are mitigated and existing separation distances maintained. Relocation of these industries to designated industrial areas is supported and encouraged.
- (2) The integrity of identified industrial areas is protected from fragmentation by commercial uses which can be established elsewhere, and encroachment from other uses which would limit their operation and expansion.
- (3) Separation buffers and other effective mitigation measures within industrial areas will be used to manage the impact on nearby sensitive land uses and assist in ensuring the ongoing viability of these uses.
- (4) Future growth of the existing explosives reserve at Bajool is supported subject to effective management of risks to nearby sensitive land uses and the Bruce Highway.

Editor's note—The special management area overlay identifies the appropriate separation distances for sensitive land uses from the Bajool explosives reserve.

- (5) Higher order industrial uses locate principally within the Gracemere industrial area.
- (6) The Gracemere industrial area is ideally located at the junction of the north, south and western road and rail corridors to function as a significant regional and interregional logistics hub.

3.8.4 Element – Rural land

3.8.4.1 Specific outcomes

- (1) Land with productive capacity including land identified on the Agricultural Land Classification (ALC) overlay maps and land suitable for intensive horticulture or any emerging productive rural use is protected.
- (2) The loss of productive rural land is minimised by limiting urban development to the areas as shown on the strategic framework maps (SFM-1 to SFM-4).
- (3) No further fragmentation of rural land for rural residential or rural lifestyle development is supported, other than land already designated for that purpose.

- (4) Productive rural land, which is not identified for future urban development is protected from development that would alienate, fragment or otherwise limit its potential for productive rural uses.
- (5) Intensive horticulture is encouraged to establish or expand in the identified rural precinct which has a reliable water supply, including areas along the Fitzroy River upstream of the barrage.
- (6) Additional water storage on the Fitzroy River once constructed will underpin growth in the aquaculture sector. Development that can viably and sustainably leverage this opportunity will be supported.
- (7) Industries which add value to existing rural production are encouraged where:
 - (a) they can access appropriate infrastructure;
 - (b) their impacts are managed; and
 - (c) they do not unreasonably impact on environmental values, scenic amenity, other rural industries or lifestyles.
- (8) Intensive animal industry uses are encouraged in areas which:
 - (a) are not identified on the Agricultural Land Classification (ALC) overlay maps;
 - (b) do not have environmental significance or scenic amenity values;
 - (c) are well separated from sensitive land uses; and
 - (d) are serviced by appropriate infrastructure (particularly transport).

3.8.5 Element – Extractive and mineral resources

3.8.5.1 Specific outcomes

- (9) State, regional and locally significant extractive resources and existing mining operations are identified and protected from development that prevents or constrains extraction and transportation of the resource.
- (10) Extraction of sand and other materials from the Fitzroy River and other waterways does not detract from the water quality of the waterway.
- (11) Development is serviced by appropriate infrastructure (particularly suitable transport network).
- (12) The reuse of the Mount Morgan mine tailings is supported provided that sensitive land uses within Mount Morgan, scenic amenity and environmental values are not impacted upon.
- (13) Sensitive land uses should not encroach upon:
 - (a) known mineral and extractive resource reserves, transport routes and separation areas (namely Benedict Road, Peak Hill and Pink Lily); and
 - (b) the extraction of the material from mineral or extractive resource reserves, including processing and haulage.

3.8.6 Element – Forestry

3.8.6.1 Specific outcomes

- (1) Development does not adversely impact on existing forest industries.
- (2) Forestry development that is environmentally sustainable is supported and encouraged to expand.
- (3) Where public safety can be protected, forestry operations are encouraged to provide for public access for recreation purposes.
- (4) Development is serviced by and contributes to appropriate infrastructure (particularly a suitable transport network).

3.8.7 Element – Marine resources

3.8.7.1 Specific outcomes

- (1) Marine resources of the planning scheme area are recognised for their role in supporting economic development, and the impacts of development do not adversely affect coastal and estuarine fish habitats.
- (2) Declared fish habitat areas including the Fitzroy River, are protected from physical disturbance or other impacts of development. Access to these areas for recreational purposes is maintained at a sustainable level.
- (3) Aquaculture will be supported where it can be demonstrated there will be no adverse impacts on amenity, water quality, ecological values and existing fish habitats.

3.8.8 Element – Tourism

3.8.8.1 Specific outcomes

- (1) Tourism is encouraged, strengthened and expanded based on the sustainable use of natural, cultural and other assets and the orderly provision of infrastructure services and facilities to those assets.
- (2) Tourist development opportunities including farm stay facilities, are encouraged as an emerging economic opportunity, taking advantage of the region's climate and environmental advantages, and building on its existing industries (for example cattle production and horticulture), history, culture and lifestyle characteristics.
- (3) Low impact, nature-orientated tourism attractions and facilities may be appropriate in or in proximity to areas of environmental significance and protected areas where the development is undertaken in a way that ensures the protection of the ecological, cultural and visual values.
- (4) Tourist operations involving short-term accommodation are supported in urban and rural areas, where there are no detrimental impacts on existing or planned nearby land uses.
- (5) Tourist development that leverages the natural assets of the Fitzroy River without compromising environmental or water quality values will be supported.
- (6) The considerable history and heritage values at Mount Morgan reinforce the tourism and economic development potential. Any new development will reflect and protect the unique character and heritage.

[Intentionally blank]

Local government infrastructure plan

4.1 Preliminary

1. This local government infrastructure plan has been prepared in accordance with the requirements of the *Planning Act 2016*.
2. The purpose of the local government infrastructure plan is to:
 - a) integrate infrastructure planning with the land-use planning identified in the planning scheme
 - b) provide transparency regarding a local government's intentions for the provision of trunk infrastructure
 - c) enable a local government to estimate the cost of infrastructure provision to assist its long-term financial planning
 - d) ensure that trunk infrastructure is planned and provided in an efficient and orderly manner
 - e) provide a basis for the imposition of conditions about infrastructure on development approvals.
3. The local government infrastructure plan:
 - a) states in section 2 (planning assumptions) the assumptions about future growth and urban development including the assumptions of demand for each trunk infrastructure network
 - b) identifies in section 3 (priority infrastructure area) the prioritised area to accommodate urban growth up to 2036
 - c) states in section 4 (desired standards of service), for each trunk infrastructure network, the desired standard of performance
 - d) identifies in section 5 (plans for trunk infrastructure) the existing and future trunk infrastructure for the following networks:
 - i. water supply
 - ii. sewerage
 - iii. stormwater
 - iv. transport
 - v. parks and land for community facilities.
 - e) provides a list of supporting documents that assists in the interpretation of the local government infrastructure plan in the Editor's note – Extrinsic material.

4.2 Planning assumptions

1. The planning assumptions state the assumptions about:
 - a) population and employment growth;
 - b) the type, scale, location and timing of development, including the demand for each trunk infrastructure network.
2. The planning assumptions, together with the desired standards of service, form the basis for the planning of the trunk infrastructure networks and the determination of the priority infrastructure area.

3. The planning assumptions have been prepared for:
- a) the base date 2017 and the following projection years:
 - i. mid 2021;
 - ii. mid 2026
 - iii. mid 2031;
 - iv. mid 2036; and
 - v. ultimate development.
 - b) the LGIP development types in column 2 that include the uses in column 3 of Table 4.2.1 - Relationship between LGIP development categories, LGIP development types and uses.
 - c) the projection areas identified on Local Government Infrastructure Plan Map PIA-1 to PIA-4 in schedule 3—Local government infrastructure plan mapping and tables.

Table 4.2.1: Relationship between LGIP development categories, LGIP development types and uses

Column 1 LGIP development category	Column 2 LGIP development type	Column 3 Planning Scheme Land Uses
Residential development	Dwelling house	Dwelling house
	Dual occupancy	Dual occupancy
	Multiple dwelling	Dwelling unit, multiple dwelling, retirement facility, residential care facility
	Other dwelling	Caretaker's accommodation, community residence, hospital, hotel, non-resident workforce accommodation, relocatable home park, resort complex, rooming accommodation, short-term accommodation, tourist park
Non-residential development	Retail	Adult store, agricultural supplies store, bar, car wash, food and drink outlet, function facility, garden centre, hardware and trade supplies, hotel, market, nightclub entertainment facility, outdoor sales, roadside stall, service station, shop, shopping centre, showroom, theatre, tourist attraction, veterinary services
	Commercial	Funeral parlour, home-based business, office, sales office
	Industrial	Brothel, bulk landscape supplies, extractive industry, high impact industry, landing, low impact industry, marine industry, medium impact industry, port services, research and technology

		industry, service industry, special industry, transport depot, warehouse, winery
	Community purposes	Air services, cemetery, child care centre, club, community care centre, community use, crematorium, detention facility, educational establishment, emergency services, health care services, hospital, indoor sport and recreation, major sport, recreation and entertainment facility, motor sport facility, outdoor sport and recreation, park, place of worship, residential care facility
	Other	Animal husbandry, animal keeping, aquaculture, cropping, environment facility, intensive animal industry, intensive horticulture, major electricity infrastructure, nature-based tourism, outstation, parking station, permanent plantation, renewable energy facility, rural industry, rural workers' accommodation, substation, telecommunications facility, utility installation, wholesale nursery

*These uses are the remaining un-modelled planning scheme uses and are not presented in the planning assumptions.

4. Details of the methodology used to prepare the planning assumptions are stated in the extrinsic material.

4.2.1 Population and employment growth

1. A summary of the assumptions about population and employment growth for the planning scheme area is stated in **Table 4.2.1.1 – Population and employment assumptions summary**.

Table 4.2.1.1 – Population and employment assumptions summary

Column 1 Description	Column 2 Assumptions					
	Base date 2017	2021	2026	2031	2036	Ultimate development
Population	87,193	90,631	94,986	100,312	104,383	152,404
Employment	37,786	40,976	43,504	45,313	47,760	219,822

Editor's note—The population figures includes both the resident and non-resident population.

2. Detailed assumptions about growth for each projection area and LGIP development type category are identified in the following tables in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) for population, **Table SC3.1.1.1 — Existing and projected population;**
 - b) for employment, **Table SC3.1.2.1 — Existing and projected employees.**

4.2.2. Development

1. The developable area is represented by zones relating to urban uses not affected by the constraints (to the extent stated), identified by Council in Table 5 of the Planning Assumptions Report
2. The planned density for future development is stated in **Table SC3.1.5.1 — Residential planned density and demand generation rate for a trunk infrastructure network**, and **Table SC3.1.5.2 — Non-residential planned density and demand generation rate for a trunk infrastructure network** in **Schedule 3—Local government infrastructure plan mapping and tables.**
3. A summary of the assumptions about future residential and non-residential development for the planning scheme area is stated in **Table 4.2.2.1– Residential dwellings and non-residential floor space assumptions summary.**

Table 4.2.2.1 – Residential dwellings and non-residential floor space assumptions summary

Description	Assumptions					
	Base date 2017	2021	2026	2031	2036	Ultimate development
Residential dwellings	39,536	41,026	43,247	45,727	47,495	78,511

Description	Assumptions					
Non-residential floor space (m ² GFA)	2,261,787	2,432,738	2,553,425	2,652,695	2,794,462	14,736,987

4. Detailed assumptions about future development for each projection area and LGIP development type are identified in the following tables in Schedule 3 Local government infrastructure plan mapping and tables:
 - a) for residential development, **Table SC3.1.3.1 — Existing and projected dwellings**
 - b) for non-residential development, **Table SC3.1.4.1 — Existing and projected non-residential floor space.**

4.2.3 Infrastructure demand

- 1) The demand generation rate for a trunk infrastructure network is stated in:
 - a) for residential zones, **Table SC3.1.5.1 — Residential planned density and demand generation rate for a trunk infrastructure network**; and
 - b) for non-residential zones, **Table SC3.1.5.2 – Non-residential planned density and demand generation rate for a trunk infrastructure network**.
- 2) A summary of the projected infrastructure demand for each service catchment is stated in:
 - a) for the water supply network, **Table SC3.1.5.3**
 - b) for the sewerage network **Table SC3.1.5.4**
 - c) for the stormwater network, **Table SC3.1.5.5**
 - d) for the transport network, **Table SC3.1.5.6**
 - e) for the parks and land for community facilities network, **Table SC3.1.5.7**

4.3 Priority infrastructure area

1. The priority infrastructure area identifies the area prioritised for the provision of trunk infrastructure to service the existing and assumed future urban development up 2036.
2. The priority infrastructure area is identified on Local Government Infrastructure Plan map PIA-1 to PIA-4 located in **Schedule 3 — Local government infrastructure plan mapping and tables** of the Rockhampton Regional Planning Scheme.

4.4 Desired standards of service (DSS)

1. This section states the key standards of performance for a trunk infrastructure network.
2. The desired standards of service are supported by the more detailed network design standards included in planning scheme policies, legislation, statutory guidelines and other relevant controlled documents about design standards identified below.

4.4.1 Water supply network

1. The desired standards of service for the water supply network are detailed in **Table 4.4.1.1 - Water supply network design desired standards of service**.
2. Council aims to provide reticulated potable water supply to meet the demands of consumers and fire fighting requirements.
3. It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, water supply trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.1.1 Water supply network design desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Reliability/continuity of supply	The water supply system has been designed to provide water twenty-four (24) hours a day seven (7) days a week.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Section 3 and Table 3.1 FRW Strategic Asset Management Plan 22/11/2012. • <i>Water Supply (Safety and Reliability) Act 2008</i>. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • Fitzroy River Water Drought Management Plan. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.

<p>Adequacy of supply</p>	<p>The objective of the water supply system is to provide a reticulated potable water supply to meet the demands imposed upon it by both the consumer and fire fighting requirements.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • <i>Water Supply (Safety and Reliability) Act 2008</i>. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • Fitzroy River Water Drought Management Plan. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.
<p>Quality of supply</p>	<p>Water quality is in accordance with recognised standards and regulatory standards that safeguard community health.</p>	<ul style="list-style-type: none"> • Australian Drinking Water Guidelines issued by the National Health and Medical Research Council. • Section 3 Table 3.2 FRW Strategic Asset Management Plan 22/11/2012. • Council's Drinking Water Quality Management Plan.

<p>Environmental impacts</p>	<p>The environmental impacts of the water supply network are minimised in accordance with regulatory requirements and community expectations.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • <i>Water Supply (Safety and Reliability) Act 2008</i>.
<p>Pressure and leakage management</p>	<p>The water supply network is monitored and managed to maintain the reliability and adequacy of supply and to minimise environmental impacts.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • <i>Water Supply (Safety and Reliability) Act 2008</i>.

<p>Infrastructure design/planning standards</p>	<p>Design of the water supply network will comply with established guidelines, codes and standards.</p>	<ul style="list-style-type: none">• Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies.• Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.• Design criteria in Table 4.4.1.2 below.• Water Supply Code of Australia WSA 03-2011.• State Planning Guidelines for Water Supply and Sewerage April 2010.
---	---	---

Table 4.4.1.2 Water supply network design criteria

Design criteria	Measure
Average Day (AD) Demand	500 litres per Equivalent Person per day (L/EP/Day)
Maximum Day (MD) Demand	1.9 x Average Day (AD)
Maximum Hour (MH) Demand	1/12 x Maximum Day (MD)
One (1) Equivalent Tenement (ET)	2.7 Equivalent Persons (EP)
Minimum service pressure	22 metres head at the centroid of the residential lot during normal diurnal flow
Maximum service pressure	80 metres head
Fire fighting network pressure	12 metres minimum in the water supply network
Fire flow for residential area	15 litres per second for a duration of two (2) hours at minimum pressure of 120 kilopascals (kPa)
Fire flow for industrial/commercial area	30 litres per second for a duration of four (4) hours at minimum pressure of 120 kilopascals (kPa)
Pipeline design maximum velocity	Two (2) metres per second
Reservoir emergency capacity	One (1) maximum day for the supply zone

4.4.2 Sewerage network

1. The desired standards of service for the sewerage network are detailed in **Table 4.4.2.1** below.
2. Council aims to provide reticulated sewerage to meet the demands of consumers and the Environmental Protection Agency.
3. The objective of the sewerage system is to transport sewage from domestic, commercial and industrial properties using gravity flow pipes and where this is uneconomical, by pumping to the treatment plant.
4. It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, sewerage trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.2.1 Sewerage network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Reliability	Provide effective sewerage services and ensure the sewerage system operates adequately and with minimal disruption.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • In accordance with Council's Drinking Water Quality Management Plan.
Quality of treatment	<p>Operate the sewerage system efficiently and effectively, ensuring the highest value for effluent is received for all sewerage treatment plants.</p> <p>The quality of treatment ensures the health of the community, the safe and appropriate level of treatment and proper disposal of treated effluent.</p>	<ul style="list-style-type: none"> • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Tables 2.15 to 2.18 Fitzroy River Water Strategic Asset Management Plan 22/11/2012. • Compliance with the requirement of the Environmental Authority for each treatment plant.

<p>Environmental impacts</p>	<p>Operate the sewerage system efficiently and effectively and minimise sewage overflows and interruptions. The sewerage system operates in accordance with environmental and regulatory requirements and community expectations.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Compliance with the requirement of the Environmental Authority for each treatment plant.
<p>Effluent reuse</p>	<p>Effluent is reused wherever practical and feasible and in accordance with regulatory requirements and community expectations.</p>	<ul style="list-style-type: none"> • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Queensland Water Recycling Guidelines – December 2005. • <i>Water Supply (Safety and Reliability) Act 2008</i>.

Infrastructure design/planning standards	Design of the sewerage network will comply with the established guidelines, codes and standards.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Design criteria in Table 4.4.2.2 below. • Sewerage Code of Australia WSA 02-2002. • <i>Water Supply (Safety and Reliability) Act 2008.</i>
--	--	--

Table 4.4.2.2 Sewerage network design criteria

Design criteria	Measure
One (1) Equivalent Person (EP)	200 litres per Equivalent Person per day (L/EP/day)
One (1) Equivalent Tenement (ET)	2.7 Equivalent Person (EP)
Average Dry Weather Flow (ADWF)	540 litres per Equivalent Tenement per day (L/ET/day)
Peak Dry Weather Flow (PDWF)	2.5 x Average Dry Weather Flow (ADWF)
Wet Weather Flow (WWF)	Five (5) x Average Dry Weather Flow (ADWF)
Sewage pump station emergency storage	Four (4) hours minimum
Total sewage pump station capacity	Five (5) x Average Dry Weather Flow (ADWF) minimum
Gravity Main Minimum velocity at Peak Dry Weather Flow (PDWF)	0.75 metres per second

Gravity Main Maximum velocity at Wet Weather Flow (WWF)	Two (2) metres per second
Rising main minimum scouring velocity	0.75 metres per second
Rising main maximum velocity	Two (2) metres per second

4.4.3 Stormwater network

The function of Council's stormwater drainage systems are to collect and convey stormwater through respective catchment areas while:

1. causing minimal nuisance, danger and damage to people and property; and
2. maintaining a water quality that protects and enhances environmental values.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, stormwater trunk infrastructure aims to meet the standards to the greatest degree practicable.

The Defined Flood Event (DFE) and Defined Flood Level (DFL) are defined in the Rockhampton Region Planning Scheme.

Table 4.4.3.1 outlines the planning and design criteria for the stormwater network within the Rockhampton Regional Council area.

Table 4.4.3.1 Stormwater network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Quantity	Collect and convey stormwater in natural and engineered channels, piped drainage network and overland flow paths to a lawful point of discharge, in a safe manner that protects life and property.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Queensland Urban Drainage Manual.

Quality	The water quality of urban catchments and waterways is managed to protect and enhance environmental values and pose no health risk to the community.	<ul style="list-style-type: none"> • Local water quality guidelines prepared in accordance with the State Planning Policy Guideline State Interest — Water Quality (2016). • Queensland Water Quality Guidelines 2009. • State Planning Policy Guideline State Interest — Water Quality (2016).
Environmental impacts	Where appropriate, adopt water-sensitive urban design principles and on-site water quality management to achieve the water quality objectives set out in the Environmental Protection Act 1994.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Environmental Protection (Water and Wetland Biodiversity) Policy 2019.

Infrastructure design/planning standards	Design of the stormwater network will comply with established codes and standards.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Queensland Urban Drainage Manual. • Australian Rainfall and Runoff (ARR). • Brisbane City Council - Natural Channel Design Guidelines.
--	--	--

4.4.4 Transport network

The transport network contains three integrated systems of:

1. Roads
 - a. the desired standards of service for roads are largely dependent on the road hierarchy classification, lanes, traffic loading, traffic pattern and level of service (LOS); and
 - b. the desired standards of service apply to all trunk infrastructure roads within the Rockhampton Regional Council area in accordance with **Table 4.4.4.1**.
2. Public transport
 - a. bus facilities to include bus stopping treatments and shelters in accordance with **Table 4.4.4.1**.
3. Pedestrian and cycle network
 - a. desired standards of service for cycleways and pedestrian pathways concern geometric design considerations required for the construction of trunk infrastructure as defined by on-road and off-road facilities identified in the Capricorn Municipal Development Guidelines, and summarised in **Table 4.4.4.1** below.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, transport trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.4.1 Transport network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Road network design/planning standards	<p>The road network provides a functional urban and rural hierarchy that supports settlement patterns, commercial and economic activities and freight movement.</p> <p>Design of the road system aims to meet minimum Level of Service (LOS) C at the Planning Horizon Peak Hour Pattern for the particular site.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • The Queensland Department of Transport and Main Roads Road Planning and Design Manual. • Australian Standards. • Austroads guides. • Road Link Mid-Block Level of Service (LOS) - Deemed to Comply Volumes identified in Table 4.4.3.2; or Level of Service C identified in Table 4.4.3.3. • Intersection Level of Service (LOS) - Level of Service C identified in Table 4.4.3.4 and Table 4.4.3.5.

<p>Public Transport design/planning standards</p>	<p>Ensure development accommodates the access to and integration of public transport services.</p> <p>Provide bus stops including bus bays, shelters, seating and bus information systems in accordance with Council's adopted standards identified in the planning scheme.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Design accords with the performance criteria set by Department of Transport and Main Roads. • Queensland Government TransLink Transit Authority's Public Transport Infrastructure Manual. • Austroads Guides for road-based public transport and high-occupancy vehicles.
---	---	---

<p>Cycleway and pathway design/planning standards</p>	<p>Cycleways and pathways provide a safe and convenient network that encourages walking and cycling as acceptable travel alternatives. The cycleway and pathway network is kept continuous to avoid isolated sections of the network.</p> <p>Design of the network will comply with Council's adopted standards identified in the planning scheme.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Australian Standards. • Austroads Guides. • Complete Streets.
---	--	---

Table 4.4.4.2 Level of service (LOS) - Deemed to comply volumes

Road classification	Traffic volume (AADT)
Major rural collector	1,000 - 8,000
Rural arterial	>8,000
Industrial collector	5,000 - 8,500
Major urban collector	3,001 - 6,000
Urban sub-arterial	6,001 - 10,000
Urban arterial	> 10,000

Table 4.4.4.3 Level of service (LOS) criteria for trunk roads using percentage of base free-flow speed and percentage of time spent following

Level of service	Description	Percentage of base free flow speed	Percentage of time spent following
A	Free flow	> 85%	≤ 40%
B	Reasonable free flow	68% - 85%	41% - 55%
C	Stable flow	51% - 67%	56% - 70%
D	Approaching unstable flow	41% - 50%	71% - 85%
E	Unstable flow	31% - 40%	86% - 99%
F	Forced or breakdown flow	≤ 30%	100%

Table 4.4.4.4 Level of service (LOS) criteria for road intersections using delay

Level of service	Average delay per vehicle (d) in seconds		
	Signalised intersections	Roundabouts	Unsignalised intersections
A	$d \leq 10$	$d \leq 10$	$d \leq 10$
B	$10 < d \leq 20$	$10 < d \leq 20$	$10 < d \leq 15$
C	$20 < d \leq 35$	$20 < d \leq 35$	$15 < d \leq 25$
D	$35 < d \leq 55$	$35 < d \leq 50$	$25 < d \leq 35$
E	$55 < d \leq 80$	$50 < d \leq 70$	$35 < d \leq 50$
F	$80 < d$	$70 < d$	$50 < d$

Table 4.4.4.5 Maximum degree of saturation for road intersections

Road network item	Maximum degree of saturation
Signalised intersections	0.9
Roundabouts	0.85
Unsignalised intersections	0.8
Signalised intersections (State-controlled)	0.9

4.4.5 Public parks and land for community facilities network

The desired standards of service for the public parks and land for community facilities trunk infrastructure are shown in **Tables 4.4.5.1 to 4.4.5.6 – desired standards of service – public parks and land for community facilities** and should be read in conjunction with Councils adopted technical standards – Capricorn Municipal Development Guidelines.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, public parks and land for community facilities trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.5.1 Public parks and land for community facilities network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Functional network	A network of parks and community land is established to provide for the full range of recreational and sporting activities and pursuits.	<ul style="list-style-type: none"> • Parks and community land are provided at a local, district and local government area wide level. • Parks and community land address the needs of both recreation and sport.

<p>Accessibility</p>	<p>Public parks and land for community facilities will be located to ensure adequate pedestrian, cycle and vehicle access.</p> <p>Collocate land for multi-purpose community facilities with parks and recreation land and commercial/retail centres.</p>	<ul style="list-style-type: none"> • 2,000 square metres of land for community facilities is to be provided when such land is collocated with a district and regional park. • Accessibility standards are identified in Table 4.4.5.3.
<p>Suitability of land</p>	<p>Public parks and land for community facilities will be provided to a standard that supports a diverse range of recreational, sporting, community and health-promoting activities to meet community expectations. This includes ensuring land is of an appropriate size, configuration and slope, and has an acceptable level of flood immunity.</p>	<ul style="list-style-type: none"> • The rate of land provision is identified in Table 4.4.5.2. • The minimum size, shape of land, minimum desired flood immunity, maximum desired grade and road frontage and visibility for land is identified in Table 4.4.5.4.
<p>Facilities/embellishments</p>	<p>Public parks and land for community facilities contain a range of embellishments to complement the type and purpose of the park.</p>	<p>Indicative embellishments for each type of park, land for community facilities and sports grounds are identified in Tables 4.4.5.5 and 4.4.5.6.</p>
<p>Infrastructure design/performance standards</p>	<p>Maximise opportunities to collocate recreational parks and land for community facilities in proximity to other community infrastructure, transport hubs and valued environmental and cultural assets.</p>	<ul style="list-style-type: none"> • Local government standards in the planning scheme and planning scheme policies. • Australian Standards.

Table 4.4.5.2 Rate of land provision

Infrastructure type	Rate of provision (hectare per 1,000 people)	
	District	Local government wide
Recreation park	0.8	0.5
Sports ground	2.5	2.5
Land for community facilities	<p>Rate of provision to be determined by minimum land sizes and at least one (1) regional facility per the following planning sectors:</p> <ul style="list-style-type: none"> • North Rockhampton • South Rockhampton • Gracemere 	<p>Rate of provision to be determined by minimum land sizes and at least one (1) regional facility per the following planning sectors:</p> <ul style="list-style-type: none"> • North Rockhampton • South Rockhampton

Table 4.4.5.3 Accessibility standard

Infrastructure type	Accessibility standard (kilometres)	
	District	Local government wide
Recreation park	2.5 kilometres in urban areas and within 500 metres of a public transport pick up/drop off point	Local government area and within 500 metres of a public transport pick up/drop off point

Sports ground	2.5 kilometres in urban areas and within 500 metres of a public transport pick up/drop off point	Local government area and within 500 metres of a public transport pick up/drop off point
Land for community facilities	Within 800 metres of a public transport pick up/drop off point	Within 500 metres of a public transport pick up/drop off point

Table 4.4.5.4 Public parks and land for community facilities characteristics

Characteristic	Recreation parks and land for community facilities		Sports grounds	
	District	Regional	District	Regional
Minimum size of open space (hectares)	Two (2) hectares of usable space for parkland One (1) hectare of usable space for land for community facilities	Six (6) hectares of usable space for parkland 1.5 hectares of usable space for land for community facilities	A minimum of three (3) hectares, sufficient to boast two (2) fields per one (1) oval collocating and room for ancillary facilities (club house, toilets, car parking)	A minimum of four (4) hectares, sufficient to boast three (3) fields per two (2) ovals collocating and room for ancillary facilities (club house, toilets, car parking)
Shape of land	The preferred shape for a park/land for community facilities is square to rectangular with the sides no greater than 2:1		To maximise the area available for playing fields, a square or rectangular shape is considered most efficient	
Minimum desired flood immunity for parks	At least twenty-five (25) per cent of total area above 2% AEP with main activity area/s above 1% AEP	At least fifty (50) per cent of total area above 2% AEP with main activity area/s above 1% AEP and free of hazards	Free of hazards. Ninety per cent of land above 5% AEP. Fields/courts above 2% AEP. Built facilities above 1% AEP	

Maximum desired grade	<p>Recreation parks — average grade of 1:14 for eighty (80) per cent of the area of the park to facilitate wheelchair access to parks. Variable topography is satisfactory for the remaining area</p> <p>No area of the park will have a grade greater than 1:6</p> <p>Community facilities — a maximum grade of no more than six (6) per cent for the entirety of the site – or ten (10) per cent for the footprint of the community facility</p>	<p>Recreation parks — average grade of 1:20 for main use areas, 1:50 for kick about area, and variable topography for remainder</p> <p>No area of the park will have a grade greater than 1:6</p> <p>Community facilities — a maximum grade of no more than six (6) per cent for the entirety of the site – or ten (10) per cent for the footprint of the community facility</p>	Laser levelling to a maximum gradient of playing surface 1:100
Road frontage and visibility	Twenty-five (25) per cent of park perimeter to have direct road frontage, preferably on a collector road	Fifty (50) per cent of park perimeter to have direct road frontage, preferably on a collector road	Approximately twenty-five (25) per cent of the ground perimeter to have direct road frontage

Table 4.4.5.5 Indicative embellishments for the hierarchy of recreation parks

Park element	District	Local government wide
Internal roads	None	As required to service car parking and access requirements
Car parking	Forty (40) sealed car parks	Minimum of 120 sealed car parks
Fencing/bollards, lock rail	Fencing/bollards along road frontages and including a lock rail	Fencing/bollards along road frontages and including a lock rail
Lighting	Lighting to all roadways, parking, picnic nodes and primary pedestrian paths	Lighting to all roadways, parking, picnic nodes and primary pedestrian paths
Toilets/public amenities	One (1) toilet	Two (2) toilets
Pedestrian pathway access network	2.2 metre wide concrete shared pedestrian and cycle path through and around park connecting to adjacent pathways	Entrance and access paths. Concrete shared pedestrian and cycle path (minimum 2.2 metre wide generally and minimum 3.5 metre wide in key, high use areas) connecting to adjacent pathways
Bench seating	Minimum of four (4), located for supervision of any play area (if not otherwise serviced by sheltered tables), and/or along recreation corridors/pedestrian pathways to provide rest stops	Located for: <ul style="list-style-type: none"> • supervision of any play area (if not otherwise serviced by sheltered tables); • along recreation corridors/pedestrian pathways to provide rest stops; and/or • enjoyment of views/amenity
Shade structures or trees (over playgrounds)	Yes	Yes
Shelters/gazebo with tables and seating and bins	Minimum of six (6) shaded tables, seating and bins	Minimum of fifteen (15) shaded tables, seating and bins

Tap/bubbler	Three (3) drinking fountain/bubbler and taps	Ten (10) drinking fountain/bubbler and taps
Barbeques	Three (3) barbeques	Ten (10) barbeques - provision may consist of multiple double barbecues located to service picnic nodes for individuals, families and large groups)
Rubbish bins	As required to service activity areas, picnic nodes, key access/egress areas and pathway systems	As required to service activity areas, picnic nodes, key access/egress areas and pathway systems
Landscaping and turfing	Shade trees, landscaping and turfing to enhance amenity	Shade trees, landscaping and turfing to enhance amenity
Signage	Park identification and way finding signage, located at key entrances. Optional — interpretive signage (for nature appreciation areas) or trail signage (for example distance markers on recreation corridors)	Park identification and way finding signage, located at key entrances. Optional — interpretive signage and/or trail signage (for example distance markers on recreation corridors). Signage theme reflecting key features of the park
Recreation activity areas	Mix of ten (10) recreation activity areas, clustered in two or more nodes (for example mix of toddlers, children, youth, picnic and barbecue area, dog off-leash, skate park, meeting area, older adults, pathway systems)	Mix of fifteen (15) recreation activity areas dispersed across well-defined nodes of activity focus (for example a mix of toddlers, children, youth, older adults, major picnic and barbecue area, dog off-leash, skate park, meeting areas, trail network, event area, nature appreciation area)
Irrigation	In identified high use areas	In identified high use areas
Bike racks	Three (3) bike racks for a minimum of fifteen (15) bikes	Bike racks for a minimum of thirty (30) bikes
Bus pull-through	No	Yes
Bus parking	No	Yes

Table 4.4.5.6 Indicative embellishments for the hierarchy of sport parks

Park element	District	Local government wide
Courts/fields	As a minimum, two (2) rectangular fields and capacity for additional facilities/courts Sports grounds and facilities meet accepted standards including dimensions, playing surface and subsurface drainage	As a minimum, three (3) rectangular fields and capacity for additional facilities/courts Sports grounds and facilities meet accepted standards including dimensions, playing surface and subsurface drainage
Goal posts	According to accepted standards	According to accepted standards
Irrigation	Main field as a minimum	Two (2) main fields as a minimum
Field/court lighting	Lighting for night sports	Lighting for night sports
Spectator seating	100 seats and earth mounds	150 seats and earth mounds
Tap/bubbler	Four (4) drink bubblers and taps located near activity areas and canteen/clubhouse area	Eight (8) drink bubblers and taps located near activity areas and canteen/clubhouse area
Landscaping and turfing	Trees/shade provision for spectators, landscaping of boundaries to buffer noise/light spill to any surrounding properties	Trees/shade provision for spectators, landscaping of boundaries to buffer noise/light spill to any surrounding properties
Feature paving/concrete stencilling	Located at key entry areas or high use zones	Located at key entry areas or high use zones
Internal roads	Yes	Yes
Bus pull-through	Yes	Yes
Bus parking	Yes	Yes

Car parking	Minimum of sixty (60) sealed spaces for a two (2) field complex or twelve (12) per court	Minimum of 100 sealed spaces for a three (3) field complex or twelve (12) per court
Bike racks	Bike racks for a minimum of thirty (30) bikes	Bike racks for a minimum of fifty (50) bikes
Fencing/bollards, lock rail	Fencing/bollards along road frontages and including a lock rail	Fencing/bollards along road frontages and including a lock rail
Security lighting	Security lighting to all roadways, parking, picnic nodes and primary pedestrian paths	Security lighting to all roadways, parking, picnic nodes and primary pedestrian paths
Pedestrian pathway access network	Entrance and access paths, walking/cycling network. Minimum 2.2 metre wide concrete shared pedestrian and cycle path	Entrance and access paths, walking/cycling network. Minimum 2.2 metre wide concrete shared pedestrian and cycle path
Signage	Park identification and way finding signage, located at key entrances.	Park identification and way finding signage, located at key entrances.
Recreation activity areas (for example play spaces, fitness circuits, hit up walls)	Mix of three (3) recreation activity areas (for example play spaces, fitness circuits, half courts, free to use courts)	Mix of five (5) recreation activity areas (for example play spaces, fitness circuits, half courts, free to use courts)

4.5 Plans for trunk infrastructure

1. The plans for trunk infrastructure identify the trunk infrastructure networks intended to service the existing and assumed future urban development at the desired standard of service.

4.5.1 Plans for trunk infrastructure maps

1. The existing and future trunk infrastructure networks are identified on the following maps in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) Local Government Infrastructure Plan Map – 1-0 to 1-29 – Plan for trunk water supply infrastructure;
 - b) Local Government Infrastructure Plan Map – 2-0 to 2-18 – Plan for trunk sewerage supply infrastructure;
 - c) Local Government Infrastructure Plan Map – 3-0 to 3-14 – Plan for trunk transport supply infrastructure;
 - d) Local Government Infrastructure Plan Map – 4-0 to 4-17 – Plan for trunk stormwater supply infrastructure;
 - e) Local Government Infrastructure Plan Map – 5-0 to 5-22 – Plan for trunk parks and land for community facilities supply infrastructure.
2. The state infrastructure forming part of transport trunk infrastructure network has been identified using information provided by the relevant state infrastructure supplier.

4.5.2 Schedules of works

1. Details relating to the existing and future trunk infrastructure networks are identified in the electronic Excel schedule of works model.
2. The future trunk infrastructure, derived from the SOW model, is summarised in the following tables in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) for the water supply network, **Table SC3.5.1 — Schedule of works – Water supply network**
 - b) for the sewerage network, **Table SC3.5.2 — Schedule of works – Sewerage network;**
 - c) for the transport network, **Table SC3.5.3 — Schedule of works – Transport network;**
 - d) for the stormwater network, **Table SC3.5.4 — Schedule of works – Stormwater network;**
 - e) for the parks and land for community facilities network, **Table SC3.5.5 — Schedule of works – Public parks and land for community facilities network.**

4.5.3 Editor’s note – Extrinsic material

The table below identifies the documents that assist in the interpretation of the local government infrastructure plan and are extrinsic material under the *Statutory Instruments Act 1992*.

Table 4.5.3.1 List of extrinsic material

Title of document	Date	Author
Rockhampton Regional Council Planning Assumptions Report Version 3	May 2019	Rockhampton Regional Council
Washpool Road Preliminary Design of Stormwater Infrastructure	November 2019	Water Modelling Solutions
Gracemere Regional Detention Basin Preliminary Design Report	June 2017	AECOM

Parkhurst Preliminary Design of Stormwater Infrastructure	December 2019	Rockhampton Regional Council
Inner Rockhampton Mesoscopic Transport Model Future Year Model Report	December 2019	AECOM
Johnson Road Corridor Investigation	December 2019	Rockhampton Regional Council
Water and Sewer PFTI Briefs	July 2019	Rockhampton Regional Council

Part 5 Tables of assessment

5.1 Preliminary

The tables in this part identify the category of development, and the category of assessment and assessment benchmarks for assessable development within the planning scheme area.

5.2 Reading the tables

The tables identify the following:

- (1) The category of development:
 - (a) prohibited,
 - (b) accepted, including accepted with requirements; and
 - (c) assessable development, that requires either code or impact assessment;
- (2) The category of assessment code or impact for assessable development in:
 - (a) a zone and, where used, a precinct or sub-precinct of a zone;
 - (b) a local plan where used and, where used, a precinct of a local plan; and
 - (c) an overlay where used;
- (3) The assessment benchmarks for assessable development, including:
 - (a) whether a zone code or specific provisions in the zone code apply (shown in the “assessment benchmarks” column);
 - (b) if there is a local plan, whether a local plan code or specific provisions in the local plan code apply (shown in the “assessment benchmarks” column);
 - (c) if there is an overlay:
 - (i) whether an overlay code applies (shown in section 5.9); or
 - (ii) whether the assessment benchmarks as shown on the overlay map (noted in the “assessment benchmarks” column) applies; and
 - (d) any other applicable code(s) (shown in the “assessment benchmarks” column); and
- (4) Any variation to the category of development and assessment (shown as an “if” in the “categories of development and assessment” column) that applies to the development.

Note—Development will only be taken to be prohibited development under the planning scheme if it is identified as prohibited development in Schedule 10 of the Regulation.

Editor’s note—Examples of matters that can vary the category of assessment are gross floor area, height, numbers of people or precinct provisions.

5.3 Categories of development and assessment

5.3.1 Process for determining the category of development and the category of assessment for assessable development

The process for determining a category of development and category of assessment is:

- (1) For a material change of use, establish the use by reference to the use definitions in Schedule 1;
- (2) For all development, identify the following:
 - (a) the zone, zone precinct or zone sub-precinct that applies to the premises, by reference to the zone map in Schedule 2;
 - (b) if a local plan or local plan precinct applies to the premises, by reference to the local plan map in Schedule 2; and
 - (c) if an overlay applies to the premises, by reference to the overlay map in Schedule 2;
- (3) Determine if the development is accepted development under Schedules 6 and 7 of the Regulation, or is assessable or prohibited development under Schedule 10 of the Regulation;

Editor’s note—Schedule 6 of the Regulation prescribes development that a planning scheme can not categorise as assessable development where the matters identified in the schedule are met. Schedule 7 of the Regulation identifies development the State makes accepted development. Some development in Schedule 7 may still be made assessable under this planning scheme.

- (4) Otherwise, determine the initial category of assessment by reference to the tables in:
 - (i) section 5.4—Categories of development and assessment — Material change of use
 - (ii) section 5.5—Categories of development and assessment — Reconfiguring a lot
 - (iii) section 5.6—Categories of development and assessment — Building work
 - (iv) section 5.7—Categories of development and assessment — Operational work;
- (5) A precinct or sub-precinct of a zone may change the categories of development or assessment and this will be shown in either a separate table or the “category of assessment” column of the tables in sections 5.4, 5.5, 5.6 and 5.7;

Editor’s note—To remove any doubt, the precinct table of assessment overrides the zone table of assessment. The sub-precinct table of assessment overrides both the zone table of assessment and the precinct table of assessment.

- (6) If a local plan applies refer to the table(s) in section 5.8—Categories of development and assessment — Local plans, to determine if the local plan changes the category of development or assessment for the zone;
- (7) If a precinct of a local plan changes the category of development or assessment this will be shown in the “category of development and assessment” column of the table(s) in section 5.8; and
- (8) If an overlay applies refer to section 5.9—Categories of development and assessment — Overlays, to determine if the overlay further changes the category of development or assessment.

5.3.2 Determining the category of development and categories of assessment

- (1) A material change of use is assessable development requiring impact assessment:
 - (a) unless the table of assessment states otherwise; or
 - (b) if a use is not listed or defined; or
 - (c) unless otherwise prescribed within the Act or the Regulation;
- (2) Reconfiguring a lot is assessable development requiring code assessment unless the tables of assessment state otherwise or unless otherwise prescribed within the Act or the Regulation;
- (3) Building work and operational work are accepted development, unless the tables of assessment state otherwise or unless otherwise prescribed within the Act or the Regulation;
- (4) Where an aspect of development is proposed on premises included in more than one zone, local plan or overlay, the category of development or assessment for that aspect is the highest category under each of the applicable zones, local plans or overlays;
- (5) Where development is proposed on premises partly affected by an overlay, the category of development or assessment for the overlay only relates to the part of the premises affected by the overlay;
- (6) For the purposes of Schedule 6, Part 2 Material change of use section (2)(2)(d)(i) or (ii) of the Regulation, an overlay does not apply to the premises if the development meets the acceptable outcomes that form the requirements for accepted development in the relevant overlay code;
- (7) If development is identified as having a different category of development or category of assessment under a zone than under a local plan or an overlay, the highest category of development or assessment applies as follows:
 - (a) accepted development subject to requirements prevails over accepted development;
 - (b) code assessment prevails over accepted development subject to requirements and accepted development; and
 - (c) impact assessment prevails over code assessment, accepted development subject to requirements and accepted development;
- (8) Provisions of Part 10 may override any of the above;
- (9) The category of development prescribed under Schedule 6 of the Regulation overrides all other categories of development or assessment for that development under the planning scheme to the extent of any inconsistency; and

Editor’s note—Schedule 7 of the Regulation also identifies development that the State makes accepted development. Some development in that schedule may still be made assessable under this planning scheme.

- (10) Despite all of the above, if development is listed as prohibited development under Schedule 10 of the Regulation, a development application can not be made.

Note—Development is to be taken to be prohibited development under the planning scheme only if it is identified in Schedule 10 of the Regulation.

5.3.3 Determining the requirements for accepted development and assessment benchmarks and other matters for assessable development

- (1) Accepted development does not require a development approval and is not subject to assessment benchmarks. However, certain requirements may apply to some types of development for it to be accepted development. Where nominated in the tables of assessment, accepted development must comply with the requirements identified as acceptable outcomes in the relevant parts of the applicable code(s);
- (2) Accepted development that does not comply with one or more of the nominated acceptable outcomes in the relevant parts of the applicable code(s) becomes code assessable development, unless otherwise specified;
- (3) Code assessable development:
- (a) is to be assessed against all the assessment benchmarks identified in the assessment benchmarks column;
 - (b) that occurs as a result of development becoming code assessable pursuant to sub-section 5.3.3(2), must:
 - (i) be assessed against the assessment benchmarks for the development application, limited to the subject matter of the required acceptable outcomes that were not complied with or were not capable of being complied with under sub-section 5.3.3(2); and
 - (ii) comply with all required acceptable outcomes identified in sub-section 5.3.3(1), other than those mentioned in sub-section 5.3.3(2);
 - (c) that complies with:
 - (i) the purpose and overall outcomes of the code complies with the code; and
 - (ii) the performance or acceptable outcomes complies with the purpose and overall outcomes of the code; and
 - (d) is to be assessed against any assessment benchmarks for the development identified in section 26 of the Regulation.

Editor's note—Section 27 of the Regulation also identifies the matters that code assessment must have regard to.

- (4) Impact assessable development:
- (a) is to be assessed against the identified assessment benchmarks in the "assessment benchmarks" column;

Note—The assessment benchmark for impact assessable development in this planning scheme is the whole of the planning scheme.

- (b) is to be assessed against any assessment benchmarks for the development identified in section 30 of the Regulation.

Note—The first row of each table of assessment is to be checked to confirm if there are assessment benchmarks that commonly apply to general scenarios in the zone, local plan or overlay.

Editor's note—Section 31 of the Regulation identifies the matters that impact assessment must have regard to.

5.4 Categories of development and assessment — Material change of use

The following tables identify the categories of development and assessment for development in a zone, precinct or sub-precinct for making a material change of use.

5.4.1 Residential zones category

Table 5.4.1.1 — Low density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted	Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted	Not applicable
	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected	
<ul style="list-style-type: none"> • Substation 	Accepted	Not applicable
	If: <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
<ul style="list-style-type: none"> • Home-based business • Sales office 	Accepted subject to requirements	<u>Zone code:</u> Low density residential zone code
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	Accepted subject to requirements	<u>Zone code:</u> Low density residential zone code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		<u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Multiple Dwelling 	<p>Code assessment</p> <p>If:</p> <p>(a) located within 200 metres of the following:</p> <p>(i) any centre zone, open space zone or sport and recreation zone; or</p> <p>(ii) a major hospital or CQ University (South or North Campus); and</p> <p>(b) located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.1.1 — Low density residential zone — Fitzroy River accommodation precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this level of assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) the reuse of existing building(s) or structure(s); and (b) the gross floor area of the use is less than or equal to 150 square metres 	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Outdoor sales 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) sales and hiring of goods associated with boating and fishing; and</p> <p>(b) The total use area is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s); and</p> <p>(b) the gross floor area of the use is less than or equal to 150 square metres; and</p> <p>(c) selling goods associated with Fitzroy River boating activities</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Community use Emergency services Outdoor sport and recreation 	<p>Code assessment</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.1.2 — Low density residential zone — Residential stables precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Home-based business • Sales office 	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.2 — Low-medium density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p> <hr/> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Multiple dwelling • Relocatable home park • Residential care facility • Retirement facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services • Rooming accommodation • Tourist park 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Office 	<p>Code assessment</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.3 — High density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> High density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Child care centre Community care centre Community use Emergency services 	<p>Code assessment</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Club Food and drink outlet Shop 	<p>Code assessment</p> <p>If: (a) gross floor area of the use is less than or equal to 250 square metres; and (b) located on the ground floor level</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.2 Centre zones category

Table 5.4.2.1.1 — Principal centre zone — Business services precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Bar • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Health care services • Hotel 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Indoor sport and recreation • Market • Multiple dwelling • Outdoor sales • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Educational establishment • Garden centre • Hardware and trade supplies • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.2 — Principal centre zone — Core precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Food and drink outlet • Office • Shop • Showroom 	<p>Accepted</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Accepted subject to requirements</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling unit • Educational establishment • Emergency services • Function facility • Health care services • Hotel • Indoor sport and recreation • Market • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Shopping centre • Short-term accommodation • Veterinary service 	<p style="text-align: center;">Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Funeral parlour • Nightclub entertainment facility • Theatre 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.3 — Principal centre zone — Denison Street precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Educational establishment • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Garden centre • Hardware and trade supplies • Health care services 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Hotel • Indoor sport and recreation • Low impact industry • Market • Place of worship • Sales office • Service industry • Service station • Shop • Shopping centre • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	<p>Impact assessment</p>	
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.4 — Principal centre zone — Quay Street precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted		Not applicable
	Code assessment		<p>Otherwise</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Function facility • Health care services • Hotel • Indoor sport and recreation • Market • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Shop • Shopping centre • Short-term accommodation • Showroom • Theatre 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) not located at ground floor level when having a frontage to Quay Street; or</p> <p>(c) the gross floor area of the use is less than or equal to 150 square metres when having a frontage to Quay Lane.</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Nightclub entertainment facility 	Code assessment	<u>Zone code:</u> Principal centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.2 — Major centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Health care services • Indoor sport and recreation • Multiple dwelling 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Bar • Hotel • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	<p>Impact assessment</p>	
<ul style="list-style-type: none"> • Any other use not listed in this table. 	<p>The planning scheme</p>	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.3 — District centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Food and drink outlet • Garden centre • Hardware and trade supplies • Health care services • Market • Service industry • Shop • Shopping centre • Showroom 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 3,000 square metres 	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Function facility • Funeral parlour • Indoor sport and recreation • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Short-term accommodation • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 250 square metres</p> <p>Code assessment</p> <p>If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Bar • Hotel • Parking station • Service station 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.4 — Local centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Hardware and trade supplies • Health care services • Service industry • Shop • Shopping centre • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 1,000 square metres 	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) not involving a drive through facility</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 1,000 square metres</p>	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Garden centre • Indoor sport and recreation • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	Accepted subject to requirements	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office 	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 250 square metres	<u>Zone code:</u> Local centre zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 250 square metres	<u>Zone code:</u> Local centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Bar • Car wash • Function facility • Hotel • Service Station 	Code assessment	
		<u>Zone code:</u> Local centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.5 — Neighbourhood centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Sales office • Service industry • Shop • Shopping centre • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 500 square metres 	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) not involving a drive through facility</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Child care centre • Community care centre • Community use • Dual occupancy • Dwelling unit • Emergency services • Health care services • Multiple dwelling • Residential care facility • Retirement facility • Rooming accommodation • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Educational establishment • Indoor sport and recreation • Service station 	<p>Code assessment</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.6.1 — Specialised centre zone — Gladstone Road and George Street precinct (including all sub-precincts)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Child care centre • Community care centre • Community use • Dwelling unit • Educational establishment • Emergency services • Food and drink outlet • Indoor sport and recreation • Place of worship • Rooming accommodation • Sales office • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Car wash • Garden centre • Hardware and trade supplies • Outdoor sales • Service industry • Veterinary service 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Dual occupancy • Multiple dwelling • Residential care facility • Retirement facility 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Showroom 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>OR</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	
Code assessment		
	<p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct.</p> <p>OR</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(a) located in the residential and food services sub-precinct; and (b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (c) the gross floor area of the use is less than or equal to 300 square metres	
Code assessment		
	If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct; and (c) the gross floor area of the use is less than or equal to 500 square metres OR If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct; and (c) located on Lot 1 on SP161848 and Lot 1 on SP191827 OR If: (a) not accepted subject to requirements; and (b) located in the residential and food services sub-precinct; and (c) the gross floor area of the use is less than or equal to 300 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Shopping centre 	Accepted subject to requirements If: (a) located in the outdoor sales and services sub-precinct; and	<u>Zone code:</u> Specialised centre zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	
	Code assessment	
	<p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Office 	Accepted subject to requirements	
	<p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u></p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	than minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	Works code
Code assessment		
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Parking station • Service station 	Code assessment	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

**Table 5.4.2.6.2 — Specialised centre zone — Musgrave Street precinct
(including all sub-precincts)**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dwelling unit • Educational establishment • Emergency services • Indoor sport and recreation • Place of worship • Sales office • Showroom 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet • Shop • Shopping centre 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Dual occupancy • Multiple dwelling • Residential care facility • Retirement facility • Rooming accommodation • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the mixed use sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the mixed use sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Funeral parlour • Garden centre • Hardware and trade supplies • Low impact industry 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Outdoor sales • Service industry • Veterinary service • Warehouse 	involving more than minor building work	
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Office 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Hotel • Parking station • Service station 	Code assessment	
		<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.6.3 — Specialised centre zone — Yaamba Road precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Dwelling unit • Emergency services • Garden centre • Hardware and trade supplies • Outdoor sales • Sales office • Service industry • Short-term accommodation • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) with no extension exceeding minor building work</p> <hr/> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet • Shop • Shopping centre 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <hr/> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres; or</p> <p>(c) located on Lot 25 on RP610513.</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p> <hr/> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Parking station • Service station 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.3 Recreation zones category

Table 5.4.3.1 — Sport and recreation zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Indoor sport and recreation Outdoor sport and recreation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Community care centre • Educational establishment 	<p>Code assessment</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
<ul style="list-style-type: none"> • Club • Food and drink outlet • Function facility 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.1.1 — Sport and recreation zone — Rockhampton major sports precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Indoor sport and recreation Outdoor sport and recreation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Community care centre • Educational establishment • Function facility • Major sport, recreation and entertainment facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Club • Food and drink outlet • Shop 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.2 — Open space zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Permanent plantation 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Major electricity infrastructure 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Substation Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use • Outdoor sport and recreation 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community care centre • 	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.2.1 — Kershaw Gardens precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> Park Permanent plantation 	Accepted		Not applicable
<ul style="list-style-type: none"> Major electricity infrastructure 	Accepted If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected		Not applicable
<ul style="list-style-type: none"> Telecommunications facility 	Accepted If involving only aerial cabling for broadband purposes		Not applicable
<ul style="list-style-type: none"> Emergency services 	Accepted If undertaken by a public sector entity		Not applicable
	Code assessment Otherwise		<u>Zone code:</u> Open space zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Substation Utility installation 	Accepted If undertaken by a public sector entity		Not applicable
	Code assessment If: (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill		<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Caretaker's accommodation Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Tourist park 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) being undertaken by the local government; and (b) on land in the ownership or control of the local government 	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Community use Outdoor sport and recreation 	<p>Accepted subject to requirements</p> <p>If being undertaken by a public sector entity</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Community care centre 	<p>Code assessment</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Club Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.4 Environmental zones category

Table 5.4.4.1 — Environmental management and conservation zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park 		
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p>	
<ul style="list-style-type: none"> Utility installation 	<p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Animal keeping 	<p>Accepted</p>	
<p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>If an apiary or wildlife refuge</p>	<p>Not applicable</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.5 Industry zones category

Table 5.4.5.1 — Low impact industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> Park Major electricity infrastructure 	Accepted	Not applicable
	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected	
<ul style="list-style-type: none"> Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment	<p>Otherwise</p> <p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Substation Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment	<p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Sales office • Service industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low impact industry zone code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If the gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Car wash • Crematorium • Funeral parlour • Garden centre • Indoor sport and recreation • Outdoor sales • Research and technology industry • Service station 	<p>Code assessment</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. 		The planning scheme

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.1.1 — Low impact industry zone — South Rockhampton precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low impact industry zone code</p>
<ul style="list-style-type: none"> Warehouse 	<p>Code assessment</p> <p>If the reuse of existing buildings(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 		<p>The planning scheme</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
•	Any other undefined use.	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.2 — Medium impact industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Medium impact industry • Research and technology industry • Sales office • Service industry • Warehouse 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or (b) the gross floor area of the use is less than or equal to 1,000 square metres	<u>Zone code:</u> Medium impact industry zone code <u>Other development code:</u> Works code
	Code assessment Otherwise	<u>Zone code:</u>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Home-based business 	Accepted subject to requirements	<u>Zone code:</u> Medium impact industry zone code
<ul style="list-style-type: none"> Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> Medium impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> Agricultural supplies store Brothel Bulk landscape supplies Car wash Crematorium Indoor sport and recreation Renewable energy facility Rural industry Service station Transport depot 	Code assessment	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.2.1 — Medium impact industry zone — Gracemere Saleyards precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park • Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Medium impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Animal keeping • Caretaker's accommodation • Low impact industry • Medium impact industry • Research and technology industry • Rural industry • Sales office • Service industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 1,000 square metres</p>	<p><u>Zone code:</u> Medium impact industry zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment Otherwise	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> Medium impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Function facility • Indoor sport and recreation • Service station • Transport depot • Veterinary service 	Code assessment	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.3 — High impact industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Caretaker's accommodation • Medium impact industry • Research and technology industry • Sales office • Warehouse 	Accepted subject to requirements	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code
	If: (a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or (b) the gross floor area of the use is less than or equal to 1,000 square metres	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment Otherwise	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • High impact industry • Renewable energy facility • Service station • Transport depot 	Code assessment	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.3.1 — High impact industry zone — Lakes Creek and Parkhurst precincts

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park • Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> High impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Medium impact industry • Research and technology industry • Sales office • Warehouse 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) with not extension exceeding minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> High impact industry zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> High impact industry zone code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code.
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Renewable energy facility • Service station • Transport depot 	Code assessment	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.4 — Special industry zone

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted		Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted		Not applicable
	If undertaken by a public sector entity		
	Code assessment		<u>Zone code:</u> Special industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Otherwise			
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted		Not applicable
	If undertaken by a public sector entity		
	Code assessment		<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Otherwise			
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		<u>Zone code:</u> Special industry zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • High impact industry • Renewable energy facility • Research and technology industry • Service station • Special industry • Transport depot 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Special industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		<p>The planning scheme</p>

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.5 — Waterfront and marine industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Marine industry • Sales office • Service industry 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 1,000 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If the gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development code:</u> Works code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.1 — Waterfront and marine industry zone — Fitzroy River industry precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s)</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p>
<ul style="list-style-type: none"> • Outdoor sport and recreation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Marine industry • Service industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s)</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s); and</p> <p>(b) the gross floor area of the use is less than or equal to 150 square metres; and</p> <p>(c) does not include a drive-through facility</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Outdoor sales 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s); and</p> <p>(b) sales and hiring of goods associated with boating and fishing</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s); and</p> <p>(b) the gross floor area of the use is less than or equal to 150 square metres; and</p> <p>(c) selling goods associated with Fitzroy River boating activities</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.6 Other zones category

Table 5.4.6.1 — Community facilities zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Community care centre • Community use 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Cemetery • Child care centre • Educational establishment • Health care services • Indoor sport and recreation • Market • Outdoor sport and recreation • Place of worship • Residential care facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.1.1 — Community facilities zone — Rockhampton health services precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Community care centre • Community use 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Child-care centre • Educational establishment • Health care services • Hospital • Market • Multiple dwelling • Residential care facility • Retirement facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet • Office • Shop 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.2 — Emerging community zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Cropping • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>Accepted</p> <p>If not involving kennels or catteries</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Emergency services • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Emerging community zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dwelling house • Dwelling unit 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Emerging community zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.3 — Limited development (constrained land) zone (including Mount Morgan mine precinct)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Cropping • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park • Permanent plantation 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>Accepted</p> <p>If not involving kennels or catteries</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Outdoor sport and recreation 	<p>Code assessment</p>	<p><u>Zone code:</u> Limited development (constrained land) zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.4 — Rural zone (including Alton Downs precinct)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park • Permanent plantation 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Cropping 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Community use • Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted	
	If not involving kennels or catteries	Not applicable
	Code assessment Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Roadside stall 	Accepted subject to requirements	<u>Zone code:</u> Rural zone code
	If involving no more than two (2) heavy vehicles and two (2) heavy trailers stored on site at any one time	<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Rural workers' accommodation 	Accepted subject to requirements	<u>Zone code:</u> Rural zone code
	If not exceeding twelve (12) workers being accommodated onsite	<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Aquaculture 	Accepted subject to requirements	<u>Zone code:</u> Rural zone code
	If using ponds or tanks that are less than or equal to ten (10) hectares in water surface area	<u>Zone code:</u> Rural zone code
	Code assessment Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Bulk landscape supplies Intensive horticulture Outdoor sport and recreation Rural industry Wholesale nursery 	Code assessment	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code
		<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Winery 		Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.4.1 — Rural zone — Cropping and intensive horticultural precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry Editor's note—Council's local laws also establish requirements regarding the keeping of animals. • Landing Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code. • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Cropping 	<p>Accepted If not involving forestry for wood production</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Community use • Emergency services 	<p>Accepted If undertaken by a public sector entity</p> <p>Code assessment Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Utility installation 	<p>Accepted If undertaken by a public sector entity</p> <p>Code assessment If: (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted	
	If not involving kennels or catteries	Not applicable
	Code assessment	
	Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Intensive horticulture 	Accepted	
	If not a mushroom farm	Not applicable
	Code assessment	
	Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Roadside stall 	Accepted subject to requirements	
		<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Home-based business 	Accepted subject to requirements	
	If involving no more than two (2) heavy vehicles and two (2) heavy trailers stored on site at any one time	<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Aquaculture 	Accepted subject to requirements	
	If using ponds or tanks that are less than or equal to ten (10) hectares in water surface area	<u>Zone code:</u> Rural zone code
	Code assessment	
Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Rural industry • Rural workers' accommodation • Wholesale nursery • Winery 	Code assessment	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.5 — Rural residential zone

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—The category of development and assessment for a dwelling house may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Emergency services • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Caretaker's accommodation • Roadside stall • Sales office 	Accepted subject to requirements		<u>Zone code:</u> Rural residential zone code
<ul style="list-style-type: none"> • Home-based business 	Accepted subject to requirements		<u>Zone code:</u> Rural residential zone code
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted subject to requirements		<u>Zone code:</u> Rural residential zone code
	Accepted subject to requirements		

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Cropping 	If not involving the mechanical spraying of any pesticide or herbicide	<u>Zone code:</u> Rural residential zone code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.5.1 — Rural residential zone — Baree and Walterhall precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Home based business Roadside stall 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Animal keeping 	<p>Accepted subject to requirements</p> <p>If not involving kennels or catteries</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Cropping 	<p>Accepted subject to requirements</p> <p>If not involving the mechanical spraying of any pesticide or herbicide</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Sales office 	<p>Code assessment</p>	<p><u>Zone code:</u> Rural residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation

Table 5.4.6.6 — Special purpose zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> Park Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment Otherwise	<u>Zone code:</u> Special purpose zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Major electricity infrastructure Substation Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment Otherwise	<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Caretaker's accommodation 	Accepted subject to requirements	<u>Zone code:</u> Special purpose zone code <u>Other development code:</u> Works code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.6.1 — Special purpose zone — Depot Hill rail precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise:</p>	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Low impact industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Transport depot 	<p>Code assessment</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

**Table 5.4.6.2 — Special purpose zone — Rockhampton Airport precinct
(including all sub-precincts)**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Air service 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving aviation facilities; and (b) located in <ul style="list-style-type: none"> (i) the airport sub-precinct; or (ii) the airport terminal sub-precinct <p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving activities other than aviation facilities; and (b) located in <ul style="list-style-type: none"> (i) the airport sub-precinct; or (ii) located in the airport terminal sub-precinct 	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Food and drink outlet • Office • Shop 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) located in airport terminal sub-precinct; (b) the reuse of existing building(s) or structure(s) and not involving more than minor building works; and (c) the gross floor area of the use is less than or equal to 250 square metres <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted; (b) located in airport terminal sub-precinct; and (c) the gross floor area of the use is less than or equal to 250 square metres 	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Parking station • Service industry • Service station 	<p>Code assessment</p> <p>If: (a) located in airport terminal sub-precinct; or (b) located in business services sub-precinct</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Code assessment</p> <p>If: (a) located in airport terminal sub-precinct; or (b) located in business services sub-precinct; or (c) associated with the St Aubins Historical Village (Lots 5-6 on RP603199); and (d) for a guest house, cabins or bed and breakfast accommodation</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Outdoor sales 	<p>Code assessment</p> <p>If: (a) located in business services sub-precinct; and (b) involving the hire of goods only</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Transport depot • Warehouse 	<p>Code assessment</p> <p>If located in business services sub-precinct</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.7 — Township zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Emergency services • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Market • Roadside stall • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy • Dwelling unit 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office • Service industry • Shop • Shopping centre • Showroom 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work;</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres; and</p> <p>(c) not involving a drive through facility</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Community care centre • Community use • Educational establishment 	<p>Code assessment</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Garden centre • Hardware and trade supplies • Health care services • Indoor sport and recreation • Outdoor sales • Outdoor sport and recreation • Tourist park • Veterinary service • Wholesale nursery 		Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.7.1 — Township zone — Kabra and Stanwell precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Emergency services • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Market • Roadside stall • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office • Service industry • Shop • Shopping centre • Showroom 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Township zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; (b) the gross floor area of the use is less than or equal to 200 square metres; and (c) not involving a drive through facility	<u>Zone code:</u> Township zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres;	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Community use • Garden centre • Hardware and trade supplies • Indoor sport and recreation • Outdoor sales • Outdoor sport and recreation • Veterinary service • Wholesale nursery 	Code assessment	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.5 Categories of development and assessment — Reconfiguring a lot

The following table identifies the categories of development and assessment for reconfiguring a lot.

Table 5.5.1 — Reconfiguring a lot

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Emerging community 	Code assessment If the size of any new lot created is equal to or greater than ten (10) hectares	<u>Zone code:</u> Emerging community zone code <u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code
	Impact assessment	
	If the size of any new lot created is less than ten (10) hectares	The planning scheme
<ul style="list-style-type: none"> • Environmental management and conservation 	Impact assessment	
	All	The planning scheme
<ul style="list-style-type: none"> • Low density residential • Low-medium density residential • High density residential • Principal centre • Major centre • District centre • Local centre • Neighbourhood centre • Specialised centre • Sport and recreation • Open space • Low impact industry • Medium impact industry • High impact industry • Special industry • Waterfront and marine industry • Community facilities • Rural residential • Special purpose 	Code assessment	
	All	<u>Zone code:</u> Relevant zone code <u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Township 		
<ul style="list-style-type: none"> Limited development (constrained land) 	<p>Code assessment</p> <p>If the reconfiguring involves only a boundary realignment</p>	<p><u>Zone code:</u> Relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>
	<p>Impact assessment</p> <p>If creating an additional lot(s)</p>	<p>The planning scheme</p>
<ul style="list-style-type: none"> Rural 	<p>Code assessment</p> <p>If:</p> <p>(a) the size of any new lot created is equal to or greater than the minimum lot size nominated in the reconfiguring a lot code; or</p> <p>(b) the reconfiguring involves only a boundary realignment</p>	<p><u>Zone code:</u> Relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>
	<p>Impact assessment</p> <p>If the size of any new lot created is less than the minimum lot size nominated in the reconfiguring a lot code</p>	<p>The planning scheme</p>
<p>Code assessment</p>		
<ul style="list-style-type: none"> Any other reconfiguring a lot not listed in this table. Any reconfiguring a lot not listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 		<p><u>Zone code:</u> The relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>

Note—The planning scheme also regulates reconfiguring a lot associated with an overlay through the tables of assessment under section 5.9.

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.6 Categories of development and assessment — Building work

Not applicable.

Note—The planning scheme also regulates building work associated with an overlay through the tables of assessment under section 5.9.

5.7 Categories of development and assessment — Operational work

The following table identifies the categories of development and assessment for operational work.

Table 5.7.1 — Operational work (excluding operational work associated with an advertising device)

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Rural Zone Editor's note—A Works in Road Reserve Permit is required for any works within Council's road reserve not associated with a material change of use or reconfiguring a lot. 	<p>Accepted subject to requirements</p> <p>If filling or excavation: (a) that is: (i) within 10 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or less; or (b) that is: (i) located greater than 10 metres from lot boundary; and (ii) of a height or depth of one (1) metre or less; or (iii) of a volume of five hundred (500) cubic metres or less</p>	<p><u>Other development codes:</u> Works code</p>
	<p>If work: (a) for an access driveway to a dwelling house or dual occupancy; and (b) in a location which has kerb and channelling</p>	<p><u>Other development code:</u> Works code</p>
	<p>If: (a) for a water supply or sewerage connection; and (b) the work will be undertaken by the water supply or sewerage utility service provider</p>	<p><u>Other development code:</u> Works code</p>
	Code assessment	
	<p>If filling or excavation: (c) that is: (i) within 10 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or greater; or (d) that is: (i) of a height or depth of one (1) metre or greater; or</p>	<p>Filling and excavation code Stormwater management code</p>

	(ii) of a volume of five hundred (500) cubic metres or greater	
	If not accepted subject to requirements and associated with any assessable material change of use (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
	If not accepted subject to requirements and associated with any assessable reconfiguring a lot (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscaping code Reconfiguring a lot code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> All other zones <p>Editor's note—A Works in Road Reserve Permit is required for any works within Council's road reserve not associated with a material change of use or reconfiguring a lot.</p>	Accepted subject to requirements	
	If work: (a) for an access driveway to a dwelling house or dual occupancy; and (b) in a location which has kerb and channelling	<u>Other development code:</u> Works code
	If: (a) for a water supply or sewerage connection; and (b) the work will be undertaken by the water supply or sewerage utility service provider	<u>Other development code:</u> Works code
	Code assessment	
	If not accepted subject to requirements and associated with any assessable material change of use (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
	If not accepted subject to requirements and associated with any assessable reconfiguring a lot (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscaping code Reconfiguring a lot code Stormwater management code Waste management code Water and sewer code
	If filling or excavation: (a) that is: (i) within 1.5 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or greater; or (b) that is:	<u>Other development codes:</u> Filling and excavation code Stormwater management code

	(i) of a height or depth of one (1) metre or greater; or (ii) of a volume of one hundred (100) cubic metres or greater	
Accepted		
<ul style="list-style-type: none"> • Any other operational work not listed in this table. • Any operational work listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 		Not applicable

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.7.2 — Operational work associated with an advertising device

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Principal centre • Major centre • District centre • Specialised centre • Medium impact industry • High impact industry • Special industry 	<p>Accepted</p> <p>If:</p> <p>(a) an advertising device that is:</p> <ul style="list-style-type: none"> (i) located internally within a building; and (ii) not visible from outside; or <p>(b) an advertising device that is:</p> <ul style="list-style-type: none"> (i) a blind sign; or (ii) a business name plate sign or home-based business sign; or (iii) a canopy sign; or (iv) a flag sign that is no higher than six (6) metres from ground level; or (v) a hamper sign; or (vi) a park sign; or (vii) a sporting field fence sign; or (viii) a stall board sign; or (ix) a window sign 	<p>Not applicable</p>
	<p>Accepted subject to requirements</p> <p>If for the following advertising devices:</p> <ul style="list-style-type: none"> (a) awning fascia sign or return fascia sign; or (b) creative awning sign; or (c) fence sign; or (d) flag sign; or (e) three-dimensional sign; or (f) under awning sign; or (g) wall sign (where ten (10) square metres or less in total area) 	<p><u>Other development code:</u> Advertising devices code</p>
	<p>Code assessment</p> <p>If not accepted or accepted subject to requirements</p>	<p><u>Other development code:</u> Advertising devices code</p>
	<ul style="list-style-type: none"> • Local centre • Neighbourhood centre • Low impact industry • Waterfront and marine industry 	<p>Accepted</p> <p>If:</p> <p>(a) an advertising device that is:</p> <ul style="list-style-type: none"> (i) located internally within a building; and (ii) not visible from outside; or <p>(b) an advertising device that is:</p>

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(i) a blind sign; or (ii) a business name plate sign or home-based business sign; or (iii) a canopy sign; or (iv) a flag sign that is no higher than six (6) metres from ground level; or (v) a hamper sign; or (vi) a park sign; or (vii) a sporting field fence sign; or (viii) a stall board sign; or (ix) a window sign	
Accepted subject to requirements		
	If for the following advertising devices: (a) awning fascia sign or return fascia sign; or (b) creative awning sign; or (c) fence sign; or (d) flag sign; or (e) three-dimensional sign; or (f) under awning sign; or (g) wall sign (where ten (10) square metres or less in total area)	<u>Other development code:</u> Advertising devices code
Code assessment		
	If not accepted or accepted subject to requirements and not a freestanding sign	<u>Other development code:</u> Advertising devices code
Impact assessment		
	If for a freestanding sign	The planning scheme
<ul style="list-style-type: none"> • Sport and recreation 	Accepted If an advertising device that is: (a) part of a major sport, recreation and entertainment facility use, being a sports stadium or motor sport facility and: (i) not a freestanding sign; or (b) part of a club, food and drink outlet, function facility, indoor sport and recreation, outdoor sport and recreation or shop and: (i) is a blind sign; or (ii) is a canopy sign; or (iii) is a flag sign; or	Not applicable

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(iv) is a hamper sign; or (v) is a stall board sign; or (vi) is an under awning sign; or (vii) is a window sign; or (c) a sporting field fence sign	
Accepted subject to requirements		
	If part of a club, food and drink outlet, function facility, indoor sport and recreation, outdoor sport and recreation or shop for the following signs: (a) an awning fascia sign or return fascia sign; or (b) a wall sign (where four (4) square metres or less in total area)	<u>Other development code:</u> Advertising devices code
Code assessment		
	If not accepted or accepted subject to requirements and not a freestanding sign	<u>Other development code:</u> Advertising devices code
Impact assessment		
	If for a freestanding sign	The planning scheme
• Rural		
Accepted		
	If for a park sign	Not applicable
Accepted subject to requirements		
	If for: (a) an awning fascia sign or return fascia sign for a shop or food and drink outlet; or (b) a fence sign or a wall sign for a home-based business	<u>Other development code:</u> Advertising devices code
Code assessment		
	If not accepted or accepted subject to requirements	<u>Other development code:</u> Advertising devices code
• All other zones		
Accepted		
	If for an advertising device that is: (a) located internally within a building; and (b) not visible from outside	Not applicable
Accepted subject to requirements		
	If for: (a) an awning fascia sign or return fascia sign for a shop or food and drink outlet; or (b) a business name plate sign or home-based business sign	<u>Other development code:</u> Advertising devices code

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment	
	If not accepted or accepted subject to requirements and not a freestanding sign	Other development code: Advertising devices code
	Impact assessment	
	If for a freestanding sign	The planning scheme
Accepted		
	<ul style="list-style-type: none"> • Any other operational work not listed in this table. • Any operational work listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 	Not applicable

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.8 Categories of development and assessment — Local plans

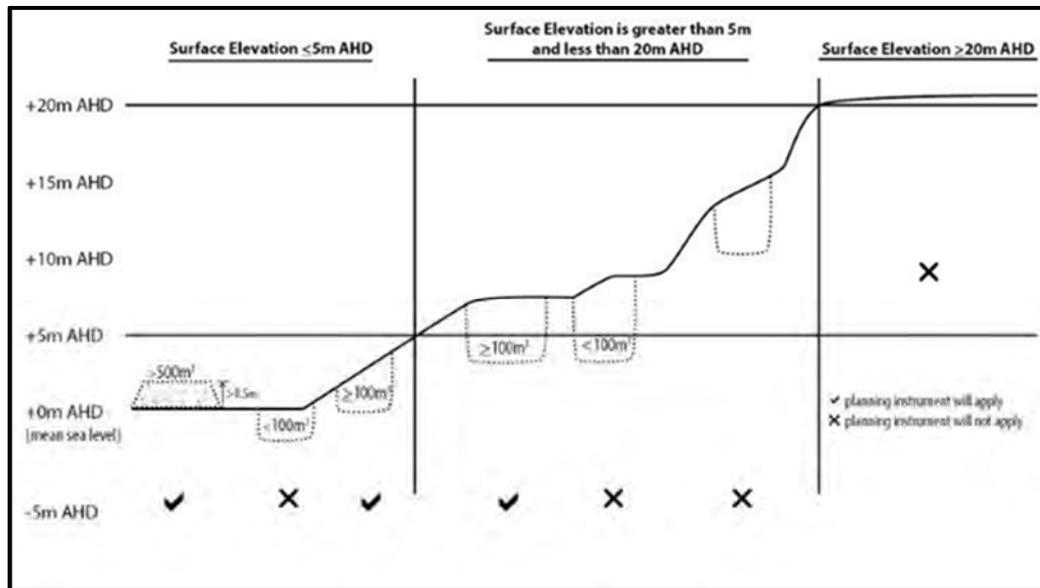
There are no local plans in the planning scheme.

5.9 Categories of development and assessment — Overlays

The following table identifies where an overlay changes the category of development and assessment from that stated in a zone and the relevant assessment benchmarks.

Table 5.9.1 — Acid sulfate soils overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use, reconfiguring a lot or operational work if on land below twenty (20) metres Australian Height Datum and:</p> <p>(a) involving excavating or otherwise removing 100 cubic metres or more of soil or sediment below five (5) metres Australian Height Datum; or</p> <p>(b) filling of land involving 500 cubic metres or more of material with an average depth of 0.5 metres or greater below (5) metres Australian Height Datum</p>	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone, reconfiguring a lot and operational work</p>	<p>Acid sulfate soils overlay code</p> <p>Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.</p>



Source — State Planning Policy (Emissions and Hazardous Materials).

Figure 5.9.1.1 — Areas and development to which the acid sulfate soils overlay applies

Table 5.9.2 — Airport environs overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Material change of use if accepted in any zone if involving a new building or expansion to an existing building that exceeds the building height limits shown on the airport obstacle limitation surface OM-2A	Accepted subject to requirements	Airport environs overlay code
Any other material change of use if exceeding the building height limits shown on the airport obstacle limitation surface OM-2A	No change to categories of development and assessment under the tables of assessment for the relevant zone	Airport environs overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements.
Material change of use or Reconfiguring a lot if located within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contour as shown on the airport Australian noise exposure forecast (ANEF) contour OM-2B	No change to categories of development and assessment under the tables of assessment for the relevant zone and reconfiguring a lot	Airport environs overlay code
Material change of use if accepted or accepted subject to requirements in any zone within eight (8) kilometres of the airport as shown on the airport wildlife hazard buffer area OM-2C for: (a) animal keeping (for the purposes of wildlife or bird sanctuary only); or (b) cropping (for the purposes of turf or fruit tree farming only); or (c) aquaculture; or (d) low impact industry (for the purpose of food processing plant only); or (e) utility installation (for the purposes of food or organic or putrescible waste facility only)	Code assessment	Airport environs overlay code
Material change of use, reconfiguring a lot or operational work within: (a) the aviation facilities building restricted area OM-2D – zone A; or (b) the airport public safety area OM-2E; or (c) the airport light restriction zone OM-2F	No change to categories of development and assessment under the tables of assessment for the relevant zone, reconfiguring a lot and operational work	Airport environs overlay code

Table 5.9.3 — Biodiversity overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Biodiversity overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Biodiversity overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Biodiversity overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.4 — Bushfire hazard overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Buffer and medium hazard		
Material change of use	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	<p>Bushfire hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	<p>No change to categories of development and assessment under the tables of assessment for reconfiguring a lot</p>	Bushfire hazard overlay code
High and very high hazard		
<p>Material change of use if accepted development in any zone for:</p> <p>(a) dwelling house; or (b) dwelling unit.</p>	<p>Accepted subject to requirements</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	Bushfire hazard overlay code
<p>Material change of use for:</p> <p>(a) child care centre; or (b) detention facility; or (c) educational establishment; or (d) emergency services; or (e) hospital; or (f) industry use involving manufacture or storage of hazardous materials; or (g) multiple dwelling; or (h) relocatable home park; or (i) residential care facility; or (j) retirement facility; or (k) rooming accommodation; or (l) shopping centre; or (m) short-term accommodation; or (n) telecommunications facility; or (o) tourist attraction; or (p) tourist park; or (q) transport depot; or (r) utility installation</p>	<p>Impact assessable</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	The planning scheme

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Any other material change of use	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	<p>Bushfire hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Bushfire hazard overlay code

Table 5.9.5 — Character overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Residential character design control area		
Material change of use if accepted development in any zone for a dwelling house	Accepted subject to requirements	Character overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Character overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.
Building work if involving: (a) extensions; or (b) external alterations; or (c) minor building work Note—Extensions and external alterations (such as the enclosure of a verandah) do not include internal building works.	Accepted subject to requirements	Character overlay code
Residential character demolition control area		
Building work if involving partial demolition of the front façade of a dwelling house.	Code assessable	Character overlay code
Building work if involving the total demolition, relocation on the same site or relocation of a dwelling house offsite	Impact assessable	Character overlay code
Commercial character demolition control area		
Building work if involving minor partial demolition of the front façade of a building.	Code assessable	Character overlay code
Building work if involving the total demolition, relocation on the same site or relocation of a building offsite	Impact assessable	Character overlay code

Table 5.9.6 — Coastal protection overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Coastal erosion prone area (overlay map OM-6A) or Coastal hazard – medium or high hazard (overlay map OM-6B)		
Material change of use if accepted development in any zone for: (a) caretaker's accommodation; or (b) dwelling house; or (c) dwelling unit	Accepted subject to requirements	Coastal protection overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Coastal protection overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Coastal protection overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Coastal protection overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.7 — Extractive resources overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use if accepted or accepted subject to requirements development in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; or (c) caretaker's accommodation; or (d) home-based business; or (e) rural workers' accommodation 	Code assessable	Extractive resources overlay code
<p>Any other Material change of use</p>	No change to categories of development and assessment under the tables of assessment for the relevant zone	<p>Extractive resources overlay code</p> <p>Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.</p>
<p>Reconfiguring a lot</p>	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Extractive resources overlay code

Table 5.9.8 — Flood hazard overlay

Note—Where flood mapping overlaps the highest category of hazard prevails.

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Fitzroy River flood area – H1 (low hazard area) or H2 (medium hazard area) or North Rockhampton Flood Management Area (overlay map OM-8A) or Local catchment flood – planning area 2 (overlay map OM-8C)		
Material change of use if accepted or accepted subject to requirements in any zone for: (a) dwelling house; or (b) dwelling unit	Accepted subject to requirements	Flood hazard overlay code
Material change of use if accepted or accepted subject to requirements in any zone for: (a) emergency services; or (b) major electricity infrastructure; or (c) substation; or (d) telecommunications facility; or (e) utility installation	Code assessable	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.	Flood hazard overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Flood hazard overlay code
Building work	Accepted subject to requirements Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme. Minimum finished floor level requirements still apply.	Flood hazard overlay code
Operational work if filling exceeds a height of 100	Code assessable	Flood hazard overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
millimetres above ground level		
All other operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code
Fitzroy River flood area – H3-H4 (high hazard area) or H5–H6 (extreme hazard area) (overlay map OM-8A) or Local catchment flood – planning area 1 (overlay map OM-8C)		
Material change of use if accepted development in any zone for: (a) dwelling house; or (b) dwelling unit	Accepted subject to requirements	Flood hazard overlay code
Material change of use if accepted subject to requirements or code assessable in any zone for: (a) caretaker's accommodation; or (b) community residence; or (c) dual occupancy; or (d) dwelling house; or (e) dwelling unit; or (f) multiple dwelling; or (g) non-residential workforce accommodation; or (h) relocatable home park; or (i) residential care facility; or (j) retirement facility; or (k) rooming accommodation; or (l) rural workers' accommodation; or (m) tourist park	Impact assessable	The planning scheme
Material change of use if accepted or accepted subject to requirements in any zone for: (a) emergency services; or (b) major electricity infrastructure; or (c) substation; or (d) telecommunications facility; or (e) utility installation	Code assessable	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Flood hazard overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Flood hazard overlay code
Building work	<p>Accepted subject to requirements</p> <p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme. Minimum finished floor level requirements still apply</p>	Flood hazard overlay code
Operational work if filling exceeds a height of 100 millimetres above ground level	Code assessable	Flood hazard overlay code
All other operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code
Floodplain investigation area (overlay map OM-8B)		
<p>Material change of use if accepted development in any zone for:</p> <p>(a) dwelling house; or (b) dwelling unit; or (c) emergency services; or (d) utility installation</p>	<p>Accepted subject to requirements</p> <p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	<p>Flood hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Flood hazard overlay code
Building work	Accepted subject to requirements	Flood hazard overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code

Table 5.9.9 — Heritage place overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Local heritage place register		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Heritage place overlay code
Building work , including minor building work, if involving: (a) extensions to a local heritage place; or (b) erecting a new or separate building on a local heritage place site; or (c) the partial demolition of a local heritage place	Code assessable	Heritage place overlay code
Building work if involving the total demolition or relocation of a local heritage place	Impact assessable	The planning scheme
Operational work if involving a change to landscaping, fencing or natural features of land referred to in the citation for a local heritage place	No change to categories of development and assessment under the tables of assessment for operational work	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Adjoining a heritage place or adjoining a local heritage place		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Heritage place overlay code

Table 5.9.10 — Special management area overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use if accepted or accepted subject to requirements in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; <p>where involving:</p> <ul style="list-style-type: none"> (i) replacement; or (ii) alterations; or (iii) extensions 	Accepted subject to requirements	Special management area overlay code
<p>Material change of use if accepted, accepted subject to requirements or code assessable in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; <p>where not involving:</p> <ul style="list-style-type: none"> (i) replacement; or (ii) alterations; or (iii) extensions 	Impact assessable	The planning scheme
<p>Material change of use if accepted, accepted subject to requirements or code assessable in any zone for:</p> <ul style="list-style-type: none"> (a) child care centre; or (b) community care centre; or (c) community residence; or (d) dual occupancy; or (e) educational establishment; or (f) health care services; or (g) hospital; or (h) multiple dwelling; or (i) outstation; or (j) relocatable home park; or (k) residential care facility; or (l) retirement facility; or (m) rooming accommodation; or (n) short-term accommodation; or (o) tourist park 	Impact assessable	The planning scheme
<p>Reconfiguring a lot if no new lots are created</p>	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Special management area overlay code
<p>Reconfiguring a lot if new lots are created</p>	Impact assessable	The planning scheme

Table 5.9.11 — Steep land overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Slope twenty-five (25) per cent or greater		
Material change of use if accepted development or accepted subject to requirements in any zone for: (a) caretaker's accommodation; or (b) dual occupancy; or (c) dwelling house; or (d) dwelling unit	Code assessable Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Steep land overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Slope equal to or greater than fifteen (15) per cent and less than twenty-five (25) per cent		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Steep land overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.12 — Water resource catchments overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Water resource catchments overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Water resource catchments overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Water resource catchments overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements

Note—Some overlays may only be included for information purposes. This should not change the category of development or assessment or assessment benchmarks in the planning scheme.

Part 6 Zones

6.1 Preliminary

- (1) Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
- (2) Zones are mapped and included in Schedule 2.
- (3) The categories of development and assessment for development in a zone are in Part 5.
- (4) Assessment benchmarks for zones are contained in a zone code.
- (5) A precinct may be identified for part of a zone.
- (6) A sub-precinct may be identified for part of a precinct.
- (7) Precinct and sub-precinct provisions are contained in the zone code.
- (8) Each zone code identifies the following:
 - (a) the purpose of the code;
 - (b) the overall outcomes that achieve the purpose of the code;
 - (c) the performance outcomes that achieve the overall outcomes and the purpose of the code;
 - (d) the acceptable outcomes that achieve the performance and overall outcomes and the purpose of the code;
 - (e) the performance and acceptable outcomes for the precinct; and
 - (f) the performance and acceptable outcomes for the sub-precinct.
- (9) The following are the zone codes for the planning scheme:
 - (a) Residential zones category
 - (i) Low density residential zone code
 - (A) Fitzroy River accommodation precinct
 - (B) Residential stables precinct
 - (ii) Low-medium density residential zone code
 - (iii) High density residential zone code
 - (b) Centre zones category
 - (i) Principal centre zone code
 - (A) Business services precinct
 - (B) Core precinct
 - (C) Denison Street precinct
 - (D) Quay Street precinct
 - (ii) Major centre zone code
 - (iii) District centre zone code
 - (iv) Local centre zone code
 - (v) Neighbourhood centre zone code
 - (vi) Specialised centre zone code
 - (A) Gladstone Road and George Street precinct
 - a. Outdoor sales and services sub-precinct
 - b. Residential and food services sub-precinct
 - (B) Musgrave Street precinct
 - a. Mixed use sub-precinct
 - b. Outdoor sales and services sub-precinct
 - (C) Yaamba Road precinct
 - (c) Recreation zones category
 - (i) Sport and recreation zone code
 - (A) Rockhampton major sports precinct
 - (ii) Open space zone code
 - (B) Kershaw Gardens precinct
 - (d) Environmental zones category
 - (i) Environmental management and conservation zone code
 - (e) Industry zones category
 - (i) Low impact industry zone code
 - (A) South Rockhampton precinct
 - (ii) Medium impact industry zone code
 - (A) Gracemere saleyards precinct code

- (iii) High impact industry zone code
 - (A) Lakes Creek precinct
 - (B) Parkhurst precinct
- (iv) Special industry zone code
- (v) Waterfront and marine industry zone code
 - (A) Fitzroy River industry precinct
- (f) Other zones category
 - (i) Community facilities zone code
 - (A) Rockhampton health services precinct
 - (ii) Emerging community zone code
 - (iii) Limited development (constrained land) zone code
 - (A) Mount Morgan mine precinct
 - (iv) Rural zone code
 - (A) Alton Downs precinct
 - (B) Cropping and intensive horticulture precinct
 - (v) Rural residential zone code
 - (A) Barea and Waltherhall precinct
 - (vi) Special purpose zone code
 - (A) Depot Hill rail precinct
 - (B) Rockhampton Airport precinct
 - a. Airport sub-precinct
 - b. Airport terminal sub-precinct
 - c. Business services sub-precinct
 - d. Airport expansion sub-precinct
 - (vii) Township zone code
 - (A) Kabra and Stanwell precinct.

6.2 Residential zones category

6.2.1 Low density residential zone code

6.2.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.1.2 Purpose

- (1) The purpose of the low density residential zone code is to:
 - (a) provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;
 - (b) provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;
 - (c) minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and
 - (d) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally a low-rise, 1-2 storey built form and low density character with small scale, detached buildings;
 - (b) residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);
 - (c) low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university, etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;
 - (d) short-term accommodation only occurs where it:
 - (i) is established in an existing dwelling;
 - (ii) does not adversely impact on the amenity of the surrounding residential area;
 - (iii) maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and
 - (iv) is limited in scale and duration;

Note—Use of a dwelling for short-term accommodation in this context may take the form of short term stay, rental or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.

- (e) non-residential uses only occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres;
 - (v) do not result in the expansion of a centre zone; and

- (vi) have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;
- (f) no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;
- (g) neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;
- (h) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;

Editor's note—To remove any doubt specialised centres are a centre zones category.

- (i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
- (k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;
- (l) new residential developments are located and integrated with existing neighbourhoods;
- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;
- (n) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;
- (o) development is serviced by infrastructure that is commensurate with the needs of the use; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Fitzroy River accommodation precinct; and
 - (ii) Residential stables precinct.

Fitzroy River accommodation precinct

- (3) The following overall outcomes of the Fitzroy River accommodation precinct are additional to those of the low density residential zone and take precedence in the event of a conflict:
 - (a) due to extreme flood constraints, no new or further intensification of residential uses occur, (except for the reuse of an existing dwelling for short-term accommodation);

Note—Short-term accommodation is intended as set out under (2)(d) above.

- (b) development does not result in a density of more than one (1) dwelling per lot; and
- (c) small scale non-residential uses directly associated with boating activities (for example bait and tackle shops, food and drink outlets) may be established provided they do not adversely affect the character and amenity of the precinct.

Residential stables precinct

- (4) The following overall outcomes of the residential stables precinct are additional to those of the low density residential zone and take precedence in the event of a conflict:
 - (a) development within the precinct predominantly consists of dwelling houses or animal keeping for the purposes of stabling horses;

- (b) development for animal keeping (stables only) develops at sites having sufficient area and dimensions to allow for the design and layout of stables in a manner that minimises the impact on the residential amenity of the area and where suitable environmental standards can be achieved;
- (c) development for veterinary services and service industry (being for saddle repairs or similar), develop in the precinct where they support the horse racing industry conducted at Callaghan Park, and where they are sited and designed at a small-scale so as not to adversely affect the character and amenity of the precinct;
- (d) the intensification of residential development in the form of subdivision of lots less than 800 square metres, or via the development of residential accommodation types resulting in a density of more than one (1) dwelling per lot does not occur;
- (e) the residential amenity on and adjoining the site of stables development is maintained; and
- (f) development for animal keeping (stables only), does not expand outside the precinct boundary.

6.2.1.3 Specific benchmarks for assessment

Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.</p>	<p>AO1.1 The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that: (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents;</p>	<p>AO3.1 The number of dwellings does not exceed one (1) unit per 300 square metres total site area.</p> <p>AND</p> <p>AO3.2 Each dwelling is provided with a private open space area which:</p>

Performance outcomes	Acceptable outcomes
<p>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents;</p> <p>(d) has access to open space; and</p> <p>(e) does not compromise the character and amenity of the surrounding area.</p> <p>Editor's note—Figure 6.2.1.3.1a — Site plans for dual occupancies provides guidance.</p>	<p>(a) is directly accessible from a habitable room; and</p> <p>(b) if located:</p> <p>(i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or</p> <p>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO3.3 Minimum setbacks are in accordance with the following:</p> <p>(a) carports and garages are set back a minimum of six (6) metres from all road frontages;</p> <p>(b) building walls are set back a minimum of three (3) metres from all road frontages;</p> <p>(c) verandahs are set back a minimum of one (1) metre from all road frontages;</p> <p>(d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level;</p> <p>(e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p> <p>AND</p> <p>AO3.5 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.6</p>

Performance outcomes	Acceptable outcomes
	A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.
<p>PO4 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use. 	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p> <p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO5.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO5.6</p>

Performance outcomes	Acceptable outcomes
	<p>The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights. <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Short-term accommodation	
<p>PO7 Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.</p>	<p>AO7.1 Short-term accommodation uses are carried out within an existing dwelling.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.2 There is no external signage.</p>
<p>PO8 Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.</p>	<p>AO8.1 The combined total number of persons does not exceed five (5) at any one time.</p> <p>AND</p> <p>AO8.2 Guests stay a maximum of fourteen (14) consecutive nights.</p>
<p>PO9 Development for short-term accommodation does not cause nuisance or otherwise adversely impact on the amenity of the neighbourhood.</p>	<p>AO9.1 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, schedule 1 as updated from time to time.</p> <p>AND</p> <p>AO9.2 Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.</p>
<p>Where in the residential stables precinct when involving an animal keeping (stables only) use</p> <p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO10 On any lot that accommodates a stable:</p> <ul style="list-style-type: none"> (a) the amenity of the precinct is maintained to a reasonable level especially in regards to issues such as noise, odour, light and dust; (b) the stable does not adversely affect the streetscape within the precinct; (c) a sufficient number of stalls are provided within a stable to prevent the overcrowding of horses; and (d) a sufficient number of day yards are provided to allow the proper spelling, exercise or training of horses. 	<p>AO10.1 The number of non-racehorses kept on the lot at any one time does not exceed the density of one (1) non-racehorse per 800 square metres of lot area.</p> <p>AND</p> <p>AO10.2 Stables are designed so that all doors and windows are orientated away from any house on an adjoining lot to reduce the potential for creating a noise or odour nuisance.</p> <p>AND</p> <p>AO10.3 Stalls and day yards as part of an animal keeping (stables only) use have a minimum area of nine (9) square metres.</p> <p>AND</p> <p>AO10.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>

Performance outcomes	Acceptable outcomes
<p>PO11 Stables and day yards are designed to minimise the negative environmental impacts as a result of solid and liquid waste.</p>	<p>AO11.1 AO11.1.1 All liquid waste is drained into the reticulated sewerage system.</p> <p>OR</p> <p>AO11.1.2 Where the development involves the stabling of less than six (6) horses at any one time, stables are constructed in a manner whereby the stalls and any other area hosed out frequently:</p> <ul style="list-style-type: none"> (a) opens directly onto a grassed area that measures three (3) metres in width perpendicular to the area being hosed out; or (b) drains directly to a concrete spoon drain of a sufficient size able to move all water and other matter (including waste) to an area of turf measuring no less than three (3) metres by three (3) metres.
<p>PO12 Stables are designed in a safe manner and do not create traffic or parking impacts on the immediate area or normal vehicle movements.</p>	<p>AO12.1 Stables are designed to provide an area on site at least thirty (30) square metres with dimensions of at least three (3) metres by ten (10) metres, where horses can be loaded or unloaded to or from a vehicle.</p> <p>AND</p> <p>AO12.2 A horse float is provided on the site that measures at least three (3) metres by five (5) metres, which is directly accessible to a street frontage.</p>

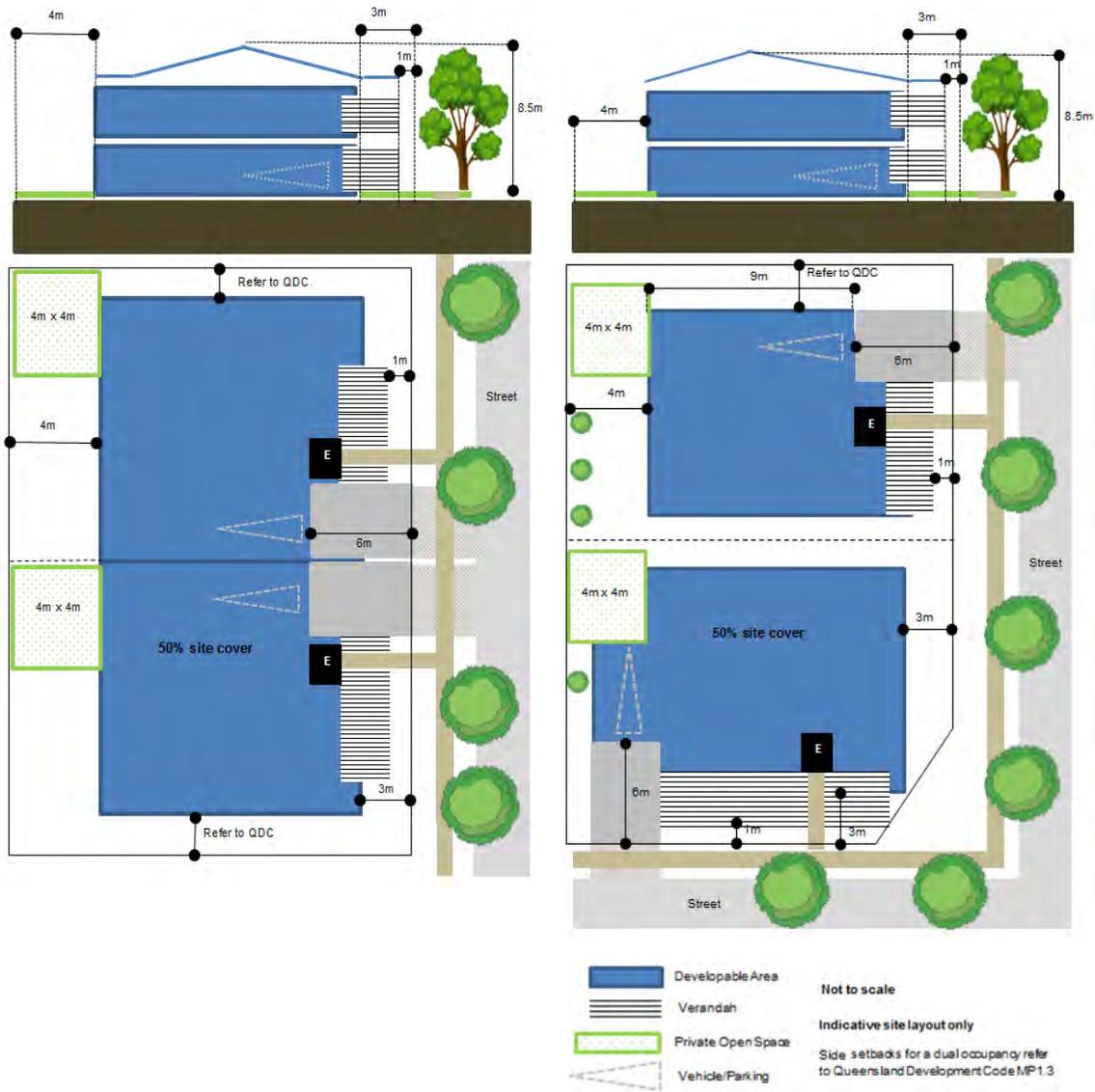


Figure 6.2.1.3.1a — Site plans for dual occupancies

Table 6.2.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO13 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. 	<p>AO13.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of six (6) metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 4.5 metres high; or (ii) two (2) metres for a wall up to 7.5 metres high; or

Performance outcomes	Acceptable outcomes
<p>Editor's note—Figure 6.2.1.3.2a — Development site plan provides guidance.</p>	<p>(iii) 2.5 metres for any part of a wall over 7.5 metres;</p> <p>(e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p>AND</p> <p>AO13.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO13.3 The maximum length of any exterior wall is twelve (12) metres.</p> <p>AND</p> <p>AO13.4 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO13.5 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>
<p>PO14 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO14.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO15 Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <p>(a) mass and proportion;</p> <p>(b) use of materials, patterns, textures, colours and decorative elements;</p> <p>(c) reflective glass material is not used as the principle construction material;</p> <p>(d) roof shapes include pitches and gables to break up the repetitiveness of buildings;</p> <p>(e) buildings incorporate articulation through the use of windows, sun-</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</p> <p>(f) roof structures are designed to screen any mechanical plant;</p> <p>(g) facade articulation, detailing and window and door proportions;</p> <p>(h) provision made for balconies, verandahs, eaves and parapets;</p> <p>(i) driveway crossovers, fence style and alignment;</p> <p>(j) emphasis on entry points; and</p> <p>(k) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage.</p> <p>Note—Where a conflict exists PO15 (k) takes precedence.</p>	
Land use	
Non-residential development	
<p>PO16</p> <p>Non-residential development may locate in the low density residential zone when the use can demonstrate the following:</p> <p>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</p> <p>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(c) is small in scale;</p> <p>(d) is consistent with the surrounding built form and streetscape;</p> <p>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</p> <p>(f) does not adjoin an existing centre zone;</p> <p>(g) located in proximity to public transport facilities and public transport routes; and</p> <p>(h) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO17</p> <p>The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO17.1</p> <p>Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>

Performance outcomes	Acceptable outcomes
Multiple dwelling, relocatable home park, residential care facility or retirement facility	
<p>PO18 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is located at highly accessible sites:</p> <ul style="list-style-type: none"> (a) that provide for the safety and convenience of people using the premises; (b) in proximity to centres of activity containing shopping, community facilities, and recreation and entertainment areas; (c) in proximity to public transport facilities and public transport routes; and (d) that can minimise impacts on local amenity and the local street network. 	<p>AO18.1 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is within 200 metres of the following:</p> <ul style="list-style-type: none"> (a) a neighbourhood centre zone, local centre zone, district centre zone, major centre zone, principal centre zone or specialised centre zone; or (b) open space zone or sport and recreation zone; or (c) a major hospital or CQ University (South or North Campus). <p>AND</p> <p>AO18.2 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility has direct access to a minor urban collector road or higher order road.</p>
<p>PO19 Residential development is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and (d) does not compromise the character and amenity of the surrounding area. 	<p>AO19.1 The number of dwellings does not exceed one (1) unit per 250 square metres total site area.</p> <p>AND</p> <p>AO19.2 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwellings; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO19.3 A minimum of one (1) habitable room overlooks the primary street frontage.</p> <p>AND</p> <p>AO19.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>
<p>PO20 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO20.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Effects of development	
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land uses and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>
<p>PO22 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO23 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO24 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; 	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and (f) allow shading for pedestrian comfort. 	<p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <ul style="list-style-type: none"> (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and (b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street trees planning scheme policy.</p>
Structure planning for urban development	
<p>PO26 New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, bicycle, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>

Performance outcomes	Acceptable outcomes
(h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space.	
Where in the Fitzroy River accommodation precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO27 Non-residential uses are directly associated with boating activities on the Fitzroy River and are small in scale.	AO27.1 Food and drink outlet(s) and shop(s) are limited to 150 square metres gross floor area. AND AO27.2 Retail uses primarily sell goods associated with boating activities. AND AO28.3 Outdoor sales or other outdoor activities are limited to 200 square metres total use area. Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats/pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.
PO28 The use is not for the purposes of a stand-alone office, shopping centre, showroom or hardware and trade supplies.	No acceptable outcome is nominated.
PO29 Outdoor sales activities are limited to the hiring and leasing of boats and associated equipment and does not involve the sale of products.	No acceptable outcome is nominated.
Where in the residential stables precinct when involving an animal keeping (stables only) use	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO30 Development for animal keeping (stables only) is consolidated within and does not expand beyond the boundaries of the residential stables precinct.	No acceptable outcome is nominated.



Figure 6.2.1.3.2a — Development site plan

Table 6.2.1.3.3 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Animal keeping (stables only) Note—When located in the residential stables precinct only.	800 square metres	Twenty (20) metres
Dual occupancy	600 square metres	Twenty (20) metres
Multiple dwelling	1,000 square metres	Twenty (20) metres
Relocatable home park	2,000 square metres	Forty (40) metres
Residential care facility	4,000 square metres	Forty (40) metres
Retirement facility	2,000 square metres	Forty (40) metres

6.2.2 Low-medium density residential zone code

6.2.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low-medium density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.2.2 Purpose

- (1) The purpose of the low-medium density residential zone code is to:
 - (a) provide locations preferred for the consolidation of a range and mix of dwelling types developed at low-medium densities in the planning scheme area;
 - (b) minimise land use conflict and ensure that uses supporting low-medium density development predominantly develop in the zone; and
 - (c) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for dwellings, dual occupancies and multiple dwellings being generally a low to medium-rise built form (up to three (3) storeys in building height) and low-medium density;
 - (b) infill development and greenfield areas are developed in a manner that makes efficient use of land and can provide for the development of a range and mix of accommodation and residential types;
 - (c) non-residential uses only occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres;
 - (v) do not result in the expansion of a centre zone;
 - (vi) have direct access to higher order roads (minor urban collector or higher); and

Editor's note—To remove any doubt a centre zone includes specialised centres

- (vii) provide for uses along Albert Street that can demonstrate a dependence on having a highway passing trade;
 - (d) development for an office is limited in scale (200 square metres gross floor area) to ensure the primacy of the principal centre and involves the reuse of an existing building to promote renewal;
 - (e) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;
 - (f) with the exception of a local centre at North Parkhurst (along William Palfrey Road on Lot 5 SP238731), no other neighbourhood or local centres are required within the low-medium density residential zone;
 - (g) short-term accommodation, rooming accommodation and tourist parks occur where there is access to public transport and higher order roads (minor urban collector or higher);
 - (h) development has a built form that creates an attractive and pedestrian oriented streetscape and is integrated with nearby centres, community facilities, open space and recreation facilities via pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;
 - (i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
 - (j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;

- (k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industry uses and major community facilities without separation distances, buffering, landscaping and screening that minimise a loss of amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;
- (l) new residential developments are located and integrated with existing neighbourhoods and in proximity to existing community infrastructure;
- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints; and
- (n) development is serviced by infrastructure that is commensurate with the needs of the use.

6.2.2.3 Specific benchmarks for assessment

Table 6.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding low-medium density residential area and significant scenic landscape features, having regard to the scale and height of buildings, site cover and density.</p>	<p>AO1.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed sixty-five (65) per cent of the total site area.</p> <p>AND</p> <p>AO1.3 The development has a plot ratio of no greater than one (1) to one (1) (1:1).</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; (d) has access to open space; and (e) does not compromise the character and amenity of the surrounding area. 	<p>AO3.1 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; and (b) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck,

Performance outcomes	Acceptable outcomes
<p>Editor's note—Figure 6.2.2.3.1a — Site plans for dual occupancies provides guidance.</p>	<p>having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO3.2 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of 4.5 metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and (e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p> <p>AND</p> <p>AO3.4 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.5 A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p>
<p>PO4 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use. 	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home-based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO5.1 The home-based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.2 The home-based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home-based child care).</p> <p>AND</p> <p>AO5.4 The home-based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home-based business.</p> <p>AND</p> <p>AO5.6 The home-based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home-based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and

Performance outcomes	Acceptable outcomes
	<p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home-based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Short-term accommodation	
<p>PO7 Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.</p>	<p>AO7.1 Short-term accommodation uses are carried out within an existing dwelling.</p> <p>AND</p> <p>AO7.2 There is no external signage.</p>
<p>PO8 Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.</p>	<p>AO8.1 The combined total number of persons does not exceed five (5) at any one time.</p> <p>AND</p> <p>AO8.2 Guests stay a maximum of fourteen (14) consecutive nights.</p>

Performance outcomes	Acceptable outcomes
<p>PO9 Development for short-term accommodation does not cause nuisance or otherwise adversely impact on the amenity of the neighbourhood.</p>	<p>AO9.1 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, schedule 1 as updated from time to time.</p> <p>AND</p> <p>AO9.2 Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.</p>

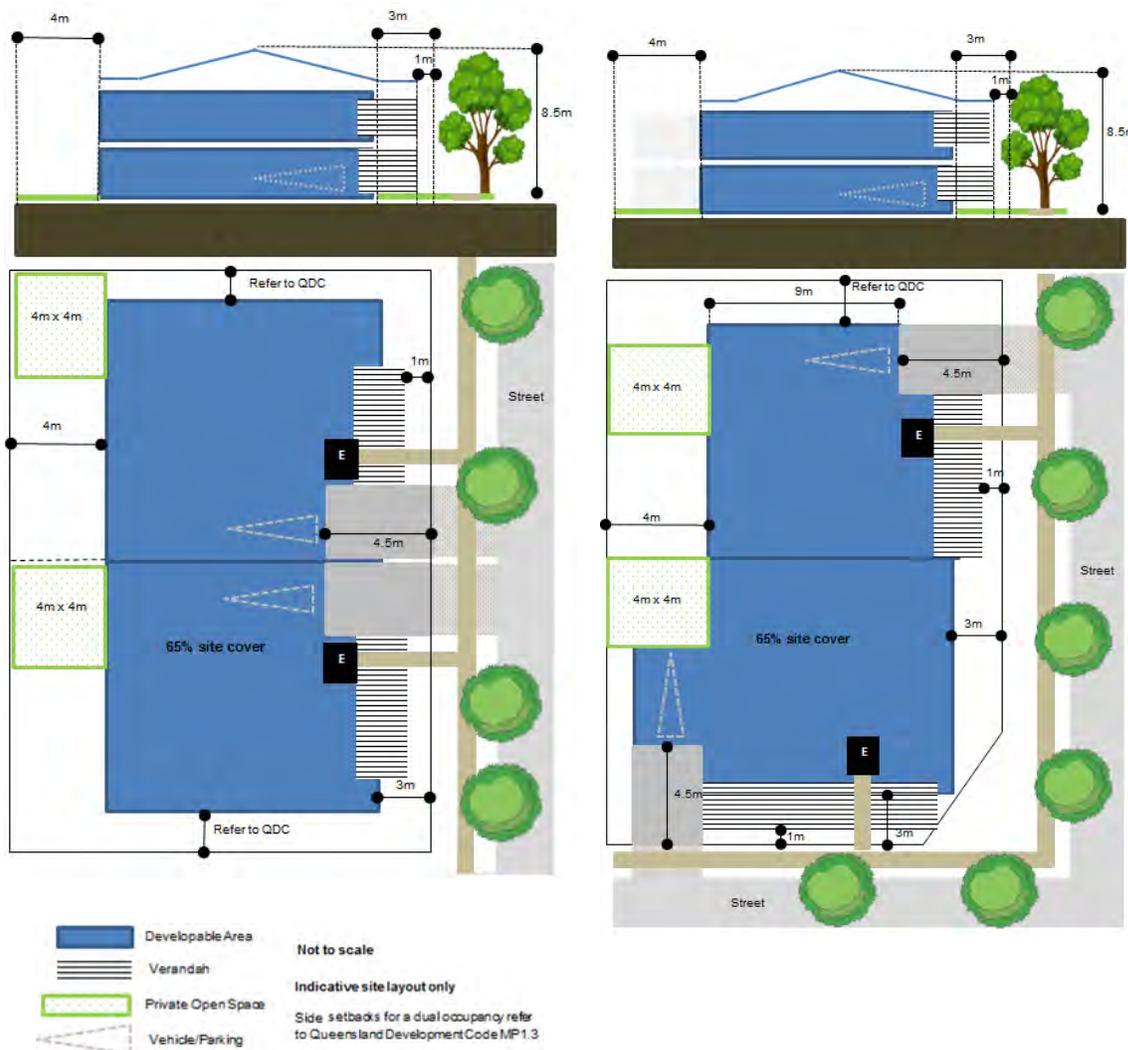


Figure 6.2.2.3.1a — Site plans for dual occupancies

Table 6.2.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form — additional provisions	
<p>PO10 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. <p>Editor's note—Figure 6.2.2.3.2a — Development site plan provides guidance.</p>	<p>AO10.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of 4.5 metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 4.5 metres high; (ii) two (2) metres for a wall up to 7.5 metres high; and (iii) 2.5 metres for any part of a wall over 7.5 metres; (e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and (f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>AND</p> <p>AO10.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO10.3 The maximum length of any exterior wall is fifteen (15) metres.</p> <p>AND</p> <p>AO10.4 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p> <p>AO10.5 New building plant or air conditioning equipment is located within, underneath or</p>

Performance outcomes	Acceptable outcomes
	central to the building and screened from view of the street and adjoining properties.
<p>PO11 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO11.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO12 Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> (a) mass and proportion; (b) use of materials, patterns, textures, colours and decorative elements; (c) reflective glass material is not used as the principle construction material; (d) podium height and design; (e) roof shapes include pitches and gables to break up the repetitiveness of buildings; (f) buildings incorporate articulation via use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance; (g) roof structures are designed to screen any mechanical plant; (h) facade articulation, detailing, and window and door proportions; (i) provision made for balconies, verandahs, eaves and parapets; (j) driveway crossovers, fence style and alignment; (k) emphasis on entry points; and (l) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage. <p>Note—Where a conflict exists PO12 (l) takes precedence.</p>	<p>No acceptable outcome is nominated.</p>
Land use	
Non-residential development	
<p>PO13 Non-residential development may locate in the low-medium density residential zone when the use can demonstrate the following:</p> <ul style="list-style-type: none"> (a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood; or (b) where located on Albert Street and can demonstrate a dependence on having highway passing trade. Therefore limited to: <ul style="list-style-type: none"> (i) products predominantly displayed outside of any enclosed building and are 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>demonstrably dependent on high visibility for attracting customers or businesses and typically include outdoor sales; or</p> <p>(ii) products predominantly displayed inside a building, consistent with the showroom definition with gross floor area of no more than 500 square metres and is demonstrably dependent on high visibility for attracting customers or business; and</p> <p>(iii) other uses which service and support the broad range of needs of highway users and include a food and drink outlet, service station, car wash and the like;</p> <p>(c) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(d) is small in scale;</p> <p>(e) is consistent with the surrounding built form and streetscape;</p> <p>(f) the use does not compromise the role and function of existing centres;</p> <p>(g) does not adjoin an existing centre zone;</p> <p>(h) located in proximity to public transport facilities and public transport routes; and</p> <p>(i) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	
<p>PO14 The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO14.1 Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>
Multiple dwelling, relocatable home park, residential care facility or retirement facility	
<p>PO15 Residential development is designed and sited in a manner that:</p> <p>(a) is of an appropriate scale and size that reflects the purpose of the zone;</p> <p>(b) is attractive in appearance, climate responsive and functional in design, and safe for residents;</p> <p>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and</p>	<p>AO15.1 Each dwelling is provided with a private open space area which:</p> <p>(a) is directly accessible from a habitable room;</p> <p>(b) is located or screened from main living areas or private open space of adjoining dwellings; and</p> <p>(c) if located:</p> <p>(i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least</p>

Performance outcomes	Acceptable outcomes
(d) does not compromise the character and amenity of the surrounding area.	<p>sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or</p> <p>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO15.2 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p>
<p>PO16 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO16.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Rooming accommodation or short-term accommodation	
<p>PO17 Residential development is designed and sited in a manner that:</p> <p>(a) is of an appropriate scale and size that reflects the purpose of the zone; and</p> <p>(b) does not compromise the character and amenity of the surrounding area.</p>	<p>AO17.1 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p>
<p>PO18 Development for rooming accommodation and short-term accommodation occurs in locations where:</p> <p>(a) having convenient access to public transport;</p> <p>(b) has access to a higher order road (minor collector or higher);</p> <p>(c) does not impact upon the surrounding residential amenity; and</p> <p>(d) there is access to a road network that can accommodate traffic generated by the use.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO19 Communal open space is provided for occupants to allow for a range of activities.</p>	<p>AO19.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Tourist park	
<p>PO20 Development for a tourist park is designed and sited in a manner that:</p>	<p>AO20.1 The development contains on-site amenity buildings equipped with ablution, toilet, and laundry facilities, which are of a size and</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs for residents; (d) does not compromise the character and amenity of the surrounding area; and (e) can minimise impacts on local amenity and the local street network. 	<p>number sufficient for the expected number of residents at full occupancy.</p> <p>AND</p> <p>AO20.2 A minimum area of ten (10) per cent of the total site area is provided as communal open space which:</p> <ul style="list-style-type: none"> (a) is provided in addition to landscape buffer areas; (b) is clear of obstacles, including clothes hoists, access ways, parking spaces and garbage receptacles; (c) has a minimum dimension of fifteen (15) metres by fifteen (15) metres; (d) has a 1.8 metre high solid screen fence when adjoining a sensitive land use; and (e) has a fenced children’s playground with safe and good quality play equipment. <p>Editor’s note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p> <p>AND</p> <p>AO20.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p> <p>AND</p> <p>AO20.4 Development for a tourist park has direct access to a minor urban collector road or higher order road.</p>
Effects of development	
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land use and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>
<p>PO22 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO23</p>	

Performance outcomes	Acceptable outcomes
<p>Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO24 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and (f) allow shading for pedestrian comfort. 	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <ul style="list-style-type: none"> (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and (b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by the SC6.12 — Landscape design and street trees planning scheme policy.</p>
Structure planning for urban development	
<p>PO26</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves fifteen (15) to thirty (30) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; (h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space. 	<p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>



Figure 6.2.2.3.2a — Development site plan

Table 6.2.2.3.3 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Dual occupancy	400 square metres	Fifteen (15) metres
Rooming accommodation	1,000 square metres	Twenty (20) metres
Multiple dwelling	800 square metres	Twenty (20) metres
Relocatable home park	2,000 square metres	Forty (40) metres
Residential care facilities	2,000 square metres	Forty (40) metres
Retirement facilities	2,000 square metres	Forty (40) metres
Short-term accommodation	1,000 square metres	Twenty (20) metres
Tourist park	2,000 square metres	Forty (40) metres

6.2.3 High density residential zone code

6.2.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the high density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.3.2 Purpose

- (1) The purpose of the high density residential zone code is to:
 - (a) provide locations preferred for the consolidation of multiple dwellings developed at the highest densities in the planning scheme area; and
 - (b) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for long-term residential development (such as multiple dwellings and the like) and short-term accommodation, being generally a high-rise built form (up to twelve (12) storeys in height) at a higher density than the low and low-medium density zones;
 - (b) mixed-use development locates non-residential uses at ground level and the non-residential uses are focused towards supporting the convenience needs of the community including uses such as food and drink outlets and shops (limited in scale);
 - (c) non-residential uses occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres; and
 - (v) do not result in the expansion of a centre zone;

Editor's note—To remove any doubt a centre zone includes specialised centres.

- (d) development has a built form that creates an attractive and pedestrian oriented streetscape and is integrated with nearby centres of activity, community facilities, open space and recreation facilities;
- (e) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (f) buildings reflect high density residential living in terms of height and scale;
- (g) continued focus on the establishment of food and drink outlets (restaurants and cafes) at the ground floor level within a high quality streetscape;
- (h) development along Victoria Parade is designed to address parklands along the Fitzroy River;
- (i) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
- (j) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints (including but not limited to topography, bushfire and flooding);
- (k) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use; and
- (l) development is serviced by infrastructure that is commensurate with the needs of the use.

6.2.3.3 Specific benchmarks for assessment

Table 6.2.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding high density residential area and significant scenic landscape features, having regard to the scale and height of buildings, site cover and density.</p>	<p>AO1.1 The height of buildings and structures does not exceed twelve (12) storeys and forty-five (45) metres above the ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed eighty (80) per cent.</p> <p>AND</p> <p>AO1.3 The development has a plot ratio of no greater than five (5) to one (1) (5:1).</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design and safe for residents; (c) has regard to streetscape and street function and privacy, passive recreation and living space needs of residents; (d) has access to open space; and (e) does not compromise the character and amenity of the surrounding area. 	<p>AO3.1 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwellings; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres. <p>AND</p> <p>AO3.2 Minimum setbacks are in accordance with the following:</p>

Performance outcomes	Acceptable outcomes
	<p>(a) buildings are set back from the street frontage in accordance with Table 6.2.3.3.3;</p> <p>(b) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(c) vehicle parking structures (garages and car ports) are located:</p> <p>(i) behind the front building setback; or</p> <p>(ii) below the front building.</p> <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.3.3.4.</p> <p>AND</p> <p>AO3.4 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.5 A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p>
<p>PO4 Development is located and designed so that buildings and structures make provision for:</p> <p>(a) privacy and noise attenuation;</p> <p>(b) integration with the streetscape and built form; and</p> <p>(c) separation from an adjoining industrial zone or industrial use.</p>	<p>AO4.1 Fencing along the primary street frontage is:</p> <p>(a) a maximum height of 1.2 metres; or</p> <p>(b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home-based business is operated, designed and sited in a manner that:</p> <p>(a) is small in scale and intensity;</p>	<p>AO5.1 The home-based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home-based child care).</p>

Performance outcomes	Acceptable outcomes
<p>(b) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(c) does not adversely affect the streetscape and street function; and</p> <p>(d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AND</p> <p>AO5.2 The home-based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home-based child care).</p> <p>AND</p> <p>AO5.4 The home-based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home-based business.</p> <p>AND</p> <p>AO5.6 The home-based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home-based business where for bed and breakfast accommodation: (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9</p>

Performance outcomes	Acceptable outcomes
	<p>No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home-based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>

Table 6.2.3.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form — additional provisions	
<p>PO7 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. <p>Editor's note—Figure 6.2.3.3.2a — Development site plan provides guidance.</p>	<p>AO7.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) buildings are set back from the street frontage in accordance with Table 6.2.3.3.3; (b) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 8.5 metres high; (ii) 2.5 metres for a wall up to twelve (12) metres high; and (iii) 3.5 metres for any part of a wall over twenty (20) metres high; and (c) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level. <p>AND</p> <p>AO7.2 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.3.3.4.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO7.3 The development is orientated to the primary street frontage with a pedestrian entry and door that is visible and accessible from the street. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO7.4 Except where a wall is built directly against another wall, all exterior walls are articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO7.5 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO7.6 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street or adjoining properties.</p>
<p>PO8 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO8.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO9 The development is designed to incorporate design elements such as:</p> <ul style="list-style-type: none"> (a) pedestrian entry points that are accentuated by any of the following architectural features and design elements: <ul style="list-style-type: none"> (i) porte-cochere; or (ii) colonnades; or (iii) portico; (b) a layered facade effect, where the planes containing the most windows are recessed behind penetrated planes, structural framing, balustrades, friezes, grilles or sun shading devices; (c) building materials, patterns, textures, colours and decorative elements; (d) variation in roof form (pitch and gables); (e) balconies, verandahs, eaves and parapets; 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(f) use of variations in plan shape, such as curves, recesses, projections or splays; and (g) use of variations in vertical profile, with steps or slopes at different levels.	
PO10 The development minimises overshadowing of habitable rooms, adjoining useable private open space or public spaces and incorporates vegetation plantings at any or all levels, particularly on podiums or low level roof decks.	No acceptable outcome is nominated.
Land use	
Non-residential development	
PO11 Non-residential development is a use type that: <ul style="list-style-type: none"> (a) services the day-to-day needs of residents of the local neighbourhood and accommodation guests or is a community or emergency facility that primarily services the needs of the local neighbourhood; (b) does not compromise the residential character and existing amenity of the surrounding area; (c) is consistent with the surrounding urban form; (d) is predominantly at ground floor level; (e) does not result in the expansion of a centre zone; (f) does not compromise the function and viability of nearby centres; and (g) where development is for a shop or food and drink outlet, the use is: <ul style="list-style-type: none"> (i) collocated with a residential use on the same site; and (ii) is located predominantly at ground level. <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
Multiple dwelling, residential care facility or retirement facility	
PO12 Residential development is designed and sited in a manner that: <ul style="list-style-type: none"> (a) is attractive in appearance, climate responsive and functional in design, and safe for residents; and (b) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents. 	AO12.1 Each dwelling is provided with a private open space area which: <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwelling; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandas, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or

Performance outcomes	Acceptable outcomes
	(ii) above ground level, has a balcony, a veranda or a deck having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.
<p>PO13 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO13.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Rooming accommodation or short-term accommodation	
<p>PO14 Communal open space is provided for occupants to allow for a range of activities.</p>	<p>AO14.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Effects of development	
<p>PO15 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO15.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO16 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO17 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) and from the street; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(e) allow shading for pedestrian comfort.	

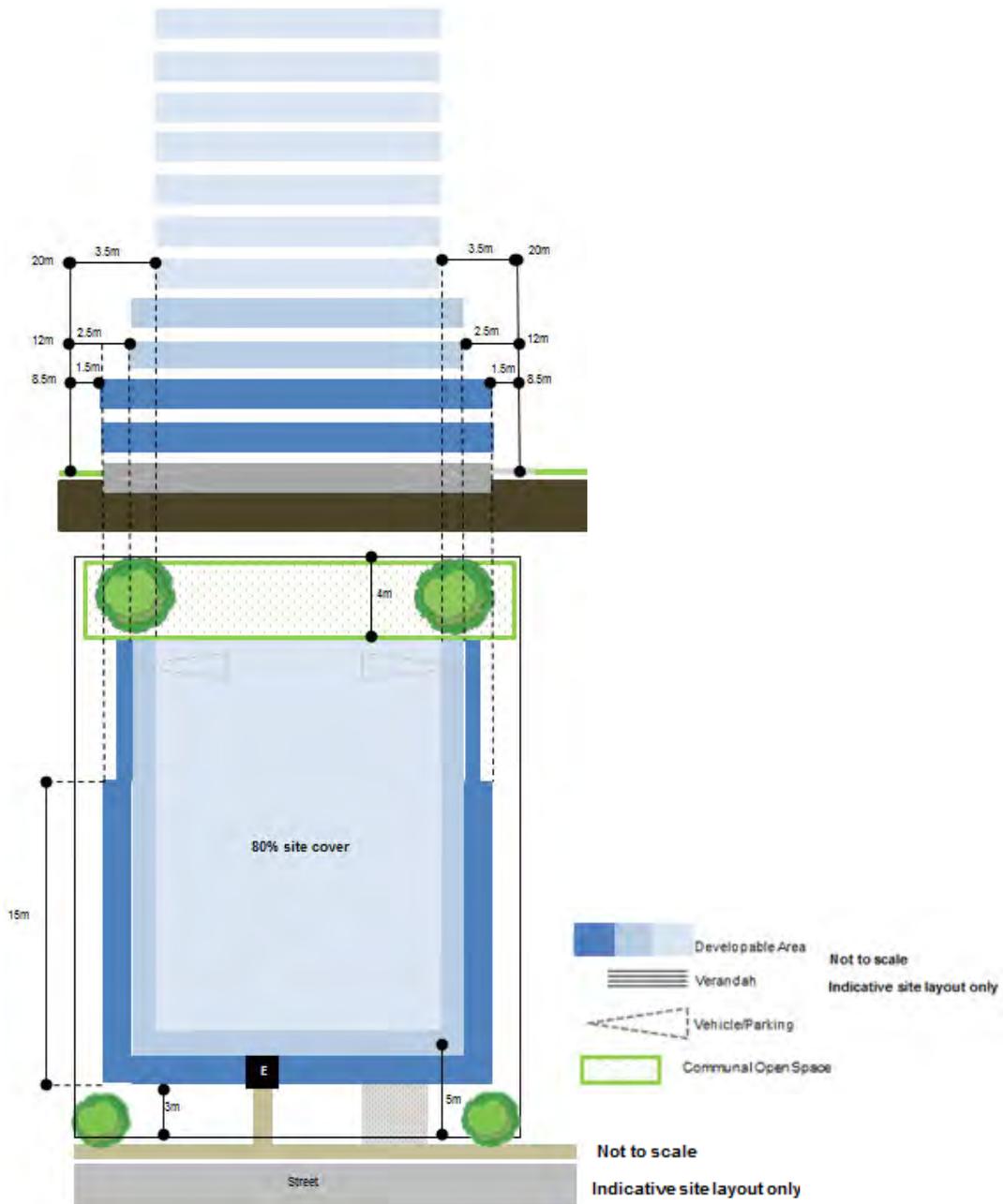


Figure 6.2.3.3.2a — Development site plan

Table 6.2.3.3.3 — Minimum building setback from street frontage

Building height	Front setback – building	Front setback – balconies
Basement	0 metres	N/A
Storeys 1 – 3.	Within twenty (20) per cent of the average front setback of adjoining buildings;	1.5 metres
	OR	

	Where there are no adjoining buildings — three (3) metres. Editor's note—Figure 6.2.3.3.3a provides guidance.	
Four (4) storeys and above.	Five (5) metres.	3 metres

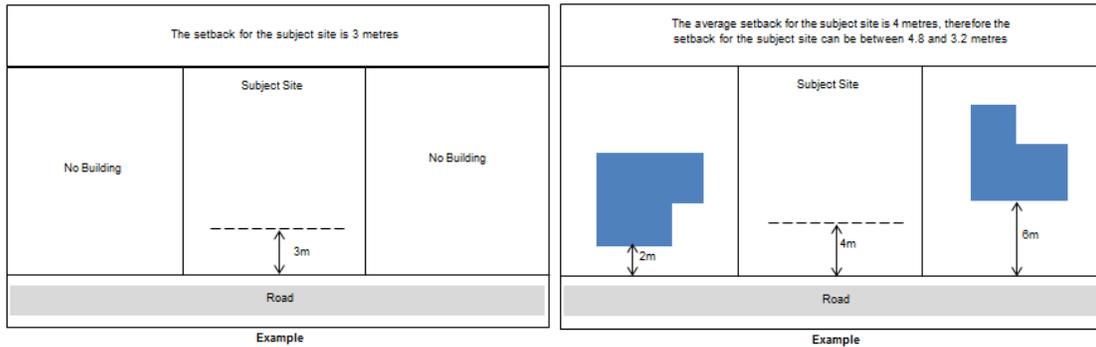


Figure 6.2.3.3.3a — Front building setbacks

Table 6.2.3.3.4 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Dual occupancy	600 square metres	Fifteen (15) metres
Rooming accommodation	1,000 square metres	Twenty (20) metres
Multiple dwelling	1,000 square metres	Twenty (20) metres
Residential care facility	2,000 square metres	Twenty (20) metres
Retirement facility	2,000 square metres	Twenty (20) metres
Short-term accommodation	1,000 square metres	Twenty (20) metres

[Intentionally blank]

6.3 Centre zones category

6.3.1 Principal centre zone code

6.3.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the principal centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.1.2 Purpose

- (1) The purpose of the principal centre zone code is to:
 - (a) facilitate the development of the principal centre which:
 - (i) is the primary business centre for the wider region with the highest concentration of commercial, retail, entertainment and cultural uses;
 - (ii) is developed with high density residential development (above ground floor level or behind ground story retail, commercial or community related activities), tourist and short-term accommodation (except within the Denison Street precinct);
 - (iii) includes on and off-street parking, continuous commercial facades, shaded footpaths, street trees and other pedestrian facilities;
 - (iv) is the primary destination and interchange hub for all modes of road and local area public transport;
 - (v) is well designed, safe and highly accessible;
 - (vi) is well served with all urban infrastructure; and
 - (vii) retains important character and heritage values.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the height and scale of buildings reinforce the principal role of the centre with the tallest buildings being in the core precinct;
 - (b) building layout and form is suitable to accommodate a range of compatible uses;
 - (c) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (d) development facilitates safe and efficient public/active transport use and pedestrian movement;
 - (e) development activates the street at ground level through the location of active uses (including shops and food and drink outlets) and by design (including continuous shop facades, continuous awnings, narrow shop fronts, doorways, large display windows, street trees, street furniture and varied external wall treatments);
 - (f) development creates a pedestrian rather than car oriented street frontage. Car parking areas do not dominate the street frontage and are predominantly located behind buildings;
 - (g) development must address key corners, be responsive to the regions climate and create a pedestrian friendly environment;
 - (h) development maintains or enhances view corridors, especially to Mount Archer and the Berserker Range;
 - (i) development maintains the structured grid pattern layout of lanes and wide streets;
 - (j) development that traverses a laneway and extends from one street through to another, provides linkages for pedestrians;
 - (k) buildings that have heritage and character features reflecting the area's history are protected and reused where possible;
 - (l) development is landscaped to assist with the greening of the city and the creation of shady, safe and well connected public places;
 - (m) the provision of infrastructure services, car parking and access is adequate for the type and scale of development;

- (n) development is generally undertaken in accordance with concept plans; and
- (o) the establishment of four (4) precincts within the zone, where particular requirements are identified:
 - (i) Business services precinct;
 - (ii) Core precinct;
 - (iii) Denison Street precinct; and
 - (iv) Quay Street precinct.

Business services precinct

- (3) The following overall outcomes of the business services precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
 - (a) the following development is located in the precinct:
 - (i) large format retail uses supporting the core precinct, including office supplies and commercial services;
 - (ii) community related activities; and
 - (iii) residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (b) large-scale commercial, administrative and government offices are not located in this precinct — these are located in the core precinct;
 - (c) industrial uses are limited to service industry uses;
 - (d) development is low-medium rise to high rise (along Bolsover Street) and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) servicing and parking occurs off laneways where possible so that a continuity of built form along the road frontage is developed.

Core precinct

- (4) The following overall outcomes of the core precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
 - (a) the following development is located in the precinct:
 - (i) commercial uses including government and private sector regional and head offices;
 - (ii) premium office space;
 - (iii) high quality, boutique, leisure and destination retail (for example department stores);
 - (iv) a range of large-scale community, cultural, recreational, entertainment and tertiary educational facilities; and
 - (v) a range of residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (b) development includes uses that operate at different times of the day to ensure the precinct has vitality and reduces the potential for crime through activation and passive surveillance;
 - (c) the tallest buildings in the planning scheme area are located in the core precinct and reinforce the character, legibility and landmark function of the precinct;
 - (d) buildings have a minimum height of two (2) storeys or a parapet facing the street, no less than ten (10) metres in height to help frame the street and reflect the significance of the core precinct;
 - (e) the historic character of East Street is retained and reinforced with continuous footpaths and awnings and the retention of a two (2) storey minimum building or parapet height;
 - (f) development maximises important views towards the Mount Archer ranges, the Fitzroy River and The Range with tower and podium design buildings;
 - (g) servicing and parking occurs off laneways where possible so that a continuity of built form along streets is developed; and
 - (h) major public transport routes and modes connect the precinct to other major centres in the planning scheme area.

Denison Street precinct

- (5) The following overall outcomes of the Denison Street precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
- (a) the following development is located in the precinct:
 - (i) industrial uses are limited to service industry and low impact industry; and
 - (ii) large format retail uses supporting the core precinct, including office supplies and commercial services;
 - (b) residential uses (except for caretaker's accommodation) are not located in this precinct;
 - (c) large-scale commercial, administrative, government offices, community, cultural, and entertainment uses are not located in this precinct — (these are located in the core precinct);
 - (d) development is low-medium rise and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) servicing and parking occurs off laneways where possible so that a continuity of built form along streets is developed.

Quay Street precinct

- (6) The following overall outcomes of the Quay Street precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
- (a) the following development is located in the precinct:
 - (i) offices only where they are:
 - (A) above ground level with a frontage to Quay Street (to ensure active uses such as restaurants, cafes or shops at the ground floor level);
 - or
 - (B) small scale, create a fine grained façade and provide for extensive overlooking of the street when at ground level in premises with a frontage to Quay Lane;
 - (ii) residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (iii) shops (boutique and tourist retail); and
 - (iv) food and drink outlets (restaurants, cafes), cultural and entertainment uses;
 - (b) ground floor uses including shops, food and drink outlets (restaurants, cafes and bars) and markets that maximise the use of the footpath and riverfront aspect for alfresco dining are supported;
 - (c) heritage buildings fronting Quay Street are adapted and used for a mix of uses to attract people to the precinct and to preserve the buildings. Preferred uses include retail, restaurants and short-term accommodation;
 - (d) development is low-medium rise and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) new buildings and structures:
 - (i) are designed to complement the heritage features of the precinct;
 - (ii) are built to boundary;
 - (iii) are designed to accommodate active uses at ground level;
 - (iv) do not include car parking fronting Quay Street; and
 - (v) are sited to have access off Quay Lane.

6.3.1.3 Specific benchmarks for assessment

Table 6.3.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways), except where stated otherwise for a particular precinct have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of building(s) contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO2.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Where in the business services precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO3 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) locates low-medium rise to high rise (Bolsover Street) buildings in the business services precinct; (b) establishes a visually interesting skyline with buildings of varying heights and scale across the entire principal centre; and (c) provides a transition to adjoining residential zones. 	<p>AO3.1 The height of buildings and structures does not exceed those specified in Figure 6.3.1.3.1a — Maximum building heights in the business services precinct.</p> <p>AND</p> <p>AO3.2 Site cover does not exceed the following:</p> <ul style="list-style-type: none"> (a) eighty (80) per cent for sites identified for three (3) storeys and twelve (12) metres maximum building height as shown on Figure 6.3.1.3.1a; (b) ninety (90) per cent for sites identified for five (5) storeys and eighteen (18)

Performance outcomes	Acceptable outcomes
	<p>metres as shown on Figure 6.3.1.3.1a; and</p> <p>(c) 100 per cent for sites identified for twelve (12) storeys and forty-five (45) metres as shown on Figure 6.3.1.3.1a.</p>
<p>PO4 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO4.1 Awnings are provided in accordance with Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO5 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p>	<p>AO5.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO5.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO5.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>

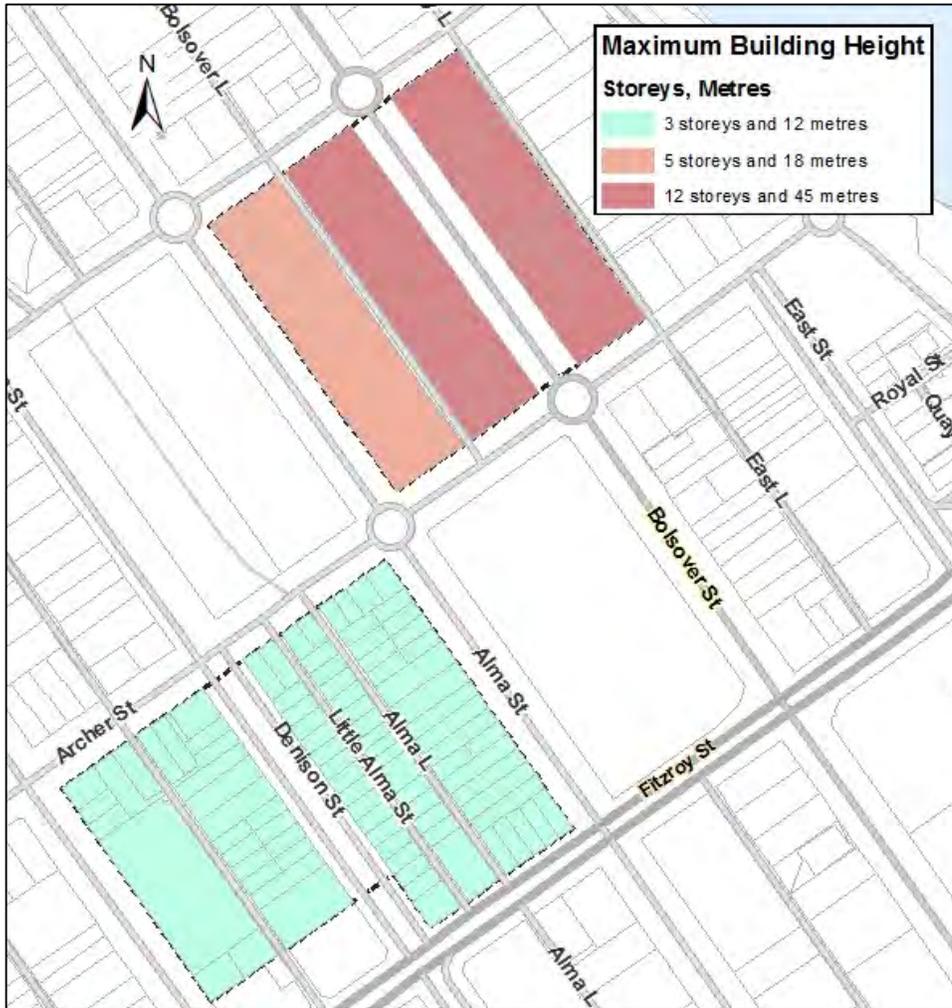


Figure 6.3.1.3.1a — Maximum building heights in the business services precinct

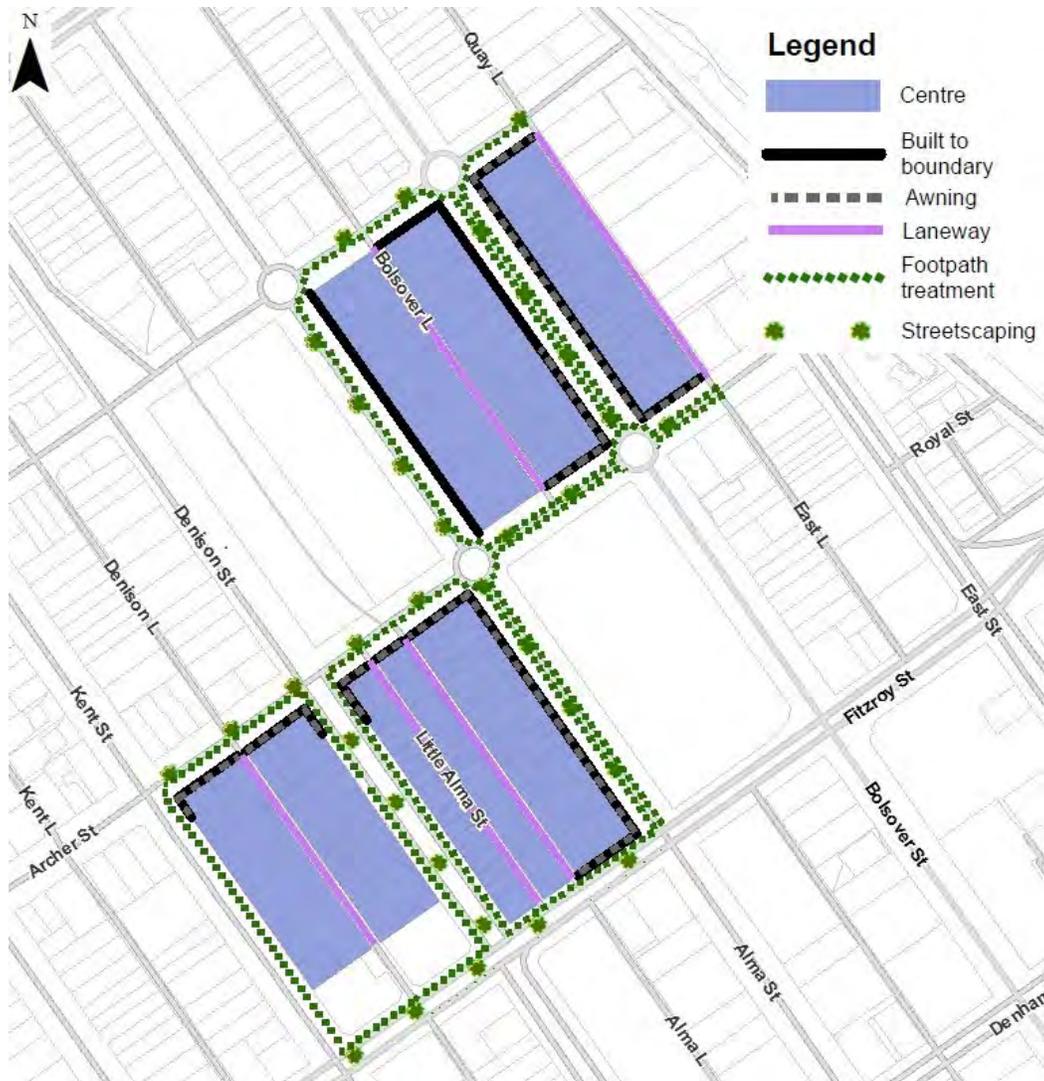


Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the core precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO6 Development is of a height that:</p> <ul style="list-style-type: none"> (a) concentrates the tallest buildings in the core precinct, with building height stepping down to the Fitzroy River; (b) reflects and responds to the scale of adjoining heritage building forms; and (c) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO6.1 The height of buildings and structures does not exceed those specified in Figure 6.3.1.3.1c — Maximum building heights in the core precinct.</p>
<p>PO7 Buildings taller than four (4) storeys include a podium and tower design in order to:</p> <ul style="list-style-type: none"> (a) minimise building massing at upper levels by requiring setbacks to all boundaries; (b) minimise the domination of streets and other pedestrian spaces by setting back tower levels from street frontages; (c) provide opportunities for the penetration of natural light and breezes between buildings; and (d) provide for long views between the upper levels of buildings. <p>Editor's note—Development is to be generally in accordance with Figure 6.3.1.3.1d.</p>	<p>AO7.1 Podiums do not exceed four (4) storeys and fifteen (15) metres in height above ground level.</p> <p>AND</p> <p>AO7.2 Podiums are built to the primary street frontage boundary.</p> <p>AND</p> <p>AO7.3 The maximum site cover of podium levels is 100 per cent.</p> <p>AND</p> <p>AO7.4 On a site with a street frontage of less than twenty (20) metres, the gross floor area of the new building above maximum podium height does not exceed four (4) times the area of the site.</p> <p>AND</p> <p>AO7.5 Levels above the podium are set back from all site boundaries by no less than five (5) metres, except:</p> <ul style="list-style-type: none"> (a) for sites less than twenty (20) metres in width, where the minimum side boundary setbacks are two (2) metres; and (b) to align with an existing blank wall on a common boundary with an adjoining site, where no side boundary setback is required.
<p>PO8 Development provides for building facades of at least two (2) storeys (or a parapet facing the street) no less than ten (10)</p>	<p>AO8.1 Buildings have a minimum height of two (2) storeys and ten (10) metres above ground level.</p>

Performance outcomes	Acceptable outcomes
metres in height to reflect the significance of the principal centre – core precinct.	
<p>PO9 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO9.1 Awnings are provided in accordance with</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements), <p>and are:</p> <ol style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.
<p>PO10 Development is designed to:</p> <ol style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO10.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO10.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO10.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO11 Development provides a continuous built form and a safe and walkable urban environment for pedestrians.</p>	<p>AO11.1 No vehicle access is obtained from the locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted

Performance outcomes	Acceptable outcomes
	subject to requirements and assessable elements).

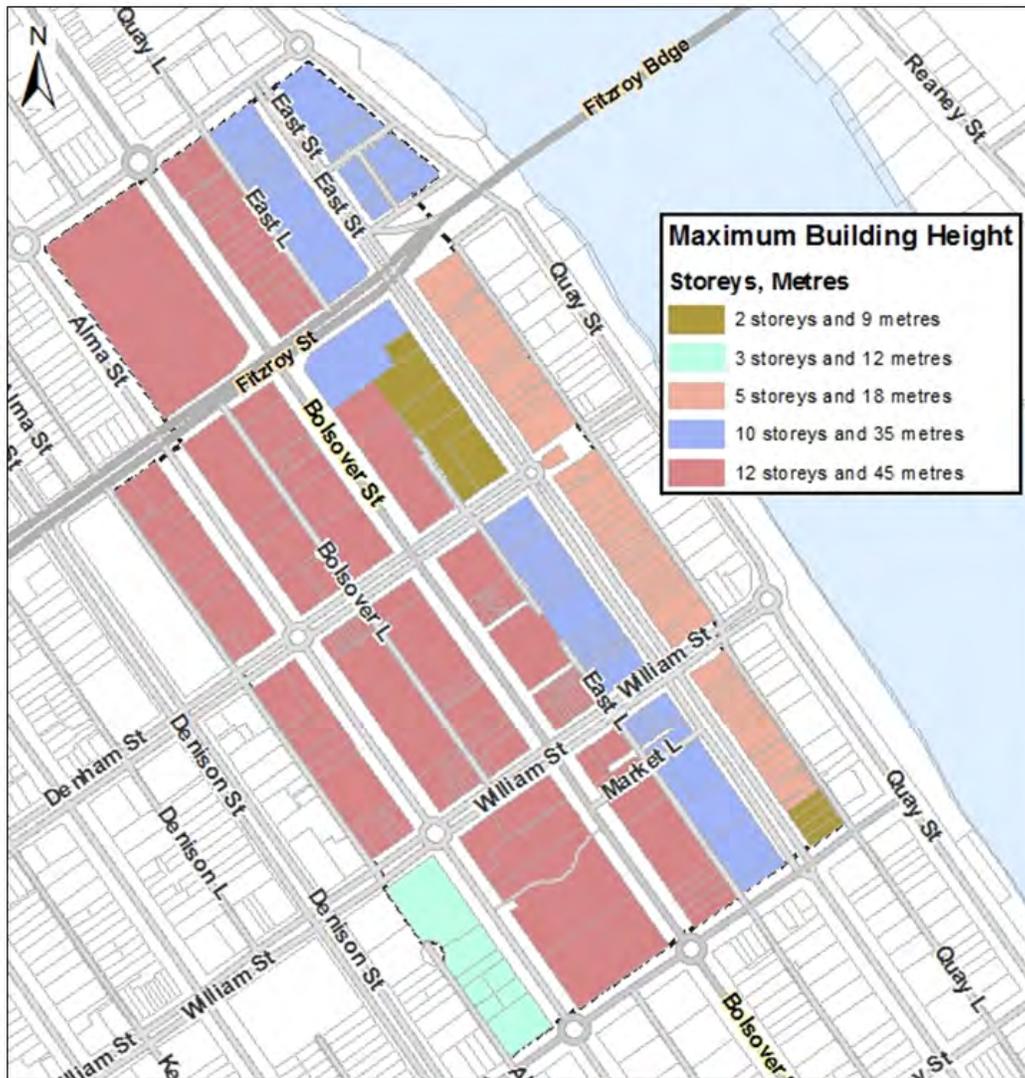


Figure 6.3.1.3.1c — Maximum building heights in the core precinct

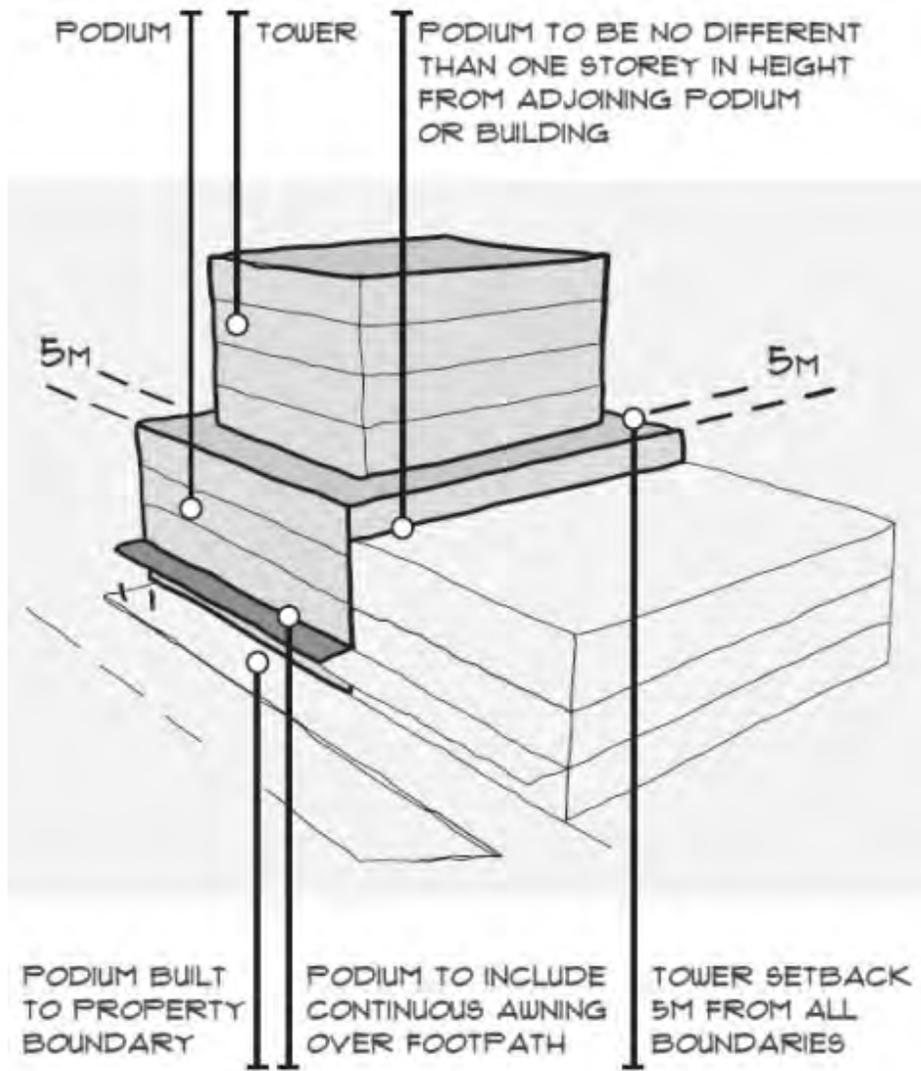


Figure 6.3.1.3.1d — Built form in the core precinct



Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Denison Street precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO12 Development is of a height that:</p> <ul style="list-style-type: none"> (a) locates low-medium rise buildings in the Denison Street precinct; and (b) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO12.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p>
<p>PO13 Building scale and density provides a transition to adjoining residential zones.</p>	<p>AO13.1 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO14 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO14.1 Awnings are provided in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width from the face of the building or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO15 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO15.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO15.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	AO15.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.



Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Quay Street precinct	

Performance outcomes	Acceptable outcomes
<p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO16 Development is of a height that:</p> <ul style="list-style-type: none"> (a) locates low-rise buildings in the Quay Street precinct stepping down from the core precinct to the Fitzroy River; (b) reflects and responds to the scale of adjoining heritage building forms; and (c) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO16.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p>
<p>PO17 Existing heritage buildings are retained and new development is compatible with the general bulk and scale of existing buildings.</p>	<p>AO17.1 The maximum site cover is 100 per cent of the total site area.</p>
<p>PO18 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO18.1 Awnings are provided in accordance with Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.
<p>PO19 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO19.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>AND</p> <p>AO19.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO19.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO20</p>	<p>AO20.1</p>

Performance outcomes	Acceptable outcomes
<p>If established at ground level fronting Quay Lane, offices are small scale, create a fine grained façade and provide extensive overlooking of the street.</p> <p>Editor's note— It is Council's preference that studio and boutique style offices front Quay Lane and larger scale commercial offices reside within the Core Precinct.</p>	<p>Offices where located at ground level and fronting onto Quay Lane:</p> <ul style="list-style-type: none"> (a) do not exceed 150 square metres gross floor area; (b) any single office frontage does not exceed ten (10) metres in length; (c) pedestrian entrance is via Quay Lane; (d) reception area fronts onto Quay Lane; and (e) the frontage is predominantly transparent glass.
Land use	
<p>PO21 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO21.1 Residential uses (except for short-term accommodation) are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; (b) located within a premise containing another use; and (c) not located within the Denison Street precinct (except for caretaker's accommodation).
Adult Store	
<p>PO22 Adult Store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO22.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO23 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<p>AO23.1 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO23.2 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO24 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO24.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and

Performance outcomes	Acceptable outcomes
	(c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO25 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO25.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements)

Table 6.3.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO26 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.1.3.2a and Figure 6.3.1.3.2b.</p>	<p>AO26.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO26.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner.</p> <p>AND</p> <p>AO26.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements).
<p>PO27 Development:</p> <ol style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) in the form of large shopping centres includes shop fronts facing all external streets; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO28 Buildings are designed to include elements which create visual interest, such as:</p> <ol style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) different design elements for the lower, middle and top sections of buildings of three (3) or more storeys; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (e) at least three (3) variations in textures, materials and colours. 	<p>No acceptable outcome is nominated.</p>
<p>PO29 Buildings are finished with high quality materials which are easily maintained and</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
do not readily stain, discolour or deteriorate.	
PO30 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.	No acceptable outcome is nominated.
Land use	
PO31 Non-residential development does not occur beyond the zone boundaries.	AO31.1 Development occurs within the area zoned principal centre.
Streetscape and landscaping	
PO32 On-site landscaping is provided to: (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths.	No acceptable outcome is nominated. Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.
PO33 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.	AO33.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.
PO34 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.	No acceptable outcome is nominated.

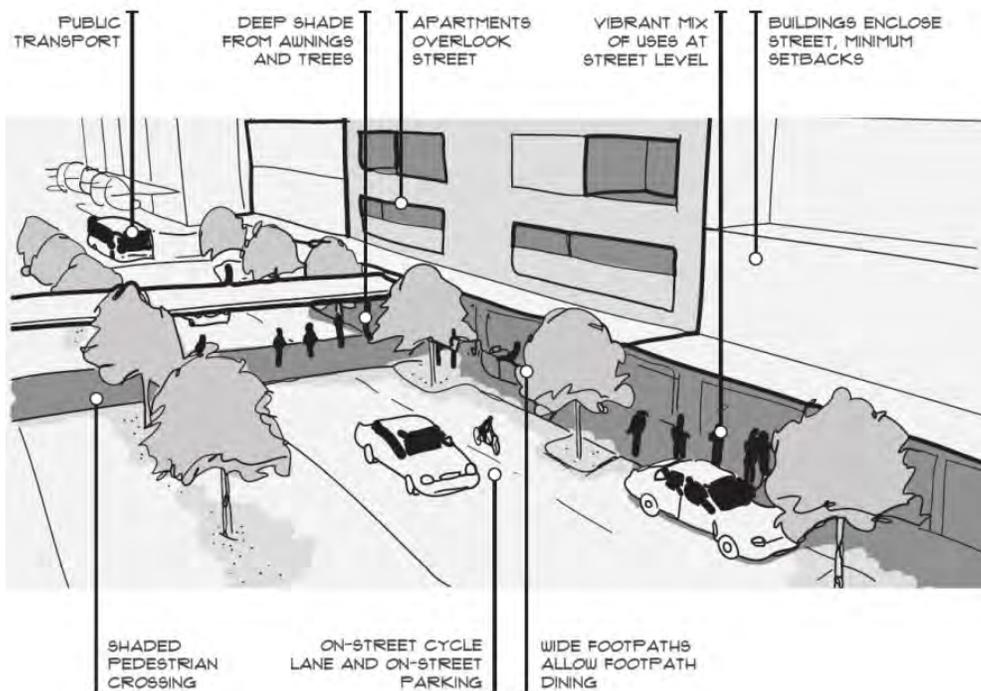
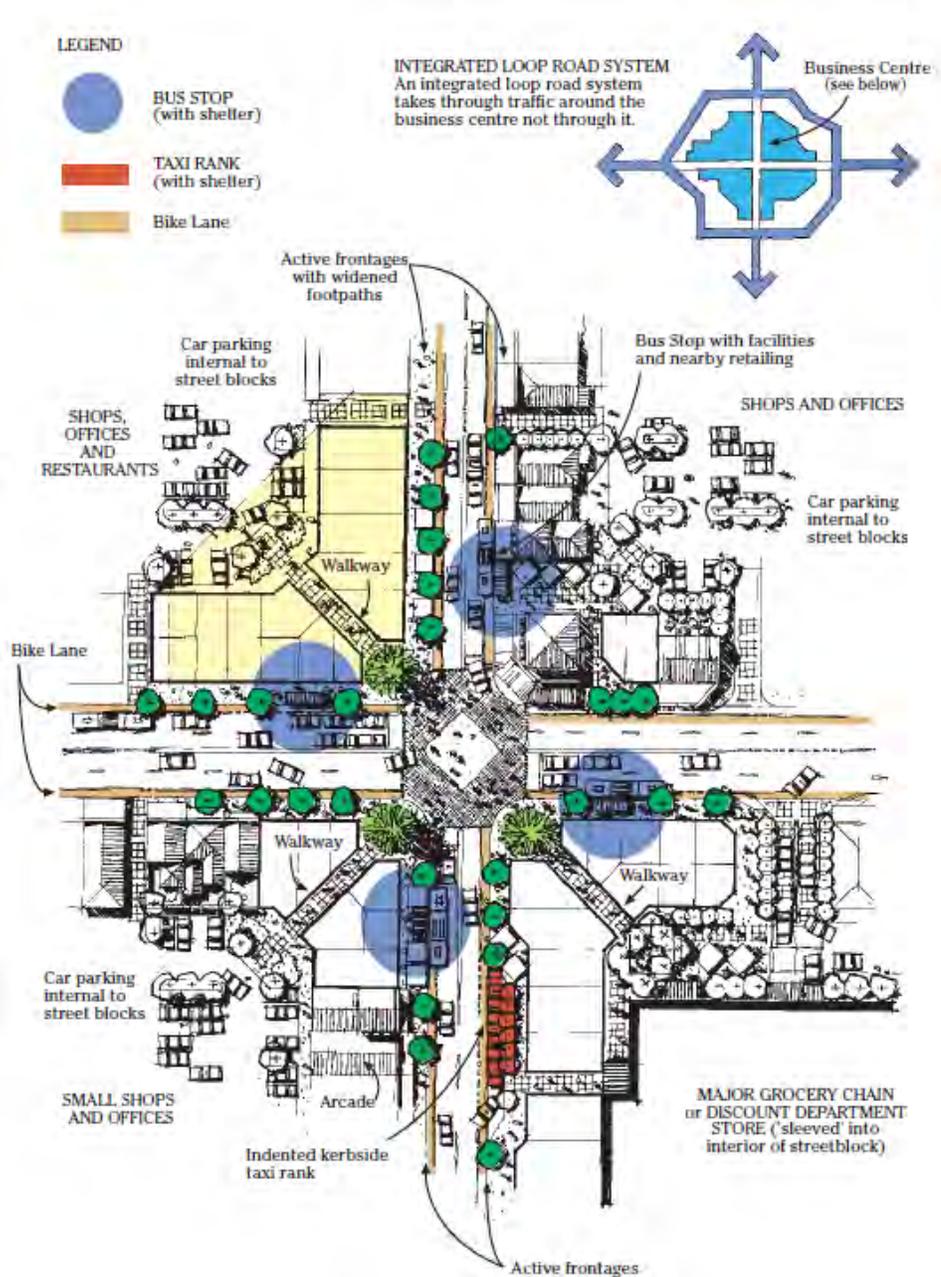


Figure 6.3.1.3.2a — Built form and streetscape appearance



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.1.3.2b — Development on intersections

Performance outcomes	Acceptable outcomes
Where in the business services precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO35 Development does not detract from the role and function of the core precinct as the key commercial, administrative, government,	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
community, cultural, entertainment and retail centre for the planning scheme area.	
Where in the core precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO36 Development extending from street to street provides inter-block pedestrian connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO36.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements). <p>AND</p> <p>AO36.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO37 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive precinct and enhance pedestrian amenity.</p>	<p>AO37.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements).
<p>PO38 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	No acceptable outcome is nominated.

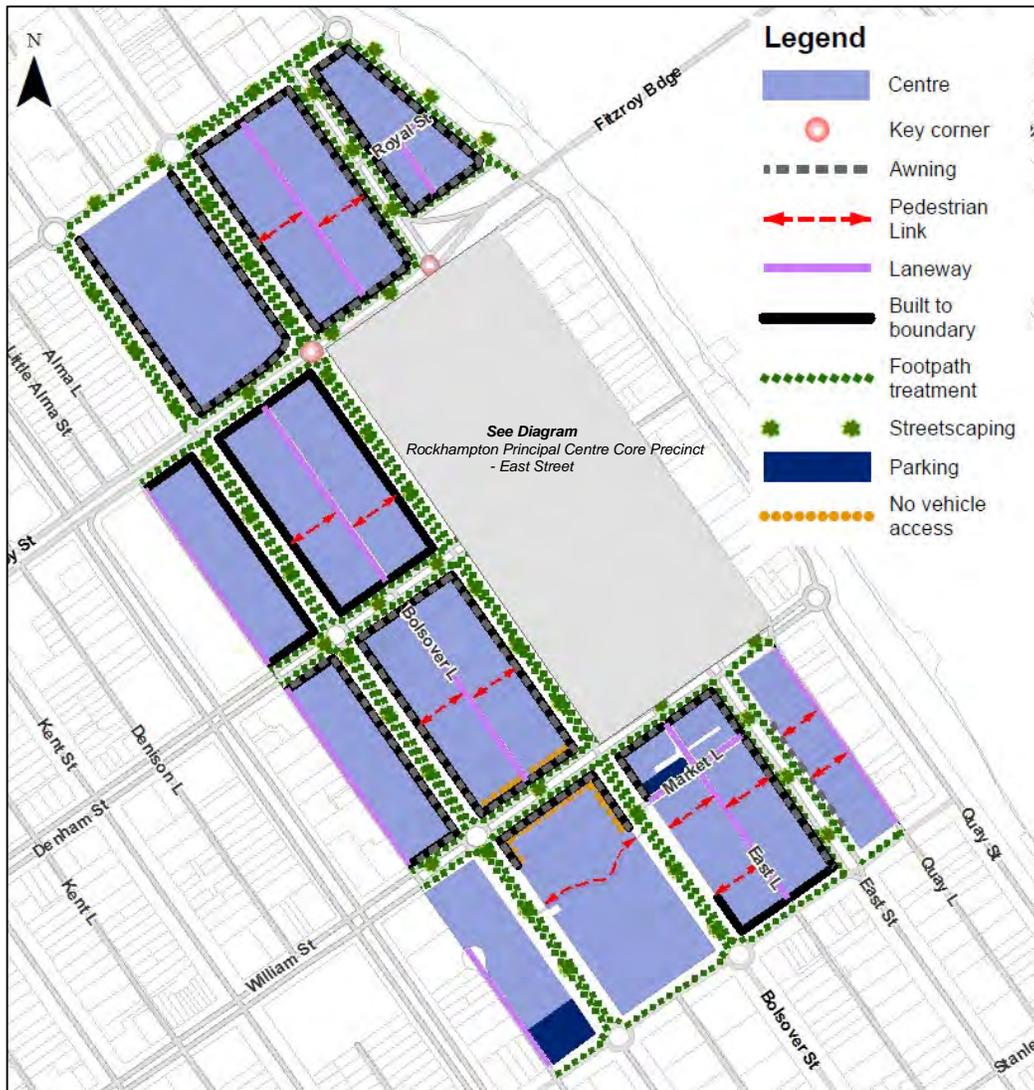


Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements)

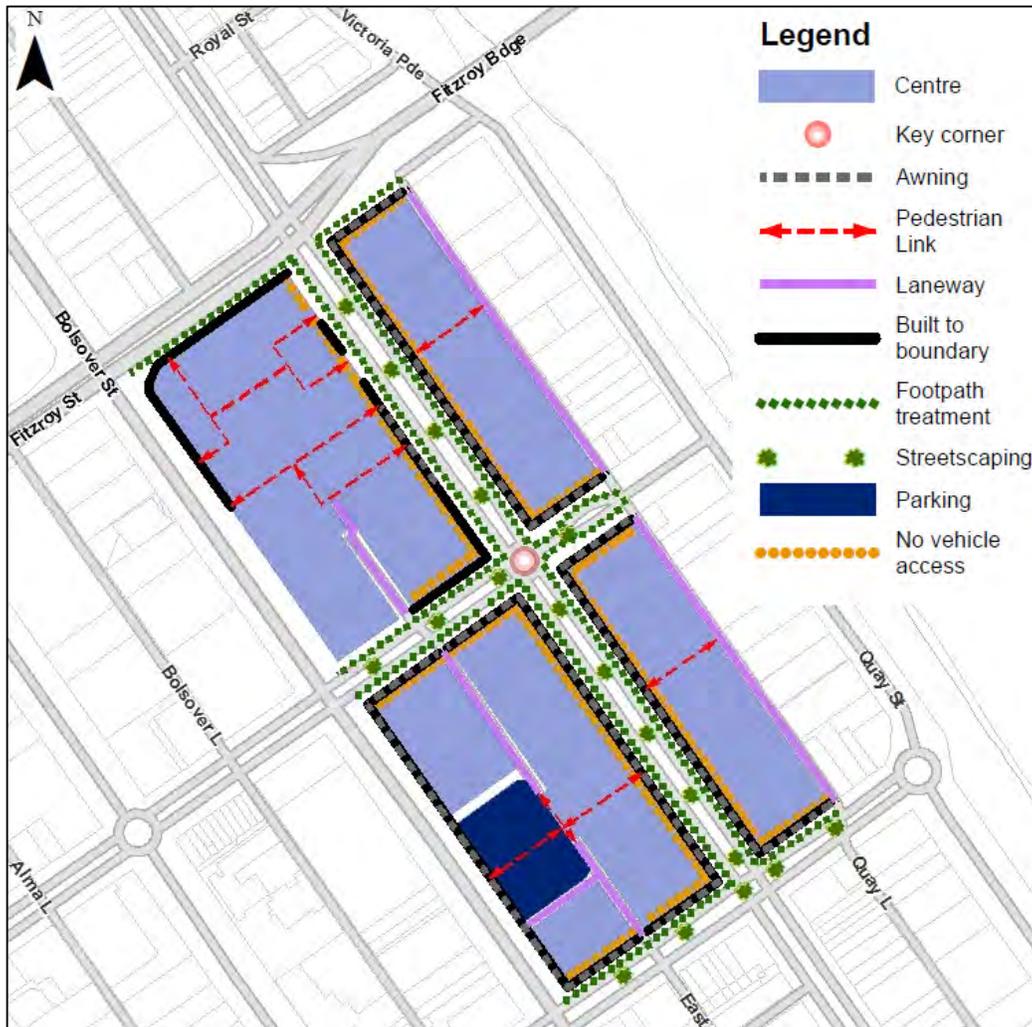


Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Denison Street precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO39 Development does not detract from the role and function of the core precinct as the key commercial, administrative, government, community, cultural, entertainment and retail centre for the planning scheme area.	No acceptable outcome is nominated.
PO40 The viability of existing and future low impact industry uses is not affected by the intrusion of incompatible uses.	AO40.1 Residential uses (except for caretaker's accommodation) are not located in this precinct.
PO41 Industry uses minimise adverse impacts on nearby sensitive land use(s) through building design, hours of operation, screening and landscaping.	No acceptable outcome is nominated.
Where in the Quay Street precinct	

Performance outcomes	Acceptable outcomes
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO42 Development creates a vibrant, engaging ground level that activates the street frontage, providing a safe urban environment that integrates with the Fitzroy riverfront. This includes uses which protect and enhance historic buildings and attract people and activity.</p>	No acceptable outcome is nominated.
<p>PO43 Development fronting Quay Street, at ground level, includes food and drink outlets (restaurants, cafe, alfresco dining), nightclub entertainment facilities, shops (retail uses) or other active uses in order to attract visitation day and night. Offices are not established at ground level along Quay Street.</p>	No acceptable outcome is nominated.
<p>PO44 Development fronting Quay Street does not provide additional vehicle access points to the street</p>	No acceptable outcome is nominated.
<p>PO45 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive precinct and enhance pedestrian amenity.</p>	<p>AO45.1 Development provides for streetscape treatments and street trees in the areas as shown on Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements).</p>
<p>PO46 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are: (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone.</p>	No acceptable outcome is nominated.
<p>PO47 Development extending from street to street provides inter-block pedestrian connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO47.1 Pedestrian links are provided and reinforced in accordance with Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements).</p> <p>AND</p> <p>AO47.2 Arcades are: (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.</p>



Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements)

6.3.2 Major centre zone code

6.3.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the major centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.2.2 Purpose

- (1) The purpose of the major centre zone code is to:
 - (a) facilitate the growth and consolidation of the major centre providing services to a regional catchment area; and
 - (b) facilitate the development of the major centre which:
 - (i) is developed generally with retail and commercial uses at ground level providing continuous commercial facades, concourses, shaded footpaths, street trees and other pedestrian facilities;
 - (ii) form vibrant focal points for the community and interchange hubs for modes of transport;
 - (iii) is safe and highly accessible for all forms of transport and pedestrians;
 - (iv) is integrated and well designed; and

- (v) is well served with all urban infrastructure.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
- (a) uses servicing the needs of the regional catchment are located in the zone including retail (including full-line supermarkets, department stores, variety stores and the like), community, entertainment and leisure uses;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial or community related activities) is supported within the zone;
 - (c) service industries that meet the needs of the catchment and do not adversely impact on the overall amenity and functionality of the major centre are located in this zone;
 - (d) development does not undermine the viability, role or function of the principal centre;
 - (e) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (f) mid (or higher) rise buildings are to contain a mix of land uses, including a residential component in the upper levels;
 - (g) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (h) the height and scale of buildings reinforces the character, legibility and landmark function of the centres whilst creating a human scale and an attractive, pedestrian friendly environment at street level;
 - (i) building layout and form is suitable to accommodate a range of compatible uses;
 - (j) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (k) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation; development is generally undertaken in accordance with major centre concept plans;
 - (l) development:
 - (i) provides active building frontages orientated to Aquatic Place, High Street, Moores Creek Road, Richmond Street and Musgrave Street;
 - (ii) provides an improved streetscape to Aquatic Place, High Street, Moores Creek Road, Richmond Street, Ford Street and Musgrave Street;
 - (iii) provides improved pedestrian connectivity between Stockland Rockhampton, cinemas and uses in Aquatic Place, Kershaw Gardens, Northside Plaza and the nearby specialised centre;
 - (iv) limits major access points to High Street, Musgrave Street, Ford Street, Richmond Street, Moores Creek Road and Aquatic Place;
 - (v) incorporates a major transit hub within the site itself, including a primary bus interchange;
 - (vi) provides for the enhancement and maintenance of Moores Creek;
 - (vii) minimises the impacts of increased vehicular traffic conditions on Musgrave Street, High Street, Ford Street, Richmond Street and Moores Creek Road; and
 - (viii) improves on-site circulation and traffic management;
 - (m) development is landscaped to assist with the greening of the streetscape and the creation of shady, safe and well connected pedestrian and public places;
 - (n) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;
 - (o) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
 - (p) development involving a significant increase in gross floor area (greater than 5,000 square metres) is accompanied by a master plan that demonstrates how the expansion integrates with the balance of the centre, the surrounding urban areas and encourages the creation of diverse, vibrant, and viable centres of activity.

6.3.2.3 Specific benchmarks for assessment

Table 6.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that establishes:</p> <ul style="list-style-type: none"> (a) a consolidated, low-medium rise centre in a landscaped setting, with integrated parking; (b) a human scale at street level (including internal streets and parking area); and (c) provides a transition to adjoining residential zones and specialised centre zone. 	<p>AO2.1 The height of buildings and structures does not exceed four (4) storeys and fifteen (15) metres above ground level.</p> <p>AND</p> <p>AO2.2 The ground levels of buildings have a minimum floor to ceiling height of four (4) metres.</p> <p>AND</p> <p>AO2.3 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape.</p>	<p>AO3.1 Awnings are provided in accordance with Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p>	<p>AO4.1</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>Buildings are built to the road frontage in accordance with Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO6.1 Residential uses are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy</p>	<p>AO8.1 Windows that have a direct view into an adjoining residential use are provided with</p>

Performance outcomes	Acceptable outcomes
and the amenity of nearby residential uses or land in a residential zone are minimised.	<p>fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO8.2 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Development limits vehicle access to state-controlled roads to ensure a safe and functional road network.</p>	<p>AO9.1 No new vehicle access is obtained from the locations as shown on Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements).</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



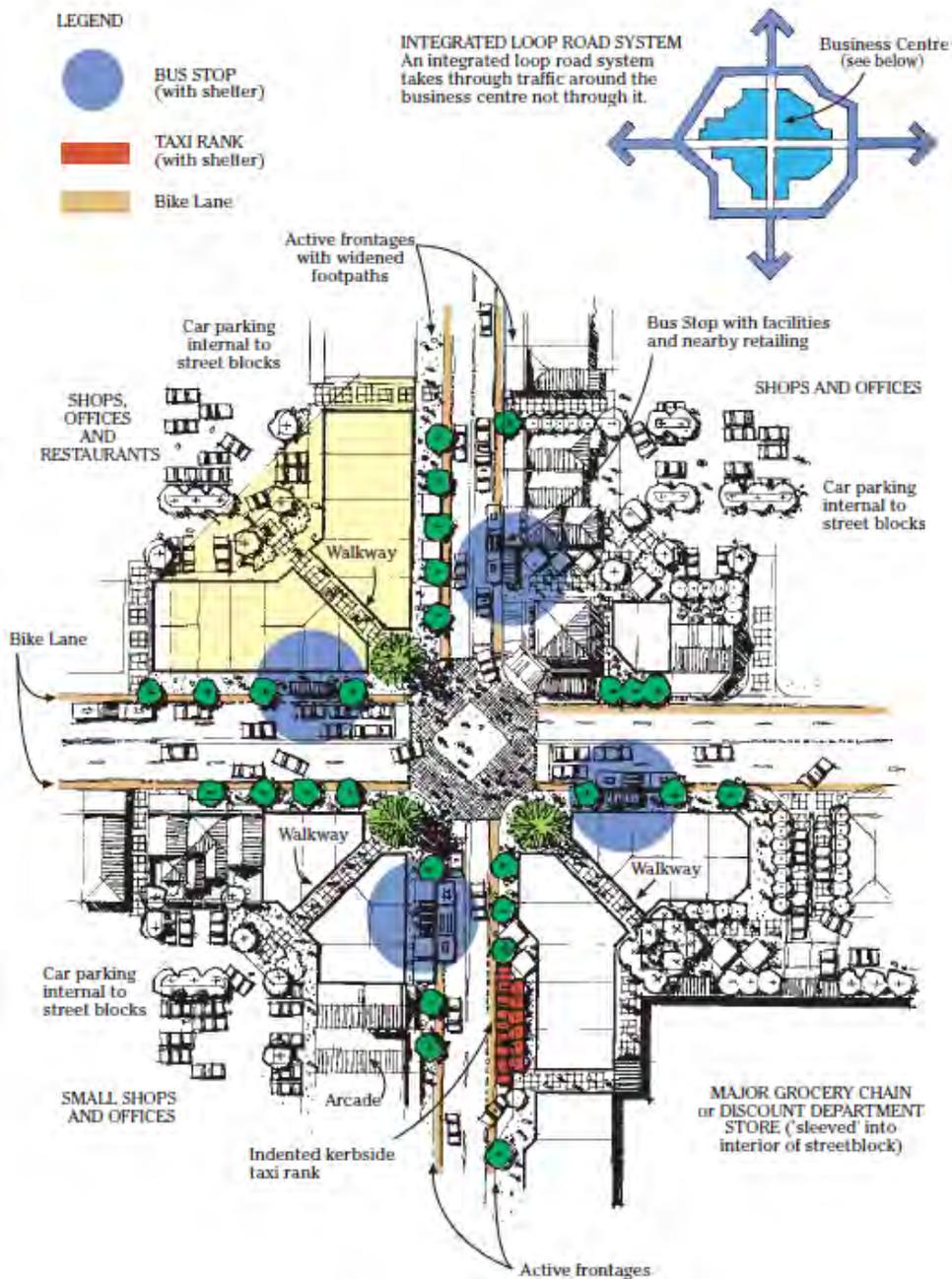
Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.2.3.2a.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development on key corner sites as shown on Figure 6.3.2.3.2b — Major centre concept plan (assessable elements) present a high quality built form and provide landscape and streetscape treatment.</p>
<p>PO13 Development:</p> <ul style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Large, free-standing shopping centres maximise outwardly-focused commercial, retail, food and entertainment uses facing shopping streets, open car parking areas and public spaces.</p> <p>Editor's note—Development is to be in accordance with the principles outlined in Figure 6.3.2.3.2c.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO15 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) for buildings three (3) storeys and taller, different design elements are utilised for the lower, middle and top sections of the building; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(e) at least three (3) variations in textures, materials and colours.	
PO16 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.	No acceptable outcome is nominated.
PO17 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.	No acceptable outcome is nominated.
PO18 Development involving an increase in gross floor area that exceeds 5,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following: <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; (g) rationalisation of vehicle crossovers; (h) provision of a high level of pedestrian, cyclist and public transport accessibility; (i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks; (j) encouragement of pedestrian mobility over vehicle mobility; (k) provision of safe and high quality streetscapes and walkways; (l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and (m) generally in accordance with Figure 6.3.2.3.2b — Major centre concept plan (assessable elements). <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	No acceptable outcome is nominated.
Land use	
PO19 Development does not detract from the role and function of the principal centre. <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	No acceptable outcome is nominated. <p>Note—Development involving an increase in gross floor area that exceeds 250 square metres of office is accompanied by an economic impact report that assesses the economic impacts on the principal centre. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
<p>PO20 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO20.1 Development occurs within the area zoned major centre.</p>
Streetscape and landscaping	
<p>PO21 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO22 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO22.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO23 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO23.1 Development provides for streetscape treatments and street trees in the areas as shown on Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).</p>
<p>PO24 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	<p>No acceptable outcome is nominated.</p>
<p>PO25 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO26 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO26.1 Pedestrian links are provided and reinforced in accordance with Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).</p> <p>AND</p> <p>AO26.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO27 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.2.3.2a — Development on intersections

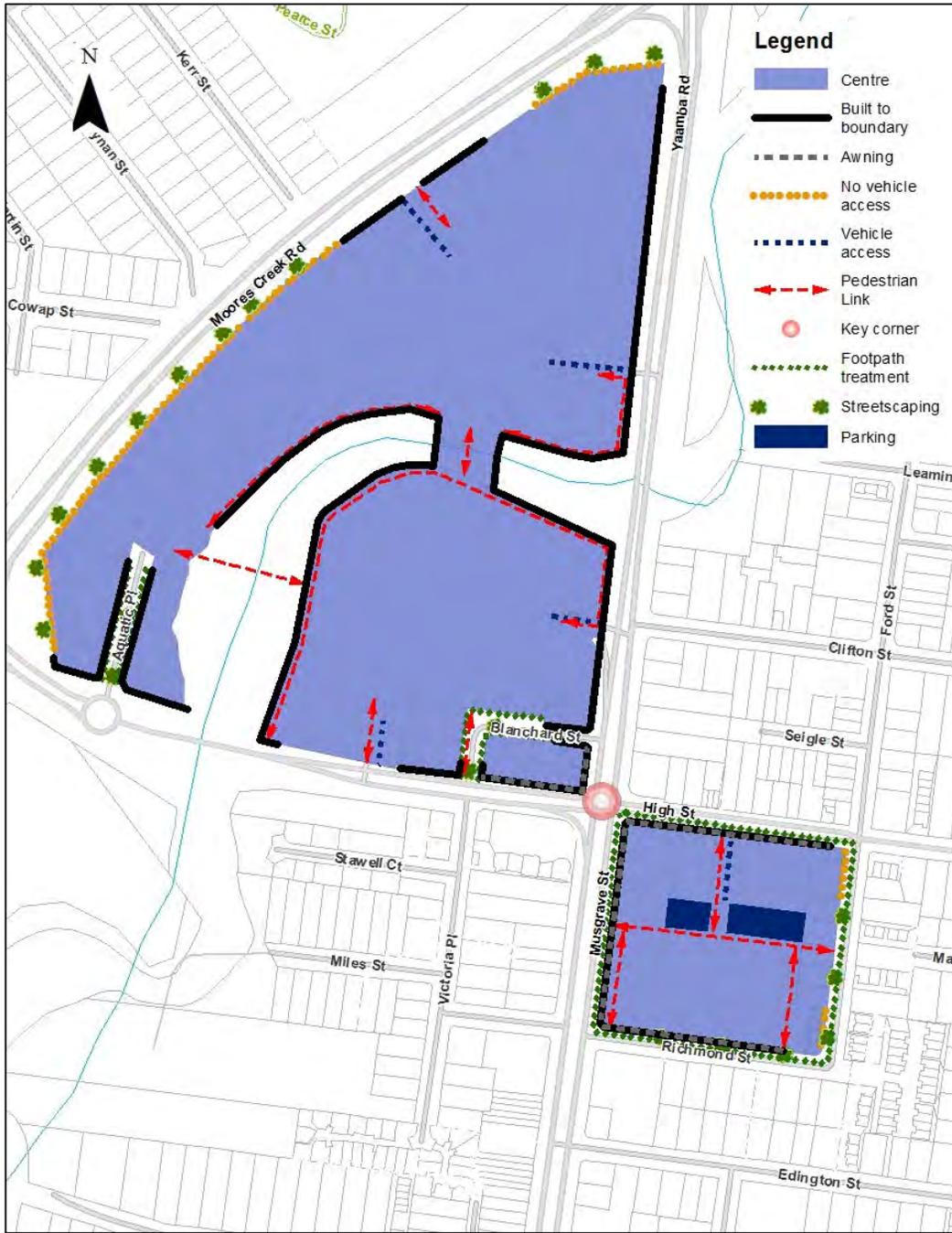


Figure 6.3.2.3.2b — Major centre concept plan (assessable elements)

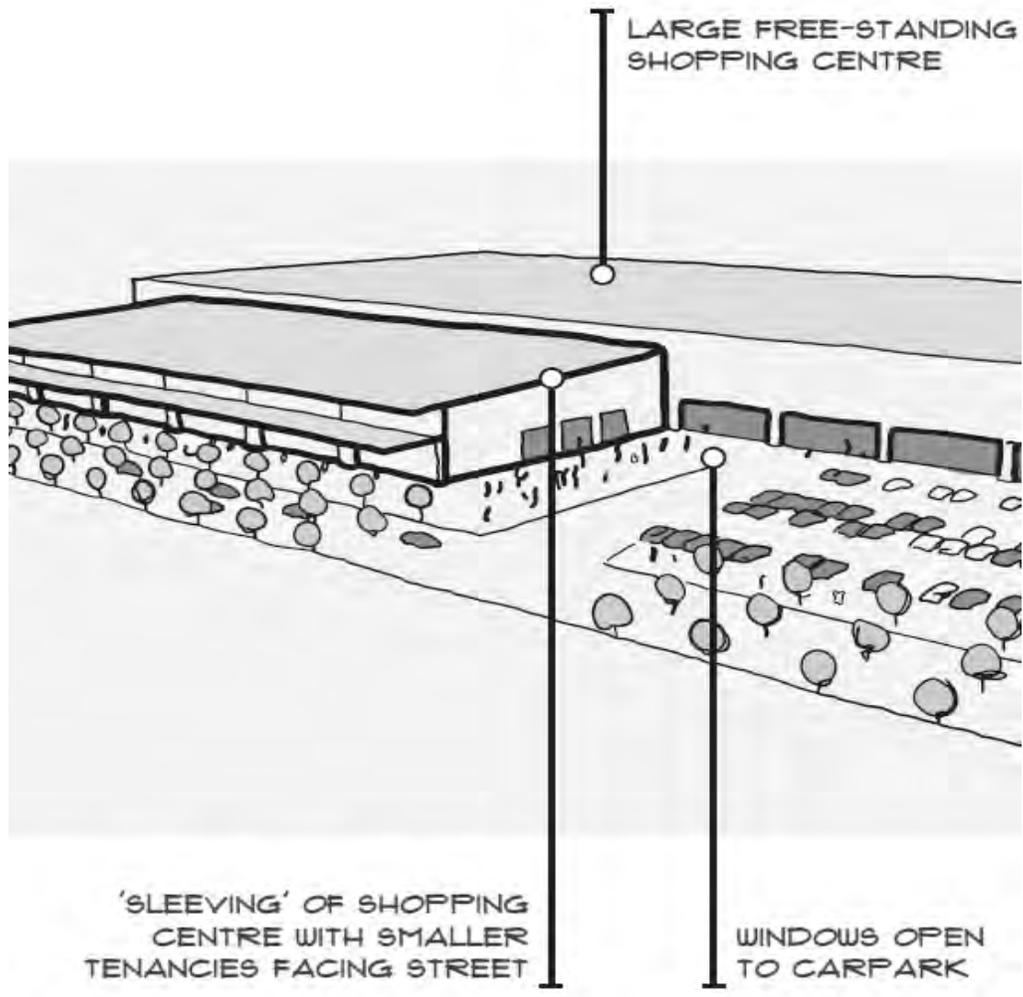


Figure 6.3.2.3.2c — Shopping centre layout and design

6.3.3 District centre zone code

6.3.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the district centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.3.2 Purpose

- (1) The purpose of the district centre zone code is to:
 - (a) facilitate the growth and consolidation of district centres at Allenstown and Gracemere and provide services and facilities to district catchments of approximately 5,000 to 8,000 households; and
 - (b) facilitate the development of district centres which:
 - (i) provide a community focus for weekly or fortnightly shopping trips;
 - (ii) are safe and highly accessible for all forms of transport and pedestrians;
 - (iii) are integrated and well designed; and
 - (iv) are well served with all urban infrastructure.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) uses servicing the needs of the district catchment being major weekly or fortnightly shopping are located in the zone including retail, shops (including full-line supermarket), community, entertainment and leisure uses;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial and community related activities) is supported within the zone;
 - (c) development does not undermine the viability, role or function of the principal centre or major centre;
 - (d) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (e) mid-rise buildings are to contain a mix of land uses, including a residential component in the upper levels;
 - (f) in the short- to medium-term, new full-line supermarkets serving the southern catchment of Rockhampton and Gracemere will be located in the Gracemere district centre or the principal centre;
 - (g) the northern catchment of Rockhampton will accommodate one (1) full-line supermarket within the Parkhurst (Boundary Road) district centre;
 - (h) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (i) the height and scale of buildings reinforces the character, legibility and landmark function of the centres whilst creating an attractive, pedestrian friendly environment at street level;
 - (j) building layout and form is suitable to accommodate a range of compatible uses;
 - (k) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (l) buildings facing public streets are activated by shop fronts, doorways, awnings, varied external wall treatments, street trees and activities;
 - (m) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (n) locally significant buildings that display heritage and character features of the area's history are protected and reused where possible;
 - (o) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (p) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;

- (q) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
- (r) development involving a significant increase in gross floor area (greater than 3,000 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Allenstown district centre

- (3) Development is generally in accordance with the Allenstown district centre concept plans;
- (4) Development does not involve an additional supermarket; and
- (5) Development:
 - (a) provides for pedestrian movement between Allenstown Plaza, Allenstown Hotel, Connolly Park and development along Canning Street;
 - (b) provides for active street frontages along Canning Street and Upper Dawson Road;
 - (c) incorporates streetscape improvement and integration with Connolly Park; and
 - (d) ensures integration with the adjoining residential zone and manages the interface with the adjoining residential land uses.

Gracemere district centre

- (6) Development is generally in accordance with the Gracemere district centre concept plans; and
- (7) Development:
 - (a) provides for pedestrian movement between Gracemere Shopping World, public transport and the traditional main street of Lawrie Street and Russell Street;
 - (b) provides for active street frontages along Lawrie Street that ensures no ‘big box’ retail development designs; and
 - (c) incorporates streetscape treatments along McLaughlin Street adjacent to the district centre.

Parkhurst (Boundary Road) district centre

- (8) Development is generally in accordance with the Parkhurst (Boundary Road) district centre concept plans; and
- (9) Development:
 - (a) provides for a pedestrian connection from Yaamba Road to Boundary Road and to the Heritage Village;
 - (b) provides for an active frontage along Boundary Road and Yaamba Road; and
 - (c) provides for a public transport set down area that is accessible to the local community.

6.3.3.3 Specific benchmarks for assessment

Table 6.3.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (b) a pedestrian entry and door that is visible and accessible from the street.

Performance outcomes	Acceptable outcomes
<p>(c) building entries provided directly from the primary frontage of the building and on-grade to the street.</p>	<p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <p>(a) establishes the district centre as a focus of community and retailing activity;</p> <p>(b) is low-medium rise and complements the scale of the locality;</p> <p>(c) maintains the residential amenity in adjoining residential zones; and</p> <p>(d) minimises overshadowing and overlooking of residential areas.</p>	<p>AO2.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO2.2 The ground levels of buildings have a minimum floor to ceiling height of four (4) metres.</p> <p>AND</p> <p>AO2.3 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements) <p>and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p>

Performance outcomes	Acceptable outcomes
	<p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p> <p>Editor's note—Development is to provide for car parking areas as generally shown on Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements), Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).</p>	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements) <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
PO5	AO5.1

Performance outcomes	Acceptable outcomes
Residential uses are provided with privacy and private outdoor living space.	Dwellings are provided with private open space or a balcony which: <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
PO6 The streetscape is provided with uses that generate activity along the street frontage.	AO6.1 Residential uses are: <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult Store	
PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.	AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following: <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
PO8 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.	AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on: <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allentown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> AO8.2 No new vehicle access is obtained from locations as shown on: <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allentown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject

Performance outcomes	Acceptable outcomes
	<p>to requirements and assessable elements) and</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.5 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO8.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements)

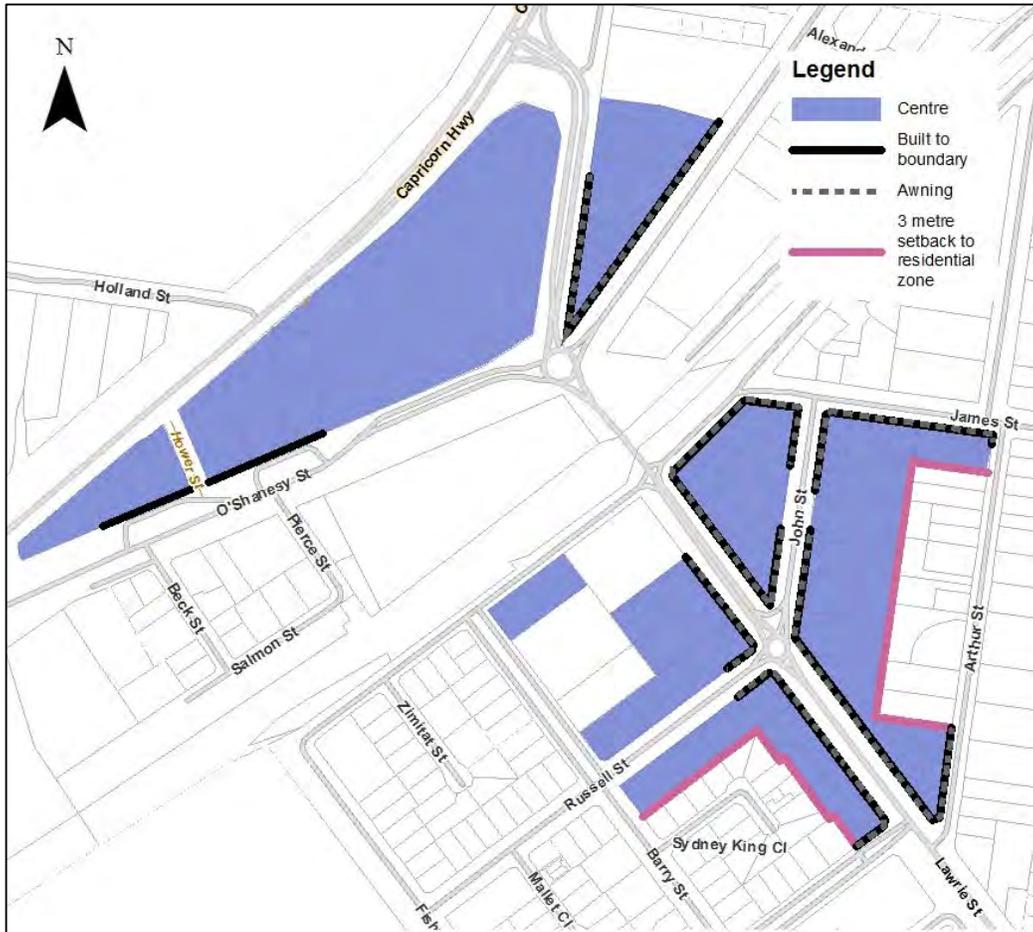


Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.3.3.2 — Development outcomes for assessable development

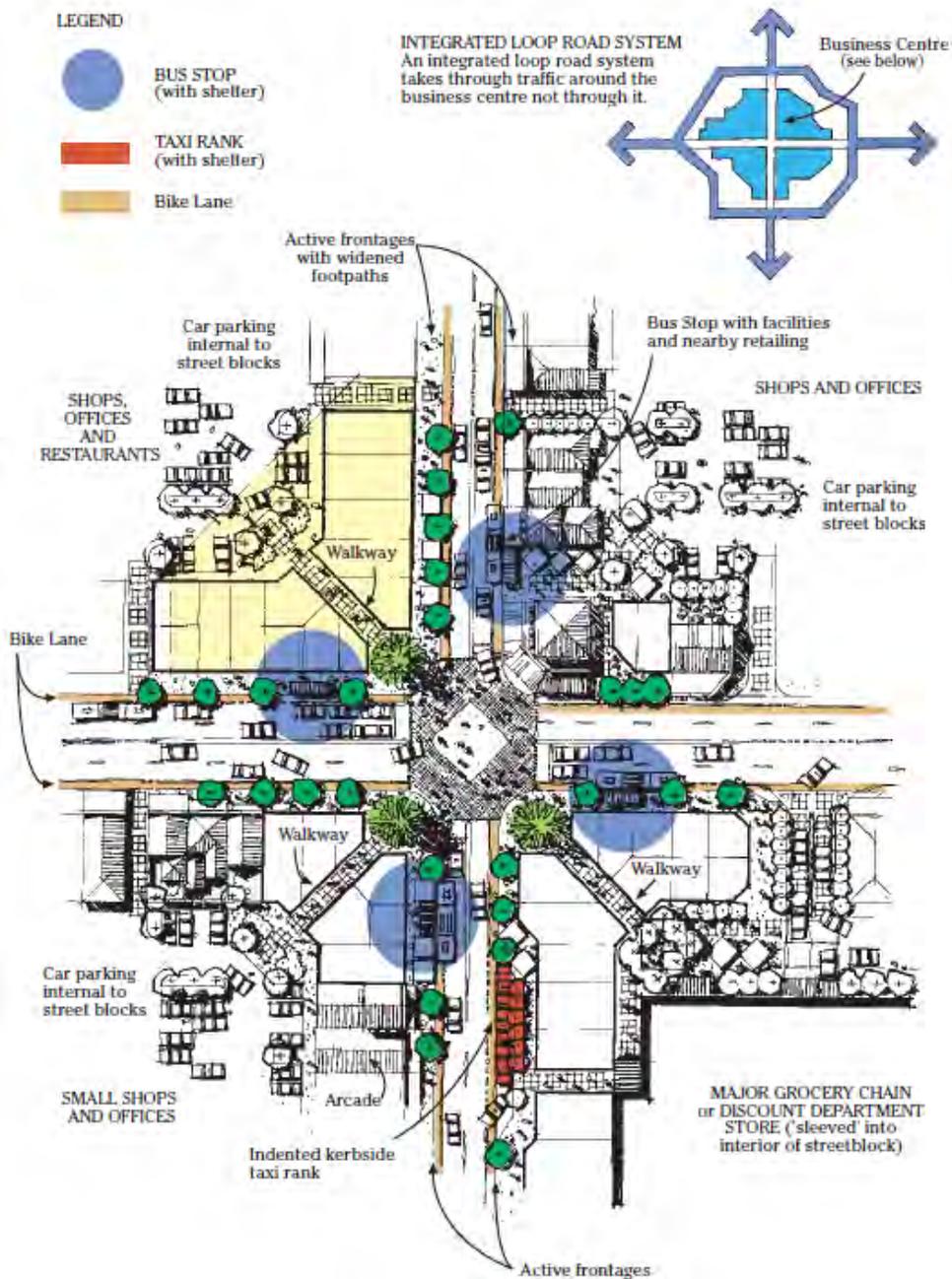
Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.3.3.2a.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).
<p>PO13 Development:</p> <p>(a) creates a safe, active, and inclusive environment with uses which operate during the day and night;</p> <p>(b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and</p> <p>(c) is designed to promote the use of public transport, walking and cycling.</p>	No acceptable outcome is nominated.
<p>PO14 Large, free-standing shopping centres maximise opportunities for outwardly-focused commercial, retail, food and entertainment uses facing shopping streets, open car parking areas and public spaces.</p> <p>Editor's note—Development is to be in accordance with the principles outlined in Figure 6.3.3.3.2e.</p>	No acceptable outcome is nominated.
<p>PO15 Buildings are designed to include elements which create visual interest, such as :</p> <p>(a) variations in plan shape, such as curves, steps, recesses, projections or splays;</p> <p>(b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays;</p> <p>(c) for buildings three (3) storeys, different design elements are utilised for the lower, middle and top sections of the building;</p> <p>(d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and</p> <p>(e) at least three (3) variations in textures, materials and colours.</p>	No acceptable outcome is nominated.
<p>PO16 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO17 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO18 Development involving an increase in gross floor area that exceeds 3,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(a) provision of active uses on key pedestrian circulation streets and major frontages;</p> <p>(b) creation of a predominant built to street frontage form;</p> <p>(c) provision of a human scale at street level;</p> <p>(d) incorporation of climate responsive design;</p> <p>(e) creation of a mix of uses resulting in day time and night time activity;</p> <p>(f) incorporation of safety and security measures;</p> <p>(g) rationalisation of vehicle crossovers;</p> <p>(h) provision of a high level of pedestrian, cyclist and public transport accessibility;</p> <p>(i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;</p> <p>(j) encouragement of pedestrian mobility over vehicle mobility;</p> <p>(k) provision of safe and high quality streetscapes and walkways;</p> <p>(l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and</p> <p>(m) generally in accordance with Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements), Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO19 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 3,000 square metres of retail or 250 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre and major centre. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>
<p>PO20 In Allenstown, development does not involve an additional supermarket.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO21 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO21.1 Development occurs within the area zoned district centre.</p>

Performance outcomes	Acceptable outcomes
Streetscape and landscaping	
<p>PO22 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO23 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO23.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO24 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO24.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and • Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).
<p>PO25 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	<p>No acceptable outcome is nominated.</p>
<p>PO26 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO27 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO27.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and • Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO27.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO28 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.3.3.2a — Development on intersections

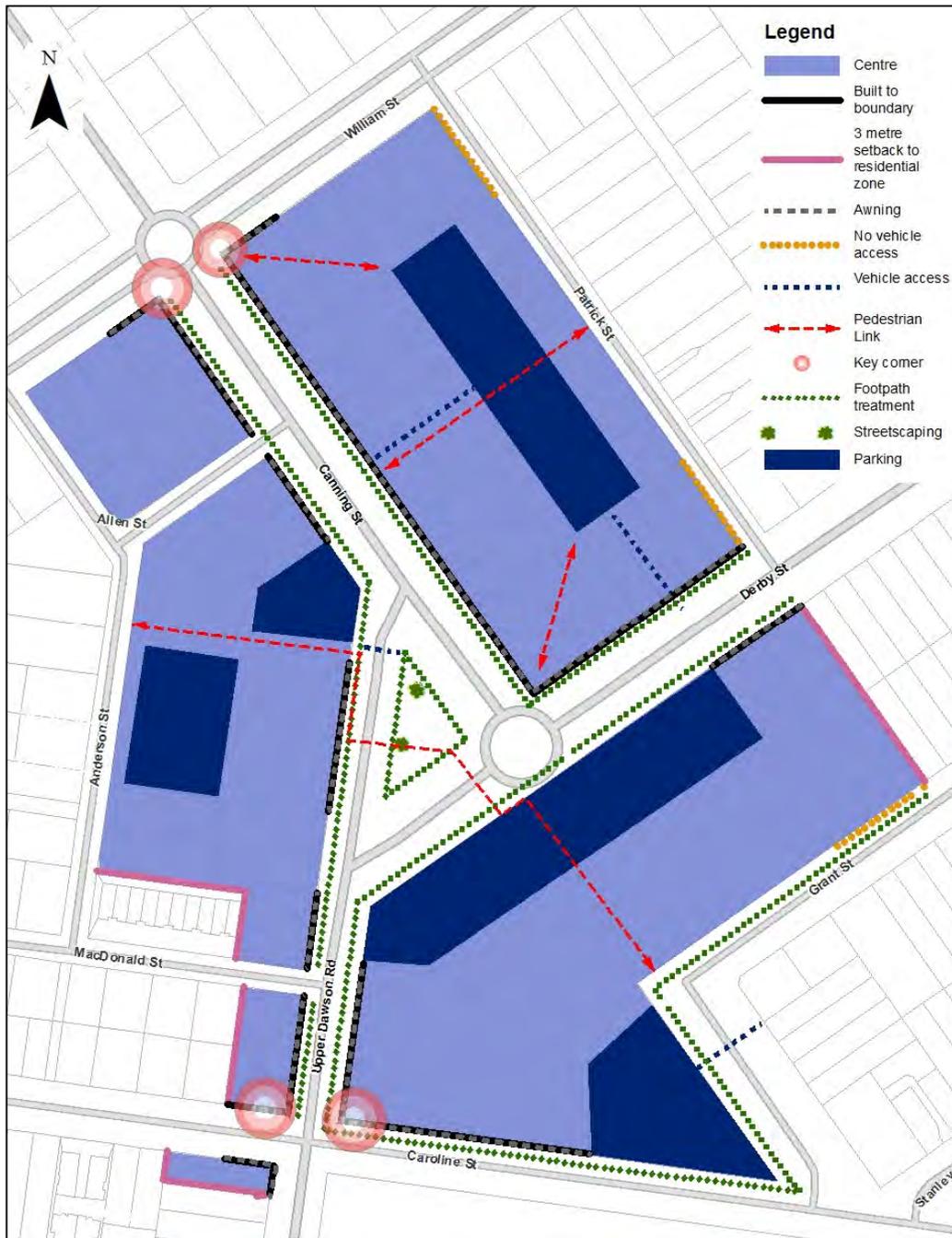


Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements)

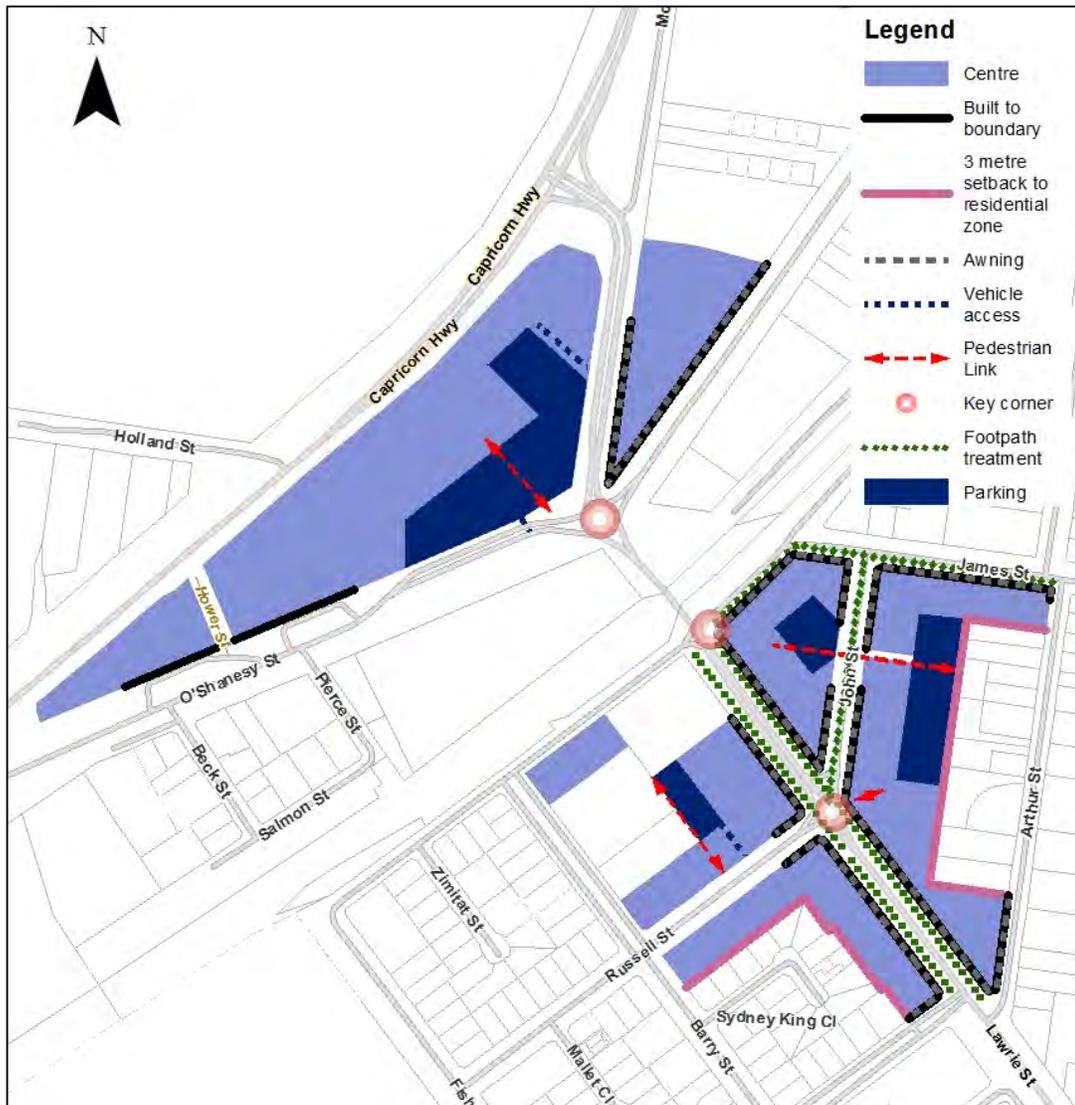


Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements)

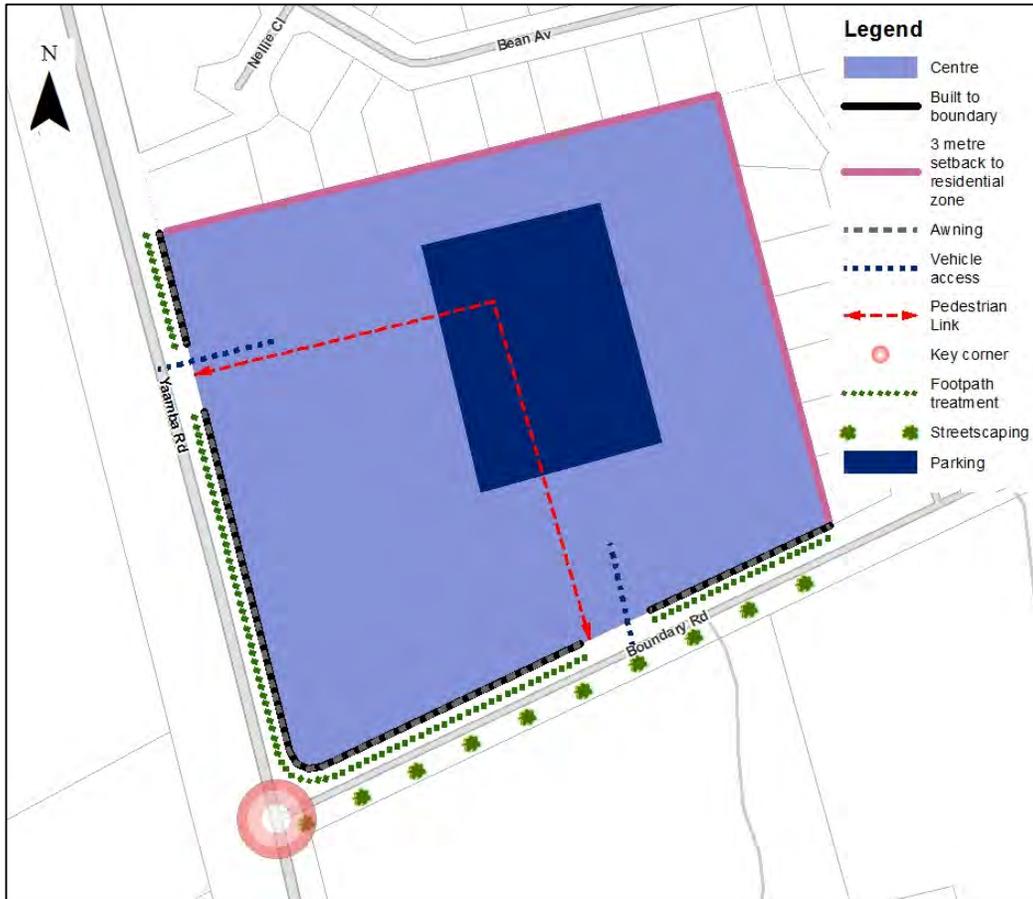


Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements)

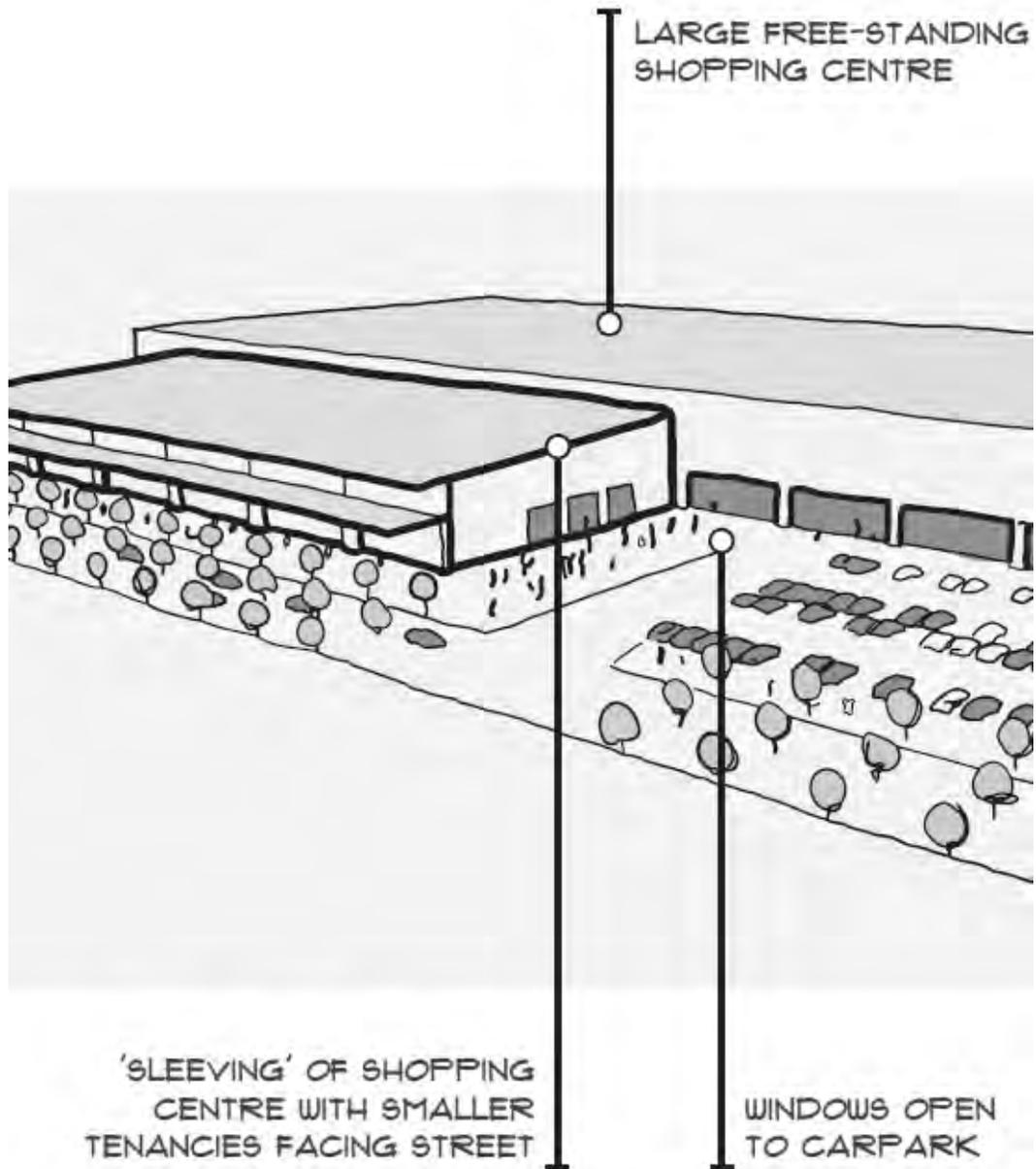


Figure 6.3.3.3.2e — Shopping centre layout and design

6.3.4 Local centre zone code

6.3.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the local centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.4.2 Purpose

- (1) The purpose of the local centre zone code is to:
 - (a) facilitate the development of local centres at Frenchville (Dean Street), Norman Gardens (Farm Street), Norman Gardens (Norman Road) and Mount Morgan, providing services and facilities appropriate to local catchments of approximately 3,000 to 5,000 households; and
 - (b) facilitate the development of local centres which:
 - (i) provide a community focus for convenience needs to serve a local catchment;
 - (ii) are safe and highly accessible for all forms of transport and pedestrians;
 - (iii) are integrated and well designed; and
 - (iv) are well served with all urban infrastructure.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) uses servicing the needs of a local catchment are located in the zone including retail, smaller scale supermarkets (which serve predominantly “top up” needs), speciality shops food and drink outlets and offices providing localised personal services and meeting a wider range of convenience needs;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial and community related activities) is supported within the zone;
 - (c) development does not undermine the viability, role or function of other higher order centres;
 - (d) North Parkhurst to accommodate a future local centre located along William Palfrey Road (Lot 5 on SP238731) commensurate with the population growth of the immediate catchment that does not detract from the Parkhurst (Boundary Road) district centre. Otherwise, no additional local centres (beyond those that are zoned) are required;
 - (e) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established;
 - (f) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (g) the height and scale of buildings reinforce the character, legibility and landmark function of the centres whilst creating an attractive, pedestrian friendly environment at street level;
 - (h) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (i) buildings facing public streets are activated by shop fronts, doorways, awnings, varied external wall treatments, street trees and activities;
 - (j) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (k) locally significant buildings that display heritage and character features of the area’s history are protected and reused where possible;
 - (l) building layout and form is suitable to accommodate a range of compatible uses;
 - (m) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (n) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;

- (o) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
- (p) development involving a significant increase in gross floor area (greater than 1,000 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Frenchville (Dean Street) local centre

- (3) Development is generally in accordance with the Frenchville (Dean Street) local centre concept plans; and
- (4) Development:
 - (a) provides access to public transport services on Dean Street;
 - (b) locates on-site car parking at the rear of new developments to limit on-street parking along Dean Street;
 - (c) ensures no new accesses for service vehicles via Diplock Street;
 - (d) maintains the pedestrian pathway along the eastern side of Dean Street;
 - (e) provides footpath trees (where suitable) for shade on pedestrian pathways;
 - (f) provides for active street frontages, built to the primary front boundary with awnings to the street; and
 - (g) manages the interface between commercial/retail uses and adjoining residential uses.

Norman Gardens (Farm Street) local centre

- (5) Development is generally in accordance with the Norman Gardens (Farm Street) local centre concept plans; and
- (6) Development:
 - (a) ensures that current accesses are consolidated and connectivity achieved within the site;
 - (b) ensures access to Farm Street and the Bruce Highway (Yaamba Road) is limited;
 - (c) makes provision for improved access to public transport; and
 - (d) provides a pedestrian connection from Yaamba Road to Farm Street.

Norman Gardens (Norman Road) local centre

- (7) Development is generally in accordance with the Norman Gardens (Norman Road) local centre concept plans; and
- (8) Development:
 - (a) provides for an active frontage with awnings along Norman Road and Nagle Drive;
 - (b) provides for a pedestrian footpath along Norman Road and Nagle Drive;
 - (c) ensures access to Norman Road is limited; and
 - (d) provides for a public transport set down area that is accessible to the local community.

Mount Morgan local centre

- (9) Development is generally in accordance with the Mount Morgan local centre concept plans; and
- (10) Development:
 - (a) complements the heritage features of the area, including incorporating design elements that reflect the historic building form and building layout with the streetscape;
 - (b) is built to boundary;
 - (c) is designed to accommodate active uses at ground level;
 - (d) does not include car parking fronting Morgan Street;
 - (e) ensures that the grid pattern layout remains; and
 - (f) is sited to have vehicle access off Morgan Lane.

6.3.4.3 Specific benchmarks for assessment

Table 6.3.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) establishes the centre as a focus of community and retailing activity; (b) is low-medium rise and complements the scale of the locality; (c) maintains the residential amenity in adjoining residential zones; and (d) minimises overshadowing and overlooking of residential areas. 	<p>AO2.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO2.2 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection;

Performance outcomes	Acceptable outcomes
	<p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p> <p>Editor's note—Development is to provide for car parking areas as generally shown on:</p> <p>(a) Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements);</p> <p>(b) Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements);</p> <p>(c) Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and</p> <p>(d) Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).</p>	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO6.1 Residential uses are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<p>AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements); <p>AND</p> <p>AO8.2 No new vehicle access is obtained from locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.5 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO8.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.</p>
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements)

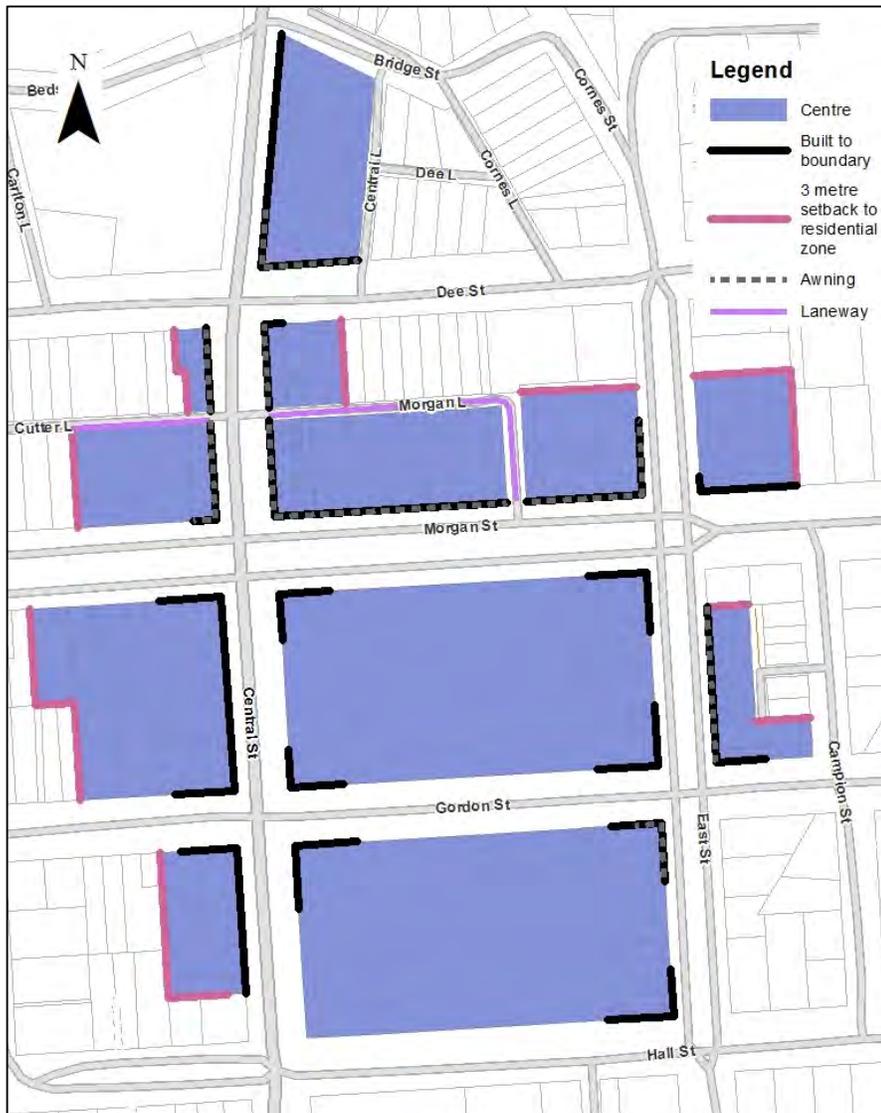


Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.	AO12.1 The building's main entrance faces the public place. AND AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner. AND

Performance outcomes	Acceptable outcomes
	<p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).
<p>PO13 Development:</p> <ul style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) in the form of shopping centres is set behind smaller shop front premises or actively faces and integrates with the street frontage by having regular openings; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (d) at least three (3) variations in textures, materials and colours. 	<p>No acceptable outcome is nominated.</p>
<p>PO15 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO16 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO17 Development involving an increase in gross floor area that exceeds 1,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>the surrounding urban areas. The master plan is to address the following:</p> <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; (g) rationalisation of vehicle crossovers; (h) provision of a high level of pedestrian, cyclist and public transport accessibility; (i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks; (j) encouragement of pedestrian mobility over vehicle mobility; (k) provision of safe and high quality streetscapes and walkways; (l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and (m) generally in accordance with local centre concept plans. <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO18 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 1,000 square metres of retail or 250 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre, major centre and district centres. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>
<p>PO19 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO19.1 Development occurs within the area zoned local centre.</p>
Streetscape and landscaping	
<p>PO20 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>AO20.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO20.2 Where buildings are set back from the street, a landscape planting bed with a minimum depth of one (1) metre is provided</p>

Performance outcomes	Acceptable outcomes
	<p>along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p> <p>AO20.3 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO21 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO21.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO22 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO22.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).
<p>PO23 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <p>(a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and</p> <p>(b) located to create a 1.5 metre wide clear pedestrian zone.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO24 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO24.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements). <p>AND</p> <p>AO24.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO25 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>

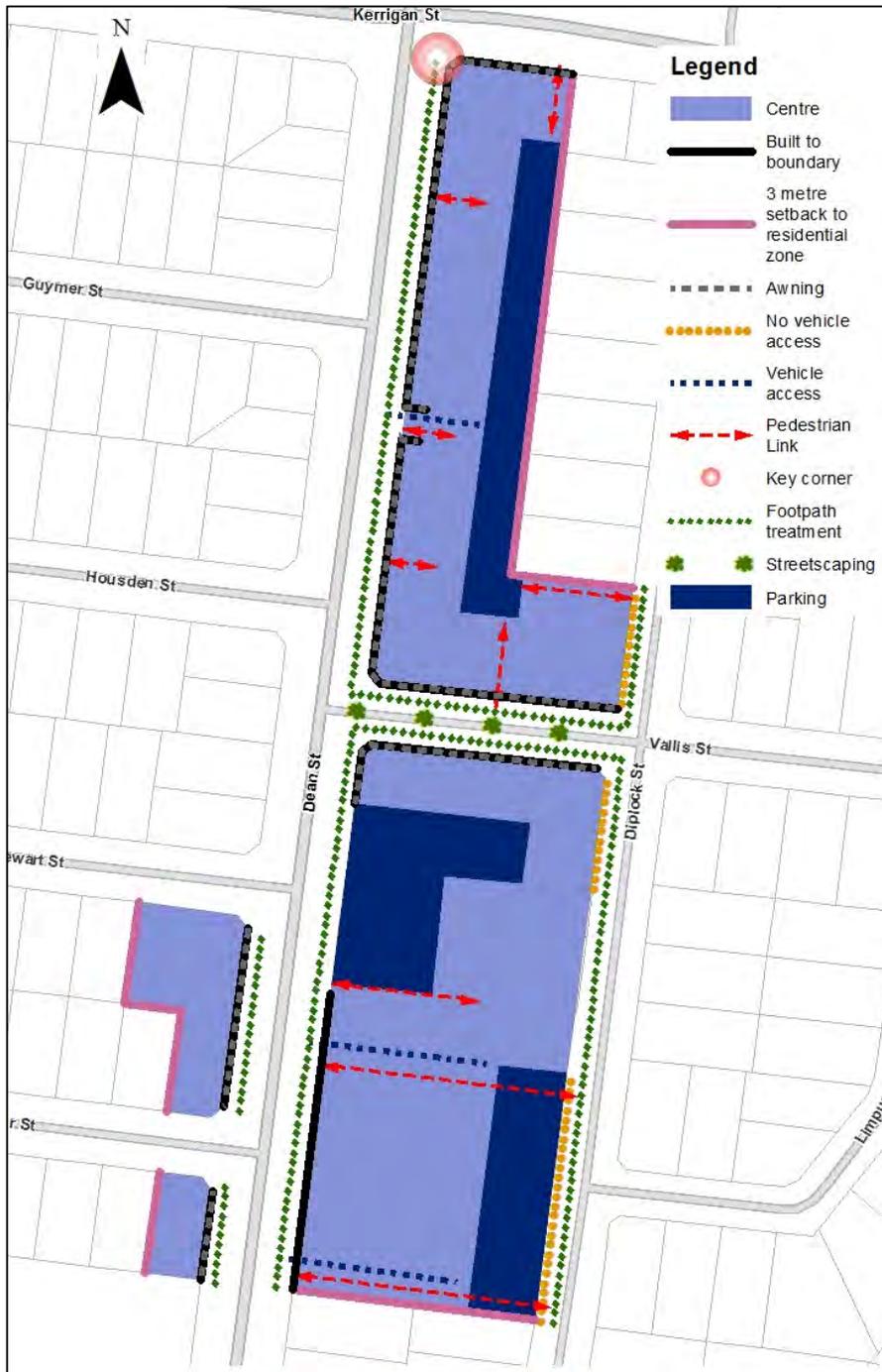


Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements)

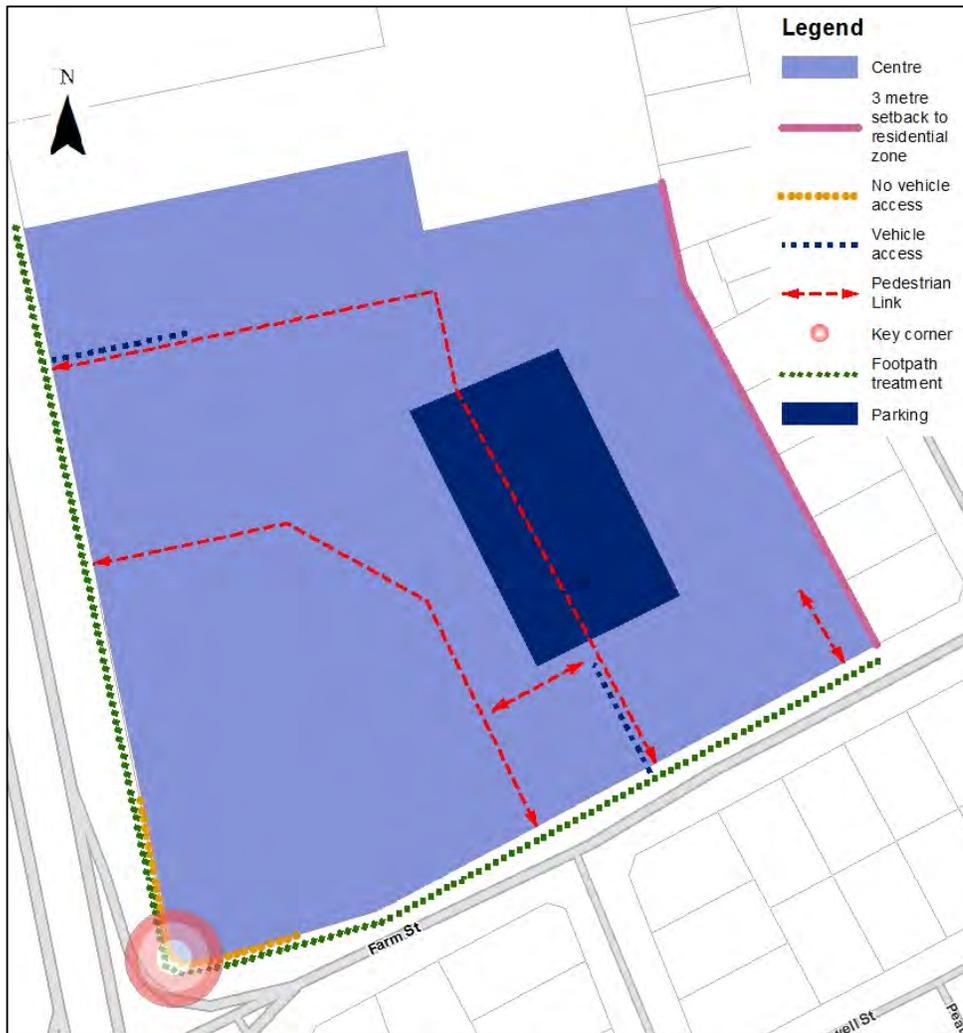


Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements)

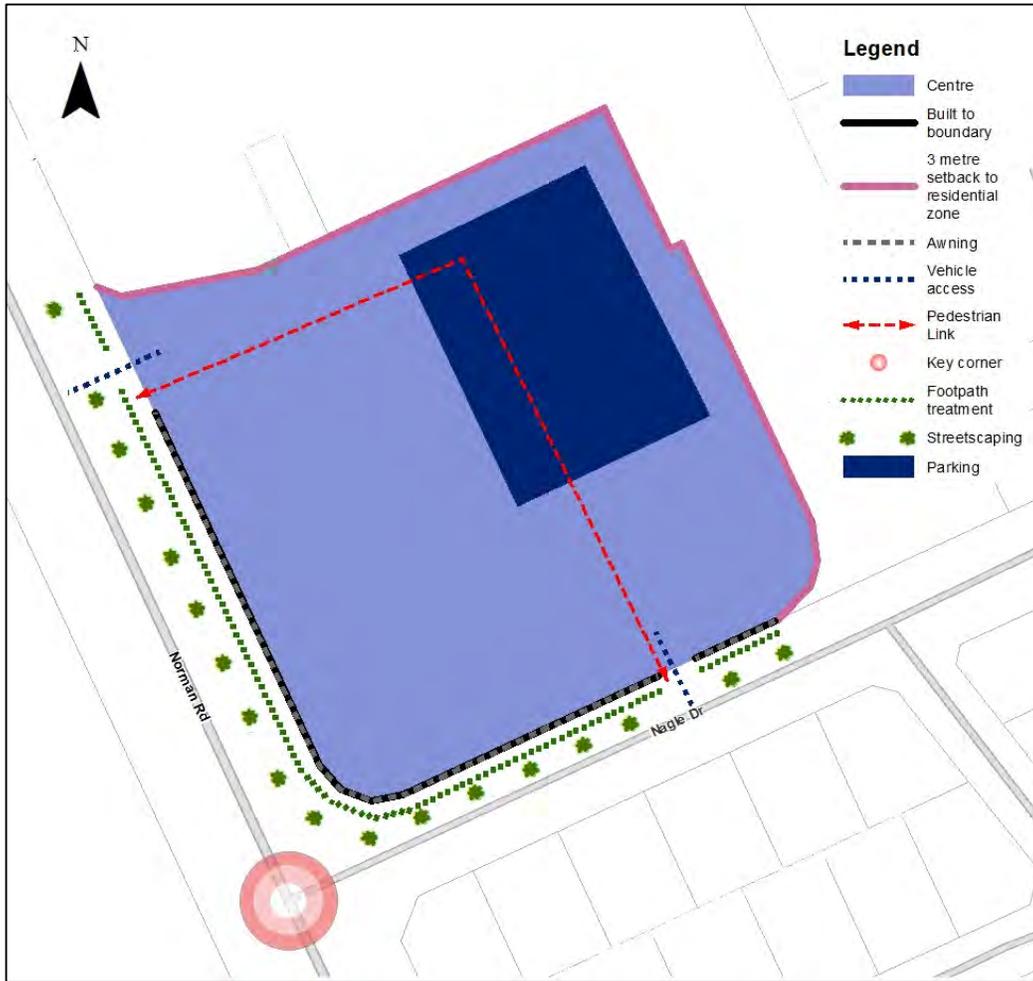


Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements)

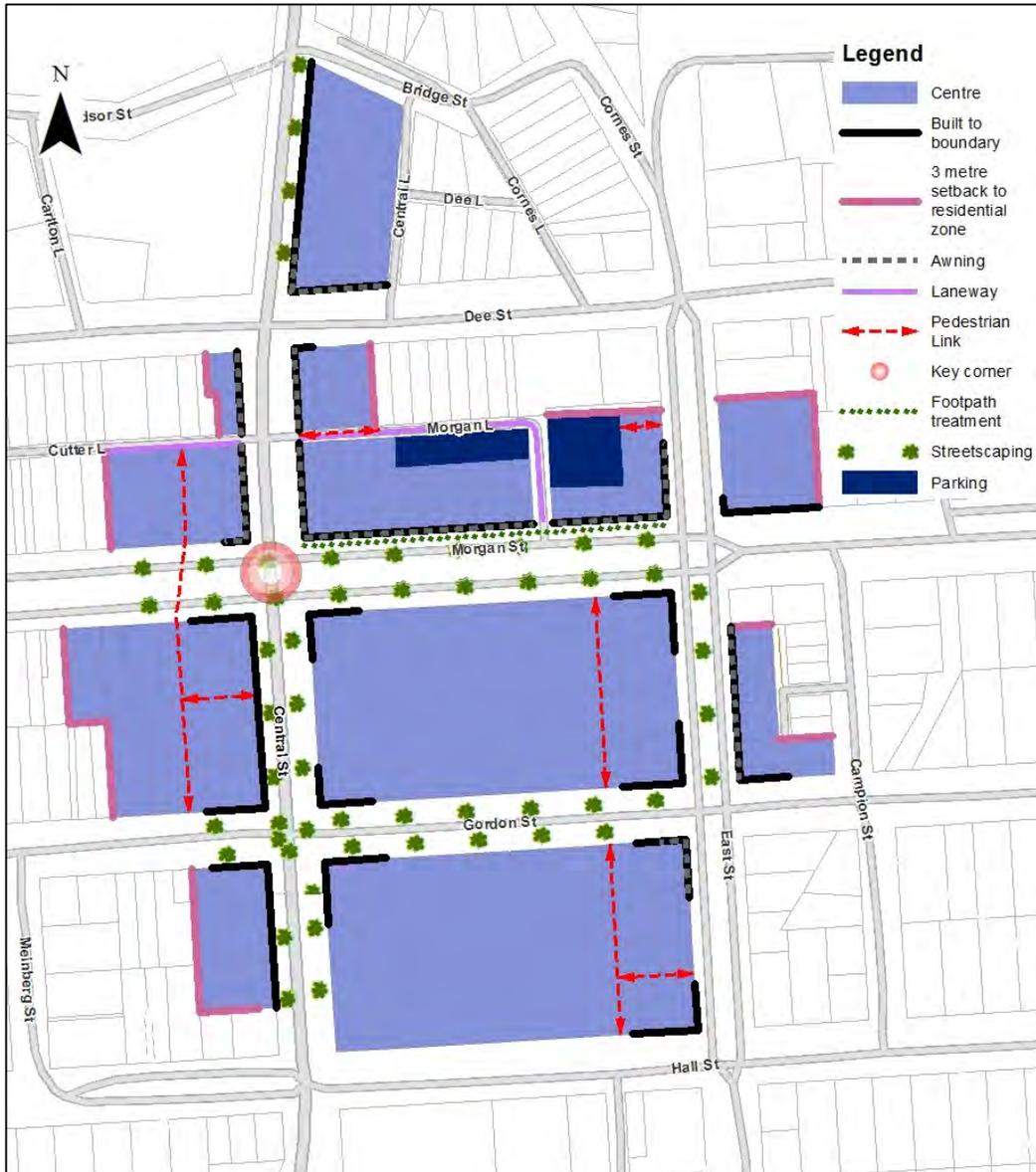


Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements)

6.3.5 Neighbourhood centre zone code

6.3.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the neighbourhood centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.5.2 Purpose

- (1) The purpose of the neighbourhood centre zone code is to:
 - (a) facilitate the strengthening of the role of neighbourhood centres within the network of centres in the planning scheme area, providing services and facilities appropriate to their respective function and catchments of approximately 1,500 households. The identified neighbourhood centres are located at Berserker (Elphinstone Street), Kawana (Richardson Road), Park Avenue (Main Street) and Wandal (Wandal Road) and provide for convenience shopping; and
 - (b) facilitate the development of neighbourhood centres which are readily accessible, integrated and well designed, form vibrant focal points for the community, promote the efficient provision of services and contribute to the quality of life, character and identity of communities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) development within neighbourhood centres cater for the day-to-day convenience needs of the surrounding neighbourhood being small-scale shops and offices providing localised personal services. New full-line supermarkets do not establish in these centres, although smaller, convenience supermarkets catering for the needs of the immediate catchment may occur;
 - (b) development does not undermine the viability, role or function of higher order centres;
 - (c) neighbourhood centres are not to expand to serve a wider local centre catchment;
 - (d) stand-alone, purpose built office buildings which exceed the 200 square metre gross floor area threshold are not to be established;
 - (e) development for residential uses (when above ground level or behind ground storey retail, commercial or community related activities) is supported within the zone;
 - (f) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency, water conservation and public/active transport use;
 - (g) the height and scale of buildings reflect the surrounding residential area;
 - (h) building design includes a combination of materials and articulation of facades;
 - (i) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (j) development is designed to include safe, direct and convenient pedestrian and cycle connections that integrate with and extend the existing pedestrian and cycle path networks;
 - (k) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
 - (l) development involving a significant increase in gross floor area (greater than 500 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Berserker (Elphinstone Street) neighbourhood centre

- (3) Development is generally in accordance with the Berserker (Elphinstone Street) neighbourhood centre concept plans; and
- (4) Development:
 - (a) provides access to public transport along Elphinstone Street;

- (b) ensures on-site car parking is located at the rear of new development to ensure active frontage along Elphinstone Street and to limit on-street parking, particularly in proximity to the Berserker Street and Elphinstone Street intersection;
- (c) enhances the streetscape in key locations, particularly the intersection of Elphinstone Street and Berserker Street;
- (d) maintains footpath treatments;
- (e) provides for the planting of street trees along pedestrian pathways for shade, improved visual amenity and streetscape appearance; and
- (f) ensures integration with the adjacent low density residential zone and low-medium density residential zone.

Kawana (Richardson Road) neighbourhood centre

- (5) Development is generally in accordance with the Kawana (Richardson Road) neighbourhood centre concept plans; and
- (6) Development:
 - (a) provides access to public transport along Richardson Road;
 - (b) ensures on-site car parking is located at the rear of new development to ensure active frontage along Richardson Road and to limit on-street parking;
 - (c) maintains footpath treatments; and
 - (d) ensures that no vehicle access is obtained from Pattemore Street.

Park Avenue (Main Street) neighbourhood centre

- (7) Development is generally in accordance with the Park Avenue (Main Street) neighbourhood centre concept plans; and
- (8) Development:
 - (a) provides for pedestrian integration with the surrounding areas, including the Park Avenue State School, St Joseph's Catholic School, businesses along Main Street and Haynes Street and the adjoining residential areas;
 - (b) provides for the planting of street trees along pedestrian pathways for shade and improved visual amenity and streetscape appearance;
 - (c) provides access to public transport along Main Street;
 - (d) maintains footpath treatments; and
 - (e) ensures on-site car parking is located at the rear of new development to ensure an active frontage along Main Street.

Wandal (Wandal Road) neighbourhood centre

- (9) Development is generally in accordance with the Wandal (Wandal Road) neighbourhood centre concept plans; and
- (10) Development:
 - (a) provides for a public transport set down area along Wandal Road;
 - (b) formalises linkages between Wandal Road and Lion Creek Road and the adjoining recreational facilities;
 - (c) ensures new buildings activate the street frontage, be built to the front boundary and awnings are continuous along Wandal Road;
 - (d) improves pedestrian integration with the surrounding areas, particularly in association with the development of the Rockhampton major sports precinct;
 - (e) maintains adequate and safe pedestrian and cycle integration with Rockhampton High School and adjoining residential areas;
 - (f) provides an improved streetscape character;
 - (g) provides for the planting of street trees along pedestrian pathways for shade and improved visual amenity and streetscape appearance; and
 - (h) encourages the retention of small-scale uses.

6.3.5.3 Specific benchmarks for assessment

Table 6.3.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) maximum length of any unarticulated wall is fifteen (15) metres, without a change in plane of at least 0.75 metres; (c) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (d) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO2.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO2.2 Site cover does not exceed seventy (70) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements),

Performance outcomes	Acceptable outcomes
	<p>and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p> <ul style="list-style-type: none"> (a) Coordinated with awnings on adjoining properties to provide continuous weather protection; (b) Not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) A minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. <p>Editor's note—Development is to provide for car parking areas as generally shown on:</p> <ul style="list-style-type: none"> (a) Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements); (b) Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements); (c) Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements); and (d) Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements). 	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the street frontage.</p>	<p>AO6.1 Residential uses are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy</p>	<p>AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on:</p>

Performance outcomes	Acceptable outcomes
<p>and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.2 No new vehicle access is obtained from locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO7.5 Windows that have a direct view into an adjoining residential use are provided with</p>

Performance outcomes	Acceptable outcomes
	<p>fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO7.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)

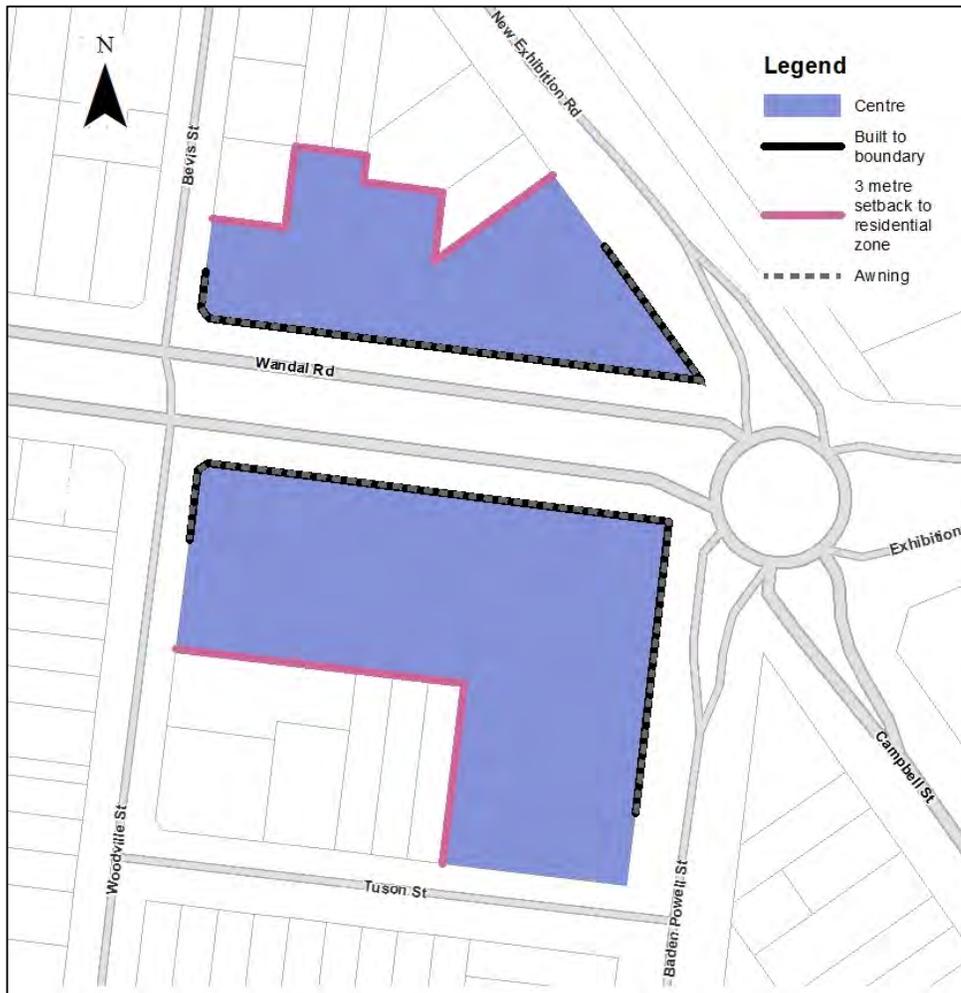


Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p>

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and • Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements).
<p>PO13 Development:</p> <p>(a) creates a safe, active, and inclusive environment;</p> <p>(b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and</p> <p>(c) is designed to promote the use of public transport, walking and cycling.</p>	No acceptable outcome is nominated.
<p>PO14 Buildings are designed to include elements which create visual interest such as:</p> <p>(a) variations in plan shape, such as curves, steps, recesses, projections or splays;</p> <p>(b) vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays;</p> <p>(c) a roof form that creates visual interest, is not flat and can conceal plant equipment; and</p> <p>(d) at least three (3) variations in textures, materials and colours.</p>	No acceptable outcome is nominated.
<p>PO15 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO16 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO17 Development involving an increase in gross floor area that exceeds 500 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following:</p> <p>(a) provision of active uses on key pedestrian circulation streets and major frontages;</p> <p>(b) creation of a predominant built to street frontage form;</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; (g) rationalisation of vehicle crossovers; (h) provision of a high level of pedestrian, cyclist and public transport accessibility; (i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks; (j) encouragement of pedestrian mobility over vehicle mobility; (k) provision of safe and high quality streetscapes and walkways; (l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and (m) generally in accordance with neighbourhood centre concept plans. <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO18 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 500 square metres of retail or 200 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre, major centre, district centres and local centres. The report is to be in accordance with SC6.9 – Economic impact assessment planning scheme policy.</p>
<p>PO19 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO19.1 Development occurs within the area zoned local centre.</p>
Streetscape and landscaping	
<p>PO20 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>AO20.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO20.2 Where buildings are set back from the street, a landscape planting bed with a minimum depth of one (1) metre is provided along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO20.3 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO21 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO21.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO22 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO22.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and • Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements).
<p>PO23 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <p>(a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and</p> <p>(b) located to create a 1.5 metre wide clear pedestrian zone.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO24 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO25 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO25.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements). <p>AND</p> <p>AO25.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO26 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements)

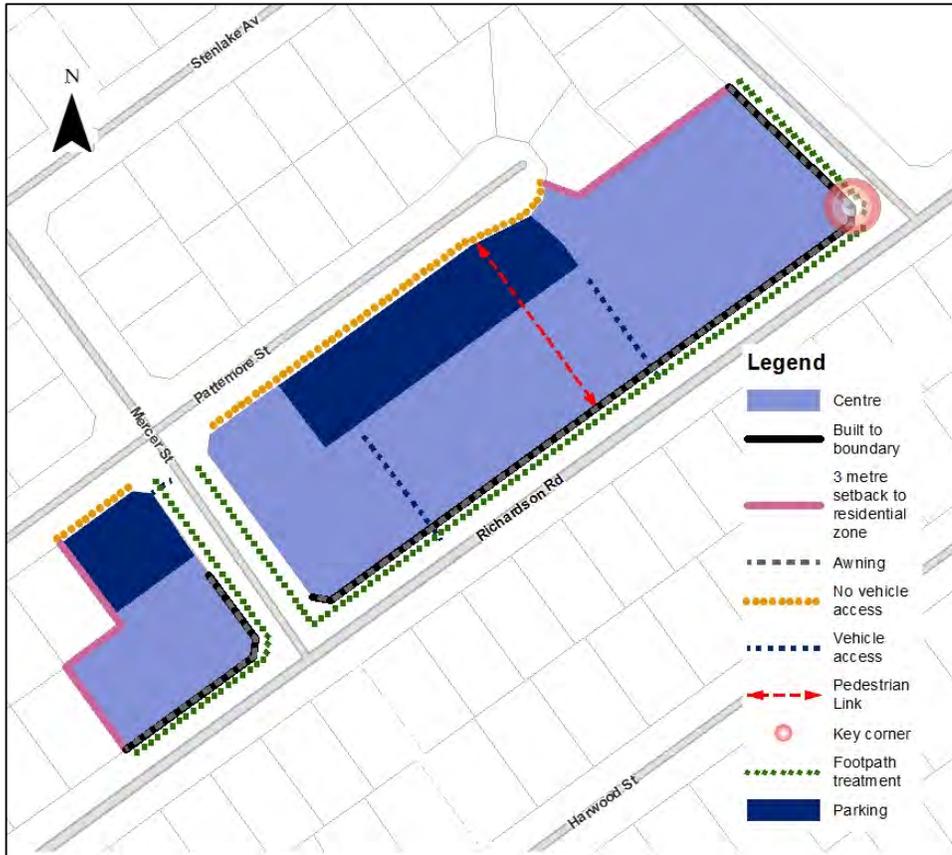


Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements)



Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements)

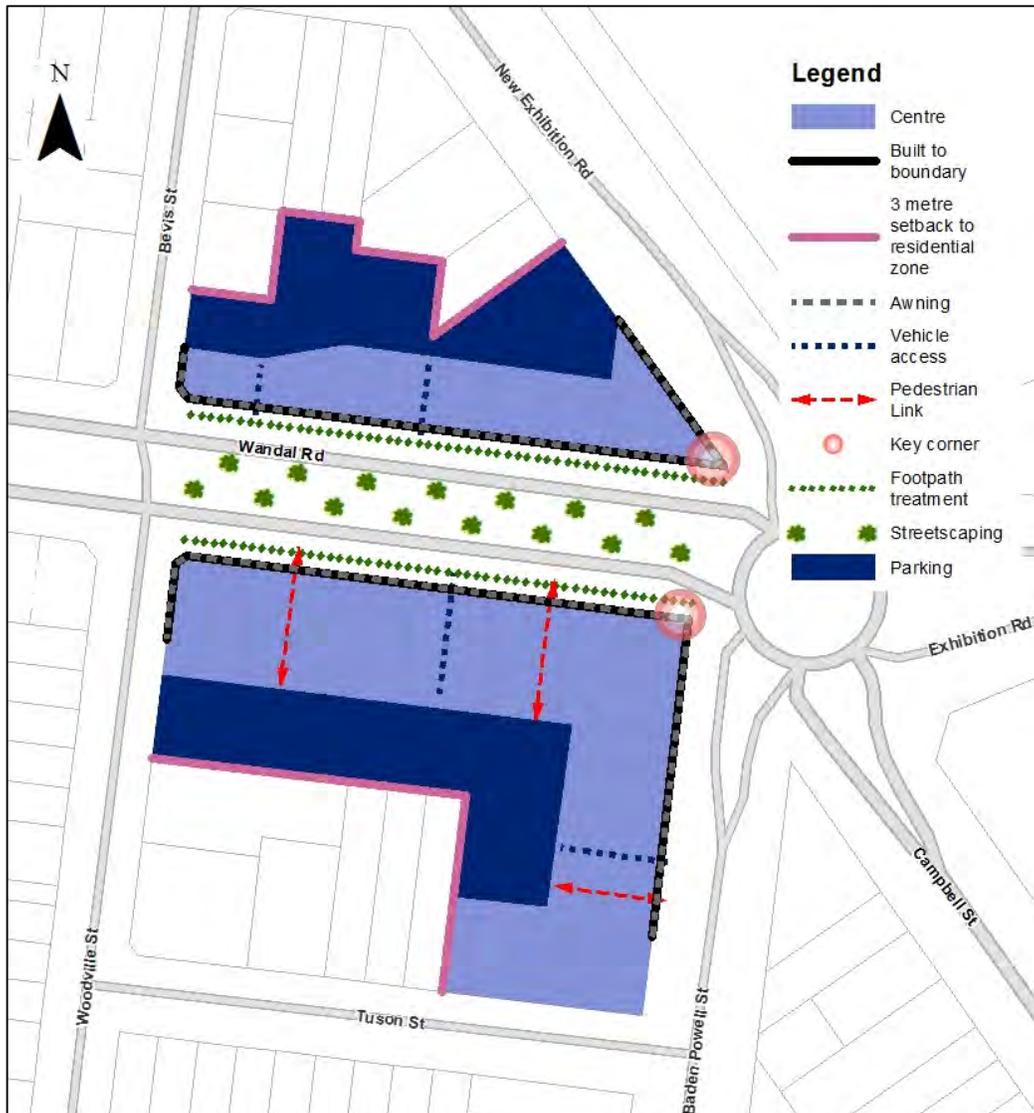


Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements)

6.3.6 Specialised centre zone code

6.3.6.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the specialised centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.6.2 Purpose

- (1) The purpose of the specialised centre zone code provides for one (or more) specialised uses:
 - (a) enable the specialised centres to strengthen and maintain their role within the network of centres in the region, providing services and facilities appropriate to their respective function and catchment; and
 - (b) facilitate the development of specialised centres which are readily accessible, integrated and well designed, form vibrant focal points for the community, promote the efficient provision of services and contribute to the quality of life, character and identity of communities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the specialised centres primarily accommodate retail functions being showrooms or outdoor sales with food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre;
 - (b) specialised centres are not to accommodate department stores, discount department stores or large-scale shopping centres unless stated otherwise in a precinct or sub-precinct. Only a convenience level of shopping is provided, serving the immediate neighbourhood and local customers (convenience function being similar to a neighbourhood centre);
 - (c) development does not undermine the viability, role or function of other centres;
 - (d) stand-alone, purpose built office buildings which exceed a 200 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (e) development is consolidated within the defined zone boundaries;
 - (f) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency, water conservation and public/active transport use;
 - (g) development does not impact on the existing level of amenity of the surrounding residential areas and does not encourage additional traffic through nearby urban access streets and urban access places;
 - (h) the height and scale of buildings create an attractive, pedestrian-friendly environment at street level with awnings that are orientated towards the primary street frontage;
 - (i) building design includes a combination of materials, recesses and variations in horizontal and vertical planes to create visual interest;
 - (j) primary pedestrian areas are activated by shop fronts, doorways, awnings, interesting external wall treatments, street trees and kerbside activities;
 - (k) development is landscaped to assist with the greening of the city and the creation of shady, safe and well connected pedestrian and public places;
 - (l) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development;
 - (m) development includes uses that operate at different times of the day to ensure specialised centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (n) development involving a significant increase in gross floor area (greater than 3,000 square metres) is accompanied by a master plan that demonstrates how the expansion integrates with the balance of the centre and with the surrounding urban areas; and

- (o) the establishment of three (3) precincts and four (4) sub-precincts within the zone where particular requirements are identified:
 - (i) Gladstone Road and George Street precinct;
 - (A) outdoor sales and services sub-precinct; and
 - (B) residential and food services sub-precinct;
 - (ii) Musgrave Street precinct;
 - (A) mixed use sub-precinct; and
 - (B) outdoor sales and services sub-precinct; and
 - (iii) Yaamba Road precinct.

Gladstone Road and George Street precinct

- (3) The following overall outcomes of the Gladstone Road and George Street precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
 - (a) development consolidates retail and residential uses which have developed along the Bruce highway;
 - (b) office activities larger than 200 square metres in gross floor area will not occur;
 - (c) further spread of non-residential uses into surrounding residential areas will not occur;
 - (d) development in this precinct reflects the importance of the southern entrance to the city and maintains a high level of building design and layout, landscaping and signage; and
 - (e) development ensures the safe and efficient function of Gladstone Road and George Street as a state controlled road. This includes ensuring car parking is provided on site to limit on-street parking and limiting vehicular access points.

Outdoor sales and services sub-precinct

- (4) The following overall outcomes of the outdoor sales and services sub-precinct are additional to those of the specialised centre zone and Gladstone Road and George Street precinct and take precedence in the event of a conflict:
 - (a) development includes vehicle and other outdoor sales, storage, warehousing, vehicle maintenance services, and small-scale convenience uses such as food and drink outlets where serving local customers and local businesses;
 - (b) retail uses (including shops (with the exception of Lot 1 SP161848 and Lot 1 SP191827) and shopping centres) larger than 500 square metres in gross floor area will not occur; and
 - (c) retail uses larger than 500 square metres in gross floor area only occur on Lot 1 SP161848 and Lot 1 SP191827 when involving the reuse of the existing building onsite.

Residential and food services sub-precinct

- (5) The following overall outcomes of the residential and food services sub-precinct are additional to those of the specialised centre zone and Gladstone Road and George Street precinct and take precedence in the event of a conflict:
 - (a) development includes short-term accommodation, fast food outlets, restaurants and other facilities for travellers including visitor information facilities, service stations and parks;
 - (b) intensification of residential uses in this precinct is supported (including at ground level);
 - (c) only small-scale, convenience retail uses serving the local catchment and highway users locate in this sub-precinct. Retail uses (including shops, supermarkets, shopping centres and showrooms) larger than 300 square metres in gross floor area will not occur; and
 - (d) industrial uses are not supported due to the proximity to the adjoining residential area and the intent to allow further residential development within the sub-precinct.

Musgrave Street precinct

- (6) The following overall outcomes of the Musgrave Street precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
- (a) development consolidates the historic retail and residential uses which developed along Musgrave Street, which are 'bookended' by the principal centre and the major centre zone;
 - (b) this precinct does not accommodate large-scale shops such as discount department stores, supermarkets or shopping centres greater than 500 square metres gross floor area;
 - (c) regional government offices, private sector head-offices and large-scale offices are not located in this precinct. Over time existing large-scale offices are to relocate to the principal centre;
 - (d) further spread of non-residential uses into surrounding residential areas will not occur, and only small-scale, convenience retail uses serving the local catchment locate in the precinct;
 - (e) development in this precinct reflects its importance as one of the main northern entrances to the city and maintains a high level of building design and layout, landscaping and signage; and
 - (f) development ensures the safe and efficient function of Musgrave Street as a state controlled road. This includes ensuring car parking is provided on site to limit on-street parking.

Mixed use sub-precinct

- (7) The following overall outcomes of the mixed use sub-precinct are additional to those of the specialised centre zone and Musgrave Street precinct and take precedence in the event of a conflict:
- (a) convenience shopping is provided for the immediate neighbourhood and local customers (convenience function being primarily based on a neighbourhood centre);
 - (b) development comprises a variety of small-scale, mixed retail, personal and administrative services and food services at ground level, with a residential component such as medium density residential above or behind;
 - (c) business-to-business uses are located on lower order side roads connecting with Musgrave Street;
 - (d) development fronting Musgrave Street includes a mix of uses that operate through the day and night to encourage a safe urban environment;
 - (e) intensification of residential uses in this sub-precinct is supported (located above ground storey or behind ground storey retail, commercial or community related activities);
 - (f) non-residential development is contained within the defined sub-precinct boundary and provides suitable buffering to the residential zones located east and west of Musgrave Street;
 - (g) office activities exceeding 200 square metres in gross floor area will not occur;
 - (h) industrial uses are generally not supported due to the proximity to the adjoining residential area and the intent to allow further residential development within the sub-precinct;
 - (i) buildings are built to the road frontage along Musgrave Street, with car parking, service and loading bays integrated within, behind or under buildings; and
 - (j) all uses incorporate a high level of design and pedestrian amenity and contribute to the creation of an attractive link between the major centre and principal centre zones.

Outdoor sales and services sub-precinct

- (8) The following overall outcomes of the outdoor sales and services sub-precinct are additional to those of the specialised centre zone and Musgrave Street precinct and take precedence in the event of a conflict:
- (a) development includes vehicle and other outdoor sales, storage, warehousing, vehicle maintenance services, low impact industries, cafe and small-scale convenience retail uses serving local customers and local businesses;

- (b) buildings are built to the road frontage along Queen Elizabeth Drive and Bridge Street, with car parking, service and loading bays integrated within, behind or under buildings; and
- (c) office activities exceeding 200 square metres in gross floor area will not occur.

Yaamba Road precinct

- (9) The following overall outcomes of the Yaamba Road precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
 - (a) the precinct is reinforced as a destination for ‘homemaker’ and other bulky goods, warehousing and showroom outlets;
 - (b) this precinct does not accommodate large-scale shops such as discount department stores, supermarkets or shopping centres (with the exception of Lot 25 on RP610513);
 - (c) ancillary uses which provide for customers in the precinct, including cafes and passive recreation uses are supported;
 - (d) short-term accommodation such as a motel is supported where fronting onto Yaamba Road;
 - (e) development does not compromise the role and function of Yaamba Road as the major thoroughfare through the precinct; and
 - (f) office activities exceeding 200 square metres in gross floor area will not occur.

6.3.6.3 Specific benchmarks for assessment

Table 6.3.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) generous ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) building fronts to make them more human in scale; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) tenancies no wider than ten (10) metres or vertical articulation which punctuates the facade at least every ten (10) metres; (c) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (d) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of building(s) contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) enhances the appearance and character of streets, public places and buildings; (b) is low to medium rise and complements the scale of the locality; and 	<p>AO2.1 The height of buildings and structures does not exceed the following maximum height above ground level:</p> <ul style="list-style-type: none"> (a) in the Musgrave Street precinct – mixed use sub-precinct: five (5) storeys and eighteen (18) metres; and

Performance outcomes	Acceptable outcomes
(c) maintains the residential amenity in adjoining residential zones.	(b) in all other precincts and sub-precincts: three (3) storeys and twelve (12) metres above ground level. AND AO2.2 Site cover does not exceed eighty (80) per cent of the total site area.
PO3 Residential uses are provided with privacy and private outdoor living space.	AO3.1 Dwellings are provided with private open space or a balcony directly accessible from a habitable room which: (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; and (c) does not accommodate air conditioning units.
Where in the Gladstone Road and George Street precinct and sub-precincts	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO4 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO4.1 Buildings are set back from street frontages: (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
PO5 Development enhances the major road entrances to urban areas through landscaping to soften the visual impacts of highway commercial uses.	AO5.1 Where development is set back from a state controlled road, a landscape strip that is a minimum of 1.5 metres in width for the full frontage length of the site is provided.
Where in the Musgrave Street precinct and sub-precincts	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO6 Development fronting Musgrave Street, Queen Elizabeth Drive or Bridge Street at ground level provide for: (a) continuity of shop frontage and footpath awnings; (b) a human scale at street level with safe and comfortable pedestrian circulation; (c) enclosure of the street; and (d) interaction between ground floor uses and the street.	AO6.1 Buildings are built to the road frontage along Musgrave Street, Queen Elizabeth Drive and Bridge Street and provided with an awning. Note—One (1) vehicle access driveway to the site is acceptable within which an awning is not required. AND AO6.2 Awnings are: (a) coordinated with awnings on adjoining properties to provide continuous weather protection;

Performance outcomes	Acceptable outcomes
	(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) the greater of: (i) three (3) metres in width; or (ii) set back 1.5 metres from the inside of the kerb line.
PO7 Development not fronting onto Musgrave Street, Queen Elizabeth Drive and Bridge Street provides setbacks that contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO7.1 Buildings are set back from street frontages (excluding frontage to Musgrave Street, Queen Elizabeth Drive and Bridge Street): (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
Where in the Yaamba Road precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO8 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO8.1 Buildings are set back from street frontages: (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
PO9 Development enhances the major road entrances to urban areas through landscaping to soften the visual impacts of highway commercial uses.	AO9.1 Where development is set back from a state controlled road, a landscape strip that is a minimum of 1.5 metres in width for the full frontage length of the site is provided.
Land use	
PO10 The streetscape is provided with uses that generate activity along the primary street frontage.	AO10.1 Residential uses (except for short-term accommodation) are: (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Effects of development	
PO11 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby land in a residential zone are minimised.	AO11.1 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone. AND AO11.2 A landscaped buffer with a minimum width of three (3) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone. AND

Performance outcomes	Acceptable outcomes
	<p>AO11.3 Buildings are set back three (3) metres from any boundary shared with a residential zone, or half the height of that part of the building, whichever is the greater.</p> <p>AND</p> <p>AO11.4 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO11.5 New building plant or air conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO12 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO12.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO13 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>

Table 6.3.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form –additional provisions	
<p>PO14 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p>	<p>AO14.1 The building’s main entrance addresses the public place.</p> <p>AND</p> <p>AO14.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p>
<p>PO15 Development:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) creates a safe, active, and inclusive environment with uses which operate during the day and night; (b) that is non-residential development actively addresses and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and (c) is designed to promote the use of public transport, walking and cycling. 	
<p>PO16 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) for buildings three (3) storeys and taller, different design elements are utilised for the lower, middle and top sections of the building; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (e) at least three (3) variations in textures, materials and colours. 	No acceptable outcome is nominated.
<p>PO17 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO18 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO19 Development involving an increase in gross floor area that exceeds 3,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan should address the following:</p> <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(g) rationalisation of vehicle crossovers; provision of a high level of pedestrian, cyclist and public transport accessibility;</p> <p>(h) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;</p> <p>(i) encouragement of pedestrian mobility over vehicle mobility;</p> <p>(j) provision of safe and high quality streetscapes and walkways; and</p> <p>(k) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes (except where indicated/delineated).</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO20 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO20.1 Development occurs within the area zoned specialised centre.</p>
<p>PO21 Development does not compromise the intended role or successful functioning of higher order centres.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO22 Office activities exceeding 200 square metres in gross floor area are not established.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO23 Unless stated otherwise in a precinct or sub-precinct, retail uses are limited to convenience shopping for the immediate neighbourhood and local customers.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO24 Food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre.</p>	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO25 On-site landscaping is provided to:</p> <p>(a) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>(b) soften and enhance the appearance of the development; and</p> <p>(c) provide shade for visitors and adjoining footpaths.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO26 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO27 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO28 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO28.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
Accessibility	
<p>PO29 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO30 External pedestrian spaces offer a variety of passive recreational opportunities and experiences ranging from intimate seating to large open spaces, and include features to enhance their use and enjoyment, such as food outlets, tables and chairs, seating, ledges, shade structures and artwork.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO31 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>No acceptable outcome is nominated.</p>
Where in the Gladstone Road and George Street precinct and sub-precincts	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO32 Development does not compromise the intended role or successful functioning of higher order centres, and:</p> <ul style="list-style-type: none"> (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed: <ul style="list-style-type: none"> (i) 300 square metres in gross floor area in the residential and food services sub-precinct; or (ii) 500 square metres in gross floor area in the outdoor sales and services sub-precinct (unless reusing an existing building on Lot 1 SP161848 and Lot 1 SP191827). <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO32.1 Development for a shop (with the exception of Lot 1 SP161848 and Lot 1 SP191827) and shopping centre does not exceed:</p> <ul style="list-style-type: none"> (a) 500 square metres in gross floor area in the outdoor sales and services sub-precinct; and (b) 300 square metres in gross floor area in the residential and food services sub-precinct. <p>AND</p> <p>AO32.2 Development for an office does not exceed 200 square metres in gross floor area.</p> <p>AND</p> <p>AO32.3 Shops or shopping centres on Lot 1 SP161848 and Lot 1 SP191827 only exceed 500 square metres in gross floor area when re-using an existing building and not increasing its gross floor area.</p>

Performance outcomes	Acceptable outcomes
<p>PO33 Development for a showroom in the residential and food services sub-precinct is compatible with the intended, primarily residential environment, and does not exceed 300 square metres in gross floor area.</p>	<p>AO33.1 Development for a showroom in the residential and food services sub-precinct does not exceed 300 square metres in gross floor area.</p>
<p>PO34 Industrial uses do not occur in the residential and food services sub-precinct.</p>	<p>No acceptable outcome is nominated.</p>
<p>Where in the Musgrave Street precinct and sub-precincts</p>	
<p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO35 Development does not compromise the intended role or successful functioning of higher order centres, and: (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed 500 square metres in gross floor area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO35.1 Development for a shop or shopping centre does not exceed 500 square metres in gross floor area.</p> <p>AND</p> <p>AO35.2 Development for an office does not exceed 200 square metres in gross floor area.</p>
<p>PO36 Industrial uses do not occur in the mixed use sub-precinct.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO37 Residential uses are located above ground storey or behind ground storey non-residential uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>Where in the Yaamba Road precinct</p>	
<p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO38 Development does not compromise the intended role or successful functioning of higher order centres and: (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed 500 square metres in gross floor area (with the exception of Lot 25 on RP610513).</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO38.1 Development for a shop or shopping centre does not exceed 500 square metres in gross floor area (with the exception of Lot 25 on RP610513).</p> <p>AND</p> <p>AO38.2 Development for an office does not exceed 200 square metres in gross floor area.</p>

[Intentionally blank]

6.4 Recreation zones category

6.4.1 Sport and recreation zone code

6.4.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the sport and recreation zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.4.1.2 Purpose

- (1) The purpose of the sport and recreation zone code is to:
 - (a) provide for a range of sport and recreation uses, well distributed throughout the urban areas and easily accessible by all members of the community;
 - (b) facilitate the collocation and concentration of sporting, recreation and cultural facilities in nodes of activity;
 - (c) protect important sport and recreation sites from the establishment of inappropriate land uses;
 - (d) provide for ancillary uses where they support the development of the zone for sport and recreation uses;
 - (e) minimise land use conflict and ensure that facilities are sited, designed and operated to minimise adverse impacts on surrounding land; and
 - (f) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) development within the zone primarily provides for the following uses:
 - (i) indoor sport and recreation;
 - (ii) outdoor sport and recreation; and
 - (iii) park;
 - (b) land uses such as caretaker's accommodation, club, community care centre, community use, educational establishment, food and drink outlet, function facility, or market occur where they:
 - (i) are small-scale and ancillary uses; and
 - (ii) are compatible with and support the development of the zone for sport and recreation uses;
 - (c) development has a scale, height and bulk that reflects the operational, functional and locational needs of the use without unduly impacting on the character and amenity of the surrounding area;
 - (d) development is designed to respond to the region's climate, local heritage features, natural landscape features and environmental constraints;
 - (e) development is easily accessible to the majority of the population and is well located in relation to public and active transport networks;
 - (f) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Rockhampton major sports precinct.

Rockhampton major sports precinct

- (3) The following overall outcomes of the Rockhampton major sports precinct are additional to the overall outcomes of the sports and recreation zone and take precedence in the event of a conflict:
 - (a) the precinct functions as the principal and preferred location for major sport, recreation and entertainment and function facilities;
 - (b) development has a scale, height and bulk that reflects the operational, functional and location needs of sports and recreation facilities;
 - (c) land uses such as shops develop where they:

- (i) are small in scale and provide a convenience function for the precinct;
- (ii) are ancillary to the primary sport and recreation uses;
- (iii) are compatible with and support the development of the precinct for sport and recreation uses; and
- (iv) do not undermine the role of other centres in the region;
- (d) development minimises impacts on surrounding residential zones;
- (e) pedestrian linkages between the principal centre and Victoria Park are maintained and improved;
- (f) development is designed and located to protect and integrate with natural features such as the fig trees in Victoria Park along the Fitzroy River, and heritage features such as the Alexandra Railway Bridge;
- (g) public access to the precinct is maintained to encourage passive recreation and increase passive surveillance; and
- (h) development is consolidated within and does not extend beyond the mapped extent of the precinct and comprises high quality building design, construction and landscaping.

6.4.1.3 Specific benchmarks for assessment

Table 6.4.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO4.1 Where adjoining a residential zone, new buildings, car parking, site access, servicing and storage areas:</p> <ul style="list-style-type: none"> (a) are set back a minimum of six (6) metres; or (b) have the following provided: <ul style="list-style-type: none"> (i) a minimum 1.8 metre high solid screen fence; or (ii) a densely planted landscape strip with a minimum width of three (3) metres. <p>AND</p> <p>AO4.2 Buildings and structures do not incorporate any type of glass or other surface that is likely to reflect solar rays that could create undue nuisance, discomfort or hazard to any part of the surrounding locality.</p> <p>AND</p> <p>AO4.3 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street or adjoining residential uses.</p>
Where in the Rockhampton major sports precinct	
<p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO5 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-medium rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO5.1 The height of buildings and structures within the Rockhampton major sports precinct does not exceed three (3) storeys and twelve (12) metres above ground level except where determined by the functional characteristics of a structure (for example stadium seating).</p> <p>AND</p> <p>AO5.2 Site cover does not exceed sixty (60) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Market	
<p>PO7 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.</p>	<p>AO7.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any</p>

Performance outcomes	Acceptable outcomes
	boundary adjoining residential premises a minimum of six (6) metres.
PO8 The development is temporary in nature having regard to length of time and operation of the use.	AO8.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Effects of development	
PO9 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.	AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 07:00 and 22:00.
PO10 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO10.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO11 All storage areas are screened from the streetscape and adjoining residential zones.	AO11.1 All outdoor storage and other unsightly areas are visually screened from view from public places (including the street) and adjoining residential zones by a 1.8 metre high solid screen fence.

Table 6.4.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
PO12 Development that is ancillary to the primary use of the site for sport and recreation uses is small in scale and designed and sited in a manner that is compatible with and supports the development.	No acceptable outcome is nominated.
Effects of development	
PO13 Development maintains a high level of amenity within the site and for surrounding areas, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook.	No acceptable outcome is nominated.
PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that: (a) hazards to people or property are avoided; (b) earthworks are minimised;	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features.	
Streetscape and landscaping	
PO15 Landscaping is provided to enhance the appearance of the development, create an attractive site, and provide for shading.	No acceptable outcome is nominated.
Access and transport	
PO16 Convenient and legible connections are provided for pedestrians and cyclists to and from the site, particularly having regard to linkages with existing and proposed public transport infrastructure, other parts of the open space network, sport and recreational uses, centres and community related uses.	No acceptable outcome is nominated.
Where in the Rockhampton major sports precinct	
<i>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</i>	
PO17 The design of new buildings: <ul style="list-style-type: none"> (a) has vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) has a roof form that creates visual interest, is not flat and can conceal plant equipment; (c) fits responsively into the streetscape; (d) accommodates local climatic conditions; (e) creates an engaging, high quality built environment; and (f) provide a continuous pedestrian friendly facade at a human scale. 	AO17.1 Buildings do not incorporate any type of glass or other surface that is likely to reflect solar rays that could create undue nuisance, discomfort or hazard to any part of the surrounding locality. <p>AND</p> AO17.2 Building facades are orientated toward all street frontages, and where directly fronting a street, include: <ul style="list-style-type: none"> (a) articulation every fifteen (15) metres to ensure no blank or solid walls; (b) a pedestrian entry and door that is visible and accessible from the street. (c) activities at ground level that address, interact with and activate the street.

6.4.2 Open space zone code

6.4.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the open space zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.4.2.2 Purpose

- (1) The purpose of the open space zone code is to:
 - (a) provide for a variety of open space areas, well distributed throughout the region, to serve the needs of the sub-regional, regional and local population;
 - (b) provide for an integrated network of informal recreation areas of differing size and function, that are easily accessible and support the needs of residents and visitors;
 - (c) protect important informal recreation sites from the establishment of inappropriate land uses;
 - (d) provide for ancillary small-scale uses which directly support the use of the zone for informal and formal recreation; and
 - (e) minimise land use conflicts and ensure that the development of informal and formal recreation areas is consistent with the amenity and characteristics of the surrounding area.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) a range of functional and accessible open spaces, including local, district and regional scale parks and open space linkages are available for the use and enjoyment of residents and visitors;
 - (b) open space provides for safe passive and informal outdoor recreation where the built form is not essential to the enjoyment of the space;
 - (c) development directly supports the primary recreational function of the site or provides for the collocation of a compatible community-related use;
 - (d) land uses such as clubs or food and drink outlets (being kiosks or similar) are only located in this zone where they are small in scale and ancillary to the primary open space function;
 - (e) small-scale and ancillary built structures and buildings such as shelters, amenity facilities, performance areas, interpretive centres, barbecue facilities, picnic tables, pathways, playgrounds, exercise equipment or similar, are provided in the zone;
 - (f) development is designed, located and operated to minimise adverse impacts on adjoining sensitive land use(s) and areas of environmental significance;
 - (g) development is designed to incorporate the following sustainable practices:
 - (i) climate responsive design;
 - (ii) maximising energy efficiency;
 - (iii) water conservation; and
 - (iv) public and active transport use;
 - (h) development complements the style, scale and character of existing development in the zone and surrounding areas;
 - (i) development is designed to respond to the region's climate, local heritage features, natural landscape features and environmental constraints; and
 - (j) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (k) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Kershaw Gardens precinct.

Kershaw Gardens precinct

- (3) The following overall outcomes of the Kershaw Gardens precinct are additional to those of the Open space zone and take precedence in the event of a conflict:

- (a) The precinct supports non-commercial camping for self-contained vehicles for the purposes of encouraging tourism in the Rockhampton region; and
- (b) Development for a tourist park only occurs where it:
 - (i) is on land in the ownership or control of the local government;
 - (ii) has access to a higher order road (minor urban collector or higher); and
 - (iii) is limited in scale and duration.

6.4.2.3 Specific benchmarks for assessment

Table 6.4.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-scale and appropriate to its setting; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed ten (10) per cent of total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO4.1 All buildings and structures are set back a minimum of ten (10) metres from side and rear boundaries.</p> <p>AND</p> <p>AO4.2 A three (3) metre wide vegetated buffer is provided to any vehicle movement and parking areas that adjoin a residential zoned premises.</p>

Performance outcomes	Acceptable outcomes
Land use	
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.
Market	
PO6 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.	AO6.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.
PO7 The development is temporary in nature having regard to length of time and operation of the use.	AO7.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Effects of development	
PO8 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.	AO8.1 Where adjoining a residential zone, non-residential uses operate between the hours of 07:00 and 22:00.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO10 All storage areas are screened from the streetscape and adjoining residential zones.	AO10.1 All outdoor storage and other unsightly areas are visually screened from view from public places (including the street) and adjoining residential zones by a 1.8 metre high solid screen fence.
Where in the Kershaw Gardens precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence	
Tourist Park	
PO11 Development is low scale, limited to self-contained vehicles, restricted duration and has access to infrastructure commensurate with the nature of the use.	AO11.1 The tourist park provides a parking area for a maximum of thirty-five (35) self-contained recreational vehicles. AND AO11.2 The tourist park provides camping for self-contained recreational vehicles for a maximum of two (2) nights or forty-eight (48) hours. AND AO11.3 Development has direct access to a higher order road.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO11.4 The tourist park does not contain:</p> <ul style="list-style-type: none"> (a) self-contained cabins or other similar structures; and (b) ancillary uses (i.e. amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities or staff accommodation).

Table 6.4.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
<p>PO12 Land predominantly accommodates parks and any development facilitates optimum enjoyment and use of the land for informal recreation purposes.</p>	No acceptable outcome is nominated.
<p>PO13 Non-recreation uses occur only where:</p> <ul style="list-style-type: none"> (a) they directly support the primary function of the site or are a compatible community related use; and (b) they have a built form that is limited in scale and extent. 	No acceptable outcome is nominated.
<p>PO14 Development does not impede public access to and use of facilities.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO15 Development maintains a high level of amenity within the site and for surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook. 	No acceptable outcome is nominated.
<p>PO16 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(e) damage or disruption to sewer, stormwater or water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features.	
Streetscape and landscaping	
PO17 Landscaping is provided to enhance the appearance of the development, create an attractive site, and provide for shading.	No acceptable outcome is nominated.
Access and transport	
PO18 Convenient and legible connections are provided for pedestrians and cyclists to and from the site, particularly having regard to linkages with existing and proposed public transport infrastructure, other parts of the open space network, sport and recreational uses, centres and community related uses.	No acceptable outcome is nominated.

[Intentionally blank]

6.5 Environmental zones category

6.5.1 Environmental management and conservation zone code

6.5.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the environmental management and conservation zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.5.1.2 Purpose

- (1) The purpose of the environmental management and conservation zone code is to:
 - (a) protect regionally significant environmental areas, such as national parks, resource reserves, conservation parks and world heritage areas;
 - (b) protect other significant natural features such as creeks, gullies, waterways, wetlands, habitats, vegetation and bushland areas, in public or private ownership from the negative impacts of development; and
 - (c) provide for limited development to occur where it is compatible with the significant environmental values of the land and can be developed in a sustainable way.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) the conservation values of the land are maintained or enhanced;
 - (b) areas within the zone remain undeveloped except for small-scale facilities that support conservation, small-scale rural living, low impact nature based recreational or eco-tourism uses and essential infrastructure where they are:
 - (i) compatible with maintaining environmental values;
 - (ii) located to avoid natural hazard constraints and do not expose property or people to an unacceptable level of risk; and
 - (iii) located to avoid visual impacts from public viewing places;
 - (c) adverse impacts on ecological features, corridors and processes are avoided;
 - (d) the scenic values and landscape character of the Mount Archer National Park, Goodedulla National Park and Bouldercombe Gorge Resource Reserve are protected from negative impacts of development;
 - (e) emergency services, utility installations and infrastructure corridors (such as telecommunication or electricity and water supply corridors) are appropriate where the use does not detract from the scenic amenity and environmental importance of the area; and
 - (f) land is retained in large holdings to limit development opportunities and no new lots are created.

6.5.1.3 Specific benchmarks for assessment

Table 6.5.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
General	
PO1 Development is limited to uses which: <ol style="list-style-type: none"> (a) facilitate conservation activities on the land; (b) provide visitors with information or education directly connected to the values of the land; (c) are ancillary to and directly support visitation to the land for conservation, 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>recreation or eco-tourism purposes consistent with (a) and (b);</p> <p>(d) comprise infrastructure that can not practicably be located elsewhere;</p> <p>(e) do not include tourist park activities; and</p> <p>(f) may include a caretaker's accommodation.</p>	
Dwelling house	
<p>PO2</p> <p>The development of a dwelling house only occurs when either replacing an existing dwelling house or where new buildings, associated structures and vehicle access meets the following:</p> <p>(a) has sufficient land area to accommodate the use;</p> <p>(b) does not impact upon environmental values;</p> <p>(c) does not create a visual impact upon elevated areas;</p> <p>(d) is not subject to constraints (including bushfire and landslide) and does not result in a risk to people and property; and</p> <p>(e) has access to adequate infrastructure and services.</p>	<p>AO2.1</p> <p>AO2.1.1</p> <p>The development for a dwelling house only occurs where there is an existing dwelling and it is replaced by a new dwelling house in a similar location or in an area which does not impact upon environmental values or expose property or people to an increased risk from naturally occurring events such as bushfire or landslide.</p> <p>OR</p> <p>AO2.1.2</p> <p>The development for a dwelling house only occurs where the allotment has:</p> <p>(a) an area of at least five (5) hectares;</p> <p>(b) no existing dwelling house on the allotment;</p> <p>(c) the dwelling house, associated structures, vehicle access and cleared areas resulting from the development are located outside of areas mapped as having matters of local or state environmental significance or where located within these areas it is clearly demonstrated by a suitably qualified person that there will no impact on environmental values;</p> <p>(d) the dwelling house, associated structures, vehicle access and other cleared areas (such as fire breaks, backyards and the like) are located to avoid visual impacts from public viewer places;</p> <p>Editor's note—Public viewer places includes major road corridors (including Fitzroy Bridge and Neville Hewitt Bridge), public lookouts, principal centre and Fitzroy River (including city riverfront areas).</p> <p>(e) the dwelling house and vehicle access are located to avoid constraints such as very high and high bushfire areas, slope instability (areas over fifteen (15) per cent) and the like; and</p> <p>(f) the dwelling house, carports and garages are located on part of the site that is reasonably and practicably</p>

Performance outcomes	Acceptable outcomes
	<p>accessible by a standard 2WD motor vehicle.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
Built form	
<p>PO3 The development incorporates design responses that minimise the visual impact on the surrounding landscape and environment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
<p>PO4 Development, including infrastructure, buildings and driveway access are:</p> <p>(a) not visually intrusive, particularly from public open spaces, major tourist roads and other critical vantage points outside the site (for example look outs); and</p> <p>(b) designed, constructed and decorated to blend with the surrounding area in terms of colour, texture and height.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
Effects of development	
<p>PO5 Development avoids impacts on flora and fauna habitats and movement corridors.</p>	<p>AO5.1 Development does not involve any clearing of vegetation.</p> <p>AND</p> <p>AO5.2 Dense planting is undertaken to screen all development from roads and adjoining lots.</p> <p>AND</p> <p>AO5.3 Fencing within a designated ecological corridor must be wildlife-friendly.</p> <p>Editor's note—Refer Land for Wildlife Queensland: Note G4 – Wildlife Friendly Fencing and Netting.</p>
<p>PO6 Development does not require the storage of dangerous or harmful chemicals or products that have the ability to harm the natural environment.</p>	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO7 The land is not further subdivided.</p>	<p>AO7.1 No new lots are created.</p>

[Intentionally blank]

6.6 Industry zones category

6.6.1 Low impact industry zone code

6.6.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.1.2 Purpose

- (1) The purpose of the low impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for low impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) provide for low impact industry zoned land in a number of locations in order to service local communities throughout the planning scheme area including Gracemere (Gracemere industrial area), and Rockhampton (South Rockhampton, Park Avenue industrial area and Parkhurst industrial area).
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the zone primarily accommodates a range of smaller scale industrial uses such as low impact industry and warehouse uses which have low levels of potential impacts on the surrounding areas;
 - (b) medium impact industry uses may be appropriate where the nature of the operations do not create greater impacts than a low impact industry;
 - (c) existing industrial uses which are not low impact industry in nature continue to operate and expand in accordance with industry changes and demands, provided that any material changes in the intensity or scale of these uses does not worsen impacts and maintain appropriate separation distances. Should these industries cease to operate, new uses develop in accordance with the purpose for the zone;
 - (d) the following uses are not located in the zone:
 - (i) high impact industries;
 - (ii) special industries; and
 - (iii) uses which are more appropriately located in centres including shops, stand-alone offices, shopping centres, showrooms and retail hardware outlets;
 - (e) sensitive land use(s) will not occur within the zone;
 - (f) a limited range of non-industrial uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and includes:
 - (i) caretaker's accommodation or ancillary administration offices associated with industrial uses;
 - (ii) retail associated with, but ancillary to industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone;
 - (iv) non-resident workforce accommodation only when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road;
 - (v) service station;
 - (vi) uses which would be incompatible in a centres zone as a result of the size or nature of the goods sold or the fitting services provided (for example heavy plant and machinery parts, wholesale trade supplies to trade customers, outdoor sales, agricultural supplies store, garden centre and bulk landscape supplies); and

- (vii) uses that share similar characteristics and external impacts with a low impact industry use such as hours of operation or the nature of the use (for example indoor sport and recreation facilities);
- (g) the viability of existing and future low impact industry uses is not affected by the intrusion of incompatible uses;
- (h) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
- (i) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
- (j) the functional needs of the development prevail over the built form and landscaping, except for ancillary office and sales areas being sited and orientated towards the primary street frontage and where adjoining visually sensitive areas including residential areas, and major road corridors;
- (k) new industrial developments are located and integrated with existing and future planned industrial areas;
- (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
- (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
- (n) development is sited and designed to respond to natural landscape features and environmental constraints;
- (o) development is connected to all infrastructure services available in the area; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) South Rockhampton precinct.

South Rockhampton precinct

- (3) The following overall outcomes of the South Rockhampton precinct are additional to the overall outcomes of the low impact industry zone and take precedence in the event of a conflict:
 - (a) no new or further intensification of residential or industrial uses (except for the reuse of an existing building for a warehouse (for example self-storage units)) is to occur due to flood constraints;
 - (b) development for outdoor sport and recreation and wholesale nurseries may occur when complying with the flood hazard overlay code;
 - (c) development that generates heavy vehicle traffic (such as a transport depot) will not occur due to the impact upon the principal centre and surrounding residential zoned areas. Existing transport depot uses are encouraged to relocate to sites at Parkhurst or Gracemere;
 - (d) the reuse of heritage listed buildings is supported whereby the heritage values are preserved. These buildings may accommodate uses that benefit from a waterfront location including shops (for example, bait and tackle shop) and community uses (for example boating clubs, pontoons, wharves, etcetera); and
 - (e) no further subdivision of land is to occur due to the impact of flooding.

6.6.1.3 Specific benchmarks for assessment

Table 6.6.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area. <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building are sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a pedestrian entry that is orientated towards the street and provides a positive contribution to the character of the area.</p>	<p>AO4.1 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO5 Where adjoining land in a residential zone or within proximity of an existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, odour, hours of operation or unsightly activities.</p>	<p>AO5.1 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone; (b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use; (c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use; (d) vehicles with a load greater than 4.5 tonne tare in weight do not exit or enter via an urban access road; <p>Editor's note—Urban access roads are shown on the road hierarchy overlay map OM-19.</p> <ul style="list-style-type: none"> (e) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.

Performance outcomes	Acceptable outcomes
PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that screen the scale and bulk of industrial forms.	AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.
Land use	
Ancillary sales	
PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.	AO8.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site. AND AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area.
Caretaker's accommodation	
PO9 The development does not compromise the productivity of the use.	AO9.1 No more than one (1) caretaker's accommodation is established on the site.
Home-based business	
PO10 Development for a home based business is operated, designed and sited in a manner that: (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.	AO10.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care). AND AO10.2 The home based business is carried out within an existing building or structure. AND AO10.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). AND AO10.4 The home based business involves a minimum of one (1) resident of the dwelling. AND AO10.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO10.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO10.7 The home based business where for bed and breakfast accommodation: (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO10.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO10.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO11 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO12</p>	<p>AO12.1 Development achieves the noise generation levels set out in the <i>Environmental</i></p>

Performance outcomes	Acceptable outcomes
<p>Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p><i>Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.3 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) noise generating activities, access, driveways and outdoor activities are not located directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and (b) vehicles with a load greater than 4.5 tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday.
<p>PO13 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO13.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO14 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO14.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO14.2</p>

Performance outcomes	Acceptable outcomes
	<p>Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO14.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.6.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO15 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) the provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	<p>No acceptable outcome is nominated.</p>
Land use	
<p>PO16 Direct sales to the public, not related to the industry conducted on site, are limited to uses that provide direct service to industrial uses or people employed in the area, or are not compatible with the centre zones as a result of the size and nature of the goods sold or the fitting services provided. The scale of these uses does not compromise the role and function of existing or future planned centres.</p>	<p>AO16.1 Retail uses are limited to outdoor sales (such as heavy plant and machinery parts), wholesale trade supplies to trade customers only, agricultural supplies store, garden centre and bulk landscape supplies.</p> <p>AND</p> <p>AO16.2 The use is not for the purposes of a shop, stand-alone office, shopping centre, showroom and retail hardware supplies (when not for wholesale to trade customers).</p> <p>AND</p> <p>AO16.3</p>

Performance outcomes	Acceptable outcomes
	Food and drink outlet is limited to 150 square metres gross floor area.
PO17 Non-resident workforce accommodation occurs when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road.	No acceptable outcome is nominated.
PO18 Non-industry uses do not reduce the functionality of low impact industry uses.	No acceptable outcome is nominated.
PO19 The zone does not accommodate uses that attract high volumes of heavy vehicle movement or involving a twenty four (24) hour operation.	No acceptable outcome is nominated.
PO20 Medium impact industry uses only occur where they do not create greater impacts than a low impact industry.	No acceptable outcome is nominated.
PO21 Development involving existing industrial uses which are not low impact industries does not worsen impacts and maintains appropriate separation to sensitive uses.	No acceptable outcome is nominated.
Effects of development	
PO22 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that: (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s).	No acceptable outcome is nominated.
PO23 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.	No acceptable outcome is nominated.
Structure planning for urban development	
PO24 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares: (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area;	No acceptable outcome is nominated. Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.

Performance outcomes	Acceptable outcomes
(d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space.	
Where in the South Rockhampton precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
PO25 Where development involves the reuse of an existing historic building, the land use is compatible with the predominant land uses in the precinct.	No acceptable outcome is nominated.
PO26 The land is not further subdivided.	AO26.1 No new lots are created.
PO27 Residential or industrial uses (other than a warehouse, being self-storage units) are not newly established or intensified.	No acceptable outcome is nominated.

6.6.2 Medium impact industry zone code

6.6.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the medium impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.2.2 Purpose

- (1) The purpose of the medium impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for medium impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s); and
 - (b) provide for medium impact industry zoned land in a number of locations throughout the region including Parkhurst, Park Avenue, and the Gracemere industrial area.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates a wide range of industrial uses that are likely to have off-site impacts, including manufacturing, transport and the like and require larger sites located away from sensitive land use(s);
 - (b) existing industrial uses which are not low or medium impact industry in nature continue to operate and expand in accordance with industry changes and demands, provided that any material changes in the intensity or scale of these uses do not worsen impacts and maintain appropriate separation distances. Should these industries cease to operate, new uses develop in accordance with the purpose for the zone;
 - (c) the following uses are not located in the zone:
 - (i) high impact industries;
 - (ii) special industries; and
 - (iii) uses which are more appropriately located in centres including shops, stand-alone office, shopping centre, showrooms and retail hardware;
 - (d) sensitive land use(s) will not occur within the zone;
 - (e) in the Parkhurst and Park Avenue medium impact industry zoned areas, service industry and low impact industry may be located within 250 metres of a residential or emerging community zone or an existing sensitive land use within a zone other than industrial;
 - (f) a limited range of non-industry uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and includes:
 - (i) caretaker's accommodation and ancillary administration offices associated with industrial uses;
 - (ii) warehousing and retail associated with, but ancillary to industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone;
 - (iv) non-resident workforce accommodation only when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road;
 - (v) service station;
 - (vi) uses which would be incompatible in a centres zone as a result of the size or nature of goods sold or the fitting services provided (for example agricultural supplies store, and bulk landscape supplies); and
 - (vii) uses that share similar characteristics and external impacts with low or medium impact industry uses such as hours of operation or the nature of the use (for example indoor sport and recreation facilities);

- (g) the viability of existing and future medium impact industry uses is not affected by the intrusion of incompatible uses;
- (h) large land holdings are provided to accommodate for large land consumptive industries;
- (i) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
- (j) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
- (k) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity;
- (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
- (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
- (n) development is sited and designed to respond to natural landscape features and environmental constraints;
- (o) development is connected to all infrastructure services available in the area; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Gracemere saleyards precinct.

Gracemere saleyards precinct

- (3) The following overall outcomes of the Gracemere saleyards precinct are additional to the overall outcomes of the medium impact industry zone and take precedence in the event of a conflict:
 - (a) development comprises a mixture of uses and works that support the marketing, health, transport, holding and sale of livestock;
 - (b) land uses which have synergies with the existing livestock exchange facilities (such as agricultural research and technology development), agricultural transportation activities, agricultural education and training facilities, veterinary facilities, exhibition facilities and others are supported in the precinct;
 - (c) small scale, ancillary uses such as offices, convention and function rooms or food and drink outlets which support the primary use of the precinct are encouraged in appropriate locations;
 - (d) development which does not complement the ongoing operation and development of the precinct for livestock and agricultural based industry will not occur;
 - (e) development on land adjoining or highly visible from the Capricorn Highway maintains a high standard of appearance through appropriate location, design, building and structure finishes and landscaping; and
 - (f) development does not impact on the safe and efficient operation of the Capricorn Highway.

6.6.2.3 Specific benchmarks for assessment

Table 6.6.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.	AO1.1 The height of buildings and structures does not exceed thirteen (13) metres above ground level. AND

Performance outcomes	Acceptable outcomes
	<p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two (2) colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area. <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building is sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO4.1 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.
Amenity	
<p>PO5 Where located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, hours of operation or unsightly activities.</p>	<p>AO5.1 Development located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone; (b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential or sensitive land use;

Performance outcomes	Acceptable outcomes
	<p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use; and</p> <p>(d) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <p>(a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer;</p> <p>(b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer;</p> <p>(c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and</p> <p>(d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.</p>
<p>PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that screen the scale and bulk of industrial forms.</p>	<p>AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.</p>
Land use	
Ancillary sales	
<p>PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO8.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area except for an agricultural supplies store when located in the Gracemere saleyards precinct.</p>

Performance outcomes	Acceptable outcomes
Caretaker's accommodation	
<p>PO9 The development does not compromise the productivity of the use.</p>	<p>AO9.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home-based business	
<p>PO10 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO10.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO10.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO10.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO10.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO10.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO10.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO10.7 The home based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO10.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO10.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO11 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO12 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO12.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.3 Noise generating activities, access and driveways and outdoor activities are not located directly adjoining a residential zone</p>

Performance outcomes	Acceptable outcomes
	or sensitive land use and are restricted to between the hours of 07:00 and 19:00 Monday to Saturday.
<p>PO13 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO13.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO14 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO14.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO14.2 Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO14.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.6.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO15 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) the provision of a separate pedestrian entry to the site and main building 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>from any vehicular entry points and manoeuvring areas;</p> <p>(c) opportunities for passive surveillance and sightlines;</p> <p>(d) exterior building designs which promote safety;</p> <p>(e) adequate lighting;</p> <p>(f) appropriate directional mechanisms (for example signage);</p> <p>(g) no entrapment locations; and</p> <p>(h) building entrances, loading and storage areas being well lit and lockable after hours.</p>	
Land use	
<p>PO16 Direct sales to the public, not related to the industry conducted on site are limited to uses that provide direct service to industrial uses or people employed in the area, or are not compatible with the centre zones as a result of the size and nature of the goods sold or the fitting services provided. The scale of these uses does not compromise the role and function of existing or future planned centres.</p>	<p>AO16.1 Retail uses are limited to wholesale trade supplies to trade customer's only, agricultural supplies store and bulk landscape supplies.</p> <p>AND</p> <p>AO16.2 The use is not for the purposes of a shop, stand-alone office, shopping centre, showroom and retail hardware supplies (when not for wholesale to trade customers).</p> <p>AND</p> <p>AO16.3 Food and drink outlet is limited to 150 square metres gross floor area.</p>
<p>PO17 Non-resident workforce accommodation occurs when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO18 Non-industry uses do not reduce the functionality of industry uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO19 Development involving existing industrial uses which are not low or medium impact industries does not worsen impacts and maintains appropriate separation to sensitive uses.</p>	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO20 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any earthworks are minimised;</p> <p>(b) the retention of natural drainage lines is maximised;</p> <p>(c) the retention of existing vegetation is maximised;</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s).	
PO21 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
PO22 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.	No acceptable outcome is nominated.
Structure planning for urban development	
PO23 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares: (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space.	No acceptable outcome is nominated. Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.
Where in the Gracemere saleyards precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO24 Development facilitates livestock industry related functions and related animal care, research or educational activities.	No acceptable outcome is nominated.
PO25 Non-industrial activities support the primary use of the precinct, are small in scale and do not compromise the role and function of the centres hierarchy.	No acceptable outcome is nominated.
PO26	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Development is undertaken in a way that establishes a high standard of appearance from the Capricorn Highway.	
PO27 Development does not impact on the safety and operation of the Capricorn Highway.	No acceptable outcome is nominated.

6.6.3 High impact industry zone code

6.6.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the high impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.3.2 Purpose

- (1) The purpose of the high impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for high impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) provide for high impact industry zoned land in the Gracemere industrial area; and
 - (c) transition the Parkhurst high impact industrial zones (including precinct) to a medium impact industrial zone.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates a range of industrial uses that are likely to have a higher potential for off-site impacts and includes medium impact industry uses which are integral to the operation of the primary high impact industry within the high impact industry zone;
 - (b) uses which are more appropriately located in centres including shops, stand-alone offices, shopping centre, showrooms and retail hardware are not located in this zone;
 - (c) sensitive land use(s) will not occur within the zone;
 - (d) the zone does not accommodate uses which attract visitation by members of the public;
 - (e) a limited range of non-industrial uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and include:
 - (i) caretaker's accommodation and ancillary administration offices associated with industrial uses;
 - (ii) warehousing associated with industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone; and
 - (iv) uses that support the operation of industrial uses such as a service station;
 - (f) the viability of existing and future high impact industry uses is not affected by the intrusion of incompatible uses;
 - (g) large land holdings are provided to accommodate for large land consumptive industries;
 - (h) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
 - (i) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
 - (j) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity;
 - (k) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (l) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (m) development is sited and designed to respond to natural landscape features and environmental constraints;

- (n) development is connected to all infrastructure services available in the area; and
- (o) the establishment of two (2) precincts within the zone where particular requirements are identified:
 - (i) Lakes Creek precinct; and
 - (ii) Parkhurst precinct

Lakes Creek precinct

- (3) The following overall outcomes of the Lakes Creek precinct are additional to the overall outcomes of the high impact industry zone and take precedence in the event of a conflict:
 - (a) existing high impact industry uses continue to operate, however the further intensification of the existing high impact industry use will not occur unless it can be demonstrated that the extension will not worsen the amenity of existing or future residents in the area and appropriate separation is maintained. To minimise any potential impacts on nearby sensitive land use(s) (such as dwelling houses and residential zones), mitigation of noise, dust, light, odour and water quality must be achieved;
 - (b) offices are only established when ancillary to the primary use of the site; and
 - (c) no new high impact industrial land uses to be established within the precinct.

Parkhurst precinct

- (4) The following overall outcomes of the Parkhurst precinct are additional to the overall outcomes of the high impact industry zone and take precedence in the event of a conflict:
 - (a) existing high impact industry uses can continue to operate, however the further intensification of these uses or the establishment of a new high impact industry use is limited to the reuse of existing buildings;
 - (b) new development for a high impact industry use is only supported where it can be demonstrated that the development will not worsen the amenity of existing or future residents in the area and appropriate separation is maintained. The development must demonstrate how it will successfully mitigate potential impacts on sensitive land use(s), residential and emerging community zones to the north and eastern areas of the precinct, with respect to noise, dust, light, odour and water quality; and
 - (c) offices are only established when ancillary to the primary use of the site.

6.6.3.3 Specific benchmarks for assessment

Table 6.6.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.

Performance outcomes	Acceptable outcomes
<p>PO3 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO3.1 Where applicable, the ancillary office space and sales area of each building is sited on and orientated towards the primary street frontage.</p> <p>AND</p> <p>AO3.2 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.
Streetscape and landscaping	
<p>PO4 Development that has a common property boundary adjoining with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO4.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least six (6) metres in width (measured perpendicular to the property boundary), are provided along all common boundaries of the site including the primary street frontage (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
Land use	
Ancillary sales	
<p>PO5 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO5.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO5.2 The sales area does not exceed ten (10) per cent of total gross floor area.</p>
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>

Performance outcomes	Acceptable outcomes
Sales office	
<p>PO7 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO7.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO8 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO8.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p>
<p>PO9 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO9.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO10 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO10.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO10.2 Areas where potentially contaminating substances are stored or used, are:</p> <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded; and (b) located in an area free of the defined flood event. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO10.3 Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO10.4 All outdoor storage and other unsightly areas are visually screened from:</p> <p>(a) view from public places (including the street) and from land not within an industrial zone; and</p> <p>(b) public view by providing mature landscaping that has the same effect as a 1.8 metre high wall and has a width of six (6) metres where adjoining the primary street frontage.</p>

Table 6.6.3.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO11 Site layout facilitates the security of people and property having regard to:</p> <p>(a) visitor parking is located adjacent to the office component of the building;</p> <p>(b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas;</p> <p>(c) opportunities for passive surveillance and sightlines;</p> <p>(d) exterior building designs which promote safety;</p> <p>(e) adequate lighting;</p> <p>(f) appropriate directional mechanisms (for example signage);</p> <p>(g) no entrapment locations; and</p> <p>(h) building entrances, loading and storage areas being well lit and lockable after hours.</p>	No acceptable outcome is nominated.
Land Uses	
<p>PO12 Food and drink outlets are limited to uses that provide for the day to day needs of people employed in the area.</p>	<p>AO12.1 Food and drink outlet is limited to 150 square metres gross floor area.</p>
<p>PO13 Non-industry uses do not reduce the functionality of industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO14 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any earthworks are minimised;</p> <p>(b) the retention of natural drainage lines is maximised;</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s). 	
<p>PO15 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.</p>	No acceptable outcome is nominated.
<p>PO16 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.</p>	No acceptable outcome is nominated.
<p>PO17 Noxious and offensive odours are not experienced at the location of sensitive land use(s).</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—The Queensland Odour Impact Assessment from Developments Guideline provides a methodology for assessing odour impacts.</p>
<p>PO18 Off-site risks from foreseeable hazard scenarios involving hazardous chemicals are commensurate with the sensitivity of the surrounding land use zones.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Any using, storing or operating of hazardous materials must be in accordance with the State Planning Policy – Emissions and hazardous activities guideline.</p>
Structure planning for urban development	
<p>PO19 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; and (h) facilitates environmentally and climate responsive design. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>

Performance outcomes	Acceptable outcomes
Where located in the Lakes Creek precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO20 Industrial uses do not impact on the amenity of the nearby residential zone, rural residential zone or adjoining sensitive land uses(s) by way of noise, dust, lighting, hours of operation or unsightly activities.</p>	<p>AO20.1 AO20.1.1 No new high impact industries are established within the Lakes Creek precinct.</p> <p>OR</p> <p>AO20.1.2 Development associated with an existing high impact industry use, such as low impact industry, medium impact industry, warehouse or the like:</p> <p>(a) is carried out in an existing building currently or previously used for a high impact industry use; or</p> <p>(b) does not increase the gross floor area by greater than twenty-five (25) square metres.</p> <p>AND</p> <p>AO20.2</p> <p>For an expansion to an existing high impact use or new high impact industry use(s):</p> <p>(a) noise generating activities are orientated away from the adjoining sensitive land use(s) and future residential uses in Lakes Creek;</p> <p>(b) where sites have two (2) road frontages access is from the frontage furthest away from nearby sensitive land use(s);</p> <p>(c) Parking and outdoor storage areas are screened from residential zones;</p> <p>(d) A densely planted landscaped and screened buffer area at least eight (8) metres wide is provided along all boundaries of the site;</p> <p>(e) Buffers along boundaries consist of tall trees and shrubs, including a mix of fast growing pioneer species and mature stock of slower growing permanent species that will form a complete visual screen of a minimum of four (4) metres in height within three (3) years of planting;</p> <p>(f) Existing trees that already contribute to meeting these requirements are retained;</p> <p>(g) Outdoor activities are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and</p> <p>(h) Indoor activities occurring between the hours of 19:00 and 07:00 or on</p>

Performance outcomes	Acceptable outcomes
	<p>Sundays are limited to office and administrative tasks or tasks that are not audible or visible from outside the building.</p> <p>AND</p> <p>AO20.3 Buildings or other structures do not result in overshadowing of living room windows or private or communal open space of any residential premises for more than three (3) hours between the hours of 09:00 and 15:00 on 21 June, or for more than twenty (20) minutes than currently exists.</p> <p>AND</p> <p>AO20.4 Windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Where located in the Parkhurst precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
<p>PO21 Industrial uses do not impact on the amenity of the nearby residential zone, rural residential zone or existing sensitive land use(s) by way of noise, dust, lighting, hours of operation or unsightly activities.</p>	<p>AO21.1 For an existing high impact industry use, development:</p> <ul style="list-style-type: none"> (a) is carried out in an existing building currently or previously used for a high impact industry use; or (b) does not increase the gross floor area of the building by greater than twenty-five (25) square metres involving activities ancillary to the primary use of the premises. <p>OR</p> <p>AO21.2 For an expansion to an existing high impact use or new high impact industry use(s):</p> <ul style="list-style-type: none"> (a) noise generating activities are orientated away from the adjoining sensitive land use(s) and future residential uses in Parkhurst; (b) where sites have two (2) road frontages access is from the frontage furthest away from nearby sensitive land use(s); (c) parking and outdoor storage areas are screened from residential zones; (d) a densely planted landscaped and screened buffer area at least eight (8)

Performance outcomes	Acceptable outcomes
	<p>metres wide is provided along all boundaries of the site;</p> <p>(e) buffers along boundaries consist of tall trees and shrubs, including a mix of fast growing pioneer species and mature stock of slower growing permanent species that will form a complete visual screen of a minimum of four (4) metres in height within three (3) years of planting;</p> <p>(f) existing trees that already contribute to meeting these requirements are retained;</p> <p>(g) outdoor activities are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and</p> <p>(h) Indoor activities occurring between the hours of 19:00 and 07:00 or on Sundays are limited to office and administrative tasks or tasks that are not audible or visible from outside the building.</p>

6.6.4 Special industry zone code

6.6.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the special industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.4.2 Purpose

- (1) The purpose of the special industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for special industry is provided at Bajool (Bajool explosive reserve) and Stanwell (Stanwell power station) and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) ensure that land zoned for special industry is not developed for industrial uses that should be located in other zones; and
 - (c) ensure special industries are protected from encroachment by sensitive land use(s).
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates industrial uses that will have off-site impacts, primarily being special industry;
 - (b) high, medium and low impact industry and warehouse uses are located in the zone only where these uses:
 - (i) are either:
 - (A) an integral part of the operation of the special industry use within the special industry zone; or
 - (B) provide a direct service to the special industry uses in the zone;
 - (ii) are not detrimentally affected by the special industry uses in the area;
 - (iii) do not compromise the operations of special industry uses; and
 - (iv) do not compromise the availability of land allocated for special industry;
 - (c) sensitive land use(s) are not located within the zone;
 - (d) the viability of existing and future special industry uses is not affected by the intrusion of incompatible uses;
development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment and sensitive uses;
 - (e) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
 - (f) development on land adjacent to or highly visible from state controlled roads provides for dense, vegetated screening;
 - (g) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (h) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (i) development is sited and designed to respond to natural landscape features and environmental constraints; and
 - (j) development is connected to all infrastructure services available in the area.

6.6.4.3 Specific benchmarks for assessment

Table 6.6.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back a minimum of twenty (20) metres from all road frontages.</p>
<p>PO3 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements. All storage areas are screened from the streetscape.</p>	<p>AO3.1 Where applicable, the ancillary office space and sales area of each building is sited on and orientated towards the primary street frontage.</p> <p>AND</p> <p>AO3.2 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection. <p>AND</p> <p>AO3.3 All outdoor storage and other unsightly areas are visually screened from:</p> <ul style="list-style-type: none"> (a) view from public places (including the street) and from land not within an industrial zone; and (b) public view by providing mature landscaping that has the same effect as a 1.8 metre high wall and has a width of six (6) metres where adjoining the primary street frontage.
Streetscape and landscaping	
<p>PO4 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p> <p>Editor's note—Any landscaping works within ten (10) metres of a state controlled road should be in</p>	<p>AO4.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least six (6) metres in width (measured perpendicular to the property boundary), are provided along all common boundaries of the site including the primary street frontage (except where a driveway exists or is proposed) and consists of:</p>

Performance outcomes	Acceptable outcomes
accordance with the Department of Transport and Main Roads' Road Landscape Manual.	<ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
Land use	
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.

Table 6.6.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO6 Site layout facilitates the security of people and property having regard to: <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	No acceptable outcome is nominated.
Effects of development	
PO7 Development prevents or minimises the generation of any noise, dust and odour so that: <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides</p>	AO7.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i> , as updated from time to time. AND AO7.2 Development achieves the air quality design objectives set out in the <i>Environmental</i>

Performance outcomes	Acceptable outcomes
guidance on assessing the impacts from industrial uses on sensitive land use(s).	<i>Protection (Air) Policy 2019</i> , as updated from time to time.
<p>PO8 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO8.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO9 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape.</p>	<p>AO9.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO9.2 Roof water is piped away from areas of potential contamination.</p>
<p>PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s). 	No acceptable outcome is nominated.
<p>PO11 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.</p>	No acceptable outcome is nominated.
<p>PO12 Development is designed and managed so that it provides appropriate protection for</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
community safety and health, and avoids unacceptable risk to life and property.	
<p>PO13 Noxious and offensive odours are not experienced at the location of sensitive land use(s).</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—The Queensland Odour Impact Assessment from Developments Guideline provides a methodology for assessing odour impacts.</p>
<p>PO14 Off-site risks from foreseeable hazard scenarios involving hazardous chemicals are commensurate with the sensitivity of the surrounding land use zones.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Any using, storing or operating of hazardous materials must be in accordance with the State Planning Policy – emissions and hazardous activities guideline.</p>
Structure planning for urban development	
<p>PO15 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code.</p>

6.6.5 Waterfront and marine industry zone code

6.6.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the waterfront and marine industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.5.2 Purpose

- (1) The purpose of the waterfront and marine industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for waterfront and marine industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s); and
 - (b) provide for waterfront and marine industry land on the Fitzroy River in Rockhampton to service the region's population.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone primarily accommodates waterfront uses;
 - (b) the following uses are not located in the zone:
 - (i) high impact industry;
 - (ii) special industry; and
 - (iii) uses which are more appropriately located in centres including stand-alone offices, shopping centre, showrooms and hardware and trade supplies;
 - (c) sensitive land use(s) will not occur within the zone;
 - (d) a limited range of non-marine industrial uses that are ancillary to and support waterfront uses are located in the zone. These include:
 - (i) caretaker's accommodation and administration offices for an industrial use; and
 - (ii) small-scale retail uses directly associated with boating activities (for example, bait and tackle shop, food and drink outlet associated with boat usage);
 - (e) the viability of existing and future waterfront uses is not affected by the intrusion of incompatible uses;
 - (f) industrial uses do not adversely impact on the quality of water in the Fitzroy River;
 - (g) development is visually screened from the Rockhampton-Emu Park Road;
 - (h) development does not compromise the function or safety of Rockhampton-Emu Park Road or the Rockhampton-Yeppoon railway line;
 - (i) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
 - (j) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping and other means;
 - (k) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity, particularly when viewed from the water;
 - (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (n) development is sited and designed to respond to natural landscape features and environmental constraints;
 - (o) development is connected to all infrastructure services available in the area; and

- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Fitzroy River industry precinct.

Fitzroy River industry precinct

- (3) The following overall outcomes of the Fitzroy River industry precinct are additional to those of the Waterfront and marine industry zone and take precedence in the event of a conflict:
 - (a) the precinct supports the reuse of existing building(s) for marine industry uses such as boat storage, minor servicing and hiring, and service industry;
 - (b) the following uses are supported within the precinct:
 - (i) outdoor sales where involving the sale and hire of waterfront and marine related equipment such as boats, boating trailers, GPS equipment, and fishing equipment;
 - (ii) uses that benefit from a waterfront location including shops (for example bait and tackle shop), community uses and boating facilities (for example boating clubs, pontoons, wharves);
 - (iii) outdoor sport and recreation uses that have an affiliation with the Fitzroy River; and
 - (iv) Home based business.
 - (c) noise generating uses are designed, sited and constructed to minimise the transmission of noise to appropriate levels and do not cause environmental harm or nuisance.

6.6.5.3 Specific benchmarks for assessment

Table 6.6.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed thirteen (13) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or

Performance outcomes	Acceptable outcomes
	<p>(b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or</p> <p>(c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.</p> <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales area of each building is sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO4.1 Pedestrian entries:</p> <p>(a) are visible from the street and visitor car parking areas; and</p> <p>(b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.</p>
Amenity	
<p>PO5 Where located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, hours of operation or unsightly activities.</p>	<p>AO5.1 Development located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <p>(a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone;</p> <p>(b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use;</p> <p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use;</p> <p>(d) vehicles with a load greater than four (4) tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday;</p> <p>(e) noise generating activities, access and driveways and outdoor activities are not located directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 hours and 19:00 hours Monday to Saturday; and</p>

Performance outcomes	Acceptable outcomes
	(f) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of development along any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
<p>PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that complement the scale and bulk of industrial forms.</p>	<p>AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.</p>
Land use	
Ancillary sales	
<p>PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO8.1 Direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area.</p>
Caretaker's accommodation	
PO9	AO9.1

Performance outcomes	Acceptable outcomes
The development does not compromise the productivity of the use.	No more than one (1) caretaker's accommodation is established on the site.
Sales office	
<p>PO10 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO10.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO11 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <p>(a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and</p> <p>(b) desired ambient noise levels in residential zones are not exceeded.</p> <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO11.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO11.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p>
<p>PO12 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO12.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO13 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p> <p>Editor's note—Any landscaping works within ten (10) metres of a state controlled road should be in accordance with the Department of Transport and Main Roads' Road Landscape Manual.</p>	<p>AO13.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <p>(a) being wholly enclosed in storage bins; or</p> <p>(b) a watering program so material can not become airborne.</p> <p>AND</p> <p>AO13.2 Roof water is piped away from areas of potential contamination.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO13.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>Where in the Fitzroy River industry precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence</p>	
<p>PO14 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO14.1 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO14.2 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO14.3 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO14.4 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p>
<p>PO15 Non-industrial uses are directly associated with waterfront and boating activities, are small in scale and do not compromise the role and function of existing or future planned centres.</p>	<p>AO15.1 Food and drink outlets and shop(s) are limited to 150 square metres gross floor area.</p> <p>AND</p> <p>AO15.2 Retail uses primarily sell goods associated with boating activities.</p> <p>AND</p> <p>AO15.3 Outdoor sales or other outdoor activities are limited to 200 square metres total use area, and are directly associated with waterfront and marine related activities.</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat</p>

Performance outcomes	Acceptable outcomes
	seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.

Table 6.6.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO16 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	No acceptable outcome is nominated.
Land Uses	
<p>PO17 Food and drink outlets are limited to uses that provide for the day to day needs of people employed in the area.</p>	No acceptable outcome is nominated.
<p>PO18 Non-industry uses do not reduce the functionality of industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO19 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses such that:</p> <ul style="list-style-type: none"> (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s). 	No acceptable outcome is nominated.
<p>PO20 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.</p>	No acceptable outcome is nominated.
Where in the Fitzroy River industry precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence	

Performance outcomes	Acceptable outcomes
PO21 Development is not a stand-alone office, shopping centre, showroom or hardware and trade supplies.	No acceptable outcome is nominated.

[Intentionally blank]

6.7 Other zones Category

6.7.1 Community facilities zone code

6.7.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the community facilities zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.1.2 Purpose

- (1) The purpose of the community facilities zone code is to:
 - (a) provide for priority development areas regulated by planning instruments other than the planning scheme including the Central Queensland University (CQU) Rockhampton development scheme;
 - (b) provide for a range of community activities, equally distributed throughout urban and rural areas that are easily accessible by all members of the community;
 - (c) facilitate collocation of community and recreation uses to strengthen their community focus;
 - (d) integrate community related activities with the amenity and characteristics of the surrounding area.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development in the zone includes predominantly community related uses;
 - (b) a limited range of recreation uses, club, food and drink outlet, market and residential uses occur where they:
 - (i) are small in scale;
 - (ii) are ancillary to a community related activity on the site;
 - (iii) are compatible with and support the development of the zone for community related activities; and
 - (iv) do not undermine the role and function of centres;
 - (c) development ensures that community related activities remain the dominant use and continue to effectively meet the community needs;
 - (d) the built form and site layout integrates with the surrounding areas unless separation is required for operational or safety requirements;
 - (e) development minimises the impacts of noise, odour, lighting, overlooking and traffic on nearby sensitive land use(s);
 - (f) development is located and designed to respond to local heritage features, natural landscape features and environmental constraints;
 - (g) development is easily accessible to residents (including older, less mobile people and people with disabilities) served by the facility and is well located in relation to public and active transport networks;
 - (h) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (i) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Rockhampton health services precinct.

Rockhampton health services precinct

- (3) The following overall outcomes of the Rockhampton health services precinct are additional to those of the community facilities zone and take precedence in the event of a conflict:
 - (a) hospitals and associated health services are the predominant use in the precinct;
 - (b) development is integrated and connected to form a coherent health precinct with internal pedestrian circulation and landscaping;
 - (c) large-scale hospitals and health services are consolidated within the precinct;
 - (d) development comprises of a high quality building design, construction and landscaping;

- (e) development provides adequate on-site parking and access facilities and minimises traffic impacts on surrounding residential areas and streets, particularly on North Street and Canning Street;
- (f) land uses such as shops or offices develop where they:
 - (i) are small in scale and provide a convenience function for the precinct;
 - (ii) are ancillary to hospitals and health services;
 - (iii) are compatible with and support the development of the precinct for hospitals and health services; and
 - (iv) do not undermine the role and function of centres;
- (g) residential uses:
 - (i) provide accommodation predominantly for patients, family and staff; and
 - (ii) are compatible with and support the development of the precinct for hospitals and health services;
- (h) development minimises amenity impacts on surrounding residential areas;
- (i) development does not impact on the operational airspace of the Rockhampton Airport; and
- (j) streetscaping provides for safe and comfortable pedestrian circulation within and around the precinct.

6.7.1.3 Specific benchmarks for assessment

Table 6.7.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent. <p>Note—Building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.

Performance outcomes	Acceptable outcomes
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby sensitive land use(s) are minimised.</p>	<p>AO4.1 A 1.8 metre high solid screen fence is provided along all boundaries shared with a sensitive land use.</p> <p>AND</p> <p>AO4.2 A landscaped buffer with a minimum width of three (3) metres and consisting of dense screen planting is provided along all boundaries shared with a sensitive land use.</p> <p>AND</p> <p>AO4.3 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO4.4 New building plant or air-conditioning equipment is located within, underneath or central to the building and screened from view of the street and any adjoining residential zone.</p>
Streetscape and landscaping	
<p>PO5 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance the appearance of the development; (b) screen components of development from adjoining sensitive land use(s) and from the street; and (c) allow shading for pedestrian comfort. 	<p>AO5.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO5.2 Where buildings are set back from the street, a landscape planting bed with a minimum width of one (1) metre is provided</p>

Performance outcomes	Acceptable outcomes
	along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).
Where in the Rockhampton health services precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO6 Development is of a height and scale that: <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; (c) minimises overshadowing and overlooking of residential areas; and (d) avoids impacts on the operational airspace of the Rockhampton Airport. 	AO6.1 The height of buildings and structures within the Rockhampton health services precinct does not exceed three (3) storeys and twelve (12) metres above ground level. <p>AND</p> AO6.2 Site cover does not exceed sixty (60) per cent of the total site area.
Note—Building heights on the airport obstacle limitation surface OM-2A prevail over building heights detailed in the zone codes.	
Land use	
Caretaker's accommodation	
PO7 The development does not compromise the productivity of the use.	AO7.1 No more than one (1) caretaker's accommodation is established on the site.
Effects of development	
PO8 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.	AO8.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO10 Outdoor storage areas are screened from the streetscape and adjoining residential zones.	AO10.1 Outdoor storage areas are: <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.7.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO11 The design of buildings and their surrounds: <ul style="list-style-type: none"> (a) are appropriate to their context; (b) fit responsively into the streetscape or setting; (c) are designed to accommodate local climatic conditions; and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(d) create an engaging, high quality built environment.	
PO12 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.	No acceptable outcome is nominated.
PO13 Building design includes: (a) vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (c) at least three (3) variations in textures, materials and colours.	No acceptable outcome is nominated.
PO14 Buildings which are located in prominent positions such as corner sites or with frontages to public spaces: (a) are designed to express or emphasise the importance of their location through excellent architectural design; (b) where adjacent to a public place, the building's main entrance addresses the public place; and (c) where on corner sites, the building provides active frontages to both street frontages and the main entrance addresses the principal street or the street corner.	No acceptable outcome is nominated.
PO15 Development is located and designed to respond to local heritage features, natural landscape features and environmental constraints.	No acceptable outcome is nominated.
PO16 Development is easily accessible to residents served by the facility and is well located in relation to public and active transport networks.	No acceptable outcome is nominated.
Land use	
General	
PO17 Community and associated activities are located in a manner that meets the operational needs of the use and ensures accessibility to all members of the public.	No acceptable outcome is nominated.
PO18 Existing and planned community facilities and associated activities are protected from incompatible uses.	No acceptable outcome is nominated.
PO19 Development occurs which:	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(a) supports the collocation of community and associated activities; and (b) complements or is subordinate to community related activities.	
Market	
PO20 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.	AO20.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.
PO21 The development is temporary in nature having regard to length of time and operation of the use.	AO21.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Streetscape and landscaping	
PO22 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.	AO22.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.
Where in the Rockhampton health services precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
PO23 Where development is for shop, food and drink outlet, club, or office: (a) the use is ancillary to the primary use of the precinct for hospital or health care services; (b) it is designed and sited in a manner that is compatible with and supports the development of the precinct; (c) it is limited to 250 square metres gross floor area; and (d) it does not detract from the role and function of centres.	No acceptable outcome is nominated.
PO24 Development primarily consists of community related activities at ground level and residential uses above ground floor level.	No acceptable outcome is nominated.
PO25 Residential uses provide accommodation for patients, family and staff; and is designed to be compatible with nearby non-residential development.	No acceptable outcome is nominated.
PO26 Residential uses are provided with privacy and private outdoor living space.	AO26.1 Dwellings are provided with private open space or a balcony which: (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and

Performance outcomes	Acceptable outcomes
	(d) does not accommodate air conditioning units.

6.7.2 Emerging community zone code

6.7.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the emerging community zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.2.2 Purpose

- (1) The purpose of the emerging community zone is to:
 - (a) provide for new, planned communities that:
 - (i) are developed in an orderly and sequenced way;
 - (ii) are provided with the necessary infrastructure and services in a timely and efficient manner;
 - (iii) have an integrated and compact urban form resulting in safe, attractive and walkable communities;
 - (iv) provide for a wide choice of housing and accessible community services to cater for whole-of-life housing needs; and
 - (v) avoid areas that are unsuitable for urban development because of natural hazards or natural scenic, or cultural features; and
 - (b) provide for small-scale and low intensity rural uses in the interim, which will not compromise the development of land for future urban purposes.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) land within the zone is conserved for development post 2031, primarily for urban residential and supporting community, recreation and centre uses;
 - (b) structure planning of areas within the zone is undertaken in advance of development of the land for urban purposes;
 - (c) interim uses which do not detract from the primary purpose of the zone, may be appropriate in the zone and include:
 - (i) rural uses of a non-intensive nature;
 - (ii) home based business including bed and breakfast; and
 - (iii) bulk landscape supplies store, garden centres and wholesale nurseries;
 - (d) any development that may compromise the future development of urban land uses for the purposes of residential and community related activities does not occur in this zone;
 - (e) structure planning of new urban development within the zone is undertaken in advance of proposals to develop land;
 - (f) new urban development provides for a range of housing types and achieves a minimum dwelling yield of fifteen (15) dwellings per hectare (net developable area);
 - (g) new proposed centres within greenfield areas (including Gracemere and Parkhurst) are not intended to accommodate full-line supermarkets;
 - (h) with the exception of a neighbourhood centre at south Gracemere, no other neighbourhood or local centres are required within greenfield areas;
 - (i) land is developed in a logical pattern that facilitates the efficient provision of infrastructure;
 - (j) a high level of integration with existing and future urban development is achieved having regard to movement networks (pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use), open space and recreational facilities, centres and community infrastructure;
 - (k) movement networks are established to promote active transport (walking and cycling) and public transport;
 - (l) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses or major community facilities without separation distances, buffering, landscaping and screening that minimises a loss of amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;

- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation, public and active transport use), local heritage features, natural landscape features and environmental constraints (including but not limited to topography, bushfire and flooding); and
- (n) development is serviced by infrastructure that is commensurate with the needs of the use.

6.7.2.3 Specific benchmarks for assessment

Table 6.7.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes								
Where involving a new building or expansion to an existing building									
Built form									
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent. <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>								
Land use									
Dwelling house or dwelling unit									
<p>PO2 Development does not compromise the continued operation of an intensive animal industry, extractive industry, or a similar potential use on neighbouring rural land.</p>	<p>AO2.1 Development:</p> <ul style="list-style-type: none"> (a) is set back a minimum of six (6) metres from side and rear lot boundaries; and (b) is separated from an existing or approved: <ul style="list-style-type: none"> (i) intensive animal industry by a minimum of 1,000 metres; and (ii) extractive industry operation as follows: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #cccccc;">Operation</th> <th style="background-color: #cccccc;">Separation distance</th> </tr> </thead> <tbody> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated haul route</td> <td>100 metres</td> </tr> </tbody> </table> <p>AND</p> <p>AO2.2 Where a secondary dwelling is proposed, that dwelling:</p>	Operation	Separation distance	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated haul route	100 metres
Operation	Separation distance								
A hard rock extractive industry	500 metres								
A sand and gravel extractive industry	200 metres								
A designated haul route	100 metres								

Performance outcomes	Acceptable outcomes
	(a) is contained within the same lot; and (b) is no more than eighty (80) square metres gross floor area.
Caretaker's accommodation	
PO3 The development does not compromise the productivity of the use.	AO3.1 No more than one (1) caretaker's accommodation is established on the site.
Home based business	
PO4 Development for a home based business is operated, designed and sited in a manner that: <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	AO4.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation). <p>AND</p> AO4.2 The home based business is carried out within an existing building or structure. <p>AND</p> AO4.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday, and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). <p>AND</p> AO4.4 The home based business involves a minimum of one (1) resident of the dwelling. <p>AND</p> AO4.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business. <p>AND</p> AO4.6 The home based business contains visitor parking within the site. <p>AND</p> AO4.7 The home based business for bed and breakfast accommodation: <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO4.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO4.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO4.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Sales office	
<p>PO5 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO5.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO6 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO6.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>

6.7.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO7 The appearance and siting of buildings, other structures, car parking areas and signage is compatible with the character and amenity of area.</p> <p>Editor's note—The character and amenity of the zone will transition over time from rural to urban.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
Land use	
<p>PO8 Until land is developed for urban development, the zone primarily accommodates a limited range of rural uses and other uses that do not prejudice the long-term urban development potential of the land such as intensive rural or industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO9 Effective separation distances are provided to minimise conflicts between sensitive land use(s) and other uses having regard to vibration, odour, light, dust, spray drift and noise emissions. No intensive rural uses are supported in this zone.</p> <p>Editor's note— Where potential conflicts between agricultural and sensitive land use(s) may occur, applicants should refer to State Planning Policy Guideline – State interest – Agriculture.</p>	No acceptable outcome is nominated.
<p>PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) adequate buffering, screening or separation to adjoining development is provided. 	No acceptable outcome is nominated.
<p>PO11 Non-residential development maintains a high level of amenity for the surrounding area, having regard to noise, odour, lighting, access, privacy and outlook.</p>	<p>AO11.1 Non-residential development, where adjoining a sensitive land use or residential zone:</p> <ul style="list-style-type: none"> (a) locates car parking, service and waste storage areas a minimum of four (4) metres from a common boundary; and (b) locates waste and refuse storage areas behind the main face of a building and the storage areas are screened by a 1.8 metre high solid screened fence. <p>AND</p> <p>AO11.2</p>

Performance outcomes	Acceptable outcomes
	Non-residential development, where adjoining a sensitive land use or residential zone, ensures new building plant or air-conditioning equipment is located within, underneath or central to the building and is screened from view of the street and adjoining residential properties.
<p>PO12 Development is set back from boundaries to:</p> <ul style="list-style-type: none"> (a) avoid potential nuisance to neighbours; (b) protect residential amenity from odour; and (c) maintain the local streetscape or landscape character. 	<p>AO12.1 Non-residential buildings, animal enclosures, chemical spraying, storage facilities and waste disposal areas are set back in accordance with the following:</p> <ul style="list-style-type: none"> (a) from a dwelling on adjoining land in the rural zone — fifty (50) metres; and (b) from adjoining land included in the low density residential, low-medium density residential, township or rural residential zones — 100 metres. <p>AND</p> <p>AO12.2 Development is set back:</p> <ul style="list-style-type: none"> (a) fifty (50) metres from state controlled roads; (b) twenty (20) metres from all other roads; and (c) six (6) metres from any other boundary.
Structure planning for urban development	
<p>PO13 New development within greenfield areas for urban purposes on lots greater than five (5) hectares does not occur prior to 2026. When it occurs, development:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code.</p> <p>Editor's note—A concept diagram and requirements for new urban development has been identified in Figure 6.7.2.3.2a.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space. 	

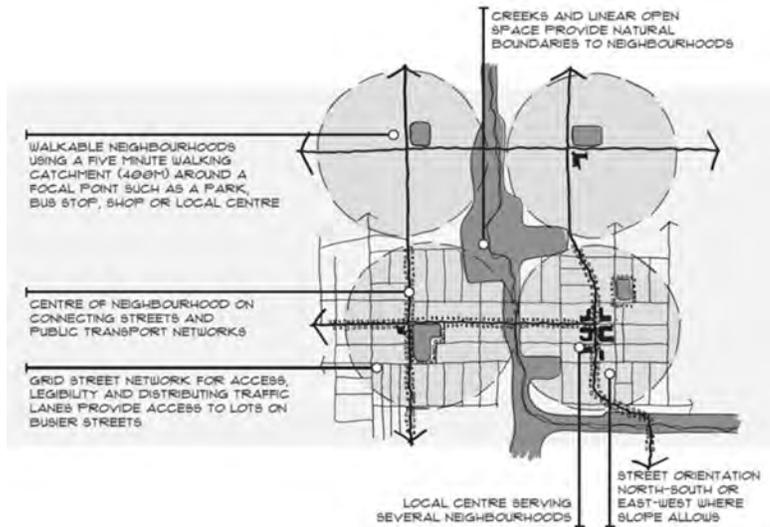


Figure 6.7.2.3.2a — Concept diagram for a new urban development

6.7.3 Limited development (constrained land) zone code

6.7.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the limited development (constrained land) zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.3.2 Purpose

- (1) The purpose of the limited development (constrained land) zone code is to:
 - (a) ensure that areas of historic subdivision (historic township or historic small lot rural subdivision located at Egan's Hill and along the Fitzroy River) without urban services or basic community facilities are not used for urban purposes;
 - (b) provide for the development of a limited range of uses where the uses do not require access to an urban standard of infrastructure and where the intensity and type of use will not be affected by the constraints of the land;
 - (c) minimise land use conflict and ensure that development is consistent with the amenity and characteristics of the surrounding area; and
 - (d) manage the intensity and type of development at the Mount Morgan mine site, due to significant constraints, man-made hazards and a lack of suitable infrastructure.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development within areas of historic subdivision (historic township or historic small lot rural subdivision) is limited to small-scale rural uses and outdoor sport and recreation, and is not for residential uses;
 - (b) development does not compromise the operational, functional and location needs of surrounding land use or adversely affect the local character of the surrounding area;
 - (c) development is sited and designed to reflect and respond to local natural landscape features and constraints on the land;
 - (d) development is serviced by infrastructure that is commensurate with the needs of the use;
 - (e) no further subdivision of land to create new lots occurs; and
 - (f) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Mount Morgan mine precinct.

Mount Morgan mine precinct

- (3) The following overall outcome of the Mount Morgan mine precinct is additional to those of the limited development (constrained land) zone and takes precedence in the event of a conflict:
 - (a) development within the Mount Morgan mine precinct area is limited to mining activities or tourist related activities and facilities associated with former mining activities; and
 - (b) development addresses natural and environmental constraints, environmental nuisances and impacts on the surrounding community including scenic amenity.

6.7.3.3 Specific benchmarks for assessment

Table 6.7.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level excluding silos, windmills and similar structures ancillary to rural uses.</p>
General	
<p>PO2 Development that does not involve rural uses:</p> <ul style="list-style-type: none"> (a) is located on the least productive parts of a site and not on land identified on the agricultural land classification (ALC) overlay map OM-13; (b) does not restrict the ongoing safe and efficient use of nearby rural uses; and (c) is adequately separated or buffered where it is likely to be sensitive to the operational characteristics associated with rural uses, rural industries or extractive industries. <p>Editor's note—Agricultural land classified as Class A or Class B is shown on the agricultural land classification overlay map OM-13.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State interest – Agriculture.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO3 The areas of historic subdivision maintain a rural character with land holdings being used for rural land uses.</p>	<p>No acceptable outcome is nominated.</p>
Land use	
<p>PO4 The development:</p> <ul style="list-style-type: none"> (a) does not require urban services or basic community facilities; (b) intensity and type of use will not be affected by the constraints of the land; and (c) does not involve residential uses (including a single dwelling house). 	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO5 Development does not unduly impact on the existing amenity and character of the locality, having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(b) visibility from roads and other public view points, screening vegetation and landscaping; (c) the natural landform and avoidance of visual scarring; and (d) noise, odour and other emissions.	
PO6 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that: (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering, screening or separation to adjoining development.	No acceptable outcome is nominated.
PO7 All land uses are located, designed, orientated and constructed to: (a) minimise noise, light, dust, odour or other nuisance from existing lawful uses, including rural and industrial uses; and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state controlled road and rail network in the vicinity of land in the rural zone.	No acceptable outcome is nominated.
Parking, access and transport	
PO8 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO9 The land is not further subdivided.	AO9.1 No new lots are created.
Where in the Mount Morgan mine precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO10 Development within the Mount Morgan mine precinct will provide for a limited range of mining activities or tourist related activities provided that the following is addressed: (a) that natural and environmental constraints posed by the site can be mitigated; (b) environmental nuisances (such as noise, light, dust and the like) are contained onsite; and	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) impacts on the surrounding community, scenic amenity and the environment are properly managed.	

6.7.4 Rural zone code

6.7.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the rural zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.4.2 Purpose

- (1) The purposes of the rural zone code is to:
 - (a) ensure that land with productive capacity is maintained for a range of existing and emerging rural uses that are significant to the economy of the planning scheme area;
 - (b) recognise that different types of rural land are suited to specific uses such as animal industries, horticulture, cropping, intensive animal industries, intensive grazing and extractive industries;
 - (c) prevent the establishment of development which may limit the productive capacity of the land;
 - (d) provide for diversification of rural industries where impacts can be managed; and
 - (e) maintain the environmental values of all rural land.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development in the zone accommodates predominantly rural uses;
 - (b) development:
 - (i) does not detract from the scenic landscape features of rural land including the Fitzroy River, floodplains, lagoons, wetlands, salt pans, mountains and ridges and the coastline;
 - (ii) is responsive to the environmental characteristics and constraints of the land, and minimises impacts on natural features such as waterways, wetlands and remnant vegetation;
 - (iii) has legal and practical access to the road hierarchy;
 - (iv) is serviced by infrastructure that is commensurate with the needs of the use; and
 - (v) maximises energy efficiency and water conservation;
 - (c) non-rural uses may be appropriate where they do not detract from the productivity or residential amenity of rural areas and can demonstrate:
 - (i) a direct relationship with the rural use in the immediate locality; or
 - (ii) the potential to make a contribution to primary production or the diversification of rural industries; or
 - (iii) a need to be remote from urban uses as a result of their impacts; or
 - (iv) they cannot be located in an urban area (for example, due to land area requirements);
 - (d) transport and freight uses, which do not meet the definition of a home based business, are not established in the rural zone;
 - (e) development does not alienate or impact on the productive agricultural capacity of rural areas and agricultural land is protected from incompatible development;

Editor's note—Agricultural land classified as Class A or Class B is identified on the agricultural land classification overlay map OM-13.

- (f) all rural land is maintained in large land holdings to protect the agricultural production capacity. In this regard, the reconfiguration of land only occurs when lot size is 100 hectares unless otherwise stated in a precinct;
- (g) animal keeping (being kennels and catteries), intensive animal industries, intensive horticulture, aquaculture and rural industries establish where they:
 - (i) are located on sites that are large enough to accommodate appropriate buffering to sensitive land use(s), residential, township and emerging community zones. Intensive animal industries are preferred in proximity to the lower Fitzroy River, west of Ridgeland;

- (ii) do not cause adverse impacts on sensitive land use(s) in relation to traffic, noise and air quality;
 - (iii) do not cause a negative impact on water quality;
 - (iv) protect natural, scenic and environmental values;
 - (v) do not diminish the productive capacity of other land nearby;
 - (vi) gain access from roads which are constructed to accommodate the traffic generated by the use; and
 - (vii) are not located in areas identified on the Agricultural Land Classification (ALC) overlay maps (except for intensive horticulture);
- (h) Rural workers' accommodation is appropriate where:
- (i) directly associated with the primary rural use undertaken at the site;
 - (ii) compatible with the rural character of the zone;
 - (iii) not compromising the existing or potential future operation of rural uses on adjoining lots; and
 - (iv) not located in areas identified on the Agricultural Land Classification (ALC) overlay maps;
- (i) urban and rural residential development is contained within the designated growth areas and does not expand into the rural zone;
- (j) sensitive land use(s) are adequately separated from animal keeping (being kennels and catteries), intensive animal industry, aquaculture, rural industry, and industrial zoned areas (including the Gracemere industrial area, Stanwell power station, Bajool explosives reserve and Bouldercombe brickworks);
- (k) renewable energy facilities are located on sites that are large enough to accommodate appropriate buffering from sensitive land use(s) and minimise adverse impacts on the natural environment;
- (l) extractive industries (including Marmor limeworks) on rural land are protected from encroachment by incompatible uses;
- (m) extractive industry minimises environmental and traffic impacts. Once the operation has ceased the site is rehabilitated;
- (n) aquaculture activities may be integrated with horticulture operations, where benefits of diversification are evident and there are no adverse impacts on amenity, ecological values and existing fish habitats; and
- (o) the establishment of two (2) precincts within the zone where particular requirements are identified:
- (i) Alton Downs precinct; and
 - (ii) Cropping and intensive horticulture precinct.

Alton Downs precinct

- (3) The following overall outcomes of the Alton Downs precinct are additional to those of the rural zone and takes precedence in the event of a conflict:
- (a) rural land in this precinct includes smaller lots used for primarily residential purposes;
 - (b) residential uses are established where the amenity and safety of residents can be maintained;
 - (c) residential uses are provided with adequate water supply and sewage treatment and disposal; and
 - (d) reconfiguration of a lot only occurs if it results in new rural lots that:
 - (i) have developable areas that are not subject to natural hazards and constraints;
 - (ii) have a minimum lot size of eight (8) hectares; and
 - (iii) must have access to a sealed road where sequential connection or integration with an existing sealed road can be achieved.

Cropping and intensive horticulture precinct

- (4) The following overall outcomes of the cropping and intensive horticulture precinct are additional to those of the rural zone and take precedence in the event of a conflict:
- (a) the productive capacity of this land is maximised and development is primarily for or associated with rural uses such as animal husbandry, animal keeping, cropping or intensive horticulture;
 - (b) permanent plantations do not occur within the precinct; and

- (c) reconfiguration of a lot only occurs if it results in new rural lots that:
 - (i) reflect the ability to operate viable rural enterprises on smaller rural lots; and
 - (ii) have a minimum area of forty (40) hectares.

6.7.4.3 Specific benchmarks for assessment

Table 6.7.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes										
Where involving a new building or expansion to an existing building											
Built form											
<p>PO1 Development does not adversely impact on the rural character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level, excluding silos, windmills and similar structures ancillary to rural uses.</p> <p>Note—Building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p>										
Land use											
Aquaculture											
<p>PO2 Aquaculture that is low impact in nature is located and designed on sites of sufficient size and dimension, to minimise adverse impacts on the amenity, water quality and ecological values.</p>	<p>AO2.1 Aquaculture activities using ponds or tanks that are less than or equal to ten (10) hectares in total water surface area are carried out in accordance with the Department of Agriculture, Fisheries and Forestry Code for accepted development requirements for material change of use that is aquaculture as updated from time to time.</p>										
Dwelling house or dwelling unit											
<p>PO3 Development does not compromise the continued operation of an intensive animal industry, extractive industry, or a similar potential use on neighbouring rural land.</p>	<p>AO3.1 Development:</p> <ul style="list-style-type: none"> (a) is set back a minimum of twenty (20) metres from all site boundaries; and (b) is separated from an existing or approved: <ul style="list-style-type: none"> (i) intensive animal industry by a minimum of 1,000 metres; and (ii) extractive industry operation as follows: <table border="1" style="margin-left: 20px;"> <thead> <tr> <th style="background-color: #ccc;">Operation</th> <th style="background-color: #ccc;">Separation distance</th> </tr> </thead> <tbody> <tr> <td>Extractive industry operation involving blasting</td> <td>1,000 metres</td> </tr> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated haul route</td> <td>100 metres</td> </tr> </tbody> </table> <p>AND</p> <p>AO3.2</p>	Operation	Separation distance	Extractive industry operation involving blasting	1,000 metres	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated haul route	100 metres
Operation	Separation distance										
Extractive industry operation involving blasting	1,000 metres										
A hard rock extractive industry	500 metres										
A sand and gravel extractive industry	200 metres										
A designated haul route	100 metres										

Performance outcomes	Acceptable outcomes
	Where a secondary dwelling is proposed, that dwelling: <ul style="list-style-type: none"> (a) is contained within the same lot; and (b) is no more than eighty (80) square metres gross floor area.
PO4 Dwellings have adequate access to services to ensure the safety and well-being of residents and the water supply is adequate for the current and future needs of the development.	AO4.1 A dwelling <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.
PO6 A caretaker's accommodation has adequate access to services to ensure the safety and well-being of residents and the water supply is adequate for the current and future needs of the development.	AO6.1 A caretaker's accommodation: <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Home based business	
PO7 Development for a home based business is operated, designed and sited in a manner that: <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; (b) is integrated with the primary use of the site for a dwelling house; (c) does not adversely affect the safety and private recreation needs of adjoining premises; (d) does not adversely affect the streetscape and street function; and (e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	AO7.1 The home based business has a maximum gross floor area of 100 square metres. <p>AND</p> AO7.2 The home based business is carried out within an existing building or structure. <p>Note—This does not include the parking of vehicles.</p> <p>AND</p> AO7.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). <p>AND</p> AO7.4

Performance outcomes	Acceptable outcomes
	<p>The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO7.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO7.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO7.7 The home based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights. <p>AND</p> <p>AO7.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO7.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO7.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO7.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Additional outcomes for home based business involving heavy vehicles	
<p>PO8 Development does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AO8.1 A maximum of two (2) heavy vehicles and two (2) heavy trailers are stored on site at any one time.</p> <p>AND</p> <p>AO8.2 Heavy vehicles and heavy trailers: (a) are not started or manoeuvred on site between the hours of 22:00 and 06:00, or left running unattended for any period up to five (5) minutes; (b) if used for the transport of cattle or waste disposal, are stored a minimum of 100 metres away from an adjoining dwelling; and (c) do not have a refrigeration unit running while on-site if within 100 metres of a sensitive land use on an adjoining lot.</p> <p>AND</p> <p>AO8.3 The business does not include the loading or unloading of vehicles or storage of goods.</p> <p>AND</p> <p>AO8.4 The site has direct access to a minor urban collector road or higher order road, but not to a state controlled road.</p> <p>AND</p> <p>AO8.5 Heavy vehicles are stored onsite and located a minimum distance of: (a) twenty (20) metres from the frontage; and (b) fifteen (15) metres from side and rear boundaries.</p> <p>AND</p> <p>AO8.6</p>

Performance outcomes	Acceptable outcomes
	Only minor maintenance is carried out on the property and does not involve major body work and mechanical repairs.
Roadside stall	
<p>PO9 A roadside stall:</p> <ul style="list-style-type: none"> (a) does not impact on the amenity of adjoining land uses and the surrounding area; (b) does not adversely affect the safety and efficiency of the road network; (c) is ancillary to the farming use conducted on the same site; and (d) sells only fresh produce grown locally. 	<p>AO9.1 Any structure used for a roadside stall:</p> <ul style="list-style-type: none"> (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres. <p>AND</p> <p>AO9.2 Site access, car parking and storage areas:</p> <ul style="list-style-type: none"> (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access. <p>AND</p> <p>AO9.3 The roadside stall is associated with a rural use conducted on the same site.</p>
Rural workers' accommodation	
<p>PO10 The amenity of the rural workers' accommodation is not adversely impacted upon and appropriately separated from intensive rural and industrial uses.</p>	<p>AO10.1 On-site cabins or dwellings housing workers are sited no closer than 250 metres to intensive rural uses and industrial uses.</p>
<p>PO11 The rural workers' accommodation has adequate access to services to ensure the safety and well-being of occupants and the water supply is adequate for the current and future needs of the development.</p>	<p>AO11.1 Rural workers' accommodation:</p> <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Effects of development	
<p>PO12 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO12.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>Where in the Alton Downs precinct Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	

Performance outcomes	Acceptable outcomes
<p>PO13 Residential uses are sufficiently separated from road frontages in order to protect the amenity of residents and to ensure the character of the area is maintained.</p>	<p>AO13.1 A dwelling house is setback a minimum of six (6) metres from front boundaries.</p> <p>Note—There is no specific setback to any other boundary.</p>

Table 6.7.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
General	
<p>PO14 Development that does not involve rural uses:</p> <ul style="list-style-type: none"> (a) is located on the least productive parts of a site and not on land identified on the agricultural land classification (ALC) overlay maps; (b) does not restrict the ongoing safe and efficient use of nearby rural uses; and (c) is adequately separated or buffered where it is likely to be sensitive to the operational characteristics associated with rural uses, rural industries or extractive industries. <p>Editor's note—Agricultural land classified as Class A or Class B is shown on the agricultural land classification overlay map OM-13.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State Interest – Agriculture.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO15 Uses that require isolation from urban areas are accommodated only where:</p> <ul style="list-style-type: none"> (a) they cannot be more appropriately located in an industrial or other relevant zone; (b) they can be adequately separated from sensitive land use(s) (whether or not in the rural zone); and (c) potential impacts can be appropriately managed. <p>Editor's note—Applicants seeking approval for intensive animal industries are to refer to State Planning Policy Guideline – State Interest – Agriculture and consult with the relevant State government department prior to the lodgement of a development application. Council may require a study that, amongst other matters, identifies how the development is in accordance with Environmental Protection (Air) Policy 2019 or Environmental Protection (Noise) Policy 2019.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO16 Ecological values, habitat corridors and soil and water quality are protected, having regard to:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes						
<p>(a) maximisation of vegetation retention and protection of vegetation from the impacts of development;</p> <p>(b) avoidance of potential for erosion and minimisation of earthworks;</p> <p>(c) retention and protection of natural drainage lines and hydrological regimes; and</p> <p>(d) avoidance of leeching by nutrients, pesticides or other contaminants, or potential for salinity.</p>							
Land use							
Animal keeping – kennels or catteries							
<p>PO17 Animal keeping (being kennels or catteries) is sited, constructed and managed such that:</p> <p>(a) animals are securely housed;</p> <p>(b) the use does not create a nuisance beyond the site boundaries; and</p> <p>(c) the use does not create adverse environmental impacts.</p>	<p>AO17.1 Animal keeping (being kennels or catteries) is located on a site having a minimum site area of three (3) hectares.</p> <p>AND</p> <p>AO17.2 Animal enclosures are set back a minimum of 250 metres from any sensitive land use.</p> <p>AND</p> <p>AO17.3 Buildings used for animal keeping are:</p> <p>(a) constructed with impervious reinforced concrete floors; and</p> <p>(b) gravity drained to the effluent collection/treatment point.</p> <p>AND</p> <p>AO17.4 Animals are kept in fenced enclosures that are located inside buildings at all times between the hours of 18:00 and 07:00.</p> <p>AND</p> <p>AO17.5 A person who is responsible for the supervision of the operation of the development is accommodated on the premises at all times.</p> <p>AND</p> <p>AO17.6 Animal enclosures are set back to roads, streets and water resources as follows:</p> <table border="1" data-bbox="824 1734 1317 1904"> <thead> <tr> <th data-bbox="824 1734 1068 1764">Location</th> <th data-bbox="1070 1734 1317 1764">Setback</th> </tr> </thead> <tbody> <tr> <td data-bbox="824 1766 1068 1795">Road frontages</td> <td data-bbox="1070 1766 1317 1795">50 metres</td> </tr> <tr> <td data-bbox="824 1797 1068 1904">Top bank of creek, river, stream, wetland, edge of well, bore, dam,</td> <td data-bbox="1070 1797 1317 1904">100 metres</td> </tr> </tbody> </table>	Location	Setback	Road frontages	50 metres	Top bank of creek, river, stream, wetland, edge of well, bore, dam,	100 metres
Location	Setback						
Road frontages	50 metres						
Top bank of creek, river, stream, wetland, edge of well, bore, dam,	100 metres						

Performance outcomes	Acceptable outcomes	
	weir, intake or the like which provides potable water supply to the site or surrounds	
	Top bank of dry or perennial gully	30 metres
Aquaculture		
<p>PO18 Aquaculture is located and designed on sites of sufficient size and dimension, to minimise adverse impacts on the amenity, water quality, ecological values and existing fish habitats.</p>	<p>AO18.1 Aquaculture activities using ponds or tanks that are greater than ten (10) hectares in total water surface area are carried out in accordance with State Planning Policy Guideline – State Interest – Agriculture Part D 4. Model land use code provisions for aquaculture, as updated from time to time.</p>	
Bulk landscaping supplies, rural industry or wholesale nursery		
<p>PO19 Development is located on sites:</p> <ul style="list-style-type: none"> (a) of sufficient size, to minimise adverse impacts on the amenity of adjoining land, in particular noise, odour, light and dust emissions; (b) where the operation is within the safe and effective design capacity of the road system; and (c) where the operation does not impact upon water quality. 	<p>AO19.1 A minimum site area of two (2) hectares is required with at least fifteen (15) metre setback from any adjoining premises.</p> <p>AND</p> <p>AO19.2 Sales, storage, handling, packaging and production areas are set back a minimum of:</p> <ul style="list-style-type: none"> (a) 100 metres from any dwelling on surrounding land; (b) fifty (50) metres from state controlled roads and twenty (20) metres from all other roads; and (c) thirty (30) metres from top bank of creek, river, stream or wetland edge of well, bore, dam, weir, or intake that provides potable water. <p>AND</p> <p>AO19.3 Infrastructure and material storage areas are confined to free draining areas and sites on slopes not exceeding ten (10) per cent.</p> <p>AND</p> <p>AO19.4 There is direct access to a minor urban collector or higher order road.</p>	
Intensive animal industry		
<p>PO20 Intensive animal industry uses are sited, constructed and managed such that:</p> <ul style="list-style-type: none"> (a) animals are securely housed; 	No acceptable outcome is nominated.	

Performance outcomes	Acceptable outcomes
<p>(b) the use does not create a nuisance on adjoining sensitive land uses;</p> <p>(c) buildings used for intensive animal industry are constructed with floors, that are gravity drained to the effluent collection/treatment point;</p> <p>(d) animal proof fencing or other appropriate barrier feature is provided of an appropriate height within the site to prevent the escape of animals; and</p> <p>(e) a person who is responsible for the supervision of the operation of the development is accommodated on the premises at all times.</p> <p>Editor's note—Applicants seeking approval for intensive animal industries are to refer to State Planning Policy Guideline – State Interest – Agriculture and consult with the relevant State government department prior to the lodgement of a development application. Council may require a study that, amongst other matters, identifies how the development is in accordance with Environmental Protection (Air) Policy 2019 or Environmental Protection (Noise) Policy 2019.</p>	
<p>PO21 Intensive animal industry does not detract from the amenity of a nearby sensitive land use and community related activities and are not visible from any road or other public view point.</p>	No acceptable outcome is nominated.
<p>PO22 Intensive animal industry is not located within: (a) a declared catchment area; or (b) a declared groundwater area.</p>	No acceptable outcome is nominated.
<p>PO23 Intensive animal industry has suitable access to road or rail infrastructure via a sealed road to an access point with a state controlled road.</p>	No acceptable outcome is nominated.
Intensive horticulture	
<p>PO24 The region's water quality is protected from the inflow of waste water or run-off from intensive horticulture activities. Waste water or run-off from intensive horticulture: (a) is contained and treated so that nutrients and sediments can be removed from the water; (b) where possible, treated water is re-used; and (c) waste water is only disposed of when acceptable nutrient levels are achieved.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State Interest – Agriculture.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Editor's note—The <i>Environmental Protection (Water and Wetland Biodiversity) Policy 2019</i> applies to intensive horticultural uses.</p>	
<p>PO25 Intensive horticulture activities are not located within: (a) a declared catchment area; or (b) a declared groundwater area.</p>	<p>No acceptable outcome is nominated.</p>
Outdoor sport and recreation or community use	
<p>PO26 Development is provided primarily to service the needs of the surrounding rural area or is inappropriate in urban areas (as a result of amenity impacts or land area requirements). The development is located and designed to: (a) minimise adverse impacts on the agricultural productive capacity of the site and the locality; (b) minimise impacts on the amenity of the locality, in particular noise (including limiting the hours of operation), odour, light and dust emissions; and (c) operate within the safe and effective design capacity of the region's road system.</p>	<p>No acceptable outcome is nominated.</p>
Renewable energy facility — wind farms	
<p>PO27 Wind farms are located, designed and operated to minimise impacts on the environment and residential amenity, having regard to such matters as shadow flicker, noise (including low frequency noise), avifauna, separation from dwellings and site boundaries and scenic amenity.</p>	<p>No acceptable outcome is nominated.</p>
Rural workers' accommodation, farm stay and tourism uses	
<p>PO28 Tourism, short-term accommodation (farm stay) and rural workers' accommodation uses are: (a) associated with and compatible with rural production, natural resources and scenic landscape features in the immediate vicinity; and (b) not located in areas identified on the Agricultural Land Classification (ALC) overlay maps.</p>	<p>No acceptable outcome is nominated.</p>
Transport and freight uses	
<p>PO29 Transport and freight uses, which do not meet the definition of a home based business involving (heavy vehicles), are not established in the rural zone.</p>	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO30 Effective separation distances are provided to minimise conflicts with sensitive land use(s).</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>Editor's note—Where potential conflicts between agricultural and residential land uses may occur, applicants should refer to State Planning Policy Guideline – State Interest – Agriculture. Applicants should consult with the relevant State government department prior to the lodgement of a development application.</p>	
<p>PO31 Development does not unduly impact on the existing amenity and character of the locality having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; (b) visibility of buildings and structures when viewed from roads and other public view points; and (c) any heritage places. 	No acceptable outcome is nominated.
<p>PO32 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) leeching by nutrients, pesticides or other contaminants, or potential for salinity is minimised; (f) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (g) there is adequate buffering, screening or separation to adjoining development. 	No acceptable outcome is nominated.
<p>PO33 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO34 The further subdivision of land is limited to reflect the suitability of the land for primarily grazing purposes and to protect water quality, environmental and landscape values.</p>	<p>AO34.1 Unless otherwise stated in a precinct the minimum lot size is 100 hectares.</p>
Where in the Alton Downs precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO35 Development:</p> <ul style="list-style-type: none"> (a) is compatible with the residential amenity of the area and avoids impacts on surrounding dwellings; and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(b) has adequate water supply and sewerage treatment and disposal.	
<p>PO36 The subdivision of land reflects the desired character of the area being smaller rural lots for primarily residential purposes.</p>	<p>AO36.1 The minimum lot size in the precinct is eight (8) hectares.</p> <p>AND</p> <p>AO36.2 Newly created lots must have access to a sealed road where sequential connection or integration with an existing sealed road can be achieved.</p>
<p>Where in the cropping and intensive horticulture precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO37 Rural industries are established only where associated with rural production in the immediate vicinity.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO38 The subdivision of land is limited to protect the ongoing viability and productivity of existing and potential cropping and horticulture uses.</p>	<p>AO38.1 The minimum lot size in the precinct is forty (40) hectares.</p>

6.7.5 Rural residential zone code

6.7.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the rural residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.5.2 Purpose

- (1) The purpose of the rural residential zone code is to:
 - (a) recognise existing rural residential zoned areas;
 - (b) prevent the establishment of new rural residential areas, but facilitate subdivision within existing zoned areas;
 - (c) prevent the establishment of development which may limit the productive capacity of adjoining rural land.
- (2) The purposes of the zone will be achieved through the following outcomes:
 - (a) the zone provides for predominantly dwelling houses on large lots with ancillary small-scale uses, that do not compromise the residential amenity of the area, such as animal keeping, cropping and home based businesses ;
 - (b) roadside stalls and other sales of produce grown on the site are of a limited scale that is consistent with the rural residential lifestyle;
 - (c) non-residential uses occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres or the operation of rural uses in the vicinity; and
 - (v) do not result in the expansion of a centre zone;
 - (d) transport and freight uses, which do not meet the definition of a home based business, are not established in the rural residential zone;
 - (e) rural residential development:
 - (i) does not occur beyond those areas zoned for this purpose;
 - (ii) is buffered by appropriate setbacks and landscaping from rural land and incompatible land uses, so that amenity impacts from spray drift, noise and odour are avoided;
 - (iii) enhances and responds to environmental features and topographical features of the site, including creeks, gullies, waterways, wetlands and vegetation and bushland;
 - (iv) does not adversely impact the safety and efficiency of the road network;
 - (v) maximises energy efficiency, water conservation and sustainable energy technologies; and
 - (vi) is serviced by infrastructure that is commensurate with the needs of the use;
 - (f) new subdivisions within rural residential areas must be serviced to an urban standard (including telecommunications, electricity, constructed roads and stormwater drainage); and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Baree and Walterhall precinct.

Baree and Walterhall precinct

- (3) The following overall outcomes of the Baree and Walterhall precinct are additional to those of the rural residential zone and takes precedence in the event of a conflict:

- (a) rural residential development in the Baree and Walterhall precinct will be required to be on lots of 4,000 square metres or greater to provide for adequate water and sewer services onsite; and
- (b) reconfiguration of a lot only occurs if it results in new rural residential development that:
 - (i) has useable areas within the lot that are not subject to natural hazards and development constraints; and
 - (ii) have a minimum lot area of 4,000 square metres to appropriately accommodate on-site water collection and sewerage treatment.

6.7.5.3 Specific benchmarks for assessment

Table 6.7.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale, height and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent. <p>AND</p> <p>AO1.2 Site cover does not exceed forty (40) per cent of the total site area.</p>
Land use	
Animal keeping or cropping	
<p>PO2 Development involving animal keeping or cropping does not detract from the residential amenity onsite and within proximity to the site. Setbacks are provided to:</p> <ul style="list-style-type: none"> (a) avoid potential nuisance to neighbours; (b) protect residential amenity; and (c) maintain the character of the rural residential area. 	<p>AO2.1 Non-residential buildings, animal enclosures, chemical spraying, storage facilities and waste disposal areas are set back from sensitive land use(s) (including within the site and the adjoining site) a minimum of fifty (50) metres.</p>
Caretaker's accommodation	
<p>PO3 The development does not compromise the productivity of the use.</p>	<p>AO3.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home based business	
<p>PO4 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; 	<p>AO4.1 The home based business has a maximum gross floor area of 100 square metres (except for a bed and breakfast accommodation or home based child care).</p>

Performance outcomes	Acceptable outcomes
<p>(b) is integrated with the primary use of the site for a dwelling house;</p> <p>(c) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(d) does not adversely affect the streetscape and street function; and</p> <p>(e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AND</p> <p>AO4.2 The home based business is carried out within an existing building or structure.</p> <p>Note—This does not include the parking of vehicles.</p> <p>AND</p> <p>AO4.3 Hours of operation are between the hours of 07:00 to 19:00 Monday to Saturday and 08:00 to 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO4.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO4.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO4.6 The home based business contains visitor parking within the site</p> <p>AND</p> <p>AO4.7 The home based business where for bed and breakfast accommodation:</p> <p>(a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and</p> <p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO4.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO4.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO4.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 20019</i>, as updated from time to time.</p>
Additional outcomes for home based business involving heavy vehicles	
<p>PO5 Development does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AO5.1 A maximum of two (2) heavy vehicles and two (2) heavy trailers are stored on site at any one time.</p> <p>AND</p> <p>AO5.2 Heavy vehicles and heavy trailers:</p> <ul style="list-style-type: none"> (a) each heavy vehicle or heavy trailer does not exceed a gross vehicle mass of more than 4.5 tonnes; (b) are not started or manoeuvred on site between the hours of 22:00 and 06:00 or left running unattended for any period up to five (5) minutes; (c) if used for the transport of cattle or waste disposal, are stored a minimum of 100 metres away from an adjoining dwelling; and (d) do not have a refrigeration unit running while on-site. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO5.3 The business does not include the loading or unloading of vehicles or storage of goods.</p> <p>AND</p> <p>AO5.4 The site has direct access to a minor urban collector road or higher order road, but not to a state controlled road.</p> <p>AND</p> <p>AO5.5 Heavy vehicles are stored onsite and located a minimum distance of:</p> <ul style="list-style-type: none"> (a) twenty (20) metres from the frontage; and (b) fifteen (15) metres from side and rear boundaries. <p>AND</p> <p>AO5.6 Only minor maintenance is carried out on the property and does not involve major body work and mechanical repairs.</p>
Roadside stall	
<p>PO6 A roadside stall:</p> <ul style="list-style-type: none"> (a) does not impact on the amenity of adjoining land uses and the surrounding area; (b) does not adversely affect the safety and efficiency of the road network; (c) is ancillary to the farming use conducted on the same site; and (d) sells only fresh produce grown locally. 	<p>AO6.1 Any structure used for a roadside stall:</p> <ul style="list-style-type: none"> (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres. <p>AND</p> <p>AO6.2 Site access, car parking and storage areas:</p> <ul style="list-style-type: none"> (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access. <p>AND</p> <p>AO6.3 The roadside stall is associated with a rural use conducted on the same site.</p>
Sales office	
PO7	AO7.1

Performance outcomes	Acceptable outcomes
The development for a sales office is temporary in nature having regard to length of time and operation of the use.	Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.
Effects of development	
PO8 Outdoor storage areas are screened from the streetscape and adjoining zones.	AO8.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in compliance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.

Table 6.7.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO10 The appearance and siting of buildings, structures, car parking areas and signage is compatible with the character and scenic landscape features of the area.	No acceptable outcome is nominated.
Land use	
Non-residential development	
PO11 Non-residential development may locate in the rural residential zone when the use can demonstrate the following: (a) it does not compromise the role and function of existing centres; (b) it does not compromise the rural residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour; (c) not more appropriately located in another zone; (d) is small in scale; and (e) is consistent with the surrounding built form and streetscape. Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
Effects of development	
PO12 Sensitive land use(s) and rural residential subdivisions are set back and buffered from	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>adjoining rural uses, on-site rural operations and industrial zoned areas.</p> <p>Editor's note—Where potential conflicts between agricultural and sensitive land use(s) may occur, applicants should refer to State Planning Policy Guideline – State Interest – Agriculture.</p>	
<p>PO13 Development does not unduly impact on the existing amenity and character of the locality having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; and (b) visibility of buildings and structures when viewed from roads and other public view points. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) leeching by nutrients, pesticides or other contaminants, or potential for salinity is minimised; (f) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (g) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>
Where located in the Baree and Walterhall precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO15 Development for a caretaker's accommodation, dwelling house, dwelling unit or sales office only occurs within the Baree and Walterhall precinct where:</p> <ul style="list-style-type: none"> (a) provision of water supply and sewerage disposal can be provided on the site; (b) development is not adversely impacted upon by incompatible land uses; (c) development maintains the character and amenity of the rural residential area; and (d) located on a lot with a minimum lot size of 4,000 square metres. <p>Note—Where a conflict exists with the Water and sewer code the precinct based outcomes take precedence.</p>	<p>No acceptable outcome is nominated.</p>

6.7.6 Special purpose zone code

6.7.6.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the special purpose zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.6.2 Purpose

- (1) The purpose of the special purpose zone code is to:
 - (a) protect important special purpose sites from the establishment of inappropriate land uses;
 - (b) minimise land use conflict and ensure that development does not adversely affect the amenity and characteristics of the surrounding area; and
 - (c) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following outcomes:
 - (a) land uses which are ancillary to the main land use of the site (such as caretaker's accommodation) are compatible with and support the development of the primary land use;
 - (b) development will not affect the ongoing operation of existing special purpose facilities or impact upon new facilities;
 - (c) development has a scale that reflects the operational, functional and location needs of the use without undermining the role and function of centres;
 - (d) development does not impact upon the character and amenity of the surrounding area;
 - (e) development is located and designed to respond to local heritage features, natural landscape features and environmental constraints;
 - (f) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (g) the establishment of two (2) precincts within the zone where particular requirements are identified:
 - (i) Depot Hill rail precinct; and
 - (ii) Rockhampton Airport precinct.

Depot Hill rail precinct

- (3) The following overall outcomes of the Depot hill rail precinct are additional to those of the special purpose zone, and take precedence in the event of a conflict:
 - (a) the precinct functions as the principal location for railway workshops and supporting facilities including warehousing and low impact industry uses;
 - (b) transportation related services including passenger terminals, depots and utility installations are supported provided that the use does not impact upon the surrounding residential amenity;
 - (c) Residential uses (except for a caretaker's accommodation), medium impact industry, high impact industry, special industry and community related activities are not intended to be located in this precinct;
 - (d) commercial and retail uses are not supported in this precinct. This includes office activities (such as the expansion of the existing administrative offices onsite), which are preferred in the principal centre – core precinct;
 - (e) heavy vehicle traffic (including the haulage of cargo and shipping containers) are not to access streets within the principal centre – core or Quay Street precincts and directed around the principal centre, via Stanley Street and Gladstone Road;
 - (f) buildings with cultural heritage value (such as the round shed which houses the train turn around) are to be integrated with new development; and
 - (g) subdivision of land and the establishment of new streets within the precinct are to continue the traditional grid pattern that links with the surrounding street network.

Rockhampton Airport precinct

- (4) The following overall outcomes of the Rockhampton Airport precinct are additional to those of the special purpose zone, and take precedence in the event of a conflict:
- (a) the precinct functions as the principal location for the development of air services, including:
 - (i) housing, servicing, maintenance and repair of aircraft;
 - (ii) landing and departure of aircraft;
 - (iii) assembly and dispersal of passengers and goods on or from aircraft;
 - (iv) ancillary activities serving the needs of workers, passengers and visitors to an airport, such as shopping, food and drink outlets or tourism services; and
 - (v) associated training, education and aviation facilities;
 - (b) development does not detract from the role and viability of centres including specialised centres;
 - (c) development that does not compromise and is ancillary to air services operations and logistic military activities is supported in the precinct;
 - (d) development does not worsen the impacts of flooding on the airport runway, existing development in the precinct and adjoining residential areas;
 - (e) development is designed and located to have minimal impact on natural features of adjacent waterways and lagoons; and
 - (f) the precinct contains the following sub-precincts:
 - (i) airport sub-precinct;
 - (ii) airport terminal sub-precinct;
 - (iii) business services sub-precinct; and
 - (iv) airport expansion sub-precinct.

Airport sub-precinct

- (5) The following overall outcomes of the airport sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) development accommodates those activities necessarily requiring immediate or close airside access, have a direct nexus with the safe, orderly and efficient movement of passengers and freight, or are directly related and necessary to airport operations including:
 - (i) passenger terminals;
 - (ii) freight handling and movement, ground support equipment (GSE) storage;
 - (iii) general aviation;
 - (iv) regional and recreational air activities (including for example Royal Flying Doctor Service, charter operators, flying clubs);
 - (v) fuel storage;
 - (vi) emergency services;
 - (vii) military operations;
 - (viii) air/flight training, schools or educational facilities (flight schools);
 - (ix) hangars and storage;
 - (x) car parking and car storage; and
 - (xi) any facilities necessary for the safe operation of the airport;
 - (b) development primarily supporting the movement of aircraft and includes runways, aircraft aprons, taxiways, parking aprons, public safety area (PSA), runway end safety areas (ESA) and facilities for the safe operation of the airport, including aircraft control towers, communications and navigational aids.

Airport terminal sub-precinct

- (6) The following overall outcomes of the airport terminal sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and take precedence in the event of a conflict:
- (a) development is strategically located close to the terminal and provides an opportunity for business diversification that will complement the airport's operations;

- (b) commercial and retail uses that support the travelling/commuter passenger (especially those connected to the mining resource and energy sectors) and military personnel in transit are accommodated subject to compliance with design requirements;
- (c) passenger terminal and supporting activities including:
 - (i) office development that provides for small tenancies and/or shared administrative functions (including meeting rooms and hot desks) not exceeding a total floor area of 250 square metres;
 - (ii) small-scale, primarily convenience, shops and food and drink outlets where servicing the needs of workers, employees and visitors; and
 - (iii) interim uses including car parking, storage or car rental; and
- (d) short-term accommodation to support the needs of tourists and fly in fly out workers servicing the mining sector.

Business services sub-precinct

- (7) The following overall outcomes of the business services sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) provide for airport ancillary businesses including car storage, parking and rental operations and further related business diversification;
 - (b) development includes airport related activities which would benefit from location on the main access road (Hunter Street) to the airport (for example, a service station);
 - (c) development comprises intensification of the St Aubin’s Historic Village as a tourist attraction and nursery with tearooms, gift shop and blacksmith and guesthouse accommodation;
 - (d) development related to the St Aubin’s Historic Village is consistent in scale and complements the character of the existing development and heritage features of the site;
 - (e) short-term accommodation to support the needs of tourists and fly in fly out workers servicing the mining sector;
 - (f) longer term vehicle storage, service station, warehouse/storage activities and transport depot to service the needs of the airport; and
 - (g) industrial uses such as service industry which are ancillary to the operation of the airport and are separated from short-term accommodation uses.

Airport expansion sub-precinct

- (8) The following overall outcome of the airport expansion sub-precinct is additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) land is available for the future expansion of the airport ancillary businesses including car storage, parking and rental operations and further related business diversification.

6.7.6.3 Specific benchmarks for assessment

Table 6.7.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; (c) minimises overshadowing and overlooking of residential areas; and 	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and

Performance outcomes	Acceptable outcomes
(d) avoids impacts on the operational airspace of the Rockhampton Airport.	<p>(b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent.</p> <p>Note—Within the Rockhampton Airport precinct and sub-precincts, building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed sixty (60) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <p>(a) within twenty (20) per cent of the average front setback of adjoining buildings; or</p> <p>(b) where there are no adjoining buildings a minimum of six (6) metres.</p>
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <p>(a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or</p> <p>(b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area. ; or</p> <p>(c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.</p> <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building are sited on and oriented towards the primary street frontage.</p>
<p>Where located in the Depot Hill precinct</p> <p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO4 Where adjoining land in a residential zone or within proximity of an existing sensitive land use not located within an industrial or special purpose zone, development does not create adverse impacts by way of noise, light, dust, odour, hours of operation or unsightly activities.</p>	<p>AO4.1 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial or special purpose zone is to ensure that the following is complied with:</p> <p>(a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any</p>

Performance outcomes	Acceptable outcomes
	<p>boundary adjoining a residential zone;</p> <p>(b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use;</p> <p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use;</p> <p>(d) vehicles with a load greater than 4.5 tonne tare in weight do not exit or enter via an urban access;</p> <p>Editor's note— Urban access is shown on the road hierarchy overlay map.</p> <p>(e) vehicles with a load greater than 4.5 tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday;</p> <p>(f) noise generating activities, access, driveways and outdoor activities are not directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 to 19:00 Monday to Saturday; and</p> <p>(g) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Where located in the airport terminal sub-precinct	
<p>Note—Where acceptable outcomes in this section vary from this code, the sub-precinct based acceptable outcomes take precedence.</p>	
<p>PO5 Development is of a height and scale that:</p> <p>(a) complements the scale of the locality;</p> <p>(b) maintains residential amenity in adjoining residential zones;</p> <p>(c) minimises overshadowing and overlooking of residential areas; and</p> <p>(d) avoids impacts on the operational airspace of the Rockhampton Airport.</p>	<p>AO5.1 The height of buildings and structures within the airport terminal sub-precinct does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO5.2 Site cover does not exceed sixty (60) per cent of the total site area.</p> <p>Note—Within the Rockhampton Airport precinct and sub-precincts, building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p>
Streetscape and landscaping	
<p>PO6 Landscaping and streetscaping is provided to:</p> <p>(a) enhance public streets and spaces;</p>	<p>AO6.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p>

Performance outcomes	Acceptable outcomes
<p>(b) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>(c) enhance the appearance of the development;</p> <p>(d) screen components of development from adjoining sensitive land use(s) and from the street; and</p> <p>(e) allow shading for pedestrian comfort.</p>	<p>AND</p> <p>AO6.2 Where buildings are set back from the street, a landscape planting bed with a minimum length of one (1) metre is provided along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p> <p>AO6.3 For non-residential uses a two (2) metre wide vegetated buffer is provided to any vehicle movement and parking areas that adjoin a sensitive land use.</p> <p>AND</p> <p>AO6.4 For non-residential uses a 1.8 metres high solid screen fence is provided along side and rear property boundaries.</p> <p>AND</p> <p>AO6.5 Windows that have direct views into adjoining residential buildings in residential zones are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Land use	
Caretaker's accommodation	
<p>PO7 The development does not compromise the productivity of the use.</p>	<p>AO7.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Effects of development	
<p>PO8 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO8.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category</p>

Performance outcomes	Acceptable outcomes
	V) Lighting – Performance and Installation Design Requirements, as updated from time to time.
<p>PO9 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO9.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO9.2 Roof water is piped away from areas of potential contamination.</p> <p>AO9.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence. (d)

Table 6.7.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO10 Buildings which are located in prominent positions such as corner sites or with frontages to public spaces are designed to express or emphasise the importance of their location.</p>	<p>AO10.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO10.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner.</p>
<p>PO11 The design of new buildings:</p> <ul style="list-style-type: none"> (a) has vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) has a roof form that creates visual interest, is not flat and can conceal plant equipment; (c) fits responsively into the streetscape; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(d) accommodates local climatic conditions; (e) creates an engaging, high quality built environment; and (f) provide a continuous pedestrian friendly facade at a human scale.	
PO12 Development avoids the creation of 'heat islands' such as large expanses of roofing and parking areas.	AO12.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.
PO13 Development facilitates the security of people and property having regard to: <ul style="list-style-type: none"> (a) opportunities for passive surveillance and sightlines; (b) exterior building design that promotes safety; (c) adequate lighting; (d) appropriate way finding mechanisms; (e) minimisation of entrapment locations; and (f) building entrances, loading and storage areas that are well lit and lockable after hours. 	No acceptable outcome is nominated. Editor's note—Applicants should have regard to Crime Prevention Through Environmental Design Guidelines for Queensland.
Effects of development	
PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that: <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	No acceptable outcome is nominated.
PO15 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.	No acceptable outcome is nominated.
PO16 Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the centre, having regard to: <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; 	No acceptable outcomes are nominated.

Performance outcomes	Acceptable outcomes
(d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook.	
Streetscape and landscaping	
PO17 On-site landscaping is provided to: (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths.	No acceptable outcome is nominated. Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.
Where located in the Rockhampton Airport precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO18 Where development is within the Rockhampton Airport precinct, development is ancillary to the primary use of the precinct and is designed and sited in a manner that is compatible with and supports the development of the precinct and sub-precincts for air services.	No acceptable outcome is nominated.
PO19 Development primarily consists of commercial, retail or community related activities at ground level and, where they occur, residential uses are located above ground level.	No acceptable outcome is nominated.
PO20 Development does not compromise the intended role or successful functioning of centres, and in the airport terminal sub-precinct, food and drink outlets, shops and offices do not exceed 250 square metres in gross floor area. Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.	No acceptable outcome is nominated Note—Development involving an increase in gross floor area exceeding the nominated threshold is accompanied by an economic impact report which assesses the likely economic impacts on the principal centre and major centre. The report is to be in accordance with SC6.9 – Economic impact assessment planning scheme policy.

6.7.7 Township zone code

6.7.7.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the township zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.7.2 Purpose

- (1) The purpose of the township zone code is to:
 - (a) retain the role of townships as important support centres for rural communities across the region;
 - (b) facilitate limited residential growth within townships;
 - (c) facilitate expansion of non-residential uses in all townships to serve only the needs of the local residents and surrounding rural communities.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development provides for predominantly single detached dwellings, that are supported by local community facilities and services at a low-scale and density, and with a traditional grid street pattern;
 - (b) development maintains the character and identity of each township in the region;
 - (c) the interface between townships and adjoining rural land uses is managed to protect productive rural lands;
 - (d) development within the zone has appropriate standards of infrastructure and essential services commensurate with the needs of each township;
 - (e) non-residential development includes small-scale convenience retail, service industries, roadside stall, schools, community halls, sporting and recreation facilities and:
 - (i) provides support to local township residents, surrounding rural communities and visitors;
 - (ii) is clustered in areas such as a main street, to maintain convenience and residential amenity;
 - (iii) is consistent with the scale and character of existing development in the township and the existing amenity of the surrounding area;
 - (iv) minimises impacts on the amenity of residential uses;
 - (v) does not impact upon the role and function of other townships and urban centres in the region; and
 - (vi) does not exceed 200 square metres of gross floor area for commercial, retail and service industry;
 - (f) development is responsive to the scenic amenity and setting of the township, and does not impact on natural features such as creeks, gullies, waterways, wetlands, habitats and significant vegetation; and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Kabra and Stanwell precinct.

Kabra and Stanwell precinct

- (3) The following overall outcomes of the Kabra and Stanwell precinct are in addition to those of the township zone and takes precedence in the event of a conflict:
 - (a) sensitive land use(s) other than a single dwelling house on a single lot do not occur within the precinct boundary; and
 - (b) no additional lots are created due to the proximity to the Gracemere Industrial Area and the impacts generated by existing and future industrial uses.

Note—The special management area overlay code takes precedence in the event of a conflict.

6.7.7.3 Specific benchmarks for assessment

Table 6.7.7.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front, rear and side boundaries of the site.</p>	<p>AO2.1 Buildings are set back from street frontages: (a) development for retail and commercial uses include an awning over the footpath for the full length of the building's road frontage; or (b) for all other development: (i) twenty (20) per cent of the average front setback of adjoining buildings; or (ii) where there are no adjoining buildings a minimum of six (6) metres.</p> <p>Note—One (1) vehicle access driveway to the site is acceptable within which an awning is not required.</p> <p>AND</p> <p>AO2.2 Non-residential uses where they adjoin a sensitive land use are set back: (a) a minimum of three (3) metres from a side boundary; and (b) a minimum of six (6) metres from a rear boundary.</p>
<p>PO3 Dual occupancy use has a scale, density of dwellings and character that is complementary and compatible with the surrounding residential area.</p>	<p>AO3.1 Dual occupancy is located on a site with a minimum area of 1,200 square metres.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby sensitive land use(s) are minimised.</p>	<p>AO4.1 Non-residential development, where adjoining a sensitive land use: (a) includes a 1.8 metre high screen fence for the full length of a common boundary; (b) locates car parking, service and waste storage areas a minimum of four (4) metres from a common boundary; and (c) provides a planting area that is: (i) a minimum of one (1) metre in width for the full length of all common side boundaries; and (ii) a minimum of three (3) metres in width for the full length of a common rear boundary.</p> <p>AND</p> <p>AO4.2 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO4.3 New building plant or air-conditioning equipment is located within, underneath or central to the building and screened from view of the street and any adjoining residential zone.</p>
Streetscape and landscaping	
<p>PO5 Landscaping and streetscaping is provided to: (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) and from the street; and (e) allow shading for pedestrian comfort.</p>	<p>AO5.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home based business	
<p>PO7</p>	<p>AO7.1 The home based business has a maximum gross floor area of 100 square metres.</p>

Performance outcomes	Acceptable outcomes
<p>Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; (b) is integrated with the primary use of the site for a dwelling house; (c) does not adversely affect the safety and private recreation needs of adjoining premises; (d) does not adversely affect the streetscape and street function; and (e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AND</p> <p>AO7.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO7.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday, and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO7.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO7.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO7.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO7.7 Where bed and breakfast accommodation does not exceed three (3) bedrooms.</p> <p>AND</p> <p>AO7.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO7.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO7.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Market	
<p>PO8 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.</p>	<p>AO8.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.</p>
<p>PO9 The development is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO9.1 Development does not occur for more than twenty-eight (28) days in any one (1) calendar year.</p>
Roadside stall	
<p>PO10 Roadside stalls minimise adverse impacts on the amenity of any adjoining land use and the surrounding area.</p>	<p>AO10.1 Any structure used for a roadside stall:</p> <ul style="list-style-type: none"> (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres. <p>AND</p> <p>AO10.2 Site access, car parking and storage areas:</p> <ul style="list-style-type: none"> (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access.
<p>PO11 The development is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Roadside stalls do not operate for more than twenty-eight (28) days in any one (1) calendar year.</p>
Sales office	
<p>PO12 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO12.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO13 Non-residential development maintains a high level of amenity for the surrounding</p>	<p>AO13.1 Non-residential uses operate between the hours of 06:00 and 22:00.</p>

Performance outcomes	Acceptable outcomes
area, having regard to hours of operation and noise.	
PO14 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO14.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO15 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).	AO15.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
Parking, access and transport	
PO16 The transport network is functional and has sufficient capacity to accommodate the demands generated by the development.	AO16.1 Developments for non-residential uses are located on a road classified minor urban collector or higher only, and access to the development is not from an urban access road or a rural access road.

Table 6.7.7.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO17 Uses with more than two (2) dwellings on a site are at a scale and nature that is compatible with the local character, streetscape and role of the township.	AO17.1 Residential uses except for dwelling house, dwelling unit and home based business (bed and breakfast) are located on a site with a minimum area of 1,200 square metres.
PO18 Development facilitates the security of people and property having regard to: (a) opportunities for passive surveillance; (b) building designs which reduce opportunity for concealment; (c) adequate lighting; (d) clear definition of public and private property; (e) clear building entrances; and (f) appropriate way finding mechanisms (such as signage).	No acceptable outcome is nominated.
Land use	
PO19 Non-residential uses are of a scale, and in a location that: (a) is appropriate to serve the needs of visitors and residents of the township; (b) does not adversely affect the viability of other centres by limiting commercial and retail uses to 200 square metres in gross floor area;	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) are located on the town's main street or are collocated with other non-residential uses of a similar nature; and</p> <p>(d) do not unduly detract from the amenity of nearby residential land uses.</p> <p>Editor's note—SC6.9 – Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	
Effects of development	
<p>PO20 Development does not unduly impact on the existing amenity and character of the locality, having regard to:</p> <p>(a) the scale, siting and design of buildings and structures;</p> <p>(b) visibility from roads and other public view points, screening vegetation and landscaping;</p> <p>(c) the natural landform and avoidance of visual scarring; and</p> <p>(d) noise, odour and other emissions.</p>	No acceptable outcome is nominated.
<p>PO21 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and any adjoining land use, such that:</p> <p>(a) any hazards to people or property are avoided;</p> <p>(b) any earthworks are minimised;</p> <p>(c) the retention of natural drainage lines is maximised;</p> <p>(d) the retention of existing vegetation is maximised;</p> <p>(e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	No acceptable outcome is nominated.
<p>PO22 All uses are located, designed, orientated and constructed to:</p> <p>(a) minimise noise, light, dust, odour or other nuisance from existing lawful uses including rural and industrial uses; and</p> <p>(b) minimise nuisance caused by noise, vibration, light and dust emissions generated by the state controlled road and rail network in the vicinity of land in the rural zone.</p>	No acceptable outcome is nominated.
Streetscape and landscaping	
PO23	<p>AO23.1 Landscaping complements the streetscape by retaining existing, significant trees with a</p>

Performance outcomes	Acceptable outcomes
Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.	height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street tree planning scheme policy.
Parking, access and transport	
PO24 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
Where in the Kabra and Stanwell precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO25 Sensitive land use(s) are not exposed to environmental impacts generated from the Gracemere Industrial Area.	AO25.1 Sensitive land use(s) do not occur with the exception of one (1) dwelling house per lot.
PO26 The land is not further subdivided.	AO26.1 No new lots are created.

Part 7 Local plans

There are no local plans.

[Intentionally blank]

Part 8 Overlays

8.1 Preliminary

- (1) Overlays identify areas within the planning scheme that reflect state and local level interests and that have one or more of the following characteristics:
 - (a) there is a particular sensitivity to the effects of development;
 - (b) there is a constraint on land use or development outcomes;
 - (c) there is the presence of valuable resources; and
 - (d) there are particular opportunities for development.
- (2) Overlays are mapped and included in Schedule 2.
- (3) The changed categories of development and assessment, if applicable, for development affected by an overlay are in Part 5.
- (4) Some overlays may be included for information purposes only. This should not result in a change to the categories of development and assessment or any additional assessment benchmarks.
- (5) Assessment benchmarks for an overlay may be contained in one or both of the following:
 - (a) a map for an overlay;
 - (b) a code for an overlay;
 - (c) a zone code;
 - (d) a local plan code; and
 - (e) a development code.
- (6) Where development is proposed on premises partly affected by an overlay, the assessment benchmarks for the overlay only relates to the part of the premises affected by the overlay.
- (7) The overlays for the planning scheme are:
 - (a) Acid sulfate soils overlay;
 - (b) Airport environs overlay;
 - (c) Biodiversity overlay;
 - (d) Bushfire hazard overlay;
 - (e) Character overlay
 - (f) Coastal protection overlay;
 - (g) Extractive resources overlay;
 - (h) Flood hazard overlay;
 - (i) Heritage place overlay;
 - (j) Special management area overlay;
 - (k) Steep land overlay; and
 - (l) Water resource catchments overlay.
- (8) The following overlays for the planning scheme without codes are:
 - (a) Agricultural Land Classification overlay;
 - (b) Bicycle network plan overlay;
 - (c) Coastal management district overlay;
 - (d) Defined storm tide event overlay;
 - (e) Mining leases overlay;
 - (f) Regional infrastructure corridors overlay;
 - (g) Road hierarchy overlay;
 - (h) Sewer planning area overlay;
 - (i) Transport noise corridors overlay; and
 - (j) Water supply planning area overlay.

8.2 Overlay codes

8.2.1 Acid sulfate soils overlay code

8.2.1.1 Application

This code applies to development where the code is identified in the table of assessment for the acid sulfate soils overlay and applies to any areas identified on acid sulfate soils overlay map OM-1.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.1.2 Purpose

- (1) The purpose of the acid sulfate soils code is to ensure development involving acid sulfate soils is planned and managed to avoid potential adverse impacts on the natural and built environment, including infrastructure and human health.
- (2) The purposes of the code will be achieved through the following overall outcomes:
 - (a) the generation or release of acid and metal contaminants into the environment from acid sulfate soils is avoided by:
 - (i) not disturbing acid sulfate soils when excavating or otherwise removing soil or sediment, extracting groundwater or filling land; or
 - (ii) treating and, if required, undertaking ongoing management of any disturbed acid sulfate soils and drainage waters.

8.2.1.3 Specific benchmarks for assessment

Table 8.2.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
<p>PO1 Development:</p> <ol style="list-style-type: none"> (a) avoids the disturbance of acid sulfate soils; or (b) where the disturbance of acid sulfate soils is unavoidable the release of acid sulfate soils is managed to minimise the release of acid and metal contaminants. <p>Editor's note—Confirmation of the presence of acid soils can be completed by undertaking an acid sulfate soils investigation conforming to the Queensland Sampling Guidelines and soil analysis according to the Laboratory Methods Guideline or Australian Standard 4969 Analysis of acid sulfate soil.</p>	<p>AO1.1 AO1.1.1 The disturbance of acid sulfate soils is avoided by:</p> <ol style="list-style-type: none"> (a) not excavating or otherwise removing soil or sediment containing acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; and (c) not undertaking filling on land at or below five (5) metres Australian Height Datum that results in: <ol style="list-style-type: none"> (i) actual acid sulfate being moved below the water table; or (ii) previously saturated acid sulfate soils being aerated. <p>OR</p> <p>AO1.1.2 The disturbance of acid sulfate soils avoids the release of acid and metal contaminants by:</p> <ol style="list-style-type: none"> (a) neutralising existing acidity and preventing the generation of acid and

Performance outcomes	Acceptable outcomes
	<p>metal contaminants using strategies documented in the <i>Soil Management Guidelines</i>; and</p> <p>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment.</p> <p>AND</p> <p>AO1.2 Where potential or actual acid sulfate soils are identified they are managed in accordance with an acid sulfate soils management plan.</p> <p>Editor's note—Guidelines for sampling and analysis of lowland acid sulfate soils and Queensland acid sulfate soil technical manual: laboratory methods guidelines and Queensland acid sulfate soil technical manual: soil management guidelines are available from the Department of Environment and Heritage Protection.</p>

8.2.2 Airport environs overlay code

8.2.2.1 Application

This code applies to development where the code is identified in the table of assessment for the airport environs overlay and applies to any areas on the following overlay maps:

- (1) Airport obstacle limitation surface overlay map OM-2A; or
- (2) Airport Australian noise exposure forecast contours overlay map OM-2B; or
- (3) Airport wildlife hazard buffer area overlay map OM-2C; or
- (4) Aviation facilities building restricted area overlay map OM-2D; or
- (5) Airport public safety area overlay map OM-2E; or
- (6) Airport light restriction zone overlay map OM-2F.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.2.2 Purpose

- (1) The purpose of the airport environs overlay code is to ensure that:
 - (a) the current and future operations of the Rockhampton Airport and associated aviation facilities are not adversely impacted by development and land uses;
 - (b) development within the vicinity of the Rockhampton Airport is not adversely impacted by the operation of airports and aviation facilities; and
 - (c) the number of people likely to be adversely affected by significant aircraft noise is not increased.
- (2) The purposes of the code will be achieved through the following overall outcomes:
 - (a) any potential negative impact of aircraft noise on new development situated within the Australian noise exposure forecast (ANEF) contours is minimised;
 - (b) development avoids increasing the number of people in the vicinity of public safety areas located at the ends of airport runways;
 - (c) development and associated activities do not adversely impact on airport operations and aviation facilities by creating incompatible intrusions into operational airspace;
 - (d) development within the aviation facilities building restricted area does not adversely affect the functioning of the equipment; and
 - (e) development ensures that the operational airspace of the airport is not put at risk from artificial light sources or wildlife interference generated by development.

8.2.2.3 Specific benchmarks for assessment

Table 8.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Operational airspace (obstacle limitation surface)	
<small>Editor's note—Refer to overlay map OM-2A</small>	
<p>PO1 Development does not involve permanent, temporary or transient physical obstruction (natural or man-made) of operational airspace.</p>	<p>AO1.1 Development does not allow the following to penetrate the airport's operational airspace as identified on overlay map OM-2A:</p> <ol style="list-style-type: none"> (a) buildings or structures (including antennae and any cranes or construction equipment used); or (b) wind farms or wind monitoring equipment; or (c) landscaping that at maturity would infringe on the operational airspace; or (d) recreational or sporting activities that include parachuting, hot air ballooning and hang gliding.

Performance outcomes	Acceptable outcomes
	<p>Note—Building heights on the airport obstacle limitation surface overlay map OM-2A prevail over building heights detailed in zone codes.</p> <p>Editor's note—Development which includes a building, structure or landscaping which will exceed the heights identified on airport obstacle limitation surface overlay map OM-2A may be referred by Council to the airport operator whose advice and decision on the proposal may be adopted by Council.</p>

Table 8.2.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Operational airspace (obstacle limitation surface)	
Editor's note—Refer to overlay map OM-2A	
<p>PO2 Emissions do not materially increase air turbulence, reduce visibility or compromise the operation of aircraft engines in the airport's operational airspace.</p>	<p>AO2.1 Development does not generate:</p> <ul style="list-style-type: none"> (a) a gaseous plume of a velocity exceeding 4.3 metres per second; or (b) smoke, dust, ash or steam that will penetrate an operational airspace.
Airport noise	
Editor's note—Refer to overlay map OM-2B	
<p>PO3 Development involving a sensitive land use is appropriately located and designed to prevent adverse impacts from aircraft noise.</p> <p>Editor's note—Where the associated acceptable outcomes can not be met, a Noise Assessment Report prepared by an appropriately qualified acoustic consultant may be prepared to demonstrate compliance with this performance outcome.</p>	<p>AO3.1 Development within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours is designed and constructed to attenuate aircraft noise by achieving the indoor design sound levels specified in Table 8.2.2.3.4 — Desirable indoor sound levels for building type and activity.</p> <p>AND</p> <p>AO3.2 Development within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours is consistent with Table 8.2.2.3.5 — Compatible and incompatible land uses within Australian noise exposure forecast (ANEF) contours.</p> <p>AND</p> <p>AO3.3 Creating an additional lot or lots does not occur within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours.</p>
Wildlife hazards	
Editor's note—Refer to overlay map OM-2C	
<p>PO4 Development does not materially increase the risk of wildlife hazards including but not limited to flying vertebrates, such as birds and bats, intruding into the airport's operational airspace.</p> <p>Editor's note—Where the relevant acceptable outcomes can not be met, a wildlife management plan may need to be prepared in order to demonstrate</p>	<p>AO4.1 Development located within three (3) kilometres of an airport runway does not include uses identified in column 1 of Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
<p>compliance with this performance outcome. The applicant will need to include measures which reduce the potential to attract birds and bats.</p>	<p>AO4.2 Development located between three (3) and eight (8) kilometres of an airport runway that includes uses identified in column 1 or column 2 of Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards ensures that waste is covered and collected so that it is inaccessible to birds and bats.</p>
<p>Aviation facilities Editor's note—Refer to overlay map OM-2D</p>	
<p>PO5 Development within the Rockhampton Airport transmitter or non-directional beacon (NDB) site building restricted area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 60-300 metres (Zone B on overlay map OM-2D reflects the outer limit of 300 metres) from the NDB antenna and the development will cross the zone boundary (defined as an elevation angle of five (5) degrees from ground level at the centre of the NDB antenna).
<p>PO6 Development within the Rockhampton Airport distance measuring equipment (DME) site building restricted area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 100 – 1,500 metres (Zone B on overlay map OM-2D reflects the outer limit of 1500 metres) from the DME antenna and the development will cross the zone boundary (defined as an elevation angle of two (2) degrees, measured from the above horizontal plane beneath the DME antenna).
<p>PO7 Development within the Rockhampton Airport very high frequency (VHF) omnidirectional radio range (VOR) site sensitive area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 150 – 1,500 metres (Zone B on overlay map OM-2D reflects the outer limit of 1500 metres) from the centre of the VOR antenna and the development will cross the zone boundary (defined as the elevation angle of 1.5 degrees from ground level at the centre of the VOR antenna).
<p>PO8 Development within the Rockhampton Airport communication site sensitive area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 100 – 600 metres (Zone B on overlay map OM-2D reflects the outer limit of 600 metres) from the centre of the VHF antenna and the development will cross the zone boundary (defined as the elevation angle of 2 degrees starting at ten (10) metres above ground height); or (c) if development involves large obstructions that will be located in Zone B on overlay map OM-2D or the area of interest it is referred to the airport operator.
<p>Runways Editor's note—Refer to overlay map OM-2E</p>	

Performance outcomes	Acceptable outcomes
<p>PO9 Development located at the end of runways does not increase the risk to public safety.</p>	<p>AO9.1 Within a public safety area identified on overlay map OM-2E development does not involve the following:</p> <ul style="list-style-type: none"> (a) residential uses; or (b) a new building or expansion to an existing building accommodating a non-residential use; or (c) uses involving the manufacture or depot storage of hazardous materials.
<p>Artificial lighting Editor's note—Refer to overlay map OM-2F</p>	
<p>PO10 Development does not include or create external lighting or reflective surfaces that could distract or confuse pilots.</p> <p>Editor's note—The standards specified in Civil Aviation Safety Authority (CASA) Guidelines: Lighting in the vicinity of aerodromes: Advice to lighting designers may be used to demonstrate compliance with this performance outcome.</p>	<p>AO10.1 Development within the light restriction zones (Zone A, B, C or D on overlay map OM-2F) does not involve:</p> <ul style="list-style-type: none"> (a) straight parallel lines of lighting 500 metres to 1,000 metres long; or (b) flare plumes; or (c) reflective surfaces; or (d) buildings with reflective cladding; or (e) upward shining lights; or (f) laser lights; or (g) flashing lights; or (h) sodium lights.

Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards

Column 1: High risk	Column 2: Moderate risk
Animal keeping (wildlife or bird sanctuary) Cropping (turf farm) Cropping (fruit tree farm) Intensive animal industry (piggery) Marine industry (fish processing/package plant)	Intensive animal industry (cattle/dairy farm) Intensive animal industry (poultry farm)
Conservation (wetland)	Conservation (all other)
Major sport, recreation and entertainment facility (showground)	Major sport, recreation and entertainment facility (all other) Outdoor sport and recreation Park
Utility installation (food/organic waste facility) Utility installation (putrescible waste facility)	Utility installation (non-putrescible waste facility) Utility installation (sewerage/ wastewater treatment facility)
Low impact industry (food processing plant) Medium impact industry (food processing plant) High impact industry (food processing plant)	

Table 8.2.2.3.4 — Desirable indoor design sound levels for building type and activity

Building type and activity	Indoor design sound level dB(A)
Dwelling houses, home units, flats, caravan parks	
Sleeping areas, dedicated lounges	50
Other habitable spaces	55
Bathrooms, toilets, laundries	60
Hotels, motels, rooming accommodations	
Relaxing, sleeping	55
Social activities	70
Service activities	75
Schools, universities	
Libraries, study areas	50
Teaching areas, assembly areas	55
Workshop, gymnasias	75
Hospitals, nursing homes	
Wards, theatres, treatment and consulting rooms	50
Laboratories	65
Service areas	75
Public buildings	
Churches, religious activities	50
Theatres, cinemas, recording studios	40
Court houses, libraries, galleries	50
Commercial buildings, offices and shops	
Private offices, conference rooms	55
Drafting, open offices	65
Typing, data processing	70
Shops, supermarkets, showrooms	75
Industrial	
Inspection, analysis, precision work	75
Light machinery, assembly, bench work	80
Heavy machinery, warehouse, maintenance	85

Source: Australian Standard AS 2021-2015: Acoustics — Aircraft noise intrusion — Building siting and construction.

Editor's note—It is intended to prepare a Queensland-specific code (or similar) addressing standards and requirements for attenuating aircraft noise in buildings, operating under the Standard Building Regulation. When prepared, that code should be used instead of Table 8.2.2.3.4.

Editor's note—Australian Standard AS 2021-2015 should be referred to for advice and information about the indoor design sound levels in Table 8.2.2.3.4, including identifying the relevant scale of aircraft noise from the Australian noise exposure forecast (ANEF) information.

Table 8.2.2.3.5 — Compatible and incompatible land uses within ANEF contours

Land use	Compatibility of use within ANEF contour of site		
	Compatible	Compatible subject to assessment	Incompatible
Residential use (except short-term accommodation, rooming accommodation) Residential care facility	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Short-term accommodation Rooming accommodation Hotel	Less than 25 ANEF	25 – 30 ANEF	30 – 40 ANEF
Educational establishment Child care centre	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Hospital Health care services	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Community use Place of worship	Less than 20 ANEF	20 – 30 ANEF	30 – 40 ANEF
Office	Less than 25 ANEF	25 – 35 ANEF	35 – 40 ANEF

Source: Adapted from Australian Standard AS 2021-2015: Acoustics — Aircraft noise intrusion — Building siting and construction.

Editor's note—

- (1) Table 8.2.2.3.5 considers aircraft noise impacts on indoor spaces specifically.
- (2) Australian Standard AS 2021-2015 should be referred to by those seeking information/background on the basis of Table 8.2.2.3.5.

8.2.3 Biodiversity overlay code

8.2.3.1 Application

This code applies to development where the code is identified in the table of assessment for the biodiversity overlay and applies to any areas identified on the following overlay maps:

- (1) Biodiversity areas overlay map OM-3A; or
- (2) Biodiversity corridors and wildlife habitats overlay map OM-3B; or
- (3) Biodiversity waterways overlay map OM-3C; or
- (4) Biodiversity wetlands overlay map OM-3D.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—Matters of national environmental significance are included in the mapping of the matters of state environmental significance.

8.2.3.2 Purpose

- (1) The purpose of the biodiversity overlay code is to protect, rehabilitate and manage areas of environmental significance and the ecological processes and biodiversity values of terrestrial and aquatic ecosystems being:
 - (a) land mapped as containing matters of state or local environmental significance;
 - (b) a biodiversity corridor or wildlife habitat; and
 - (c) a wetland or waterway and its buffer area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development which is of a scale or nature that will, or is likely to, result in adverse impacts on matters of state or local (high) environmental significance and their associated ecological processes and biodiversity values, is avoided unless impacts can be minimised by:
 - (i) retaining or regenerating native vegetation;
 - (ii) ensuring changes to natural landforms, hydrology and drainage patterns do not significantly affect ecological values;
 - (iii) locating and designing public access to avoid disturbance of ecological values; and
 - (iv) ensuring threatened wildlife is not disrupted.
 - (b) land mapped as containing local (general) environmental significance is retained to the greatest extent possible;
 - (c) development protects wildlife habitats and wildlife corridors for significant species of flora and fauna and ecological communities so that ecological connectivity and wildlife habitat extent are retained;
 - (d) development within areas of wetlands, waterways and their buffer areas are protected to enhance water quality, ecological values and the natural hydrological regime and functioning of surface and ground waters;
 - (e) development:
 - (i) locates outside of a wetland, or waterway and its buffer; and
 - (ii) avoids adverse impacts on a wetland or waterway, its buffer and associated values;
 - (f) undeveloped frontal dunes and areas directly adjacent to beaches and waterways are maintained in a natural state and protected for their environmental, biodiversity, scenic and recreational values for current and future generations;
 - (g) development maintains sustainable community access to waterways, national parks and other land in protected area estates, and maintains a buffer in accordance with minimum best practice distances so as to avoid adverse impacts;
 - (h) management arrangements facilitate the long-term conservation of environmentally significant areas, ecological processes and biodiversity values; and
 - (i) environmentally significant areas are protected from further fragmentation.

8.2.3.3 Specific benchmarks for assessment

Table 8.2.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Matters of state and local (high) environmental significance Editor's note—Refer to overlay map OM-3A	
<p>PO1 Development is located, designed and operated to retain and protect significant natural assets, habitat and values to the greatest extent possible. Where this is not possible, impacts are minimised by:</p> <ul style="list-style-type: none"> (a) retaining native vegetation; (b) allowing for the regeneration of native vegetation to the area, or rehabilitating with locally endemic plants in non-vegetated areas of the site; (c) landscaping with locally native plants; (d) locating and designing public access to avoid disturbance of ecological values; (e) ensuring alterations to natural landforms, hydrology and drainage patterns do not significantly affect ecological values; and (f) incorporating measures that avoid the disruption of threatened wildlife and their habitat by allowing for their safe movement through the site. <p>Note—In areas where environmental values have been mapped but are no longer present a report certified by an appropriately qualified person that the development site does not contain any matters of environmental significance will be required.</p> <p>Note—An environmental offset is provided for any permanent, irreversible loss or reduction in matters of local (high) environmental significance caused by the development. An environmental offset is carried out as per the requirements of the Queensland Government's Environmental Offsets Policy, as amended from time to time.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO2 Development ensures native vegetation is retained, regenerated and rehabilitated in such a way as to:</p> <ul style="list-style-type: none"> (a) ensure protection of areas of vegetation within biodiversity corridors and wildlife habitats; (b) maintain vegetation that is in patches of greatest size and smallest possible edge-to-area ratio; (c) maximise the linkages between vegetation located on the subject site; (d) maximise linkages between vegetation located on adjacent properties within the biodiversity network; (e) allow the dispersal or movement through biodiversity corridors; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(f) protect riparian vegetation in and adjacent to watercourses.	
Matters of local (general) environmental significance Editor's note—Refer to overlay map OM-3A	
PO3 Development minimises impacts on biodiversity values by ensuring they are retained to the greatest extent possible. Editor's note—Minimising the impacts on biodiversity values can be achieved by: (a) retaining native vegetation; (b) allowing for the regeneration of native vegetation; (c) landscaping with native local plants; (d) locating and designing public access (for example roads, bushfire separation areas etcetera) to avoid disturbance of ecological values; (e) accommodating the safe movement of wildlife through the site; and (f) limiting alterations to natural landforms and avoiding disturbance to natural waterways and drainage paths.	No acceptable outcome is nominated.
Biodiversity corridors and wildlife habitats Editor's note—Refer to overlay map OM-3B	
PO4 Development maintains unimpeded movement of terrestrial and aquatic fauna that are associated with or are likely to use the biodiversity corridor as part of their normal life cycle by: (a) ensuring development, including roads, pedestrian access and in-stream structures, do not create barriers to the movement of fauna (including fish passage) along or within biodiversity corridors; (b) providing effective wildlife movement infrastructure in accordance with best practice and directing fauna to locations where wildlife movement infrastructure has been provided to enable fauna to safely negotiate a development area; and (c) separating fauna from potential hazards through the use of appropriate fencing. Note—In areas where environmental values have been mapped but are no longer present a report certified by an appropriately qualified person that the development site does not contain any matters of environmental significance will be required. Editor's note—Biodiversity corridors have been mapped based on a minimum width of 500 metres.	No acceptable outcome is nominated.
PO5 Development: (a) retains and protects areas of wildlife habitat that support a critical life stage ecological process such as feeding, breeding or roosting for identified species; and	AO5.1 Development retains and protects native fauna feeding areas, nesting, breeding and roosting sites within the identified wildlife habitats. Editor's note—Development applications lodged with Council must identify all species listed that are present within or adjacent to the premises and habitats that

Performance outcomes	Acceptable outcomes
<p>(b) incorporates measures as part of siting and design to protect and retain identified ecological values and underlying ecosystem processes within or adjacent to the development site.</p>	<p>may be affected by the proposal. In particular applications are to identify and describe how the development protects or enhances wildlife habitat at any critical life stage ecological processes within or adjacent to the development area. This should be reflected in an ecological assessment report prepared in accordance with the SC6.8 — Ecological assessment planning scheme policy.</p>
<p>Wetlands and waterways Editor's note—Refer to overlay maps OM-3C and OM-3D</p>	
<p>PO6 Development has no adverse impacts on:</p> <ul style="list-style-type: none"> (a) native vegetation; (b) habitat; (c) ecological functions; (d) water quality; and (e) nature conservation values. <p>Editor's note—Waterway buffers (aside from MSES-Waterways) have been mapped based on the following minimum widths:</p> <ul style="list-style-type: none"> (a) fifty (50) metres buffer (twenty-five (25) metres either side of the waterway) for stream orders 1 and 2; (b) 100 metres (fifty (50) metres either side of the waterway) for stream orders 3 and 4; (c) 200 metres for stream order 5 and above, except for the Fitzroy River; and (d) for the Fitzroy River: 350 metres buffer (175 metres either side of the waterway) upstream of the Fitzroy River Barrage, and 450 metres (225 metres either side of the waterway) downstream of the Fitzroy River Barrage. <p>Editor's note—Wetland buffers have a minimum width of:</p> <ul style="list-style-type: none"> (e) fifty (50) metres buffer (twenty-five (25) metres either side of the waterway) in urban areas; and (f) 200 metres buffer (100 metres either side of the waterway) in non-urban areas. <p>Editor's note—Vegetation clearing undertaken as a consequence of development occurs in compliance with the <i>Vegetation Management Act 1999</i> and <i>Nature Conservation Act 1992</i>.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO7 Development does not cause land degradation near a waterway or wetland, including:</p> <ul style="list-style-type: none"> (a) mass movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and (b) loss or modification of chemical, physical or biological properties or functions of soil. 	<p>AO7.1 Excavation and filling is not undertaken in waterways or wetlands.</p>
<p>Hydrology</p>	
<p>PO8 Development:</p> <ul style="list-style-type: none"> (a) enhances or maintains the existing groundwater hydrological regime of all areas of environmental significance; and (b) ensures that the water table and hydrostatic pressure in the area of 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
environmental significance is returning to its natural state.	
Non-native pest management	
PO9 Development avoids the introduction of non-native pest species (plant or animal) that pose a risk to ecological integrity.	AO9.1 Development does not introduce non-native pest species.
Ongoing management, construction and operation	
PO10 During construction and operation of development, ongoing management, monitoring and maintenance is undertaken to ensure impacts on environmentally significant areas, biodiversity values and ecological processes, including water quality and hydrology, are avoided or minimised. Editor's note—Construction and operation related to a development are carried out in accordance with an operational management plan where appropriate. This plan can form an amendment to an existing approved management plan for the site.	No acceptable outcome is nominated.
PO11 Development adjoining a national park or other land in a protected area estate: <ul style="list-style-type: none"> (a) maintains and where appropriate, improves access to a protected area estate; and (b) maintains a buffer to a protected area estate in accordance with minimum best practice standards and includes characteristics to avoid development impacts. Editor's note—Protected area estates include the following classes, as defined in the <i>Nature Conservation Act 1992</i> : <ul style="list-style-type: none"> (a) national park (scientific); (b) national parks; (c) national parks (Aboriginal land); (d) national parks (Torres Strait Islander); (e) national parks (Cape York Peninsula Aboriginal land); (f) national parks (recovery); (g) conservation parks; (h) resource reserves; (i) nature refuges; (j) coordinated conservation area; (k) wilderness areas; (l) World Heritage management areas; and (m) international agreement areas. 	No acceptable outcome is nominated.
PO12 Management arrangements facilitate the effective conservation and protection of matters of national, state or local environmental significance, ecological processes and biodiversity values.	AO12.1 Areas supporting matters of national, state or local significance features, biodiversity values or ecological processes are: <ul style="list-style-type: none"> (a) transferred into public ownership where the land is required for public access or for some other public purpose consistent with its ecological, open space or recreation functions, including: <ul style="list-style-type: none"> (i) access for maintenance;

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (ii) linking core and remnant habitat areas; (iii) protecting water quality and ecological processes; and (i) other public benefit; or <p>(b) incorporated within private open space and included within a voluntary statutory covenant that is registered under the <i>Land Title Act 1994</i>.</p> <p>Editor's note—Matters of national, state or local environmental significance include all areas shown on all biodiversity overlay maps.</p>
Rehabilitation	
<p>PO13 Areas degraded as a result of development are rehabilitated by the proponent as near as is practical to the naturally occurring suite of native plant species and ecological communities.</p> <p>Editor's note—A rehabilitation plan supported by expert ecological advice prepared in accordance with SC6.8— Ecological assessment planning scheme policy as well as reference to SC6.12 — Landscape design and street trees planning scheme policy will assist in demonstrating achievement of this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO14 The ecological function and biodiversity values of existing habitat are maintained by ensuring that reconfiguring a lot does not result in the fragmentation of habitat.</p>	<p>AO14.1 Reconfiguring a lot does not result in any additional lots where the entire site is subject to:</p> <ul style="list-style-type: none"> (a) matters of state or local (high) environmental significance; or (b) biodiversity corridors and wildlife habitats; or (c) waterways and wetlands. <p>AND</p> <p>AO14.2 Roads created as the result of reconfiguring a lot are located between the riparian corridor and any additional lots created.</p>

8.2.4 Bushfire hazard overlay code

8.2.4.1 Application

This code applies to development where the code is identified in the table of assessment for the bushfire hazard overlay and applies to any areas included on the bushfire hazard overlay map OM-4.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The bushfire hazard area is a natural hazard area for the purpose of State Planning Policy. Within this area, susceptibility to bushfire has been identified. The area identified in the bushfire hazard overlay maps may not reflect the full extent of the area that may be affected by bushfire.

Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.

8.2.4.2 Purpose

- (1) The purpose of the bushfire hazard overlay code is to manage development outcomes in bushfire hazard areas so that risk to life, property, community, economic activity and the environment as a result of bushfire is avoided or minimised.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is compatible with the level of risk associated with the bushfire hazard;
 - (b) development location, siting and design responds to the risk of bushfire hazard and minimises risk to personal safety and property;
 - (c) development enables access and evacuation of people and emergency services vehicles, and access to water supplies during a bushfire hazard event;
 - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
 - (e) natural processes and the protective function of landforms or vegetation are maintained in bushfire hazard areas;
 - (f) essential community infrastructure and community facilities are located and designed to function effectively during and immediately after bushfire hazard events; and
 - (g) development contributes to effective and efficient disaster management response and recovery capabilities.

Editor's note—For the purposes of Section 12 (1) of the Building Regulations 2006, the bushfire hazard areas defined by the planning scheme under map OM-4 is also designated to be the bushfire hazard area.

8.2.4.3 Specific benchmarks for assessment

Table 8.2.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Access	
PO1 Development ensures that the location, siting, and design of development and associated driveways and access routes: <ol style="list-style-type: none"> (a) avoid potential for entrapment during a bushfire; (b) facilitate safe and efficient emergency services to access and egress the site during a bushfire; and 	AO1.1 AO1.1.1 Where the development is located in an urban area, the development: <ol style="list-style-type: none"> (a) has direct access to a constructed, all-weather, public road capable of carrying emergency service vehicles; (b) has a maximum single access driveway length of sixty (60) metres

Performance outcomes	Acceptable outcomes
<p>(c) enables safe evacuation of the site during a bushfire for site occupants.</p>	<p>from the street to the development; and</p> <p>(c) access driveways have a maximum gradient of 12.5 per cent.</p> <p>OR</p> <p>AO1.1.2 Where the development is located in a non-urban area, the development:</p> <p>(a) has direct access to a constructed, all-weather, public road capable of carrying emergency service vehicles;</p> <p>(b) is separated from hazardous vegetation by a public road or fire trail with a minimum width of four (4) metres and at least six (6) metres clear of vegetation, with a minimum of 4.8 metres vertical clearance and a maximum gradient of 12.5 per cent; and</p> <p>(c) has:</p> <p>(i) a maximum single access driveway length of sixty (60)metres from the street to the development; or</p> <p>(ii) access driveways that are greater than sixty (60)metres from the street to the dwelling provide a turning circle with a minimum radius of eight (8) metres every (60) metres.</p>
Water supply for fire fighting purposes	
<p>PO2 Development provides adequate and accessible water supply for fire fighting purposes which is safely located and freely accessible for fire fighting.</p>	<p>AO2.1 AO2.1.1 In a reticulated water supply area fire hydrants in:</p> <p>(a) residential areas are above ground single outlet fire hydrants and provided at not less than eighty (80) metre intervals and at each street intersection; and</p> <p>Editor's note—To remove any doubt, these intervals also apply to common access ways within a common private title</p> <p>(b) commercial and industrial areas are above or below ground fire hydrants and provided at not less than ninety (90) metre intervals and at each street intersection. Above ground fire hydrants are to be fitted with dual valve outlets in these areas.</p> <p>Editor's note—Fire hydrants are designed and installed in accordance with Australian Standard 2419.1 Fire hydrant installations – system design, installation and commissioning, unless specified by the relevant water entity.</p>

Performance outcomes	Acceptable outcomes
	<p>OR</p> <p>AO2.1.2 Where a reticulated water supply is not available or the development is not within eighty (80) metres of a hydrant, a water tank is provided within ten (10) metres of the building or structure, and the water tank has:</p> <ul style="list-style-type: none"> (c) a take-off connection from the building to the tank which is at a level that provides on-site water storage of not less than the water requirement outlined in Table 8.2.4.3.3; (d) a hardstand area allowing heavy rigid fire appliance access within six (6) metres of a tank; and (e) fire brigade tank fittings consisting of: <ul style="list-style-type: none"> (i) for above ground tanks, <ul style="list-style-type: none"> (A) fifty (50) millimetre ball valve and male camlock coupling; and (B) above ground water pipe fittings that are metal; or (ii) for underground tanks, an access hole of 200 millimetre diameter (minimum) to allow access for suction lines. <p>Note—Plastic tanks are not recommended; however, if they are fully submerged with above ground access points they are acceptable.</p> <p>Note—Where water tanks are required, swimming pools, creeks and dams should not be used as a substitute for a dedicated static supply as these sources of water are not reliable during drought conditions.</p>
Activities involving hazardous materials	
<p>PO3 Public safety and the environment are not adversely affected by the impacts of bushfire on hazardous materials.</p>	<p>AO3.1 Development does not involve the manufacture or storage of hazardous materials within a bushfire hazard area.</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated regulation, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances.</p>
Development within the high and very high bushfire hazard areas	
Avoiding the hazard	
<p>PO4 The development is compatible with the level of risk associated with the bushfire hazard.</p>	<p>AO4.1 The development has a Bushfire Attack Level of less than 12.5.</p> <p>Editor's note—The Bushfire Attack Level is calculated in accordance with the methodology described in the Australian Standard AS 3959 – Construction of buildings in bushfire prone areas.</p>

Table 8.2.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
<p>PO5 Essential community infrastructure and community facilities and highly vulnerable development are located, designed and sited to:</p> <ul style="list-style-type: none"> (a) protect the safety of people during a bushfire; (b) not increase the exposure of people to the risk from a bushfire event; (c) minimise the risk to vulnerable populations; and (d) ensure essential community infrastructure can function effectively during and immediately after bushfire events. 	<p>AO5.1 The following uses are not located in high or very high bushfire hazard areas:</p> <ul style="list-style-type: none"> (a) child-care centre; (b) detention facility; (c) educational establishment; (d) emergency services; (e) hospital; (f) industrial use involving manufacture or storage of hazardous materials; (g) multiple dwelling; (h) outstation; (i) relocatable home park; (j) residential care facility; (k) retirement facility; (l) rooming accommodation; (m) shopping centre; (n) short-term accommodation; (o) telecommunications facility; (p) tourist park; (q) tourist attraction; (r) transport depot; and (s) utility installation.
Reconfiguring a lot	
General	
<p>PO6 Where reconfiguration is undertaken a separation distance from hazardous vegetation is provided.</p> <p>Editor's note—The preparation of a bushfire management plan in accordance with SC6.5 — Bushfire management planning scheme policy can assist in demonstrating compliance with this performance outcome.</p>	<p>AO6.1 In urban areas lots are separated from hazardous vegetation by a distance:</p> <ul style="list-style-type: none"> (a) that achieves a Bushfire Attack Level of twenty-nine (29) or less at all boundaries; and (b) is contained wholly within the development site. <p>OR</p> <p>AO6.2 In non-urban areas a building envelope of reasonable dimensions is provided on each lot which achieves a Bushfire Attack Level of twenty-nine (29) or less at all boundaries</p> <p>Editor's note—Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p>
<p>PO7 In urban areas development includes a constructed perimeter road between the lots and hazardous vegetation with reticulated water supply. The access is available for both fire fighting and maintenance works.</p>	<p>AO7.1 In urban areas lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> (a) has a two lane sealed carriageway; (b) contains a reticulated water supply;

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (c) is connected to other public roads at both ends and at intervals of no more than 500 metres; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (e) has a minimum of 4.8 metres vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing.
<p>PO8 In non-urban areas development includes a perimeter road or an all-weather fire access trail which is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO8.1 In non-urban areas the development includes a perimeter road or an all-weather fire access trail which:</p> <ul style="list-style-type: none"> (a) separates the development from the hazardous vegetation with a width of at least twenty (20) metres; (b) with a minimum formed width of four (4) metres; (c) a minimum of 4.8 metres vertical clearance above the road; (d) has a turning circle with a minimum radius of eight (8) metres every sixty (60) metres; (e) has adequate drainage and erosion control devices; (f) has a gradient no greater than 12.5 per cent and a cross fall of no greater than ten (10) degrees; (g) has access at each end of the perimeter road or the fire trail from a public road; (h) has the access point signed and direction of travel identified; and (i) has a suitable arrangement in place to ensure maintenance in perpetuity.
<p>PO9 Road widths and construction within the development are adequate for fire emergency vehicles.</p>	<p>No acceptable outcome is nominated.</p>
Emergency services access	
<p>PO10 Development facilitates the safe and efficient access and egress of emergency services during a bushfire event.</p>	<p>AO10.1 The development includes a perimeter road or a fire access trail which:</p> <ul style="list-style-type: none"> (a) separates the development from the hazardous vegetation; (b) is a minimum of ten (10) metres in width, with a minimum formed width of four (4) metres; (c) is a minimum of six (6) metres clear of standing flammable vegetation; (d) has passing bays twenty (20) metres long by three (3) metres (additional to

Performance outcomes	Acceptable outcomes
	<p>the trail width), or turning facilities every 200 metres;</p> <p>(e) has adequate drainage and erosion control devices;</p> <p>(f) has a gradient no greater than 12.5 per cent and a cross fall of no greater than ten (10) degrees;</p> <p>(g) has access at each end of the perimeter road or the fire trail from a public road;</p> <p>(h) has the access point signed and direction of travel identified; and</p> <p>(i) has a suitable arrangement in place to ensure maintenance in perpetuity.</p>
<p>PO11 Road widths and construction within the development are adequate for fire emergency vehicles to gain access to a safe working area close to dwellings and near water supplies whether or not on-street parking spaces are occupied.</p>	<p>AO11.1 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for safe passage of emergency vehicles.</p> <p>Editor's note—For further information on how to address the above criteria please see Queensland Fire and Emergency Service: Fire hydrant and vehicle access guidelines for residential, commercial and industrial lots.</p>
<p>PO12 Hydrants are suitably identified so that fire services can locate them at all hours.</p>	<p>AO12.1 Hydrants are identified as specified in Queensland Fire and Emergency Services: Fire hydrant and vehicle access guidelines for residential, commercial and industrial lots.</p> <p>Editor's note—Fire hydrants are designed and installed in accordance with Australian Standard 2419.1 Fire hydrant installations – system design, installation and commissioning, unless specified by the relevant water entity.</p>

Table 8.2.4.3.3 — Water storage requirements

Lot size / use type	Water requirement (per lot)
Lots less than 1,000 square metres	5,000 litres
Lots between 1,000 square metres and less than one (1) hectare	10,000 litres
Lots greater than one (1) hectare	20,000 litres

8.2.5 Character overlay code

8.2.5.1 Application

This code applies to development where the code is identified in the table of assessment for the character overlay and applies to any areas identified on the character overlay map OM-5.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.5.2 Purpose

- (1) The purpose of the character overlay code is to:
 - (a) prevent relocation and demolition of those dwelling houses that contribute to the residential character of the streetscape;
 - (b) prevent the demolition or adverse renovation of commercial character buildings which may reduce or destroy the streetscape values of the Rockhampton principal centre; and
 - (c) ensure the design of any new development is compatible with nearby places of identified character value.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) buildings are protected and retained so they continue to contribute to the traditional character and amenity of the street;
 - (b) the traditional streetscape area is kept intact and is not diminished by new development;
 - (c) new buildings and any substantial extensions to existing buildings in the residential character design control area incorporate design elements that are compatible with the architecture and established character of the area;
 - (d) development (including renovations and extensions) in the residential character design control area ensures:
 - (i) that the design is sensitive to the built form, scale and character of the original building and surrounding buildings in the streetscape;
 - (ii) the protection and retention of buildings that contribute to the character and architectural form of the area;
 - (iii) the roof profile and building materials used are consistent with adjoining buildings;
 - (iv) the front façade of buildings is consistent with the predominant front façade profiles of other character dwelling houses in the street and include a verandah which addresses the street;
 - (v) enclosing the ground floor of a building does not have an adverse impact on its character;
 - (vi) carports and garages do not dominate the frontage and are subservient to the predominant building; and
 - (vii) low-rise (up to two (2) storeys) infill dwelling types such as dual occupancies and multiple dwelling units are at a dwelling house scale and incorporate design features that are compatible with the established character within the streetscape;
 - (e) sites within the residential character demolition control area are identified to value-add to the existing streetscape throughout the region. Demolition controls ensure:
 - (i) development protects residential buildings (or a part of a building) that forms part of a character streetscape primarily consisting of residential dwellings; and
 - (ii) development involving partial demolition work is facilitated through appropriate built form measures;
 - (iii) development permits demolition or removal of residential character buildings that are structurally unsound and incapable of repair; and
 - (f) development (including renovations and demolition) on sites within the commercial character demolition control area ensure:

- (i) the protection and retention of buildings containing a concentration of character features;
- (ii) development permits demolition or removal of commercial character buildings that are structurally unsound and incapable of repair; and
- (iii) retention of facades that contribute to the continuation of facades in the streetscape.

8.2.5.3 Specific benchmarks for assessment

Table 8.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Residential character design control area	
Design and siting	
<p>PO1 The front setback of buildings is consistent with the urban form of the surrounding residential character area.</p>	<p>AO1.1 Development for any building (not including car ports, garages and other enclosed outbuildings) which is not on a rear access lot is set back from any road alignment (excluding eaves, awnings, stairs and garage), within twenty (20) per cent of the average front setback of the adjoining houses fronting the same street.</p>
<p>PO2 The roof profile is consistent with the styles of other buildings in the street.</p> <p>Editor's note—Figure 8.2. 5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO2.1 The building has a pitched roof (pyramidal, hip or gable, or any combination of pyramidal, hip or gable) with a minimum of a fifteen (15) degree roof pitch.</p> <p>AND</p> <p>AO2.2 Verandahs are contained under the main roof form, or roofed separately with skillion or gently curved roofs.</p>
<p>PO3 The design of buildings addresses the street front and remains consistent with, or replicates, the styles and features of other character buildings in the street by having traditional elements such as verandahs and porches, stairs, window shade hoods, balustrades and hand rails.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO3.1 The building has a front verandah that:</p> <ul style="list-style-type: none"> (a) has viewing areas or windows able to overlook the street; (b) is a minimum of fifty (50) per cent of the total width of the building; and (c) where enclosed is articulated with openings such as windows, louvres or screens. <p>AND</p> <p>AO3.2 Where windows are not sheltered by a verandah or roof overhang, each window is provided with a shade hood.</p>
<p>PO4 Front fences are consistent with the fence styles in the street, by being a similar height and materials.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.2 Front fence building materials do not consist of tin, iron, Colorbond or similar large non-transparent sheeting materials.</p> <p>Editor's note—Residential character areas mainly contain timber picket fencing and it is recommended that this type of fencing be used throughout the area.</p>
<p>PO5 Building materials have a lightweight appearance and assist in reducing bulk and form.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO5.1 A minimum of fifty (50) per cent of the walls are clad with lightweight materials with an expressed surface profile.</p> <p>AND</p> <p>AO5.2 Windows are timber framed or have the appearance of being timber.</p>
<p>PO6 The size and bulk of buildings are consistent with dwelling houses in the street.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO6.1 The maximum length of unarticulated walls is eight (8) metres.</p> <p>Note—Variations in wall articulation can occur via the use of distinctive design features such as recesses, stairs, verandahs, balconies and window hoods.</p>
<p>PO7 Enclosing the ground floor storey of an existing character building does not have an adverse impact on the character of the building and ensures the original fabric of the building is identifiable.</p>	<p>AO7.1 Where buildings are located along the primary street frontage, the ground floor storey includes a valance and:</p> <ul style="list-style-type: none"> (a) is set back the full depth of all open or enclosed verandahs; or (b) is set back one (1) metre from the upper level of an exterior wall where there is no verandah.
Car ports, garages and other outbuildings	
<p>PO8 Car ports, garages and other outbuildings associated with the development are:</p> <ul style="list-style-type: none"> (a) not prominent; (b) consistent in character with such buildings in the street; (c) ancillary in size and scale to the main dwelling house or building, and do not dominate the appearance of the main dwelling house or building; and (d) not visually dominant when viewed from the street. <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO8.1 AO8.1.1 Car ports, garages and other enclosed outbuildings are:</p> <ul style="list-style-type: none"> (a) located behind the main face of the dwelling house; or (b) set back an equal or greater distance from the street as the main building and do not have a garage door or solid face presented to the street. <p>OR</p> <p>AO8.1.2 Where an open car port is located in the front of the main building, the car port:</p> <ul style="list-style-type: none"> (a) is detached from the main building; (b) has a maximum width of 3.6 metres; (c) has a maximum height of four (4) metres above ground level; (d) has a pitched roof (pyramidal, hip or gable or any combination of pyramidal, hip or gable) with a

Performance outcomes	Acceptable outcomes
	<p>minimum of fifteen (15) degrees roof pitch or a pitch equal to that of the main dwelling house or building;</p> <p>(e) has a minimum roof overhang of thirty (30) centimetres;</p> <p>(f) has roofing material consistent with the roofing material used on the main dwelling house or building; and</p> <p>(g) has a gutter profile consistent with the gutter profile used on the main dwelling house or building.</p>

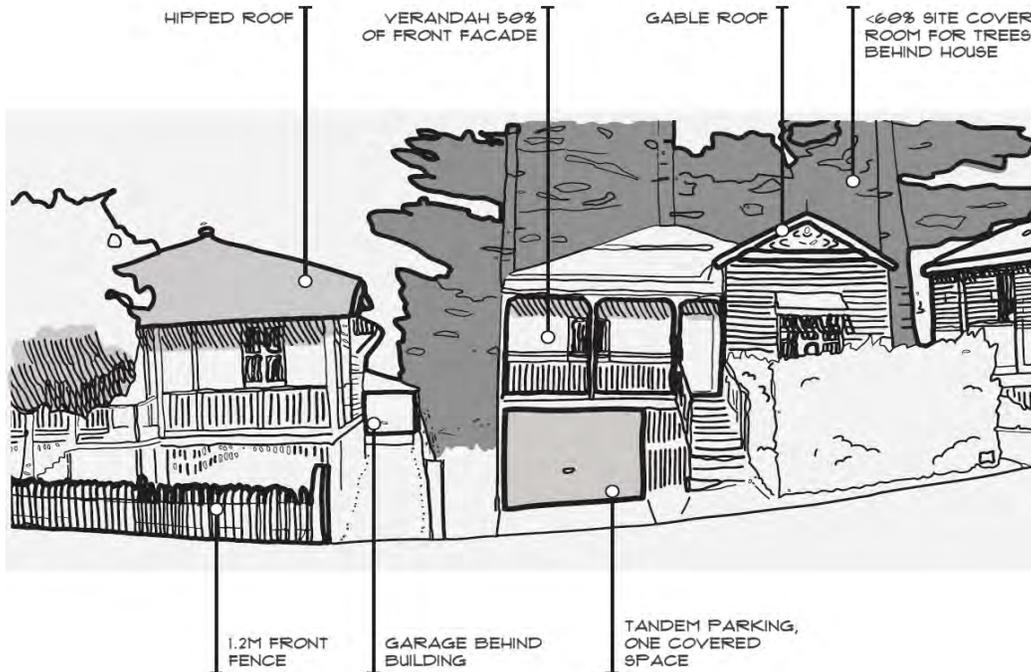


Figure 8.2.5.3.1a — Residential character streetscape

Table 8.2.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Commercial character demolition control area	
<p>PO9 Relocation of an existing building on site remains consistent with the scale, form and height of nearby buildings in the street.</p>	No acceptable outcome is nominated.
<p>PO10 The façade of any commercial character building is protected from being significantly altered except if:</p> <p>(a) it is not capable of structural repair; or</p> <p>(b) it is proposed to be incorporated into a development that has been designed to retain and enhance the traditional principal centre streetscape character.</p> <p>Editor's note—Façade protection may involve retention of traditional parapets, building names, signage and the preservation of continuous shop front awnings.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Residential character demolition control area and commercial character demolition control area	
<p>PO11 The removal, relocation, partial demolition or total demolition of a building only occurs if it can be demonstrated that:</p> <ul style="list-style-type: none"> (a) total or partial loss of the building will not contribute to the loss of character values; or (b) it is no longer recognisable as having character value; or (c) it is a building that does not contribute positively to the character of the street; or (d) it is a building incapable of structural repair; or (e) is a risk to people and property. <p>Editor's note—An impact statement produced by a suitably qualified professional may be required to demonstrate that there is no adverse impact to the character of the area due to the loss of the place.</p>	<p>AO11.1 The building proposed to be demolished or altered is the subject of a certificate submitted to Council that is from a registered professional engineer, which states that the building is structurally unsound and is incapable of reasonably being made structurally sound in terms of the financial cost for the required works.</p> <p>Editor's note—A suitably qualified professional provides a report on the building's condition, demonstrating that the place is not capable of repair.</p>
<p>PO12 Integral components of the building are retained including an awning over the footpath and street front entrance, which contribute to its traditional character and architectural style.</p>	<p>No acceptable outcome is nominated.</p>

8.2.6 Coastal protection overlay code

8.2.6.1 Application

This code applies to development where the code is identified in the table of assessment for the coastal protection overlay and applies to the following overlay maps:

- (1) Coastal erosion prone area overlay map OM-6A; or
- (2) Coastal hazard overlay map OM-6B

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The coastal protection overlay identifies indicative coastal hazard area being:

- (1) a coastal hazard area – storm tide inundation area:
 - (a) high hazard area (water depth of one (1) metre or greater); and
 - (b) medium hazard area (less than one (1) metre depth).
- (2) a coastal hazard area – erosion prone area:
 - (a) erosion due to storm impact and long-term trends of sediment loss and channel migration.

Editor's note—The erosion prone areas, shown on the coastal erosion prone area maps, are indicative only and reference to the statutory erosion prone area plans and a field survey is required to verify feature boundaries and the extent of the erosion prone area at a site specific level. The storm tide inundation areas, shown on the coastal hazard overlay maps, are derived from adopting the default storm tide inundation level of two (2) metres above highest astronomical tide including a projected climate change impact to 2100 (0.8 metre increase in sea level). These maps should be used as a guide only. Field surveys are recommended to verify feature boundaries.

8.2.6.2 Purpose

- (1) The purpose of the coastal protection overlay code is to ensure development is planned, designed, constructed and operated to:
 - (a) avoid the social, financial and environmental costs arising from the impacts of coastal hazards, taking into account the predicted effects of climate change; and
 - (b) manage the coast to protect, conserve and rehabilitate coastal resources and biological diversity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids an unacceptable increase in the severity of the storm tide hazard and does not materially increase the potential for damage on the site or to other properties;
 - (b) development within the erosion prone area avoids intensification of existing uses or new structures;
 - (c) essential community infrastructure and community facilities are located and designed to function effectively during and immediately after hazard events;
 - (d) the conservation of coastal resources is maximised by protecting and managing foreshore and foreshore ecosystems;
 - (e) communities, infrastructure and coastal ecosystems are protected from adverse coastal hazard impacts taking into account the projected effects of climate change;
 - (f) opportunities for sustainable coastal dependent development are protected and coastal dependent development is undertaken in a manner that minimises impacts on coastal resources; and
 - (g) public access to the foreshore or public use of coastal waters is maintained and where appropriate, increased.

8.2.6.3 Specific benchmarks for assessment

Table 8.2.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Development in coastal hazard areas – medium or high hazard or coastal erosion prone areas	
Editor's note—Refer to overlay maps OM-6A and OM-6B	
<p>PO1 Development within a coastal hazard area or erosion prone area:</p> <p>(a) is located, designed and constructed to avoid adverse coastal hazard impacts; and</p> <p>(b) has siting and layout that responds to flooding potential and maintains personal safety at all times.</p>	<p>AO1.1 Floor levels of all habitable rooms are at least 500 millimetres above the defined storm tide event (DSTE) level.</p> <p>Editor's Note—The following defined storm tide event level applies:</p> <ul style="list-style-type: none"> • Rockhampton HAT Zone: 9.90 metres AHD • Port Alma HAT Zone: 10.75 metres AHD <p>To determine finished floor level, 500 millimetres is to be added to the DSTE level.</p> <p>Editor's Note— Refer to overlay map OM-16B and OM-16C for information regarding the defined storm tide event level.</p> <p>AND</p> <p>AO1.2 All services and utilities connected to the property (including electrical outlets) are designed, located and installed at least 500 millimetres above the defined storm tide event level.</p> <p>AND</p> <p>AO1.3 Ground floors are not enclosed underneath to allow for flow-through water movement.</p> <p>AND</p> <p>AO1.4 A small lower level enclosure of no more than five (5) square metres accommodates a laundry or workshop use and is constructed from flood resilient materials.</p> <p>Note—Where a conflict exists between the flood hazard overlay code and the coastal protection overlay code, the highest defined event level prevails.</p>

Table 8.2.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Development in coastal erosion prone areas	
Editor's note—Refer to overlay map OM-6A	
<p>PO2 Coastal-dependent development or redevelopment must:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) locate built structures outside of the erosion prone area; or (b) demonstrate that it is not reasonable to locate the development outside the erosion prone area; or (c) locate built structures and services (water, power and sewerage) landward of the alignment of adjacent habitable buildings; or (d) where (a), (b) or (c) cannot be met, the following is achieved: <ul style="list-style-type: none"> (i) the development footprint within the erosion prone area is minimised and is located as far landward as practicable; (ii) the development is designed to accommodate for future erosion events; (iii) buildings or structures are able to be decommissioned, disassembled or relocated either on the site or to another site; and (iv) on-site protection works are installed and maintained. 	
<p>PO3 Development that is not for a coastal-dependent land use:</p> <ul style="list-style-type: none"> (a) is located outside of the erosion prone area; or (b) where it only involves redevelopment that intensifies the use of a site, it mitigates any increase in risk to people and property from adverse coastal erosion impacts, having regard to: <ul style="list-style-type: none"> (i) ensuring the development footprint within the erosion prone area is minimised and is located as far landward as possible; (ii) the practical design life of the development in the context of future erosion threat; (iii) the ability for buildings or structures to be decommissioned, disassembled or relocated either on the site or to another site; and (iv) installing and maintaining on-site protection works. 	No acceptable outcome is nominated.
<p>PO4 Development (not including coastal dependent development) is set back as far landward as possible to maintain the amenity and use of the coast</p>	<p>AO4.1 For development within the urban area, development (including all buildings and other permanent structures such as swimming pools and retaining walls) are set back not less than six (6) metres from the seaward boundary of the lot.</p>
PO5	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Coastal dependent development minimises the risk to people and property from adverse coastal erosion impacts by:</p> <ul style="list-style-type: none"> (a) installing and maintaining coastal protection works; or (b) locating, designing and constructing relevant buildings or structures to withstand coastal erosion impacts; or (c) allowing for natural fluctuations of the coast to occur, including appropriate allowance for climate change and sea level rise, and avoids the need for additional coastal protection work. 	
<p>PO6 Development in an erosion prone area must demonstrate that it will:</p> <ul style="list-style-type: none"> (a) maintain, protect and enhance vegetation on coastal landforms outside a port, where its removal or damage may: <ul style="list-style-type: none"> (i) destabilise the area and increase the potential for erosion; or (ii) interrupt natural sediment trapping processes; or (iii) interrupt dune or land building processes; (b) maintain sediment volumes of dunes and near-shore coastal landforms, or where a reduction in sediment volumes can not be avoided, increased risks to development from coastal erosion are mitigated by location, design, construction and operating standards; (c) maintain physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast; (d) prevent increasing the risk of shoreline erosion for areas adjacent to the development footprint unless the development is an erosion control structure; and (e) allow for natural fluctuations of the coast to occur which minimises the need for additional coastal protection work. <p>Editor's note—A report that is certified by a registered professional engineer with a development application is to be submitted.</p>	<p>No acceptable outcome is nominated.</p>
<p>Development in coastal hazard areas – medium or high hazard area</p> <p>Editor's note—Refer to overlay map OM-6B</p>	
<p>PO7 Development within an urban area (including residential, rural residential and emerging community zones) that is not for a coastal-</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>dependent development, or temporary, readily relocatable or able to be abandoned structures or essential community infrastructure is:</p> <ul style="list-style-type: none"> (a) located outside the high hazard area; or (b) it is located, designed, constructed and operated to avoid adverse coastal hazard impacts (including impacts on the development's ongoing operation) as demonstrated by a risk assessment (addressing its vulnerability to storm tide inundation and the proposed access to and protection of evacuation routes), that must be prepared to support the development proposal. <p>Editor's note—Refer to SC6.7 – Coastal protection management planning scheme policy for further guidance.</p>	
<p>PO8 Development within an urban area (including residential and emerging community zones) and the rural residential zone, that is not for a coastal-dependent land use, or temporary, readily relocatable or able to be abandoned structures or essential community infrastructure is located outside a medium coastal hazard area unless:</p> <ul style="list-style-type: none"> (a) it does not result in an increase in the intensity of development on the site; or (b) the development is located, designed, constructed and operated to avoid adverse coastal hazard impacts (including impacts on the development's ongoing operation) as demonstrated by a risk assessment (addressing its vulnerability to sea-level rise and storm tide inundation and the proposed access to and protection of evacuation routes), that must be prepared to support the development proposal. <p>Editor's note—Refer to SC6.7 – Coastal protection management planning scheme policy for further guidance.</p>	No acceptable outcome is nominated.
<p>PO9 In non-urban areas, urban or rural residential development does not occur in a coastal hazard – medium or high hazard area.</p>	No acceptable outcome is nominated.
<p>PO10 Development avoids the release of hazardous materials during storm tide events.</p>	No acceptable outcome is nominated.
Public access	

Performance outcomes	Acceptable outcomes
<p>PO11 Development ensures public access to and along the state coastal land and coastal waters is provided to a safe and serviceable standard and is not impeded by private use of the coastal resource.</p>	No acceptable outcome is nominated.
Coastal-dependent development — minor public marine development	
<p>PO12 New minor public marine development co-locates with existing public marine infrastructure.</p>	No acceptable outcome is nominated.
<p>PO13 New locations for minor public marine development are only supported where:</p> <ul style="list-style-type: none"> (a) there are no public landing facilities servicing the same part of the Fitzroy River or to and along state coastal land; or (b) it is established that there is a demonstrated need for the facility in the proposed location. <p>Editor's note—Minor public marine development refers to maritime facilities such as boat ramps, pontoons, slipways, wharves and jetties that serve a public purpose.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO14 Development does not result in the creation of additional lots in areas subject to coastal hazards.</p>	<p>AO14.1 Reconfiguring a lot does not result in new lots within the coastal hazard – medium or high hazard.</p>
<p>PO15 Where land containing an erosion prone area identified on map OM-6A is required to create additional lots, the erosion prone area is to be maintained as a development-free buffer zone.</p>	No acceptable outcome is nominated.

8.2.7 Extractive resources overlay code

8.2.7.1 Application

This code applies to development where the code is identified in the table of assessment for the extractive resources overlay and applies to any areas shown on the extractive resources overlay map OM-7.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.7.2 Purpose

- (1) The purpose of the extractive resources overlay code is to ensure:
 - (a) Key Resource Areas (Benedict Road, Peak Hill and Pink Lily) are protected from development that might prevent or constrain current or future extraction when the need for the extractive resource arises; and
 - (b) extractive industry uses are operated in a way that minimises adverse impacts on surrounding land uses and environmental values.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) significant extractive resources and transport routes are separated and buffered from encroachment by sensitive land use(s);
 - (b) the future productive capacity and viability of both existing and future extractive industry uses and operations are protected from the intrusion of incompatible uses;
 - (c) adverse impacts on sensitive land use(s) are avoided; and
 - (d) development for the purpose of extractive industry:
 - (i) protects personal health and safety;
 - (ii) minimises adverse impacts on the amenity of surrounding land uses;
 - (iii) adequately provides for ongoing site rehabilitation and preparation for use after mining;
 - (iv) avoids adverse impacts on environmental values on external premises; and
 - (v) minimises adverse impacts on environmental values on the premises.

8.2.7.3 Specific benchmarks for assessment

Table 8.2.7.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Extractive resource/processing area	
<p>PO1 The long-term availability of the extractive resource for extraction or processing is maintained, except where it is demonstrated that:</p> <ol style="list-style-type: none"> (a) there is an overriding benefit to the community for the development to occur; and (b) the development can not reasonably be located elsewhere. <p>Editor's note—Applicants should have regard to State Planning Policy — State Interest Guideline – Mining and extractive resources in addressing this performance outcome.</p>	<p>AO1.1 Development is:</p> <ol style="list-style-type: none"> (a) for extractive industry; or (b) directly associated with extractive industry; or (c) for a use that will not constrain existing or future extractive industries.
Extractive resource/processing area and transport route separation areas	
<p>PO2 To protect the extractive resource and its associated adverse impacts, future development is compatible with the operation of the extractive resource by:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) not involving a sensitive land use; (b) not increasing the number of people living within the separation areas for the resource/processing area, or transport route; (c) minimising adverse impacts from existing and future extractive industries on people working or congregating in the separation areas; (d) not compromising the function of the separation area as a buffer from incompatible uses outside the buffer separation areas; and (e) ensuring development avoids any impacts on existing and future development outside the separation areas. 	
<p>PO3 Development does not adversely affect the safe and efficient operation of vehicles transporting extractive materials.</p>	<p>AO3.1 Development:</p> <ul style="list-style-type: none"> (a) does not increase the number of access points to the transport route or ensures that any additional access points are designed to avoid adversely affecting the safe and efficient operation of vehicles transporting extractive materials; and (b) the number of vehicle trips generated by the development does not compromise the efficiency and safety of the transport route.
Operation	
<p>PO4 The operation of the extractive industry is designed and operated to minimise adverse impacts on surrounding areas.</p>	<p>AO4.1 Hard rock extraction involving blasting and processing activities is set back fifty (50) metres from any road and any land that is not being used for extractive industry purposes.</p> <p>AND</p> <p>AO4.2 Blasting is limited to Monday to Saturday 09:00 to 17:00.</p> <p>AND</p> <p>AO4.3 Blasting does not result in materials escaping or being ejected from the premises.</p> <p>AND</p> <p>AO4.4 Security fencing is provided for the entire perimeter of the premises.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.5 A vegetation buffer of ten (10) metres in width is retained or provided around the perimeter of the premises that encloses all extraction areas and stockpiles.</p> <p>AND</p> <p>AO4.6 Water from, around and within the area of operation is managed so that it does not adversely affect the quantity and quality of groundwater or receiving surface waters.</p>
Effects of development	
<p>PO5 Development incorporates design, orientation and construction measures that mitigate the potential adverse impacts on the development as a result of existing or future extractive industry, (including processing and transporting extractive materials) to acceptable levels.</p> <p>Editor's note—Impacts include, but are not limited to, noise, dust, ground vibration, or air blast overpressure.</p>	No acceptable outcome is nominated.
<p>PO6 The extractive industry use is screened from any adjoining major road.</p>	No acceptable outcome is nominated.
<p>PO7 Development avoids or minimises adverse impacts on areas of environmental significance, ecological processes and biodiversity values external to the premises.</p>	No acceptable outcome is nominated.
Rehabilitation	
<p>PO8 Development provides for the rehabilitation of the premises to restore as far as is reasonably practicable, the conservation values that existed on the premises prior to the extractive industry commencing.</p> <p>Editor's note—A rehabilitation plan and expert ecological advice may be required to demonstrate achievement of this performance outcome.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO9 Development does not result in the creation of additional lots within the Key Resource Areas shown on the extractive resources overlay map OM-7.</p>	No acceptable outcome is nominated.

8.2.8 Flood hazard overlay code

8.2.8.1 Application

This code applies to development where the code is identified in the table of assessment for the flood hazard overlay and applies to any areas within a defined flood event hazard area as identified on the following overlay maps:

- (1) Fitzroy River flood overlay map OM-8A; or
- (2) Floodplain investigation area overlay map OM-8B; or
- (3) Local catchment flood overlay map OM-8C

Where flood mapping overlaps the highest category of hazard prevails.

Note—That:

- (1) for the Fitzroy River flood areas the defined flood level has been modelled for a one (1) per cent annual exceedance probability (AEP). The defined flood event inundation extents and associated hazard areas are shown on Fitzroy River flood overlay map OM-8A;
- (2) the floodplain investigation area is the inundation extent as shown on Floodplain investigation area overlay map OM-8B. The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed; and
- (3) for local catchment flood affected areas the defined flood level has been modelled for a one (1) per cent annual exceedance probability (AEP). The defined flood event inundation extents are shown on the local catchment flood overlay map OM-8C.

Note—The flood hazard overlay area is a natural hazard area. Within this area, susceptibility to flood has been identified. The planning scheme provisions only apply to that part of the land which is affected by the overlay.

Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.

Note—Where flood mitigation works are completed the provisions contained within this code apply regardless.

Editor's note—For the purposes of Section 13 (1) of the Building Regulations 2006, the flood hazard areas defined by the planning scheme under maps OM-8A, OM-8B, OM-8C are also designated to be the flood hazard areas.

Editor's note—For the purposes of Section 13 (1) of the Building Regulations 2006, Rockhampton Regional Council declares that the finished floor level in a flood hazard area must be a minimum of 500 millimetres above the defined flood level.

Editor's note—Council will make available (where flood modelling has been undertaken) the height of the defined flood level for any particular location upon request. The applicant must be aware that in some areas, coastal hazards, such as storm tide inundation may also affect land.

Editor's note—Floods larger than the defined flood event can occur, which may cause development at the margins of the natural hazard management area (flood) to be indirectly affected by flooding and therefore may not be able to serve their critical function. Particular attention should be paid to essential community infrastructure and table 8.2.8.3.3 – essential community infrastructure and community facilities and public assets for their respective flood immunities.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.8.2 Purpose

- (1) The purpose of the flood hazard overlay code is to manage development outcomes in flood prone areas so that risk to life, property, community and the environment as a result of flood is avoided or minimised. Development does not increase likelihood or consequences of flood damage, either on-site or to any other property or infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is compatible with the level of risk associated with the flood hazard, and development siting, layout and access responds to the flood hazard and avoids an unacceptable risk to personal safety;
 - (b) development is resilient to flood hazard events by ensuring siting and design and does not expose people and property to unacceptable risk in all flood hazard events;
 - (c) development does not increase the potential for damage on the site or to other properties or infrastructure;

- (d) there is no further intensification of residential, commercial, retail and industrial uses within the Fitzroy River flood areas H3 – H6 (high and extreme areas) and Local catchment planning area 1;
- (e) new development within Fitzroy River flood areas H1 – H2 (low and medium areas), North Rockhampton Flood Management Area and Local catchment planning area 2 must not increase the known flood risk through appropriate flood resilient siting and design methods;
- (f) Development does not result in the creation of additional lots that will be at risk in times of flood in the Fitzroy River flood hazard areas, North Rockhampton Flood Management Area or Local catchment planning areas;
- (g) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment;
- (h) wherever practical, essential community infrastructure, community facilities and supporting infrastructure are located and designed to function effectively during and immediately after flood events;
- (i) development contributes to effective and efficient disaster management response and recovery capabilities; and
- (j) natural processes and the protective function of landforms and vegetation are maintained in flood hazard areas.

Editor's note—Buildings or structures within a designated flood hazard area must meet the requirements of the Queensland Development Code – MP3.5 – Construction of buildings in flood hazard areas.

Editor's note— how to assess properties that could be 'at risk':

1. Risk assessment is conducted by appropriately qualified person; and
2. The assessment considers, access, area of inundation on the lot and usability, any damage that maybe caused to property, freeboard etc.

8.2.8.3 Specific benchmarks for assessment

Table 8.2.8.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Development in Fitzroy River flood area – H1 (low hazard area) or H2 (medium hazard area) or North Rockhampton Flood Management Area or local catchment flood – planning area 2	
Editor's note—Refer to overlay maps OM-8A and OM-8C	
PO1 Development (including extensions) for non-residential purposes is able to provide a safe refuge for people and for the storage of goods during times of flood inundation.	AO1.1 For non-residential development, at least thirty (30) per cent of the gross floor area of all new buildings and structures is located a minimum of 500 millimetres above the defined flood level. Editor's note—Areas less than those nominated above may be supported where accompanied by a flood impact report in accordance with SC6.10 — Flood hazard planning scheme policy. AND AO1.2 A report from a registered professional engineer Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.
PO2	AO2.1

Performance outcomes	Acceptable outcomes
<p>Development is located to minimise susceptibility to and potential impacts of flooding.</p>	<p>For residential uses the finished floor levels of all habitable rooms shall be constructed a minimum of 500 millimetres above the defined flood level.</p> <p>AND</p> <p>AO2.2 A report from a registered professional engineer of Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.</p> <p>Editor's note—Report to be prepared in accordance with SC6.10—Flood hazard planning scheme policy.</p>
<p>PO3 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO3.1 All hazardous materials and hazardous manufacturing equipment and hazardous containers are located and stored a minimum of 500 millimetres above the defined flood level.</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated regulation, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances.</p>
<p>Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas) or Local catchment flood – planning area 1</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO4 Development does not involve the further intensification of land uses and does not increase the risk to people and property.</p> <p>Editor's note—Flood hazard risk assessment can be undertaken in accordance with SC6.10 — Flood hazard planning scheme policy.</p>	<p>AO4.1 AO4.1.1 Development does not involve new buildings or structures.</p> <p>OR</p> <p>AO4.1.2 Where involving the replacement or alteration to an existing non-residential building or structure:</p> <p>(a) there is no increase in the existing or previous buildings' gross floor area; and</p> <p>(b) the finished floor level of any replacement or alteration to an existing building is constructed a minimum of 500 millimetres above the defined flood level.</p> <p>OR</p> <p>AO4.1.3 Where involving the replacement or alteration to an existing caretakers' accommodation, dwelling house or dwelling unit:</p> <p>(a) there is no increase in the number of dwellings;</p>

Performance outcomes	Acceptable outcomes
	<p>(b) there is no increase in the existing or previous buildings' gross floor area; and</p> <p>(c) the finished floor level of all habitable rooms shall be constructed a minimum of 500 millimetres above the defined flood level.</p> <p>AND</p> <p>AO4.1.4 Where located in the rural zone, the total floor area of class 10a buildings and structures on the site do not exceed a total of fifty (50) square metres, and are set back a minimum of twenty (20) metres from all site boundaries.</p>
PO5 Development avoids the release of hazardous materials into floodwaters.	AO5.1 Materials manufactured, used or stored on site are not hazardous in nature.
Development in floodplain investigation area	
Editor's note—Refer to overlay map OM-8B	
PO6 Development is located to minimise susceptibility to and potential impacts of flooding. Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.	AO6.1 Flood resilience is optimised by ensuring new habitable rooms are located on the highest part of the site to minimise entrance of floodwaters.
PO7 Development avoids the release of hazardous materials into floodwaters.	AO7.1 Materials manufactured, used or stored on site are not hazardous in nature.

Table 8.2.8.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or local catchment flood – all planning areas	
Editor's note—Refer to overlay maps OM-8A and OM-8C	
PO8 Development is located to minimise susceptibility to and potential impacts of flooding.	No acceptable outcome is nominated.
PO9 Underground car parks are designed to prevent the intrusion of floodwaters.	AO9.1 Development with underground car parking is designed to prevent the intrusion of floodwaters by the incorporation of a bund or similar barrier a minimum of 500 millimetres above the defined flood level.
PO10 Development: (a) Does not result in any reduction of onsite flood storage capacity; or	No acceptable outcome is nominated.

<p>(b) Does not result in any change to depth, duration or velocity of floodwaters within the premises; and</p> <p>(c) does not change flood characteristics outside the premises, including but not limited to causing:</p> <ul style="list-style-type: none"> (i) loss of flood storage; or (ii) loss of or changes to flow paths; or (iii) acceleration or retardation of flows; or (iv) any reduction in flood warning times elsewhere on the floodplain. <p>Editor's note—Council may require the applicant to submit a site-based flood study that investigates the impact of the development on the floodplain and demonstrates compliance with the relevant performance outcome.</p>	
<p>PO11 Essential community infrastructure and community facilities are protected from, and able to function effectively during and immediately after, a defined flood event.</p>	<p>AO11.1 A use for a purpose listed in Table 8.2.8.3.3:</p> <ul style="list-style-type: none"> (a) is not located within the flood hazard area; and (b) has at least one (1) flood free access road.
<p>PO12 Development provides safe and trafficable access to the local evacuation centres and evacuation services and have regard to:</p> <ul style="list-style-type: none"> (a) evacuation time; (b) number of persons affected; (c) types of vehicles necessary for evacuation purposes; (d) the distance to flood free land; and (e) the evacuation route. 	<p>AO12.1 Trafficable access to and from the development complies with the Capricorn Municipal Development Guidelines.</p> <p>AND</p> <p>AO12.2 Trafficable access to and from the development within the local catchment planning areas are in accordance with the Queensland Urban Drainage Manual.</p> <p>Note—Trafficable access for emergency services or community related uses is obtained from at least one (1) route (minor collector or higher) for emergency services purposes. The development is to ensure that safe access, to the road network between the development site and the closest centre zone, is provided.</p> <p>Editor's note—Trafficable access requirements for local catchment planning areas has not been identified and reference has been made to the provisions under the Queensland Urban Drainage Manual. This is due to the short period that property may be isolated.</p>
<p>Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas), North Rockhampton flood management area or Local catchment flood – planning area 1</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO13 Development that involves temporary or moveable residential structures (for example caravan parks and camping grounds) are not located within the Fitzroy River high and extreme hazard areas, North Rockhampton flood management area or Local catchment planning area 1.</p>	<p>No acceptable outcome is nominated.</p>

Reconfiguring a lot	
Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or local catchment flood – all planning areas	
Editor's note—Refer to overlay maps OM-8A and OM-8C	
<p>PO14 Development does not result in the creation of additional lots that will be at risk in times of flood.</p> <p>Editor's note— how to assess properties that could be 'at risk':</p> <ol style="list-style-type: none"> (1) Risk assessment is conducted by appropriately qualified person; and (2) The assessment considers, access, area of inundation on the lot and usability, any damage that maybe caused to property, freeboard etc. 	<p>AO14.1 Reconfiguring a lot does not result in:</p> <ol style="list-style-type: none"> (a) additional lots being created below the Defined Flood Level (DFL); and (b) lots created that do not have a safe trafficable access in the Defined Flood Event (DFE).
<p>PO15 Development does not result in the worsening of flooding to external properties.</p> <p>Editor's note— Refer to the Queensland Urban Drainage Manual (QUDM) regarding the lawful discharge to stormwater.</p>	No acceptable outcome is nominated.
Development in floodplain investigation area	
Editor's note—Refer to overlay map OM-8B	
<p>PO16 Development provides vehicle access to a road network that is sufficient to enable safe access.</p> <p>Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard risk planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.</p>	No acceptable outcome is nominated.
<p>PO17 Onsite access is provided to a building envelope or fill area in which a building is to be constructed. The access is located on land classified as a low flood hazard in the defined flood event.</p>	<p>AO17.1 Onsite access to a building envelope or fill area is provided over land that is designated as a low flood hazard.</p> <p>Editor's note—For the purposes of the above requirements in respect of an access area or a road which provides access to the development a low flood hazard means:</p> <ol style="list-style-type: none"> (a) inundation is a maximum depth of 300 millimetres during events up to and including the defined flood event; (b) inundation extends for a maximum distance of 200 metres during events up to and including the defined flood event; and (c) The product of velocities and depth does not exceed $D \cdot V = 0.4 \text{m}^2/\text{s}$.
Operational work	
<p>PO18 Development does not materially impede the flow of floodwaters through the site or worsen flood flows external to the site.</p>	<p>AO18.1 Development does not involve:</p> <ol style="list-style-type: none"> (a) filling with a height greater than 100 millimetres; or (b) block or solid walls or fences; or (c) garden beds or other structures with a height more than 100 millimetres; or

	(d) the planting of dense shrub hedges.
--	---

Table 8.2.8.3.3 —Essential community infrastructure and community facilities and public assets

Use	Flood event level per cent annual exceedance probability
Emergency services	0.2
Emergency/evacuation shelters	0.5
Fire and police stations	0.5
Hospitals and associated facilities	0.2
Stores of valuable record or items of historic/cultural significance.	0.2
Air services	0.5
Telecommunications facilities	0.5
Power stations	0.2
Major electricity infrastructure	0.2
Substations	0.5
Sewage treatment plants	1.0
Water treatment plants	0.2
Retirement facility, residential care facility and community residence	0.5
Community related uses (including child care centres and educational establishments)	0.5
Regional fuel storage	0.5
Food storage warehouse	0.5

Editor's note—0.5 per cent annual exceedance probability and 0.2 per cent annual exceedance probability mapping is only available for some areas within the region. The applicant will be required to provide sufficient detail in the form of a flood impact report for development within areas that are not mapped in accordance with SC6.10 — Flood hazard planning scheme policy.

Editor's note—Cultural significance means aesthetic, architectural, historical, scientific spiritual or other significance to the present generation or past or future generations.

8.2.9 Heritage place overlay code

8.2.9.1 Application

This code applies to development where the code is identified in the table of assessment for the heritage place overlay and applies to the areas adjoining a heritage place as shown on heritage place overlay map OM-9 and to the local heritage place (including areas adjoining) as identified on the local heritage place register (refer to SC6.13 – Local heritage planning scheme policy) and overlay map OM-9.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—For the purposes of this overlay code the term “heritage place” refers to premise(s) that are listed on the Queensland Heritage Register under the *Queensland Heritage Act 1992*. Development on these sites is regulated by the Queensland State Government. The provisions contained in this code referring to ‘areas adjoining a heritage place’ are relevant to places identified on OM-9 being “areas adjoining heritage place”.

8.2.9.2 Purpose

- (1) The purpose of the heritage place overlay code is to ensure that:
 - (a) development retains the significance of the local heritage place; and
 - (b) development adjoining a heritage place or adjoining a local heritage place is sympathetic to the cultural significance of the site or area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the significance of the local heritage place is retained and their conservation supported;
 - (b) ensuring that adjoining and surrounding land uses and developments are of a nature and scale that does not compromise the cultural heritage significance of a site or area;
 - (c) development adjoining a heritage place or adjoining a local heritage place does not visually detract or cause adverse impacts on significant views or the visual setting;
 - (d) development avoids or minimises adverse impacts on the cultural heritage significance of a place;
 - (e) ensuring that development respects and incorporates any relevant aspects of indigenous cultural interests and values in the heritage place; and
 - (f) conserving the biodiversity and geodiversity of the local heritage place.

8.2.9.3 Specific benchmarks for assessment

Table 8.2.9.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Building work — demolition or removal —	local heritage place
<p>PO1 All building work in the form of demolition or removal is only undertaken when there is a significant safety concern for the wellbeing of people and property due to structural stability. If demolition or removal is required the original features of the place are recorded digitally.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared by a suitably qualified person as detailed in SC6.13 — Local heritage planning scheme policy.</p>	<p>AO1.1 AO1.1.1 Demolition is only undertaken where a report prepared by a suitably qualified conservation architect or conservation engineer demonstrates that the building is structurally unsound and is not reasonably capable of repair.</p> <p>OR</p> <p>AO1.1.2 Only minimal and necessary demolition is performed in the course of repairs, maintenance or restoration.</p>

Performance outcomes	Acceptable outcomes
	<p>OR</p> <p>AO1.1.3 Demolition is performed following a catastrophic event (such as fire, landslide and flooding) which substantially destroys the building.</p> <p>AND</p> <p>AO1.2 In every case where a local heritage place is demolished (partially or wholly) or removed, an archival quality photographic record of the local heritage place, including its features, is made prior to demolition or removal and lodged with Council.</p>
Within a local heritage place	
<p>PO2 All development undertaken on the site of a local heritage place retains and protects the cultural heritage significance and values of the heritage place.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance.</p>
<p>PO3 Development protects the fabric and setting of the local heritage place while providing for its use, interpretation and management.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understanding and assessing cultural significance.</p>
<p>PO4 Development addresses all issues relevant to the conservation of the local heritage place and in accordance with any conservation management plans applying to the place.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Preparing studies and reports: contractual and ethical issues.</p>
<p>PO5 Reuse of a local heritage place occurs by: (a) retaining or restoring the original use; or (b) not requiring significant modification to the fabric; or (c) other means that results in the use of the premises in a manner that ensures its conservation.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance.</p>
<p>PO6 Development does not impact on any culturally significant values that are identified by the indigenous people to whom the place is significant.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Heritage places with indigenous cultural values are assessed by a suitably qualified person and as detailed in SC6.13 — Local heritage planning scheme policy.</p>
Adjoining a heritage place or local heritage place	
<p>PO7 Development is sympathetic to, and consistent with the significant features and values of the heritage place or local heritage place, including: (a) maintaining significant views;</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(b) consistency of built form and setback; (c) scale; (d) potential for overshadowing; and (e) consistency with open space and landscape features.	
PO8 Development on Quay Street or East Street does not adversely affect the fabric and setting of the heritage place or streetscape.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO9 Reconfiguring a lot does not: (a) reduce public access to the local heritage place; or (b) create the potential to adversely affect significant views to and from the local heritage place; or (c) obscure, destroy or disrupt any pattern of historic subdivision, the historical context, the landscape settings or the scale and consistency of urban precincts relating to the local heritage place.	No acceptable outcome is nominated.

8.2.10 Special management area overlay code

8.2.10.1 Application

This code applies to development where the code is identified in the table of assessment for the special management area overlay and applies to any areas identified on the special management area overlay map OM-10.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.10.2 Purpose

- (1) The purpose of the special management area overlay is to identify areas that may be impacted upon by industrial or landfill activities.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development does not compromise existing or future industrial development or existing landfill sites;
 - (b) development is designed and located to protect the health, well-being, amenity and safety of communities and individuals from the impacts of air, light, noise and odour emissions, and from the impacts of hazardous materials that could result from locating in proximity to industrial or landfill uses;
 - (c) the establishment of new or the further intensification (except for minor alterations or extensions) of existing sensitive land use(s) does not occur; and
 - (d) reconfiguring a lot does not increase the number of people residing permanently in the area on a long-term basis.

8.2.10.3 Specific benchmarks for assessment

Table 8.2.10.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Dwelling house or dwelling unit	
PO1 Development does not involve the further intensification of sensitive land use(s).	AO1.1 Where involving the replacement, alteration or extension to an existing dwelling house or dwelling unit: <ol style="list-style-type: none"> (a) there are no secondary dwellings; and (b) there is to be no more than a twenty (20) per cent increase in the existing or previous buildings gross floor area. AND AO1.2 No new dwelling house(s) to be established.

Table 8.2.10.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
<p>Effects of development</p> <p>PO2 Development does not result in a sensitive land use being exposed to air, noise and odour emissions that impact upon human health, amenity and well-being.</p>	<p>AO2.1 The development is designed to ensure that:</p> <ul style="list-style-type: none"> (a) the indoor noise objectives set out in the <i>Environmental Protection (Noise) Policy 2019</i> are met; (b) the air quality objectives in the <i>Environmental Protection (Air) Policy 2019</i>, and any relevant national or international standard (for example, the World Health Organisation Guidelines for Air Quality 2000) are met; and (c) the odour impacts are assessed in accordance with the State Planning Policy (Emissions and hazardous activities) and Queensland Odour Impact Assessment Guideline. <p>Editor's note—An air, noise or hazard impact assessment can be prepared by a suitably qualified professional to demonstrate compliance with AO2.1. Refer to SC6.3 — Air, noise and hazard assessments planning scheme policy to determine the minimum requirements for an air, noise or hazard assessment.</p>
<p>PO3 Development incorporates design measures, to minimise any adverse effects, including, but not limited to:</p> <ul style="list-style-type: none"> (a) landscaping; (b) setting back sensitive land use(s) from existing and future industrial noise sources; (c) positioning buildings in the most appropriate geographic locations (for example placing bedrooms away from existing and future industrial noise sources); (d) using barriers, mounds and fences; and (e) screening sensitive land use from industrial noise sources. 	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO4 No further lots are created which could result in the increased number of persons living within proximity to an industrial or land fill use.</p>	<p>AO4.1 No additional lots are created.</p>

8.2.11 Steep land overlay code

8.2.11.1 Application

This code applies to development where the code is identified in the table of assessment for the steep land overlay and applies to any areas on steep land overlay map OM-11.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The steep land overlay area is a trigger to determine whether land is susceptible to landslide.

8.2.11.2 Purpose

- (1) The purpose of the steep land overlay code is to ensure that:
 - (a) development does not materially increase the extent or the severity of landslide hazard; and
 - (b) risk to life, property, community and the environment during landslides is avoided.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids an unacceptable increase in the severity of a potential landslide event and does not materially increase the potential for damage on the site or to other properties;
 - (b) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a landslide event;
 - (c) development ensures that vegetation clearing and filling or excavation on a site does not increase the risk of landslide;
 - (d) development contributes to effective and efficient disaster management response and recovery capabilities; and
 - (e) essential community infrastructure is located and designed to function effectively during and immediately after landslide events.

8.2.11.3 Specific benchmarks for assessment

Editor's note—A site-specific geotechnical analysis may be required to be undertaken and certified by a qualified registered professional engineer appropriately experienced in slope stability investigations to be in accordance with Australian Geomechanics Society Volume 42 No 1 March 2007. Development must be certified by such an engineer as having been undertaken in accordance with all recommendations of these geotechnical investigations.

Table 8.2.11.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
All development	
PO1 Development incorporates design measures for the development (including ancillary buildings, structures and swimming pools) to ensure: <ol style="list-style-type: none"> (a) the long-term stability of the site considering the full nature and end use of the development; (b) site stability during all phases of construction and development; (c) people and property are protected from a potential landslide event; and (d) adjoining properties are not impacted by a potential landslide event. 	No acceptable outcome is nominated. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.
PO2	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Vegetation clearing on site does not increase the risk of a landslide event occurring.	Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.
PO3 Development involving the manufacture or storage of hazardous materials in bulk is not at risk from a landslide event.	AO3.1 The manufacture or storage of hazardous materials in bulk does not occur within the steep land overlay area.
PO4 Emergency services and community uses are able to function effectively during and immediately after landslide events.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO5 Development ensures that on all new lots: (a) future building location is not located on part of the site subject to a potential landslide; (b) the need for excessive work or changes to the finished landform to construct a building or vehicular access route within the development envelope nominated is avoided; and (c) future building will not be adversely affected by, or be at unacceptable risk from, landslide activity originating on sloping land above the site. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this performance outcome.	AO5.1 When a development footprint has a slope of, or greater than fifteen (15) per cent, each new lot has a minimum size and road frontage in accordance with Table 8.2.11.3.2. Note—The minimum lot size and road frontage stated in Table 8.2.11.3.2 prevails over the reconfiguring a lot code to the extent of any inconsistency. AND AO5.2 The development has: (a) a frontage to a formed road; and (b) any section of a driveway or road internal to a site is not steeper than twenty-five (25) per cent.
Operational works	
PO6 Filling and excavation does not: (a) occur on land that has a slope greater than or equal to fifteen (15) percent; and (b) alter the existing flow of surface water or groundwater on the site.	No acceptable outcome is nominated. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.

Table 8.2.11.3.2 — Minimum lot size and road frontage widths for slopes

Slope	Minimum lot size	Minimum road frontage width
Equal to, or greater than fifteen (15) per cent but less than twenty (20) per cent	1,400 square metres	Twenty-five (25) metres
Equal to, or greater than twenty (20) per cent but less than twenty-five (25) per cent	1,700 square metres	Twenty-five (25) metres
Equal to, or greater than twenty-five (25) per cent	2,000 square metres	Thirty (30) metres

8.2.12 Water resource catchments overlay code

8.2.12.1 Application

This code applies to development where the code is identified in the table of assessment for the water resource catchments overlay and applies to any areas shown on the water resource catchments overlay map OM-12.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.12.2 Purpose

- (1) The purpose of the water resource catchments overlay code is to ensure that development of land within water resource catchments is managed to protect the water quality of the catchment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development does not adversely impact upon the quality or quantity of water entering:
 - (i) The barrage and Fitzroy River catchment buffer; or
 - (ii) Dam No.7 (Mount Morgan) catchment buffer; or
 - (iii) Fletcher's Creek weir catchment buffer; or
 - (iv) any proposed dam or weir.

8.2.12.3 Specific benchmarks for assessment

Table 8.2.12.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Separation distances	
<p>PO1 Separation between development and watercourses, lakes and springs in the catchment are sufficient to preserve riparian areas, including riparian vegetation, and their capacity to maintain water quality by filtering sediments, nutrients and other pollutants.</p>	<p>AO1.1 Development connected to reticulated sewerage is not located within 100 metres of:</p> <ol style="list-style-type: none"> (a) the high bank of the water body; or (b) the full supply level (or planned full supply level) of the water body; or (c) the flood margin reserve of the water body, <p>whichever will provide the greatest distance from the water edge of the water body.</p> <p>AND</p> <p>AO1.2 Development requiring on site sewerage disposal is not located within:</p> <ol style="list-style-type: none"> (a) a minimum of 100 metres of the high bank of the water body; or (b) a minimum of 400 metres of the full supply level (or planned supply level) or flood margin reserve of the water body, <p>whichever is the greatest distance from the water edge of the water body.</p> <p>AND</p> <p>AO1.3 Endemic vegetation is retained or reinstated within the riparian areas.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO1.4 Riparian areas are fenced to restrict stock access.</p>
Stormwater management	
<p>PO2 Development involving building work or operational work has suitable measures to protect water quality and mitigate the potential adverse impacts of water runoff.</p>	No acceptable outcome is nominated.
On-site sewerage facility	
<p>PO3 The siting, installation and operation of a domestic on-site sewerage or wastewater system must:</p> <ul style="list-style-type: none"> (a) ensure that the effects of the facility are contained within the property boundaries; (b) have no adverse impacts on catchment water quality; and (c) minimise the risk of contamination of catchment waters due to failure of on-site wastewater disposal systems and export of pollutants and sediments via stormwater run-off. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Site and soil evaluation process in the Queensland Plumbing and Wastewater Code (2011) may be used to determine the suitability of each lot for an on-site sewerage or wastewater facility and the land requirements of the facility to achieve acceptable outcome for separation distances.</p> <p>Editor's note—Council may require covenant areas to be identified for each lot to identify separation distance restrictions.</p>
Operational work (including work associated with reconfiguring a lot)	
<p>PO4 Work that disturbs soil, including filling and excavating do not adversely affect catchment water quality.</p>	<p>AO4.1 No filling or excavation is undertaken in any watercourse or waterway.</p>
<p>PO5 Any changes to the run-off characteristics of a site are minimised in an ecologically sensitive manner and do not adversely affect catchment water quality.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO6 The size and configuration of any additional lots ensures that adverse impacts on catchment water quality and public health risks are minimised.</p>	No acceptable outcome is nominated.
<p>PO7 Development ensures that riparian vegetation is retained.</p>	No acceptable outcome is nominated.

[Intentionally blank]

Part 9 Development codes

9.1 Preliminary

- (1) Development codes are codes for assessment where identified as an applicable code in Part 5.
- (2) Use codes and other development codes are specific to each planning scheme area.
- (3) The following are the use codes for the planning scheme:
 - (a) Extractive industry code; and
 - (b) Telecommunications facilities and utilities code;
- (4) The following are the other development codes for the planning scheme:
 - (a) Access, parking and transport code;
 - (b) Advertising devices code;
 - (c) Filling and excavation code;
 - (d) Landscape code;
 - (e) Reconfiguring a lot code;
 - (f) Stormwater management code;
 - (g) Waste management code;
 - (h) Water and sewer code; and
 - (i) Works code.

9.2 Use codes

9.2.1 Extractive industry code

9.2.1.1 Application

This code applies to an extractive industry use when not subject to the extractive resource overlay (key resource area).

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.2.1.2 Purpose

- (1) The purpose of the extractive industry code is to facilitate the development of extractive resources, while ensuring the protection of the environment, landscape values and sensitive land use(s). Extractive industry must be protected from developments that constrain the safe and efficient ongoing operation. Once an extractive industry use has ceased, the site is satisfactorily rehabilitated.
- (2) The purpose of this code is achieved through the following overall outcomes:
 - (a) the layout, design, operation and management of the use minimises impacts upon the natural environment and sensitive land use(s), this includes impacts upon natural features and processes both on-site and on adjoining areas;
 - (b) haul routes meet the needs of the traffic generated by the use without compromising the safety and efficiency of the route;
 - (c) the use achieves an acceptable standard of visual amenity, by reducing visual intrusion onto residential zoned areas and sensitive land use(s); and
 - (d) the site is rehabilitated (following the cessation of the use) to minimise the impacts upon the environment, improve visual amenity and landform layout and provide for a suitable land use following the completion of extraction.

9.2.1.3 Specific benchmarks for assessment

Table 9.2.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes										
Scale of use											
PO1 Extractive industries are appropriately separated from urban areas and sensitive land use(s) to minimise visual and noise impacts.	AO1.1 The extractive industry use is separated by the following distances from the nearest sensitive land use and residential zone, rural residential zone, emerging community zone:										
	<table border="1"> <thead> <tr> <th>Operation</th> <th>Separation distance</th> </tr> </thead> <tbody> <tr> <td>Extractive industry operation involving blasting</td> <td>1,000 metres</td> </tr> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated onsite haul route</td> <td>100 metres</td> </tr> </tbody> </table>	Operation	Separation distance	Extractive industry operation involving blasting	1,000 metres	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated onsite haul route	100 metres
	Operation	Separation distance									
	Extractive industry operation involving blasting	1,000 metres									
	A hard rock extractive industry	500 metres									
A sand and gravel extractive industry	200 metres										
A designated onsite haul route	100 metres										
PO2 Where practical the extractive industry is to be screened from nearby sensitive land use(s) or residential zoned areas and from state controlled roads.	AO2.1 A vegetated buffer, having a minimum width of thirty (30) metres, is to be provided along all boundaries of the site.										
	AND										

Performance outcomes	Acceptable outcomes
	<p>AO2.2 No vegetation is cleared outside the resource/processing area (includes future approved stages) or haulage routes.</p>
Effects of development	
<p>PO3 The operation of the extractive industry ensures that noise impacts are minimised on the surrounding area.</p>	<p>AO3.1 Blasting operations are limited to Monday to Friday between the hours of 09:00 to 17:00.</p> <p>AND</p> <p>AO3.2 Extraction, crushing, screening, loading, operation of plant equipment, ancillary activities and haulage are limited to Monday to Saturday between the hours of 06:00 and 18:00.</p> <p>AND</p> <p>AO3.3 Operations do not occur on Sunday or public holidays.</p> <p>AND</p> <p>AO3.4 Maintenance of equipment and vehicles outside of normal operating hours is carried out so as not to cause nuisance to nearby sensitive land use(s).</p> <p>AND</p> <p>AO3.5 Vibration levels do not exceed the acoustic quality objectives contained in the <i>Environmental Protection (Noise) Policy 2019</i>.</p>
<p>PO4 The development minimises dust impacts upon adjoining properties.</p>	<p>AO4.1 Internal roads are sealed and dust impacts are contained onsite.</p> <p>AND</p> <p>AO4.2 Materials carried by heavy vehicles are covered.</p> <p>AND</p> <p>AO4.3 Air pollution levels do not exceed the air quality objectives contained in the <i>Environmental Protection (Air) Policy 2019</i>.</p>
<p>PO5 The development does not compromise public safety.</p>	<p>AO5.1 Security fencing is provided for the full length of the perimeter of the site and around extractive industry stockpiles and operations.</p>

Performance outcomes	Acceptable outcomes
<p>PO6 On-site drainage is designed, constructed and maintained to:</p> <ul style="list-style-type: none"> (a) prevent ponding in excavated areas; (b) avoid erosion; (c) prevent pollution of groundwater and surface water; and (d) provide opportunities to conserve and reuse water on the site. 	<p>AO6.1 Banks and channels are constructed to divert stormwater runoff away from excavated areas.</p> <p>AND</p> <p>AO6.2 Sediment basins are provided as required to detain stormwater runoff from disturbed areas such that there is no offsite discharge likely to cause environmental harm.</p> <p>AND</p> <p>AO6.3 Bunding, treatment and disposal of wastes is carried out such that no environmental harm is caused.</p> <p>AND</p> <p>AO6.4 Lining or other suitable treatment of erosion prone areas is established and maintained at discharge points.</p>
<p>PO7 Extraction works and rehabilitation are to be carried out to minimise the potential for impacts on the environment (such as from stormwater run-off and erosion) and to retain the basic natural qualities and appearance of the site.</p>	<p>AO7.1 Disused buildings and structures are removed from the site after extraction is completed.</p> <p>AND</p> <p>AO7.2 The site is rehabilitated once operations have ceased in accordance with an approved rehabilitation plan.</p>
Parking, access and transport	
<p>PO8 The transportation of materials from the site does not significantly impact upon the road system or sensitive areas.</p>	<p>AO8.1 The haul route is along roads that are sealed.</p> <p>AND</p> <p>AO8.2 Haul routes, except when located on a state controlled road, are more than 100 metres from any sensitive land use or land in a residential zone or rural residential zone.</p> <p>AND</p> <p>AO8.3 Road access is of a standard sufficient to carry traffic generated by the extractive industry. The applicant is to cover ongoing costs on Council's road networks that are generated by the extractive industry during the life of the operation.</p>

9.2.2 Telecommunications facilities and utilities code

9.2.2.1 Application

This code applies to telecommunications facilities, utility installations, substations and major electricity infrastructure where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—Low impact telecommunication facilities and minor electricity infrastructure are not regulated by the planning scheme. Low impact telecommunications facilities are required to comply with the *Telecommunications (low-impact facilities) Determination 1997*. Low impact facilities remain the responsibility of the Commonwealth.

9.2.2.2 Purpose

- (1) The purpose of the telecommunications facilities and utilities code is to ensure that telecommunications facilities, utility installations, major electricity infrastructure and substations are visually integrated with the surrounding natural and built environment, do not cause amenity, safety or health impacts and are collocated as much as possible in appropriate locations.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is visually integrated with the surrounding natural and built environment and collocated or provide for collocation;
 - (b) development ensures adverse impacts to the community and environment are minimised;
 - (c) development implements best practice with respect to design, environmental management and construction standards; and
 - (d) risks to public health and safety are minimised.

9.2.2.3 Specific benchmarks for assessment

Table 9.2.2.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Telecommunications facility	
Location	
PO1 The location of a telecommunications facility does not adversely impact the amenity, health or visual character of a residential zone or other sensitive locations, including national parks and surrounding ranges.	AO1.1 Development is not located in the following zones: <ol style="list-style-type: none"> (a) residential zone category; or (b) rural residential zone; or (c) emerging community zone; or (d) environmental management and conservation zone.
Visual integration	
PO2 Development is visually integrated with the surrounding area to ensure it does not visually dominate and is not visually obtrusive, having regard to: <ol style="list-style-type: none"> (a) scale; (b) height; (c) bulk; (d) materials and colour; and (e) aesthetic appearance. 	AO2.1 AO2.1.1 If the development is a freestanding structure (that is, not attached to a building), the height does not exceed whichever is the taller of the following: <ol style="list-style-type: none"> (a) the height limit specified on the airport environs overlay (relating to the airport heights for Rockhampton); and (b) for areas outside of the airport environs overlay: <ol style="list-style-type: none"> (i) the maximum height of buildings allowable within a twenty (20) metre radius of the proposed facility; or

Performance outcomes	Acceptable outcomes
	<p>(ii) the top of the predominant tree canopy within twenty (20) metres of the proposal.</p> <p>OR</p> <p>AO2.1.2 The development is:</p> <p>(a) collocated on an existing tower, or as a co-tenant on a new tower; or</p> <p>(b) located on or as part of a new or existing building.</p>
<p>PO3 Development:</p> <p>(a) is camouflaged through use of colours and materials which blend into the visual landscape (earth tones); and</p> <p>(b) incorporates a range of non-reflective materials, textures and finishes that reflect the character of the surrounding area.</p> <p>(c)</p>	<p>No acceptable outcome is nominated.</p>
<p>PO4 Development is located at distances from the property frontage and the side and rear boundaries, to provide clear separation from neighbouring properties and road frontages so that visual obtrusiveness is minimised.</p>	<p>AO4.1 If the development is a freestanding structure (that is, not attached to a building), the following minimum setbacks to property boundaries are achieved:</p> <p>(a) ten (10) metres, where the height of the structure is less than twenty (20) metres;</p> <p>(b) fifteen (15) metres, where the height of the structure is between twenty (20) metres and thirty (30) metres; and</p> <p>(c) twenty (20) metres, where the height of the structure is greater than thirty (30) metres.</p>
<p>PO5 Tree and shrub planting must provide dense screening to reduce the visual impacts of the facility and to enhance the character of the local area.</p>	<p>AO5.1 A minimum three (3) metre wide earth mounded landscape strip, with densely planted shrubs and appropriate tree species, provides a visual barrier within the setback area and adjoining properties.</p> <p>Editor's note—Refer to SC6.12 — Landscape design and street trees planning scheme policy for more information regarding appropriate shrub and tree species.</p>
Environmental impact	
<p>PO6 Development does not negatively impact on the natural environment, having regard to:</p> <p>(a) sensitive receiving environments;</p> <p>(b) regulated vegetation;</p> <p>(c) fauna habitats;</p> <p>(d) soil erosion; and</p> <p>(e) waterways.</p>	<p>AO6.1 Vegetation cleared beyond the structure of the telecommunications facility and associated power links, parking and access areas disturbed during construction is re-vegetated.</p> <p>AND</p> <p>AO6.2 Replacement planting is carried out in accordance with the provisions of SC6.12 —</p>

Performance outcomes	Acceptable outcomes
	Landscape design and street trees planning scheme policy. AND AO6.3 Excavation and filling is minimised and earthworks are stabilised or retained.
Amenity	
PO7 Development does not adversely impact on existing or future residential premises, or other sensitive receiving environments.	AO7.1 If the development is a freestanding structure (that is, not attached to a building), the following minimum separation distances are achieved: (a) 300 metres to an educational establishment, child care centre, retirement facility, or other sensitive receiving environments; or (b) 150 metres to a dual occupancy, dwelling house, dwelling unit or multiple dwelling.
PO8 Telecommunications facilities do not cast shadows such that the amenity and character of adjoining premises or a public place is unacceptably reduced.	AO8.1 Telecommunications facilities with a height in excess of 8.5 metres do not result in the loss of sunlight falling on more than twenty (20) per cent of an open space area of a residential use or a public place for a period in excess of three (3) hours on any day of the year.
PO9 Development prevents or minimises the generation of any noise such that: (a) nuisance is not caused to adjoining premises or other nearby noise sensitive areas; (b) applicable legislative requirements are met; and (c) desired ambient noise levels for residential zoned areas are not exceeded.	AO9.1 Development provides that: (a) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a noise sensitive place do not exceed: (i) background noise level plus 5db(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 3db(A) between the hours of 22:00 and 07:00; and (b) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a business place do not exceed: (i) background noise level plus 10db(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 8db(A) between the hours of 22:00 and 07:00.
Public health and safety	
PO10 Telecommunications facilities are established, operated and maintained in a way to minimise the risk to public health and safety.	No acceptable outcome is nominated. Editor's note—Further requirements exist in relation to electromagnetic emissions (EME) such as Radio Communications (electromagnetic radiation – human exposure) Standard 2003, Radio Protection Standard for Maximum Exposure Levels to Radio Frequency Fields –

Performance outcomes	Acceptable outcomes
	three (3) kilohertz to 300 gigahertz (2002), and other standards as specified by the Commonwealth Minister responsible for communications.
<p>PO11 Fencing must enclose the outermost boundaries of the land on which the telecommunications facilities are built in order to:</p> <ul style="list-style-type: none"> (a) prevent unauthorised access; (b) protect ease of maintenance access to the property; and (c) integrate the facility into the local built form character of the surrounding areas. 	<p>AO11.1 A minimum 1.5 metre high screen fence is provided along all boundaries of land identified for telecommunications use, including enclosed areas for vehicle parking, storage and landscape works.</p> <p>AND</p> <p>AO11.2 The materials and coloured finishes used for fencing or walls match those used nearby, and integrate the facility into the character of the local area.</p>
Substations, utility installations and major electricity infrastructure	
Location	
<p>PO12 Development does not adversely impact the amenity or visual character of an area.</p>	<p>AO12.1 Development is not visible from:</p> <ul style="list-style-type: none"> (a) within thirty (30) metres of a major urban collector or higher order road; (b) within fifteen (15) metres of any residential road frontage; (c) within the environmental management and conservation zone; and (d) elevated parts of a site.
Visual integration, character and amenity	
<p>PO13 Development is designed to be visually unobtrusive and blend with the character of the locality by:</p> <ul style="list-style-type: none"> (a) ensuring the bulk, height and scale of the facility is consistent with surrounding development; (b) extensive landscaping and building colours which blend with the landscape; and (c) ensuring transformers are not visible from the property boundary or public place. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Development is well set back and screened from adjoining sensitive land use(s) to reduce potential impacts of light, noise, glare, overshadowing or visual obtrusiveness.</p>	<p>AO14.1 AO14.1.1 Development is set back a minimum of fifteen (15) metres from all common boundaries with a sensitive land use or residential zone.</p> <p>OR</p> <p>AO14.1.2 Development is set back a minimum of seven (7) metres from common boundaries with a non-sensitive use or non-residential zone.</p> <p>AND</p> <p>AO14.2 Where development extends or reuses</p>

Performance outcomes	Acceptable outcomes
	<p>existing structures, that setback is not decreased.</p> <p>AND</p> <p>AO14.3 A minimum three (3) metre wide deep planting area is provided along the full length of all boundaries, except where broken by access driveways or pedestrian entries.</p> <p>AND</p> <p>AO14.4 Development is carried out in accordance with the provisions of SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO15 Development prevents or mitigates the generation of unreasonable noise impacts to:</p> <ul style="list-style-type: none"> (a) prevent noise nuisance; and (b) ensure ambient noise levels are consistent with the prevailing character of the area. 	<p>AO15.1 Development provides that:</p> <ul style="list-style-type: none"> (a) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a sensitive land use do not exceed: <ul style="list-style-type: none"> (i) background noise level plus 5dB(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 3dB(A) between the hours of 22:00 and 07:00; and (b) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a business premises does not exceed: <ul style="list-style-type: none"> (i) background noise level plus 10dB(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 8dB(A) between the hours of 22:00 and 07:00.
Environmental impact	
<p>PO16 Development does not negatively impact on the natural environment, having regard to:</p> <ul style="list-style-type: none"> (a) sensitive habitat; (b) remnant vegetation; (c) soil erosion; and (d) waterways. 	<p>No acceptable outcome is nominated.</p>
Safety	
<p>PO17 Development includes security fencing along all property boundaries to prevent unauthorised entry and clearly define the boundaries of a potentially hazardous use.</p>	<p>AO17.1 Development includes a security fence around the entire perimeter of the site at a minimum height of 1.8 metres from ground level.</p>
<p>PO18 Development incorporates access control arrangements including:</p> <ul style="list-style-type: none"> (a) providing warning information signs on 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>all boundaries to prevent unauthorised entry;</p> <p>(b) minimising the number and width of entry points; and</p> <p>(c) providing safe vehicular access to the site.</p>	
<p>PO19 The proposed major electricity infrastructure aims to:</p> <p>(a) maximise collocation with other existing powerlines and easements; and</p> <p>(b) avoid, where possible, location near residential uses.</p>	No acceptable outcome is nominated.
Upgrading an existing substation or bulk supply substation only	
<p>PO20 When the proposal involves the upgrade of an existing substation to a bulk supply substation, the existing substation is:</p> <p>(a) in a location where viable corridors are accessible to connect 110kV powerline infrastructure to the site; and</p> <p>(b) in proximity to existing powerline infrastructure, to ensure that additional powerline infrastructure is minimised.</p>	No acceptable outcome is nominated.

9.3 Other development codes

9.3.1 Access, parking and transport code

9.3.1.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.1.2 Purpose

- (1) The purpose of the access, parking and transport code is to ensure that parking, access and transport facilities for vehicles, pedestrians and cyclists are provided to service development in a safe, equitable and sustainable way.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the function, safety and efficiency of the transport network is optimised;
 - (b) pedestrians and cyclists are provided with a high level of accessibility which is equitable, safe and convenient;
 - (c) on-site access, transport and parking facilities are integrated with external walking and cyclist networks and public transport nodes;
 - (d) the use of public transport is facilitated wherever practicable;
 - (e) vehicle parking and access is provided, which is functional and sufficient to meet the demand likely to be generated by the development;
 - (f) vehicle parking and access achieves a high standard of urban design and integration with the function and appearance of the development; and
 - (g) adverse impacts on the environment and the amenity of the locality are avoided.

9.3.1.3 Specific benchmarks for assessment

Table 9.3.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Access driveways	
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ol style="list-style-type: none"> (a) the size of the parking area; (b) the volume, frequency and type of vehicle traffic; (c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access; (d) the type of use and the implications on parking and circulation, for example long-term or short-term car parking; (e) frontage road function and conditions; and (f) the capacity and function of the adjoining street system. 	<p>AO1.1 Access driveways are not located within:</p> <ol style="list-style-type: none"> (a) twenty-five (25) metres of a signalised road intersection; (b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and (c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 Access driveways:</p> <ol style="list-style-type: none"> (a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;

Performance outcomes	Acceptable outcomes
	(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; (c) must be sealed and to a formed road; (d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and (e) are raised or lowered to match the surface level of the driveway, where an access chamber is to be incorporated within the driveway.
PO3 Access driveways are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	AO3.1 Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.
PO4 A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.
Parking	
PO5 Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity. Editor's note—SC6.6 — Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code. OR AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased. AND AO5.2 All parking, loading and manoeuvring facilities for visitors and employees to be located on-site. AND AO5.3 Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.
PO6 Parking and servicing facilities are designed to meet user requirements.	AO6.1 Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.

Performance outcomes	Acceptable outcomes
<p>PO7 Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road, except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO8 Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.</p>	<p>AO8.1 Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.</p> <p>AND</p> <p>AO8.2 Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.</p>
<p>PO9 Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to:</p> <ul style="list-style-type: none"> (a) provision of opportunities for casual surveillance; (b) the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; (c) minimising potential concealment points and assault locations; (d) minimising opportunities for graffiti and other vandalism; and (e) restricting unlawful access to buildings and between buildings. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to Crime Prevention Through Environmental Design (CPTED) guidelines for Queensland for guidance.</p>
<p>PO10 Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.</p>	<p>No acceptable outcome is nominated.</p>
<p>Transport impact Editor's note—Applicants should note that the Department of Transport and Main Roads may have additional requirements.</p>	
<p>PO11 Development contributes to the creation of a transport network which is designed to:</p> <ul style="list-style-type: none"> (a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and (b) encourage people to walk, cycle or use public transport to and from the site instead of using a car. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to SC6.19 – Structure plan planning scheme policy for guidance.</p>
<p>PO12 Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p>AO12.1 Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO12.2 A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p> <p>AND</p> <p>AO12.3 The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p>
<p>PO13 Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> (a) are safe for pedestrians and vehicles; (b) are conveniently connected to the main component of the development by pedestrian pathway; and (c) provide for pedestrian priority and clear sightlines. 	<p>No acceptable outcome is nominated.</p>
Site access	
<p>PO14 Development does not impact on the safety, operation or function of the road network or system.</p>	<p>AO14.1 Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>AND</p> <p>AO14.2 No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p>AND</p> <p>AO14.3 Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>
<p>PO15 Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
network improvements.	
PO16 On-site transport network infrastructure integrates safely and effectively with surrounding networks.	AO16.1 Intersections, connections and access arrangements are designed in accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.
Pedestrian and cyclist facilities	
PO17 Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.	AO17.1 Pedestrian and cyclist movements are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.
PO18 Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.	No acceptable outcome is nominated. Editor's note—Provisions are made for parking and end of trip facilities in accordance with the SC6.4 – Bicycle network planning scheme policy.
Servicing	
PO19 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO19.1 Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.

Table 9.3.1.3.2 — Parking requirements

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
<p>Adult store</p>	<p>One (1) space per twenty-five (25) square metres of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.</p>	
<p>Agricultural supplies store</p>	<p>One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.</p>	
<p>Air service</p>	<p>Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p>	
<p>Animal husbandry</p>	<p>Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p>	
<p>Animal keeping</p>	<p>One (1) space per two (2) employees not residing on the site.</p>	
<p>Aquaculture</p>	<p>One (1) space per two (2) employees not residing on the site.</p>	
<p>Bar</p>	<p>Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.</p>	
<p>Brothel</p>	<p>One (1) space per each room; and One (1) space per two (2) staff.</p>	
<p>Bulk landscape supplies</p>	<p>One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.</p>	
<p>Caretaker's accommodation</p>	<p>One (1) covered space.</p>	
<p>Car wash</p>	<p>Queuing space clear of the road reserve for a minimum of four (4) vehicles.</p>	
<p>Child-care centre</p>	<p>One (1) space per full-time employee plus one (1) space per six (6) children, which may be provided as a passenger set-down / pick up area.</p>	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Club	Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Community care centre	One (1) space per twenty (20) square metres or part thereof of gross floor area.	
Community residence	One (1) space for every permanent employee/carer; and One (1) space for visitors.	
Community use	One (1) space per twenty (20) square metres or part thereof of gross floor area.	
Crematorium	One (1) space per 12.5 square metres or part thereof of gross floor area.	
Cropping	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Dual occupancy	Two (2) spaces per dwelling, which may be provided in tandem, with at least one (1) space being covered per dwelling.	
Dwelling house	Two (2) spaces, which may be provided in tandem, with at least one (1) space being covered.	
Dwelling unit	One (1) space.	
Educational establishment	Two (2) spaces per three (3) full-time employees; and One (1) space per ten (10) students of driving age.	
Emergency services	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Environment facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Extractive industry	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	All driveways and parking areas within fifty (50) metres of an existing dwelling to

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
		be constructed and paved to prevent dust nuisance.
Food and drink outlet	One (1) space per fifteen (15) square metres of gross floor area for seating areas (including outdoor seating areas); and <u>Where involving a drive through facility:</u> On-site queuing space for at least ten (10) vehicles; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if the use is proposed in a building on the State Heritage Register.	
Function facility	One (1) space per fifteen (15) square metres or part thereof, of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Funeral parlour	One (1) space per thirty (30) square metres or part thereof of gross floor area.	
Garden centre	One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.	
Hardware and trade supplies	One (1) space per forty (40) square metres or part thereof of gross floor area.	
Health care service	One (1) space per twenty-five (25) square metres or part thereof of gross floor area; One (1) space for special use vehicles (such as blood collection/transport vehicles); and One (1) emergency ambulance space.	
High impact industry	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
		be constructed and paved to prevent dust nuisance.
Home-based business	<u>Bed and breakfast:</u> One (1) space per lettable room in addition to parking provided for the dwelling; <u>Other:</u> One (1) space for visitors.	Dual/triple key apartments will be considered as individual dwellings with parking rates applied accordingly.
Hospital	One (1) space per four (4) beds, two (2) spaces per three (3) employees; and One (1) space for each doctor.	
Hotel	One (1) covered space per residential unit; One space (1) per twenty (20) square metres of non-residential gross floor area; Loading and manoeuvring space for delivery vehicles servicing the premises is accommodated on-site; and <u>Where involving a drive through bottle shop:</u> On-site queuing space for at least six (6) vehicles; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) covered space per residential unit; and One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Indoor sport and recreation	<u>Court games (tennis, badminton, squash etcetera):</u> Four (4) spaces per court; <u>Bowling alley:</u> Three (3) spaces per lane; <u>Swimming/aquatic centre:</u> Fifteen (15) spaces plus one (1) space per 100 square metres gross floor area; <u>Field games (soccer, cricket, netball etcetera):</u> Twenty (20) spaces per pitch/field;	Provision for parking space/set down area for one (1) coach is to be determined by Council.

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
	<p><u>Gymnasium:</u> One (1) space per 12.5 square metres or part thereof of gross floor area; <u>Public hall:</u> One (1) space per ten (10) square metres or part thereof of gross floor area; and <u>Other activities:</u> Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p> <p>Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.</p>	
Intensive animal industry	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Intensive horticulture	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Landing	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Low impact industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Major electricity infrastructure	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Marine industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Market	One (1) space per two (2) stalls.	
Medium impact industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Motor sport facility	<p>Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p> <p>Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.</p>	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Multiple dwelling	<p>One (1) covered space per dwelling; One (1) space per two (2) dwellings for visitors; and One (1) space for a small bus or taxi where the building contains more than thirty (30) dwellings.</p>	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Nature-based tourism	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Night club entertainment facility	Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Non-resident workforce accommodation	One (1) space per three (3) rooms.	All driveways and parking areas within 100 metres of an adjoining dwelling to be constructed and paved to prevent dust nuisance.
Office	One (1) space per thirty (30) square metres of gross leasable floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per seventy (70) square metres of gross floor area; or No additional on-site car parking spaces are required if the use is proposed in a building on the State Heritage Register.	
Outdoor sales	One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.	
Outdoor sport and recreation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Outstation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Park	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Parking Station	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Party house	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
Permanent plantation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Place of worship	One (1) space per fifteen (15) square metres or part thereof of gross floor area.	
Port service	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Relocatable home park	One (1) covered space per relocatable home; and One (1) space per two (2) relocatable homes for visitors.	Spaces may be in tandem, provided that all vehicles are completely located off public road reserves and private internal roadways.
Renewable energy facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Research and technology industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Residential care facility	Two (2) spaces per three (3) full time employees; and One (1) space per six (6) beds for visitors.	
Resort complex	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Retirement facility	One (1) space per two (2) dwellings for the first twenty-five (25) dwellings and one (1) space per four (4) dwellings; Thereafter: One (1) space for a bus or taxi where the building contains more than thirty (30) dwellings; and One (1) space per four (4) dwellings for visitors.	
Roadside stall	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Rooming accommodation	One (1) space per three (3) beds; One (1) space per three (3) employees; and One (1) space for a manager residence.	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Rural industry	One (1) space per two (2) employees not residing on the site.	
Rural workers' accommodation	One (1) space per accommodation unit.	
Sales office	Four (4) spaces for every display home/office (may include the garage of a house when available for car parking use).	
Service industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Service station	Four (4) spaces per service bay. <u>Spaces for ancillary uses such as shop and food and drink outlet:</u> As required under relevant use listed herein.	
Shop	One (1) space per twenty-five (25) square metres of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Shopping centre	5.8 spaces per 100 square metres (0 – 10,000 square metres gross leasable floor area) 5.5 spaces per 100 square metres (10,001 – 20,000 square metres gross leasable floor area) 4.3 spaces per 100 square metres (20,001 – 30,000 square metres gross leasable floor area) 4.1 spaces per 100 square metres (over 30,001 square metres gross leasable floor area) or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Short-term accommodation	<u>Backpackers:</u> One (1) covered space per ten (10) beds; and	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
	One (1) space for all vehicles permanently stored on the site (for example hire vehicles and busses); and <u>Other:</u> One (1) covered space per unit/dwelling; One (1) space per managers residence; and One (1) space per ten (10) units for visitors.	
Showroom	One (1) space per forty (40) square metres or part thereof of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Special industry	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Substation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Telecommunications facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Theatre	One (1) space per five (5) seats; or One (1) space per fifteen (15) square metres of gross floor area, whichever is greater.	
Tourist attraction	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Tourist park	One (1) space per caravan, tent or cabin site; and One (1) space per eight (8) caravan sites or cabins, for visitors.	
Transport depot	<u>Transport terminal:</u>	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
	One (1) space per ten (10) square metres gross floor area of waiting area; and <u>Vehicle depot:</u> One (1) space per 100 square metres of gross floor area.	
Utility installation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Veterinary service	One (1) space per fifty (50) square metres or part thereof of gross floor area; and Minimum of three (3) spaces.	
Warehouse	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Wholesale nursery	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Winery	One (1) space per two (2) employees not residing on the site.	
Any other use not specified in this table	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	

9.3.2 Advertising devices code

9.3.2.1 Application

This code applies to the assessment of operational work for placing an advertising device on a premise, where the code is identified as applicable in the tables of assessment.

9.3.2.2 Purpose

- (1) The purpose of the advertising devices code is:
 - (a) to facilitate economic activity through the advertising of business, products and services; and
 - (b) to ensure that advertising devices do not adversely affect visual amenity, the character of a local area and public safety.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) advertising devices are compatible with the character of the building to which they are attached, surrounding streetscape, locality and natural landscape setting and do not compromise visual amenity;
 - (b) advertising devices do not create a hazard to people or property, in particular pedestrians, cyclists and vehicular traffic;
 - (c) the visual impact of advertising devices is minimised and does not contribute to visual clutter, particularly along major road corridors;
 - (d) the proliferation of advertising devices is reduced by restricting the amount of signage on a premise and ensuring appropriate separation distances between visually dominant signage; and
 - (e) advertising devices do not unreasonably impact upon residents on adjoining sites, or create nuisance as a result of flashing or illuminated devices.

9.3.2.3 Specific benchmarks for assessment

Table 9.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Character and amenity	
<p>PO1 The advertising device is designed and sited in a manner that:</p> <ol style="list-style-type: none"> (a) results in a size that does not adversely impact on: <ol style="list-style-type: none"> (i) the visual amenity and character of a building, streetscape, locality or natural landscape setting; (ii) the safety of a road or footpath; (iii) the operations of an airport; and (iv) the visual amenity of a main transport entrance into an urban area or township; (b) is integrated with the design of other development on the premises; (c) does not visually dominate the premises, streetscape, locality or natural landscape setting; (d) is constructed of durable and 	<p>AO1.1 The maximum total sign face area for all advertising devices at any premise is the higher of the areas calculated using the following calculation methods:</p> <ol style="list-style-type: none"> (a) boundary length calculation method (refer to SC6.2 — Advertising devices planning scheme policy); and (b) building elevation calculation method (refer to SC6.2 — Advertising devices planning scheme policy). <p>Editor's note— To establish the maximum total sign face area of a premise, the applicant must subtract existing defined sign face areas that are on the premises.</p> <p>AND</p> <p>AO1.2 The advertising device is in accordance with Table 9.3.2.3.2.</p>

Performance outcomes	Acceptable outcomes
<p>(e) weather resistant materials; does not impede vehicle or pedestrian movements or reduce safety levels;</p> <p>(f) does not resemble traffic or road signs; and</p> <p>(g) does not result in the proliferation of unnecessary advertising.</p>	
Illumination	
<p>PO2 The illumination of an advertising device does not detract from the character and amenity of an area. The advertising device is appropriate to its setting and is compatible with the amenity of the local area and does not create glare, reflection or flaring of colours to cause a visual nuisance.</p>	<p>AO2.1 Where an advertising device incorporates a digital display, the advertising device:</p> <p>(a) is not located in a low density residential zone/precinct, low-medium density residential zone, rural residential zone/precinct or township zone/precinct;</p> <p>(b) has a minimum dwell time of eight (8) seconds per advertisement; and</p> <p>(c) has an instantaneous transition from one message to the next within 0.5 seconds;</p> <p>Editor's note— Instant changes for digital displays are recommended to minimise flash distractions. For example, when the display change includes high contrast change.</p> <p>AND</p> <p>AO2.2 The luminance of an externally or internally illuminated advertising device including digital displays (measured in candelas per square metre) does not exceed the threshold in accordance with in Table 9.3.2.3.3.</p>
Safety to pedestrians and vehicles	
<p>PO3 Advertising devices are appropriately located and designed in a manner that does not create a traffic or pedestrian safety hazard.</p> <p>Editor's note—A traffic management statement produced by a registered professional engineer may be required to demonstrate that there is no adverse impact to vehicle and pedestrian safety.</p>	<p>AO3.1 The advertising device does not physically obstruct the passage of pedestrians or vehicles.</p> <p>AND</p> <p>AO3.2 The advertising device does not restrict sight lines at intersections and site access points into property.</p> <p>AND</p> <p>AO3.3 The advertising device does not revolve, contain moving parts or have a moving border.</p>
Heritage and character places	
<p>PO4 Advertising devices adjacent to or located at a place of heritage significance or within the character overlay are designed and sited in a manner that:</p> <p>(a) conserves existing signs if they are of heritage significance;</p> <p>(b) is compatible with the</p>	<p>AO4.1 The following advertising devices are not proposed on or adjoining premises that are listed as a local heritage place, shown on the heritage place overlay or character overlay map:</p> <p>(a) creative awning sign; or</p> <p>(b) freestanding sign; or</p>

Performance outcomes	Acceptable outcomes
<p>(c) significance of the heritage place; does not detrimentally impact the values or setting of the heritage place;</p> <p>(d) does not obscure the appearance or prominence of features of the heritage place when viewed from adjacent public or semi-public streets or open spaces; and</p> <p>(e) does not intrude into that place.</p> <p>Editor's note—Traditional and appropriate locations for signage include:</p> <p>(a) parapet panels above and below the cornice;</p> <p>(b) string course bands and on other small individual elements;</p> <p>(c) spandrel panels below windows and on ground floor piers (including plaques beside entries);</p> <p>(d) front and side fascia of the verandah, or hanging below; and</p> <p>(e) ground and first floor windows, or glass and side walls, upper storey and panels on fences.</p>	<p>(c) ground sign; or</p> <p>(d) sign written roof sign; or</p> <p>(e) three-dimensional sign.</p>

Table 9.3.2.3.2 — Sign specific outcomes

Sign requirements	Maximum sign area
Above awning sign	
The sign does not project above the roofline of the building to which it is attached.	2.5 square metres
Awning fascia sign or a return fascia sign	
<p>(a) the sign does not project outwards more than one hundred (100) millimetres from the fascia; and</p> <p>(b) the sign does not project above, below or to the side of the fascia.</p>	No solutions specified.
Blind sign	
<p>(a) the sign does not contain any solid face;</p> <p>(b) the bottom of the sign is a minimum of 2.1 metres above the surface of the ground or footpath; and</p> <p>(c) the sign face area does not exceed fifty (50) per cent of the area of the blind.</p>	Fifty (50) per cent of the external surface area of the blind.
Business name plate sign or home based business sign	
<p>(a) only two (2) signs are displayed per entry point if a business name plate or one (1) sign per premises if associated with a home-based business; and</p> <p>(b) is attached to a fence, window, door or wall.</p>	0.5 square metres
Canopy sign	
No solutions specified.	Twenty-five (25) per cent of the canopy's surface area.
Creative awning sign	
<p>(a) the sign does not project outwards more than one hundred (100) millimetres from the fascia;</p> <p>(b) the sign does not project more than 600 millimetres beyond the edges of the fascia to which it is attached;</p> <p>(c) the sign is no longer than fifty (50) per cent of the length of the fascia to which it is attached and is centrally located on the fascia;</p> <p>(d) the sign is not closer than 2.4 metres to the ground; and</p> <p>(e) the area of the sign extending beyond the fascia does not exceed twenty-five (25) per cent of the total area of</p>	No solutions specified.

Sign requirements	Maximum sign area
the fascia.	
Fence sign	
(a) the sign has a height that does not exceed one (1) metre; and (b) the top edge of the sign does not extend above the height of the fence at the location along the fence where the sign is affixed.	Three (3) square metres
Flag sign	
(a) the flag sign has a maximum height of ten (10) metres; (b) the pole or mast is structurally adequate to withstand any likely loadings; (c) the sign has a height that does not encroach into the obstacle limitation surface of the Rockhampton Airport; and (d) the sign is set back a minimum of three (3) metres from any property boundary.	Thirty-five (35) per cent of the maximum sign face area using the boundary length method
Freestanding sign	
<p><u>Preferred areas</u></p> (a) only located in a centre zone, industry zone, sport and recreation zone, special purpose zone, community facilities zone and rural zone. <p><u>Separation distances and amenity</u></p> (b) the sign is separated from any other freestanding sign located on any premise in a centre, industry and residential zone by a minimum distance of 100 metres in the same direction of travel; (c) only one (1) freestanding sign (double or single sided) is located at any one (1) premises, except when in the rural zone whereby: (i) each freestanding sign has a minimum separation distance of three hundred (300) metres; and (ii) no more than three (3) advertising devices are visible from the same point on a road (in the same direction of travel) and a clear viewing zone of 900 metres must be allowed before a fourth advertising device; (d) the sign is located to ensure that the back of the sign is not exposed to, or is visible from, any public place; (e) where visible to a public place, the area below the sign is landscaped with plants that have a mature height less than the height of the bottom of the sign above ground; and (f) where located in the local centre zone, neighbourhood centre zone, low impact industry zone, sport and recreation zone, special purpose zone and community facilities zone the sign states matters related to the use onsite only. This includes the name, occupation and logo of the organisation and may include the hours of operation. <p><u>Built form</u></p> (g) the sign face has a maximum height that does not exceed five (5) metres; (h) the sign has a maximum height of ten (10) metres from the ground level; (i) the sign is set back from any property boundary by a minimum of three (3) metres or half the height of the sign, whichever is the greater; and	Within sport and recreation zone, special purpose zone and community facilities zone the sign does not exceed five (5) square metres Otherwise: the sign does not exceed thirty-six (36) square metres

Sign requirements	Maximum sign area
<p>(j) the sign is supported on single or multiple pylons to avoid unsightly back bracing.</p> <p>Editor's note—The height of an advertising device is measured from the finished ground level at which the device is viewed, to the upper most projection of the device.</p> <p>Editor's note—Third party company skirting attached to a freestanding sign does not accumulate to sign face area.</p>	
Ground sign	
<p>(a) there is a maximum of one (1) sign per premises; and</p> <p>(b) the sign has a height that does not exceed 1.5 metres above the finished ground level.</p>	Four (4) square metres
Hamper sign	
<p>(a) the sign does not project more than twelve (12) millimetres from the external surface of the building; and</p> <p>(b) the sign has a minimum clearance of two (2) metres above the surface level of the ground or footpath.</p>	No solutions specified.
Projected image sign	
<p>(a) a projected image sign is only located in the principal centre zone;</p> <p>(b) the sign does not project out onto an adjoining premises; and</p> <p>(c) the sign does not project above the roof line of the building.</p>	No solutions specified.
Projecting sign	
<p>(a) the sign has a minimum clearance of three (3) metres above the surface level of the ground or footpath;</p> <p>(b) the sign is located no closer than 1.5 metres to the boundary of an adjoining lot;</p> <p>(c) the sign does not project above the roof line of the building; and</p> <p>(d) the sign:</p> <p>(i) is located no closer than five hundred (500) millimetres from the kerb alignment and has a maximum vertical dimension of six hundred (600) millimetres; or</p> <p>(ii) has a maximum width that does not exceed seven hundred and fifty (750) millimetres and has a maximum vertical dimension that does not exceed 7.5 metres.</p>	Two (2) square metres
Roof sign	
<p>(a) A roof sign is contained within an existing or created outline of a building; and</p> <p>(b) does not extend horizontally beyond the edge of the roof of the building.</p>	No solutions specified.
Sign written roof sign	
<p>(a) is erected only in a centre zone, an industry zone or the rural zone; and</p> <p>(b) displays only the name of the property, business or facility on which it is painted.</p>	No solutions specified.
Sporting field fence sign	
<p>(a) the sign has a height that does not exceed 1.2 metres; and</p> <p>(b) the advertising on the sporting field fence sign:</p> <p>(i) faces inwards towards the sporting field; or</p> <p>(ii) faces outwards only where the advertising is screened from view from a public space (for example, the advertising on the sporting field</p>	No solutions specified.

Sign requirements	Maximum sign area
fence is screened by buildings, structures, raised earth mounds or other fencing located between the sporting field fence and the property boundary).	
Stall board sign	
<ul style="list-style-type: none"> (a) the sign does not project more than twelve (12) millimetres from the external surface of the building; (b) the sign does not project over or in front of a window glaze; and (c) the sign has a flush surface without projections of any type. 	No solutions specified.
Structure sign	
<ul style="list-style-type: none"> (a) the sign face area does not exceed three (3) square metres; (b) the sign projects no more than twelve (12) millimetres from the external surface of the structure and does not project beyond the edges of the structure; and (c) the sign does not cover more than twenty-five (25) per cent of the area of the structure (for example, if a structure has an area of four (4) square metres from one angle, the maximum sign face area from that same angle is one (1) square metre. If at another angle, the same structure had an area of eight (8) square metres, the maximum sign face area visible from that same angle is two (2) square metres). 	Three (3) square metres
<p>Editor's note—The area of a structure is measured within the boundaries of the structure (that is, its outline) and includes any open space (for example, the open space between two structural supports).</p>	
Three-dimensional sign	
<ul style="list-style-type: none"> (a) there is a maximum of one (1) three-dimensional sign per premises; and (b) if the sign is a freestanding three-dimensional sign: <ul style="list-style-type: none"> (i) the sign has a maximum height that does not exceed five (5) metres; (ii) the minimum spacing between any two (2) freestanding three-dimensional signs is not less than the combined height of both signs multiplied by a factor of two (2) (for example, a separation distance of sixteen (16) metres is required between a sign of five (5) metres in height and a sign of three (3) metres in height); (iii) the sign face area does not exceed thirty-five (35) per cent of the maximum sign face area using the boundary length method; and (iv) the sign is set back a minimum of three (3) metres from any property boundary. 	If a freestanding three-dimensional sign, the sign face area does not exceed thirty-five (35) per cent of the maximum total sign face area using the boundary length method.
Under awning sign	
<ul style="list-style-type: none"> (a) the sign is orientated at right angles to the building; (b) the sign has a minimum clearance of 2.4 metres between the sign and the footpath; (c) the sign is centrally located along the frontage of each shop or tenancy and in the case of an arcade is located above the arcade entrance; (d) the sign is separated from any other under awning sign by a minimum distance of three (3) metres; (e) the sign is no closer than 1.5 metres to the alignment of an awning or verandah return fascia or the alignment of another shop or tenancy; (f) the sign is no longer than seventy-five (75) per cent of 	No solutions specified.

Sign requirements	Maximum sign area
<p>the width of the awning or verandah to which it is attached;</p> <p>(g) the dimensions of the sign do not exceed 600 millimetres in height, 2,400 millimetres in length, and 200 millimetres in depth; and</p> <p>(h) the sign does not project beyond the awning or verandah.</p>	
Wall sign	
<p>(a) is only located in a centre zone, industry zone, open space, community facilities, sport and recreation and special purpose zone unless associated with a home-based business;</p> <p>(b) the sign is located only on a part of a wall that is otherwise blank and the sign does not cover any opening (such as a window) or building design element (such as finery, articulated brickwork, etcetera);</p> <p>(c) the sign does not project any further than 0.2 metres from the wall;</p> <p>(d) the sign does not project beyond the property boundary; and</p> <p>(e) the sign does not project above the eaves or parapet of the wall, or the external edges of the building element to which it is attached.</p>	<p>Within an industry zone and centre zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of twenty (20) square metres, unless located on the character overlay map, whereby the signage must not cover more than twenty (20) per cent total surface area of the wall to a maximum size of two (2) square metres.</p> <p>Within the open space zone, community facilities zone, sport and recreation zone and special purpose zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of four (4) square metres.</p>
Window sign	
<p>That part of the sign being a ground floor window between 0.8 metres and two (2) metres above the floor level, or any non-ground floor window, has an opacity that does not exceed fifty (50) per cent.</p>	<p>No solutions specified.</p>

Table 9.3.2.3.3 — Maximum luminance of an advertising device for land use zones

Zone	Maximum luminance for lighting conditions			
	Sun on face of signage	Day time (full light conditions)	Day time (dawn, dusk and inclement weather)	Night time
Principal centre zone Major centre zone District centre zone	Maximum Output	6000 – 7000 candelas per square metre	1000 candelas per square metre	500 candelas per square metre
Local centre zone Neighbourhood centre zone Low impact industry zone Medium impact industry zone High impact industry zone Special industry zone	Maximum Output	6000 – 7000 candelas per square metre	700 candelas per square metre	350 candelas per square metre
All other zones	Maximum Output	6000 – 7000 candelas per square metre	600 candelas per square metre	300 candelas per square metre

Note—When determining the requirement for a precinct or sub-precinct the relevant zone applies.

9.3.3 Filling and excavation code

9.3.3.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.3.2 Purpose

- (1) The purpose of the filling and excavation code is to ensure that filling or excavation of land is minimised and occurs in a manner that minimises adverse impacts on the site and the surrounding area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) excavation or filling or the construction of retaining walls is minimised;
 - (b) the visual character and amenity of the site and surrounding area is not adversely impacted by filling or excavation or the construction of retaining walls;
 - (c) the environment and ecological values of the site and surrounding area are protected when filling or excavation or the construction of retaining walls occurs;
 - (d) filling or excavation or the construction of retaining walls occurs without adversely impacting on the flow of water on upstream, downstream or adjoining land;
 - (e) infrastructure is protected from adverse impacts of filling and excavation; and
 - (f) the risk of hazards resulting from infrastructure damage is avoided.

Editor's note—For earthworks and retaining walls generally, applicants should be aware that some retaining walls constitute building works that are assessable under the *Building Regulation 2006*. No approval is required under the *Building Regulation 2006* for retaining walls if:

- (a) there is no surcharge loading;
- (b) the height of wall or height of fill or excavation is not more than one (1) metre; and
- (c) the wall is no closer than 1.5 metre to a building, structure (for example a swimming pool) or other retaining wall.

In these cases, the “applicable code” for the purposes of the *Planning Act 2016* is the Building Code of Australia (refer to Building Code of Australia Volume 2, Part 3.1.1). Retaining walls not more than one (1) metre in height may be constructed in accordance with an accepted industry standard publication (for example timber, concrete masonry or similar).

Editor's note—Council may request the submission of an engineering report undertaken by suitably qualified professionals to demonstrate compliance with the performance outcomes, particularly where alternative solutions are proposed.

9.3.3.3 Specific benchmarks for assessment

Table 9.3.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Retaining walls	
<p>PO1 The construction of retaining walls does not adversely impact upon the stability of land or existing structures.</p>	<p>AO1.1 Retaining walls are set back at least half the height of the wall from any boundary of the site.</p> <p>AND</p> <p>AO1.2 Retaining walls over 1.5 metres are stepped 1.5 metres for every 1.5 metres in height, terraced and landscaped.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO2 Excavation or filling or the construction of retaining walls does not adversely affect the visual character of the surrounding area and areas of high scenic amenity and visibility.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO3 Excavation or filling or the construction of retaining walls does not adversely affect the amenity of adjoining or nearby properties.</p>	<p>AO3.1 No dust or other air emissions extend beyond the boundaries of the site.</p> <p>AND</p> <p>AO3.2 The total duration of filling or excavation operations does not exceed four (4) weeks.</p> <p>AND</p> <p>AO3.3 Filling or excavation operations occur only between 07:00 to 18:00 Monday to Saturday.</p> <p>AND</p> <p>AO3.4 Excavation and filling operations are undertaken in accordance with the Capricorn Municipal Development Guidelines.</p>
Environment	
<p>PO4 Excavation or filling or the construction of retaining walls does not adversely affect the environmental values of the locality.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO5 Excavation or filling of land is carried out in such a way that it does not materially impede the flow of water through the site or worsen the flow of water external to the site.</p> <p>Editor's note—Excavation or filling is carried out in accordance with an approved hydrology and hydraulics report, prepared by a suitably qualified person. The report demonstrates that any proposed excavation or filling or structures will not adversely affect flows on the site, upstream of the site and downstream of the site.</p>	<p>AO5.1 Excavation or filling does not increase, concentrate or divert stormwater into an adjoining site.</p> <p>AND</p> <p>AO5.2 Excavation or filling does not cause or enable the ponding of water on the site or on any other adjoining land.</p> <p>AND</p> <p>AO5.3 Excavation and filling is not located: (a) in any waterway corridor; and (b) in any wetland.</p> <p>Editor's note—Waterway corridors and wetlands are shown on the biodiversity areas overlay maps OM-3A – OM-3D.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO5.4 Filling or excavation does not adversely affect the level or flow of water in any overland flow path.</p>
Traffic and access	
<p>PO6 Traffic generated by excavation and filling does not adversely impact on the amenity of the surrounding area.</p>	<p>AO6.1 Haulage routes used for the transportation of fill to or from the site use major streets and only those minor streets that are necessary to provide direct access to the site.</p> <p>AND</p> <p>AO6.2 Truck movements generated by excavation or filling, do not exceed twenty (20) truck movements per day.</p> <p>AND</p> <p>AO6.3 Truck movements generated by excavation or filling, do not occur for longer than four (4) weeks within any three (3) month period.</p>
<p>PO7 Filling or excavation does not prevent or create difficult access to the property.</p>	<p>No acceptable outcome is nominated.</p>
Infrastructure	
<p>PO8 Excavation or filling or the construction of retaining walls is carried out in a manner that will not:</p> <ul style="list-style-type: none"> (a) damage, or result in damage to existing infrastructure; or (b) compromise the safety of existing infrastructure. <p>Editor's note—Development involving excavation or filling on land adjacent to electricity infrastructure should be referred to the relevant electricity entity to ensure there will be no electrical hazard created by the proposed development, before any application is lodged with Council.</p>	<p>AO8.1 In respect to electricity works, unless an approval from the owner of the electricity works is granted stating otherwise, excavation and filling does not occur within:</p> <ul style="list-style-type: none"> (a) twenty (20) metres of any tower, pole, foundation, ground anchorage or stay supporting electric lines or associated equipment; or (b) five (5) metres of a substation site boundary; or (c) two (2) metres of a pad mount substation; or (d) one (1) metre of a pad mount transformer or an underground cable.
Erosion and sediment control	
<p>PO9 Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental values.</p>	<p>AO9.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>

9.3.4 Landscape code

9.3.4.1 Application

This code applies to development where the code is identified as applicable in the tables of assessment or the relevant zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.4.2 Purpose

- (1) The purpose of the landscape code is to ensure landscaping in both the private and public domain is designed and constructed to a high standard, provides a strong contribution to the image of the local government area, is responsive to the local character, site and climatic conditions and remains fit for purpose over the long-term.
- (2) The purpose of the code will be achieved by the following overall outcomes:
 - (a) a high quality streetscape and on-site landscape enhances the character of the urban areas;
 - (b) landscape design is integrated with the natural and built form elements of the site and the surrounding area;
 - (c) landscaping creates a legible and attractive street frontage, and enhances the continuity of the streetscape;
 - (d) screening is used to soften built form, hide unsightly elements of development and provide privacy and character;
 - (e) plant species and landscaping materials are used which suit the sub-tropical cyclone prone climate;
 - (f) plant species, landscaping materials and surface treatments are suited to their intended function and user requirements;
 - (g) plant species, landscaping materials and surface treatments are designed to remain attractive, fit for purpose and be cost effectively maintained over the long-term;
 - (h) landscaping design provides an accessible, safe and comfortable environment for all users; and
 - (i) significant on-site vegetation is retained, protected and integrated into the site design wherever practicable.

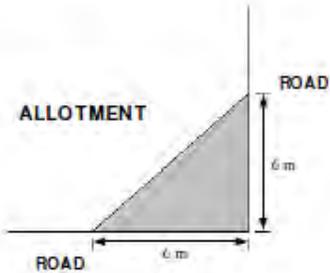
9.3.4.3 Specific benchmarks for assessment

Table 9.3.4.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Design	
<p>PO1 Landscaping is professionally designed and provides a suitably sized area to:</p> <ol style="list-style-type: none"> (a) create an attractive visual addition to a building or place; (b) soften the built form; (c) provide a space for on-site recreation; and (d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>AO1.1 Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>
<p>PO2 Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>and the road verge.</p> <p>PO3 On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p>AO3.1 Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p>AND</p> <p>AO3.2 Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> (a) minimising impervious surfaces and incorporating semi-permeable paving products; (b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; (c) maximising the opportunity for turf and planting areas; (d) aligning planting areas parallel to contours to slow the flow of surface water; and (e) ensuring the planting palette comprises canopy tree species. <p>AND</p> <p>AO3.3 Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p> <p>AND</p> <p>AO3.4 The landscape design incorporates sediment and erosion control measures.</p>
<p>PO4 Design of pedestrian paths and places reinforces the desired character of the area and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p>AO4.1 The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>
<p>PO5 Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance of public spaces; (b) increasing opportunity for public interaction; and (c) minimising opportunity for concealment and criminal activity through environmental design principles. 	<p>AO5.1 Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> (a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; (b) clear sight lines from private to public space; (c) visually permeable screens and fencing; (d) lighting of landscaped areas; (e) public facilities (toilets, shelters etcetera) located to promote use; (f) dual access points to public spaces; (g) clearly defined public and private

Performance outcomes	Acceptable outcomes
	spaces; (h) measures to protect solid and blank walls from graffiti; (i) legible universal signage; (j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and (k) plant species that do not exacerbate impacts such as bushfire or flash flooding.
Species selection	
<p>PO6 Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> (a) suit the local climatic conditions; (b) have low water usage needs or are provided with water harvested on-site; (c) include locally native species; (d) are of a suitable size and density to achieve the purposes of this code; (e) complement the proposed development; (f) are not classified as a pest species or a noxious or invasive weed; (g) preserve existing vegetation where desirable and protect existing environmental values of the land; and (h) do not exacerbate bushfire or flood hazards. 	<p>AO6.1 Plant species are chosen from sources recommended by SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.2 Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.3 At least fifty (50) per cent of all new plantings are locally native species.</p> <p>AND</p> <p>AO6.4 Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p>AND</p> <p>AO6.5 Unless forming part of a landscaping concept approved by Council, planting is carried out to create a ‘three-tier’ landscaping treatment at the following minimum density rates:</p> <ul style="list-style-type: none"> (a) trees at five (5) metre intervals; (b) shrubs at two (2) metre intervals; and (c) groundcovers at 0.5 metre to one (1) metre intervals. <p>AND</p> <p>AO6.6 Existing vegetation is retained and integrated into landscaping.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	AO6.7 The use of palms is avoided in proximity to overland flow paths and watercourses.
Character and streetscaping	
PO7 Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of: <ul style="list-style-type: none"> (a) the hierarchy and function of the street; (b) the selection of appropriate species; (c) avoidance of conflict between the street tree and utilities and services within the road reserve; (d) soil conditions; (e) existing street trees; (f) solar access; and (g) driveway access. 	AO7.1 Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.
PO8 Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.	AO8.1 For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below: <div style="text-align: center;">  </div> Figure 9.3.4.3.1a — Height restriction for corner sites
PO9 Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.	No acceptable outcome is nominated.
PO10 Fencing (including walls) and acoustic barriers are designed to: <ul style="list-style-type: none"> (a) be compatible with the existing streetscape; (b) minimise adverse effects on the amenity of an adjoining property; and (c) complement, but not dominate, the development. 	AO10.1 Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height. <p>AND</p> AO10.2 Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height

Performance outcomes	Acceptable outcomes
	equal to or above the height of the acoustic fencing.
Car parking and internal access	
<p>PO11 Car parks and internal access (both on and off-street) are landscaped to:</p> <ul style="list-style-type: none"> (a) reduce their visual appearance; (b) provide shade; (c) reduce glare; (d) reduce heat stored in hard surfaces; (e) harvest storm water; and (f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff. 	<p>AO11.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p> <p>AND</p> <p>AO11.2 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p>AND</p> <p>AO11.3 Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p>AND</p> <p>AO11.4 Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p> <p>AND</p> <p>AO11.5 Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.</p> <p>AND</p> <p>AO11.6 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>
Utilities and other infrastructure	
<p>PO12 The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> (a) overhead wires and equipment; (b) underground pipes and cables; and 	<p>AO12.1 A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10)</p>

Performance outcomes	Acceptable outcomes
<p>(c) inspection chambers, transformers, poles and drainage infrastructure.</p>	<p>metres.</p> <p>AND</p> <p>AO12.2 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p>AND</p> <p>AO12.3 The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>
<p>PO13 Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <p>(a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather;</p> <p>(b) provide an appropriate turn around area for vehicles and secure access entrance; and</p> <p>(c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits.</p>	<p>AO13.1 Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p>AND</p> <p>AO13.2 Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>

9.3.5 Reconfiguring a lot code

9.3.5.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment for reconfiguring a lot.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.5.2 Purpose

- (1) The purpose of the reconfiguring a lot code is to:
 - (a) facilitate the creation of attractive, accessible and functional neighbourhoods and districts, and a well-integrated, compact and sustainable urban form;
 - (b) protect the productive capacity, landscape character and ecological and physical functions of the region's diverse natural resources; and
 - (c) provide a set of minimum requirements for the reconfiguring of land, including the creation of Community Titles Schemes made pursuant to the *Body Corporate and Community Management Act 1997*.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) lot reconfiguration results in:
 - (i) safe, convenient, efficient and attractive urban settlements;
 - (ii) maintaining the productive potential of rural land;
 - (iii) a sequential pattern of development to maximise the efficiency of infrastructure provision and connect to surrounding movement and infrastructure networks;
 - (iv) a variety and mix of lot sizes to enable a range of development options to accommodate the differing needs and circumstances in accordance with the relevant zone;
 - (v) lots of a suitable size and dimension for the intended use of the site, including space for vehicle access and parking, on-site services and open space; and
 - (vi) compact and walkable neighbourhoods connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;

Editor's note—In order to demonstrate compliance with this code, Council may request the preparation of a structure plan for the locality, prepared in accordance with SC6.19 — Structure plan planning scheme policy. This plan may form the basis of a preliminary approval for development in an area.

- (b) lot reconfiguration responds effectively to the natural characteristics of the land including its topography, natural drainage systems, vegetation and habitat, cultural heritage features, streetscape character, landmarks, views and vistas and the protection of important ecological values and ecosystems;
- (c) lots are orientated in a way which facilitates the siting of buildings that are appropriate for the local climatic conditions;
- (d) the street network is grid based and where applicable, follows ridges and gullies perpendicular to the slope to minimise cut and fill;
- (e) lot and road design will provide for infrastructure within the road reserve;
- (f) infrastructure is provided to new lots in a way which minimises whole of life cycle costs and maximises the use of sustainable technologies;
- (g) public open space is provided in a way which is accessible, safe and integrated with drainage and transport networks;
- (h) streets and roads are designed to provide access, safety and convenience for all users; and
- (i) streets and roads create high quality streetscapes and facilitate the use of walking, cycling and public transport.

9.3.5.3 Specific benchmarks for assessment

Table 9.3.5.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Provisions applicable to a boundary realignment only	
<p>PO1 Boundary realignment does not contribute to:</p> <ul style="list-style-type: none"> (a) the fragmentation of land; and (b) the potential to introduce uses or activities which conflict with the intent of the applicable zone for all or part of the site. 	<p>AO1.1 No additional lots are created by the realignment of boundaries.</p> <p>AND</p> <p>AO1.2 Boundary realignment is contained entirely within a single zone, precinct or sub-precinct.</p>
<p>PO2 Boundary realignment results in all lots being connected to appropriate infrastructure or services.</p>	<p>AO2.1 All infrastructure connections and services are provided within the sites they serve.</p> <p>Editor's note—This may require relocation of existing infrastructure connections.</p>
<p>PO3 Boundary realignment results in lots with the appropriate size, dimensions and road access to accommodate uses consistent with the zone, precinct or sub-precinct.</p>	<p>AO3.1 The size of the resulting lots complies with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>
Provisions applicable to all other reconfiguring a lot applications	
Lot design – general	
<p>PO4 Lot reconfiguration is integrated with the surrounding natural, urban and rural environment, having regard to:</p> <ul style="list-style-type: none"> (a) the layout, access and dimensions of streets and lots; (b) connections to surrounding streets and pedestrian and cycle networks and other infrastructure networks; (c) provision for shared use of public facilities; (d) open space networks, retained habitat areas or corridors, landscape features and views and vistas; and (e) connections to centres. 	No acceptable outcome is nominated.
<p>PO5 Lot layout and movement network design protects areas with significant values and generally:</p> <ul style="list-style-type: none"> (a) follows the natural topography, minimising earthworks and avoiding development on steep slopes; (b) avoids crossing or otherwise fragmenting waterways, wetlands, habitat areas or ecological corridors; (c) maintains natural drainage features and hydrological regimes; and (d) retains key site characteristics, landmarks, views and vistas and places of cultural heritage significance. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO6 Street blocks are:</p> <ul style="list-style-type: none"> (a) rectilinear and arranged to provide an efficient neighbourhood pattern that supports walking, cycling and public transport use; and (b) laid out in a grid pattern taking account of topography and minimising cut and fill on steeper land. <p>Editor's note—Smaller lot sizes (below the minimum lot size nominated in Table 9.3.5.3.2) may be considered to achieve the grid pattern layout.</p> <p>Editor's note—Figure 9.3.5.3.1a provides a subdivision design that achieves this performance outcome.</p>	<p>AO6.1 Street block lengths do not exceed 200 metres.</p> <p>AND</p> <p>AO6.2 The use of a cul-de-sac is avoided unless the slope, shape or size of the site provides no alternative. Where provided, a cul-de-sac:</p> <ul style="list-style-type: none"> (a) is less than or equal to eighty (80) metres in length; (b) is straight, with a clear view from the start of the street to the turning head; and (c) provides a pedestrian connection from the head of the cul-de-sac to another road with a minimum width of ten (10) metres.
Lot size and dimension	
<p>PO7 Lots have a regular shape and consistent dimensions to facilitate the efficient development of the land for its intended purpose, and have sufficient area to provide for:</p> <ul style="list-style-type: none"> (a) appropriate buildings and structures; (b) adequate usable open space and landscaping; (c) ventilation and sunlight; (d) privacy for residents; (e) suitable vehicle access and on-site parking where required; and (f) any required on-site services and infrastructure such as effluent disposal areas. 	<p>AO7.1 The dimensions and minimum areas of lots are in accordance with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>
<p>PO8 Rear lots are only created where:</p> <ul style="list-style-type: none"> (a) the lots are not to prejudice future subdivisions or development of adjoining land; (b) it is not practicable for the site to be reconfigured so that all lots have full frontage to the road; (c) the siting of buildings is not likely to be detrimental to the use and amenity of the surrounding area; (d) sufficient width is provided for access for the use of the lot; and (e) infrastructure services to the lot can be easily constructed, monitored and maintained. 	<p>AO8.1 Only one (1) rear lot is provided behind each standard lot.</p> <p>AND</p> <p>AO8.2 No more than two (2) access driveways are located together.</p> <p>AND</p> <p>AO8.3 No more than two (2) rear lots gain access from the head of a cul-de-sac.</p> <p>AND</p> <p>AO8.4 An access strip for a rear lot is in accordance with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO8.5 In a residential category zone, rear lot is capable of containing a building envelope of fourteen (14) metres by twenty (20) metres.</p>
<p>Additional requirements in the low density residential zone, low-medium density residential zone and in the emerging community zone when reconfiguring land for residential development</p>	
<p>PO9 Reconfiguration provides for the development of a range and mix of lot sizes to facilitate a range of housing choices and the creation of walkable neighbourhoods in accordance with the intent of the relevant zone.</p> <p>Editor's note—Smaller lot sizes (below the minimum lot size nominated in Table 9.3.5.3.2) may be considered.</p>	<p>AO9.1 In a development which results in the creation of ten (10) or more lots, at least twenty (20) per cent of the lots are smaller than 450 square metres.</p> <p>Editor's note—For all lots smaller than 450 square metres, and on land steeper than ten (10) per cent, a plan is submitted demonstrating that future development can comply with Queensland Development Code: Part 1, MP 1.1 — Design and siting standard for single detached housing – on lots under 450 square metres.</p> <p>AND</p> <p>AO9.2 Where a row of small lots are located in a development:</p> <ul style="list-style-type: none"> (a) there are no more than eight narrow frontage (less than fifteen (15) metres) lots in a row; and (b) attached (terrace or row) housing lots are arranged in groups of four (4) to six (6) to enable group housing construction and integrated streetscape.
<p>Additional requirements in the emerging community zone</p>	
<p>PO10 Reconfiguring in the emerging community zone does not compromise the future development potential of the area for urban purposes.</p>	<p>AO10.1 Reconfiguring below the minimum lot size specified in Table 9.3.5.3.2 — Minimum lot sizes and dimensions is undertaken only to facilitate new urban development and only in accordance with an approved structure plan prepared in accordance with SC6.19 — Structure plan planning scheme policy.</p>
<p>Climatic response</p>	
<p>PO11 Street and lot orientation and lot size facilitate development that enhances climate responsiveness by minimising sun penetration and maximising cooling breezes into buildings by:</p> <ul style="list-style-type: none"> (a) optimising an east-west orientation for the long axis of street blocks or where north-south street orientation is unavoidable, proportioning lots to allow for appropriate building orientation; (b) creating lots that are generally rectangular in shape; (c) avoiding concentration of small lots where perpendicular to natural air 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>flows such as south-east prevailing winds; and</p> <p>(d) locating built to boundary walls, where they are proposed, on the west-southwest boundary of lots except where these boundaries are on the higher side of a sloping lot.</p>	
Development near infrastructure corridors	
<p>PO12 Reconfiguration within 100 metres of any trunk gas pipeline does not:</p> <p>(a) affect the long-term operation of the pipe line; or</p> <p>(b) put at risk the safety and lives of people; or</p> <p>(c) put at risk the safety of property.</p>	<p>AO12.1 No additional lots are created within 100 metres of any trunk gas pipeline.</p>
<p>PO13 Lots are designed and oriented to:</p> <p>(a) minimise the visual exposure of electricity transmission lines;</p> <p>(b) facilitate a substantive vegetated buffer adjoining electricity transmission line easements;</p> <p>(c) ensure habitable buildings and recreation areas are well separated from electricity transmission line easements;</p> <p>(d) avoid compromising or adversely impacting upon the efficiency and integrity of the major electricity and bulk water supply infrastructure works; and</p> <p>(e) ensure that access requirements of major electricity and bulk water supply infrastructure are maintained.</p>	<p>AO13.1 Where on land that includes or adjoins a high voltage (above 11kV) electricity easement, lot design and layout incorporates:</p> <p>(a) a vegetated buffer along the boundary of the electricity transmission line easement; and</p> <p>(b) the orientation of the primary lot frontage away from the transmission line easement.</p> <p>AND</p> <p>AO13.2 Lots are designed and oriented to ensure that a habitable building or primary open space areas on each lot can comply with the separation distances set out in Table 9.3.5.3.3 — Separation distances to electricity transmission line easement.</p> <p>AND</p> <p>AO13.3 Residential development including lots and buildings/structures are not located within an easement for, or an area otherwise affected by, a high voltage electricity transmission line as identified on the Regional Infrastructure Corridors Overlay Map OM-18.</p> <p>AND</p> <p>AO13.4 Major electricity or bulk water supply infrastructure traversing or within private land is protected by an easement in favour of the service provider for access and maintenance.</p>
<p>PO14 Lots near a rail corridor or a regional arterial, sub-arterial or distributor road are of sufficient</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
size and depth to ensure that noise attenuation measures can be facilitated to ensure that future dwellings are not exposed to road or rail noise greater than 63dB La10 (18 hours).	
<p>PO15 Reconfiguration does not result in lots being subject to adverse air quality or odour impacts.</p> <p>Editor's note—A report by a suitably qualified person may be required to allow an assessment to be made of the air quality or impacts.</p>	No acceptable outcome is nominated.
Infrastructure	
<p>PO16 Infrastructure, including roads and streets, water supply, stormwater drainage, sewage disposal, waste disposal, electricity and communication facilities are provided in a manner that:</p> <ul style="list-style-type: none"> (a) is adequate for the projected needs of the development; (b) is adaptable to allow for future infrastructure upgrades; (c) minimises risk of adverse environmental or amenity related impacts; and (d) minimises whole of life cycle costs for that infrastructure. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Services are provided in accordance with the desired standards of service in Part 4 of this planning scheme.</p> <p>Editor's note—All electrical reticulation in new developments or in new stages of existing developments must be underground unless agreed otherwise with Council.</p>
<p>PO17 Reconfiguration of land in areas unable to be connected to the reticulated sewerage system results in sites that are each able to efficiently dispose of domestic effluent in a manner that:</p> <ul style="list-style-type: none"> (a) minimises any potential adverse ecological impacts, particularly on any nearby sensitive receiving environments; (b) limits any health risks during a system failure; (c) ensures the water quality of existing and/or proposed water supplies remains unaffected; (d) ensures the sustainable disposal of domestic effluent; and (e) does not impose a higher than normal cost to future land owners of the site for the installation and maintenance of pipes, pumps, etcetera, and ensures that systems are easily able to be properly maintained. 	<p>AO17.1 The minimum size of a lot is 4,000 square metres in areas unable to be connected to the reticulated sewerage system.</p>
Movement network design	
<p>PO18 The street and road network has a clear</p>	<p>AO18.1 Roads and streets are designed in</p>

Performance outcomes	Acceptable outcomes
<p>structure, with roads that conform to their function in the network, having regard to:</p> <ul style="list-style-type: none"> (a) convenient and safe movement between local streets and higher order roads; (b) traffic volumes, vehicle speeds and driver behaviour; (c) on street parking; (d) sight distance; (e) provision for public transport routes and stops; (f) permeability and connectivity for vehicles and pedestrians; (g) provision for pedestrian and cyclist movement, prioritising these where appropriate; (h) multiple access points to every neighbourhood; (i) provision for waste collection and emergency vehicles; (j) lot access; (k) convenience; (l) public safety; (m) amenity; (n) the incorporation of public utilities and drainage; and (o) streetscaping and street furniture. 	<p>accordance with Capricorn Municipal Development Guidelines, SC6.15 — Road infrastructure and hierarchy planning scheme policy and SC6.19 — Structure plan planning scheme policy.</p> <p>AND</p> <p>AO18.2 No more than 200 lots are served by any one (1) road access point.</p>
<p>PO19 Local streets do not operate as through traffic routes for externally generated traffic (other than for pedestrians, cyclists and public transport).</p>	<p>No acceptable outcome is nominated.</p>
<p>PO20 Where lot reconfiguration involves the creation of a new street (other than in a rural zone or the rural residential zone), streetscape and landscape treatments are provided that:</p> <ul style="list-style-type: none"> (a) create an attractive and legible environment with a clear character and identity; (b) use and highlight features of the site such as views, vistas, existing vegetation, landmarks and places of cultural heritage significance; (c) enhance safety and comfort, and meet user needs; (d) complement the function of the street in which they are located by reinforcing desired traffic speed and behaviour; (e) assist integration with the surrounding environment; (f) maximise infiltration of stormwater runoff; and (g) minimise maintenance costs through: <ul style="list-style-type: none"> (i) street pavement, parking bays and speed control devices; (ii) street furniture, shading, lighting and utility installations; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—The following provides guidance (but not limited to):</p> <ul style="list-style-type: none"> (a) SC6.12 — Landscape design and street trees planning scheme policy; (b) SC6.15 — Road infrastructure and hierarchy planning scheme policy; and (c) SC6.19 — Structure plan planning scheme policy.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (iii) retention of existing vegetation; and (iv) on-street planting. 	
Road design	
<p>PO21 The geometric design features of each type of road:</p> <ul style="list-style-type: none"> (a) convey its primary function for all relevant design vehicle types; (b) have an adequate horizontal and vertical alignment that is not conducive to excessive speeds; (c) encourage traffic speeds and volumes to levels commensurate with road hierarchy function; (d) ensure unhindered access by emergency and waste collection vehicles and buses; and (e) ensure safe access to lots. 	<p>AO21.1 AO21.1.1 Roads are designed in compliance with the Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO21.1.2 Within the rural residential zone new roads are constructed to a rural minor collector standard or higher.</p> <p><small>Note—A rural access road does not apply to new subdivisions within the rural residential zone regardless of the vehicles per day as identified by the Capricorn Municipal Development Guidelines Table D.1.21.01.</small></p>
<p>PO22 Intersections and road crossings for the safe and efficient movement of pedestrians and cyclists are provided at regular intervals.</p>	No acceptable outcome is nominated.
<p>PO23 Access to each lot is designed to minimise impacts on the function, vehicle speeds, safety, efficiency and capacity of streets and roads.</p>	<p>AO23.1 Access arrangements are consistent with the characteristics intended for the particular type of road or street specified in the Capricorn Municipal Development Guidelines.</p>
Pedestrian and cycle networks	
<p>PO24 A network of pedestrian paths and cycle ways is provided which links open space networks, employment areas and community facilities, including public transport stops, centres and schools, and is designed having regard to:</p> <ul style="list-style-type: none"> (a) topography; (b) cyclist and pedestrian safety; (c) cost effectiveness; (d) likely user volumes and types; (e) convenience; and (f) accessibility. <p><small>Editor's note—The bicycle network is to be in accordance with the SC6.4 — Bicycle network planning scheme policy.</small></p>	No acceptable outcome is nominated.
<p>PO25 The alignment of pedestrian paths and cycle ways is designed so that they:</p> <ul style="list-style-type: none"> (a) allow for the retention of trees and other significant features; (b) maximise the visual interest provided by views and landmarks where they exist; (c) are well lit and allow for casual surveillance; (d) do not compromise the operation of or access to other infrastructure services; (e) are widened at potential conflict points; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>and</p> <p>(f) retain existing trees and other features that provide shade.</p> <p>Editor's note—The bicycle network is to be in accordance with the SC6.4 — Bicycle network planning scheme policy.</p>	
Public transport	
<p>PO26</p> <p>The movement network caters for the extension of existing or future public transport routes to provide services that are convenient and accessible to the community.</p>	<p>AO26.1</p> <p>Except in the rural zone and the rural residential zone, at least eighty (80) per cent of proposed lots are within 400 metres safe walking distance from an existing or potential bus route or 500 metres walking distance of an identified bus stop.</p>
<p>PO27</p> <p>Public transport stops are located and designed to:</p> <p>(a) ensure adequate sight distances are available to and for passing traffic;</p> <p>(b) be part of the pedestrian network and allow for safe pedestrian crossing;</p> <p>(c) provide shelter or shade, seats, adequate lighting and timetable information;</p> <p>(d) be in keeping with the character of the locality;</p> <p>(e) be able to be overlooked from nearby buildings where in urban areas; and</p> <p>(f) minimise adverse impacts on the amenity of nearby dwelling units.</p>	<p>No acceptable outcome is nominated.</p>
Open space	
<p>PO28</p> <p>Neighbourhood design and lot layout provides a balanced variety of local park types, including:</p> <p>(a) small local parks, which are designed to:</p> <p>(i) provide a small open space setting for adjoining dwellings;</p> <p>(ii) incorporate and retain existing natural features; and</p> <p>(iii) incorporate landscaping to assist in creating neighbourhood identity and way finding;</p> <p>(b) neighbourhood parks, which are designed to:</p> <p>(i) be centrally located;</p> <p>(ii) support the local community's recreational needs; and</p> <p>(iii) provide opportunities for community and special events;</p> <p>(c) lineal or corridor parks, which are designed to:</p> <p>(i) connect with existing or planned open space in the locality;</p> <p>(ii) incorporate pedestrian and cycle paths;</p> <p>(iii) protect significant natural</p>	<p>AO28.1</p> <p>Open space is provided in accordance with the rates and desired standards of service contained in SC6.14 — Local parks planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> features; (iv) convey stormwater; and (v) provide for other recreational needs when not flooded; (d) natural parkland areas which: <ul style="list-style-type: none"> (i) retain locally significant wetlands, regulated vegetation and habitat for fauna; (ii) continue ecological corridors and linkages to areas outside of the neighbourhood; and (iii) maintain important landscape and visual amenity values. 	
<p>PO29 Neighbourhood design and lot layout provides for safe and secure, well distributed and located parkland that:</p> <ul style="list-style-type: none"> (a) provides a clear relationship between the public realm and adjoining land uses through treatments including alignment, fencing and landscaping; (b) enhances the area's local identity and landscape amenity; (c) provides for a range of recreational opportunities to meet community needs; (d) forms a linkage to existing parkland or habitats; (e) respects and retains existing natural elements; and (f) protects biodiversity values and features. <p>Note—The subdivision layout addresses the elements of crime prevention through environmental design described in the Crime Prevention Through Environmental Design (CPTED) Guidelines for Queensland.</p>	<p>No acceptable outcome is nominated.</p>



Figure 9.3.5.3.1a – Subdivision layout

Table 9.3.5.3.2 — Minimum lot sizes and dimensions

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot	
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)
Residential zones							
Note—The character overlay applies to some residential zoned areas, which overrides the requirements within this table.							
Low density residential	Fitzroy River accommodation precinct	No additional lots to be created					
	Residential stables precinct	800	800	20	25	5	40
	Otherwise	300	300 (excluding vehicle access strip)	8			
Low-medium density residential		300	300 (excluding vehicle access strip)	8			
High density residential		1,000	1,000	20			
Centres zones							
Principal centre	All precincts	450	450	10	No acceptable outcome nominated		
Major centre		450	450	10			
District centre		450	450	10			
Local centre		450	450	10			
Neighbourhood centre		450	450	10			

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot	
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)
Environmental zones							
Environmental management and conservation		No additional lots to be created					
Recreation zones							
Sport and recreation	Including precinct	No acceptable outcome nominated					
Open space	Including precinct	No acceptable outcome nominated					
Industry zones							
Low impact industry		1,000	1,000	25	40	8	No acceptable outcome nominated
	South Rockhampton	No additional lots to be created					
Medium impact industry	Including precinct	5,000	5,000	50	50	8	No acceptable outcome nominated
High impact industry	Including precinct	10,000	10,000	125	50	8	
Special industry		10,000	10,000	125	50	8	
Waterfront and marine industry		1,000	1,000	25	40	8	
	Fitzroy River Industry precinct	No additional lots to be created					
Other zones							
Community facilities	Including precinct	600	600	20	No acceptable outcome is nominated		
Emerging community		500,000	500,000	200	No acceptable outcome is nominated		

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot		
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)	
Limited development	Including precinct	No additional lots to be created						
Rural	Alton Downs precinct	80,000	80,000	200	No acceptable outcome nominated	15	No acceptable outcome nominated	
	Cropping and intensive horticulture precinct	400,000	400,000	200				
	Otherwise	1,000,000	1,000,000	200				
Rural residential	Including precinct	4,000	4,000	40	50	8	No acceptable outcome nominated	
Special purpose	All precincts and sub-precincts	600	600	20	No acceptable outcome nominated			
Specialised centre	All precincts and sub-precincts	450	450	10	No acceptable outcome nominated			
Township		600	600	20	25	5	40	
	Kabra and Stanwell precinct	No additional lots to be created						

Note—The overlay codes prevail over the reconfiguring a lot code where a conflict exists. An overlay code may require no additional lots to be created for particular sites.

Editor's note—A structure plan may vary the requirements of Table 9.3.5.3.2 — Minimum lot sizes and dimensions. A structure plan is to be prepared in accordance with SC6.19 — Structure plan planning scheme policy.

Editor's note—Residential lots less than 450 square metres are required to comply with the Queensland Development Code: Part1, MP 1.1 — Design and Siting Standard for Single Detached Housing.

Table 9.3.5.3.3 — Separation distances to electricity transmission line easement

Nominal operating voltage of the transmission line	Separation distance — measured from the edge of the easement
Up to 132 kV	20 metres
275 kV and 330 kV	30 metres
500 kV	40 metres

9.3.6 Stormwater management code

9.3.6.1 Application

This code applies to development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.6.2 Purpose

- (1) The purpose of the stormwater management code is to provide for sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) acceptable levels of stormwater run-off quality and quantity are achieved by applying water sensitive urban design principles;
 - (b) public health and safety are protected and development avoids damage or nuisance caused by stormwater flows;
 - (c) development includes a stormwater management system which minimises impacts on natural catchment hydrological processes;
 - (d) development ensures that the environmental values of waterways are protected or enhanced;
 - (e) development maintains or enhances the efficiency and integrity of the stormwater infrastructure network;
 - (f) the whole of life-cycle cost of stormwater infrastructure is minimised; and
 - (g) new development infrastructure is designed to support and complement existing and planned stormwater infrastructure.

9.3.6.3 Specific benchmarks for assessment

Table 9.3.6.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Stormwater management — General	
<p>PO1 Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ol style="list-style-type: none"> (a) ensure that flooding impacts do not increase, including upstream or downstream of the development site; (b) avoid net worsening of stormwater peak discharges and runoff volumes; (c) utilises the use of water sensitive urban design principles; and (d) ensure the site maximises opportunities for capture and reuse. <p>Editor's note—A stormwater management plan may be required to demonstrate compliance with the performance outcome.</p>	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, SC6.10 — Flood hazard planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO1.2 Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p>
<p>PO2 Development provides a stormwater management system which:</p> <ol style="list-style-type: none"> (a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments; 	<p>AO2.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines</p>

Performance outcomes	Acceptable outcomes
<p>(b) maximises the use of natural waterway corridors and natural channel design principles; and</p> <p>(c) efficiently integrates with existing stormwater treatments upstream and downstream.</p>	<p>and Australian Rainfall and Runoff</p>
<p>PO3 Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <p>(a) minimise risk to people and property;</p> <p>(b) provide for safe access and maintenance; and</p> <p>(c) provide for the safe recreational use of stormwater management features.</p>	<p>AO3.1 Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p>AND</p> <p>AO3.2 Development provides for stormwater detention in accordance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO3.3 Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy – Guideline – Water Quality.</p>
Environmental values	
<p>PO4 Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p> <p>Editor's note—Compliance with the performance outcomes and acceptable outcomes should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p>AO4.1 Development ensures natural waterway corridors and drainage paths are retained.</p> <p>AND</p> <p>AO4.2 Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p> <p>AND</p> <p>AO4.3 Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p>
<p>PO5 Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>external to the site.</p> <p>Editor's note—The State Planning Policy – Guideline – Water Quality and Section 9 of the <i>Environmental Protection Act 1994</i> define environmental values as 'a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety.'</p>	
Overland flow path tenure	
<p>PO6 All overland flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.</p> <p>Editor's note—As a guide, Council prefers that the location of Council owned assets are contained within a road reserve, drainage system is contained within a road reserve, drainage easement, drainage reserve, public reserve, public pathway, park or waterway corridor.</p>	No acceptable outcome is nominated.
Detention Systems	
<p>PO7 Detention basins are designed, located and constructed on land solely dedicated for stormwater management.</p>	<p>AO7.1 Detention basins are designed in accordance with SC6.18 Stormwater management planning scheme policy.</p>
<p>PO8 Development ensures that location and design of stormwater detention and water quality treatment:</p> <ul style="list-style-type: none"> (a) minimises risk to people and property; (b) provides for safe access and maintenance; (c) minimises ecological impacts to creeks and waterways. 	<p>AO8.1 Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater management planning scheme policy.</p>
<p>PO9 Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:</p> <ul style="list-style-type: none"> (a) detention system design does not remove flood plain storage; (b) detention systems continue to operate effectively during a major storm event. 	No acceptable outcome is nominated.
<p>PO10 Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.</p>	<p>AO10.1 The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy.</p>
Efficiency and whole of life cycle cost	
<p>PO11 Development ensures that there is sufficient site area to accommodate an effective stormwater management system.</p> <p>Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	No acceptable outcome is nominated.
<p>PO12 Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:</p> <ul style="list-style-type: none"> (a) existing capacity of stormwater infrastructure within and external to the 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>site, and any planned stormwater infrastructure upgrades;</p> <p>(b) safe management of stormwater discharge from existing and future upslope development; and</p> <p>(c) implications for adjacent and down-slope development.</p>	
<p>PO13 Development provides proposed stormwater infrastructure which:</p> <p>(a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and</p> <p>(b) can be safely accessed and maintained in a cost effective way.</p>	<p>No acceptable outcome is nominated.</p>
Erosion and sediment control	
<p>PO14 Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <p>(a) the environmental values and water quality objectives of waters;</p> <p>(b) waterway hydrology; and</p> <p>(c) the maintenance and serviceability of stormwater infrastructure.</p>	<p>AO14.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>
Water quality within catchment areas	
<p>PO15 For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p>AO15.1 Development complies with the provisions of the State Planning Policy – Guideline – Water Quality.</p> <p>AND</p> <p>AO15.2 Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <p>(a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and</p> <p>(b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage.</p>
Protecting water quality	
<p>PO16 The development is compatible with the land use constraints of the site for:</p> <p>(a) achieving stormwater design objectives; and</p>	<p>AO16.1 Development is undertaken in accordance with a stormwater management plan that:</p> <p>(a) incorporates stormwater quality control measures to achieve the design</p>

Performance outcomes	Acceptable outcomes
<p>(b) avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater.</p>	<p>objectives set out in the State Planning Policy – Guideline – Water Quality;</p> <p>(b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and</p> <p>(c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives.</p> <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 — Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>
Protecting water quality in existing natural waterways	
<p>PO17 The waterway is designed for stormwater flow management, stormwater quality management and the following end use purposes:</p> <p>(a) amenity including aesthetics, (b) landscaping and recreation; (c) flood management; (d) stormwater harvesting as part of an integrated water cycle management plan; (e) as a sustainable aquatic habitat; and (f) the protection of water environmental values.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO18 The waterway is located in a way that is compatible with existing tidal waterways.</p>	<p>AO18.1 Where the waterway is located adjacent to, or connected to, a tidal waterway by means of a weir, lock, pumping system or similar:</p> <p>(a) there is sufficient flushing or a tidal range of more than 0.3 metres; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments.</p>
<p>PO19 The construction phase for the waterway is compatible with protecting water environmental values in existing natural waterways.</p>	<p>AO19.1 Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy – Guideline – Water Quality.</p> <p>Editor's note—Erosion and sediment control is to be designed and implemented in accordance with the International Erosion Control Association Best Practice Erosion and Sediment Control Guidelines.</p>
<p>PO20 Stormwater overflows from the waterway do not result in lower water quality objectives in existing natural waterways.</p>	<p>AO20.1 Stormwater run-off entering non-tidal waterways is pre-treated prior to release in accordance with the guideline design</p>

Performance outcomes	Acceptable outcomes
	objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.

9.3.7 Waste management code

9.3.7.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.7.2 Purpose

- (1) The purpose of the waste management code is to ensure that development is provided with on-site waste management facilities including waste collection, storage, disposal and cleaning facilities which maintain public health and streetscape amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development provides for adequate on-site waste management to deal with the expected volume and nature of waste generated by the development;
 - (b) waste facilities are screened from view from adjoining lots, streets and public spaces;
 - (c) waste management is conducted in a safe and ecologically sustainable manner; and
 - (d) waste facilities are located on-site in a manner which facilitates waste removal in a safe and efficient way.

9.3.7.3 Specific benchmarks for assessment

Table 9.3.7.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Design of waste storage areas	
<p>PO1 For on-site waste collection, waste storage areas are located and designed so that:</p> <ol style="list-style-type: none"> (a) they are easily accessed and convenient to use; (b) sufficient space is provided for safe entry and exit and servicing by service vehicles without the need for manual handling; (c) sufficient height clearance is provided for the safe operation of both front and side bin lifting operations; (d) they are clear of car parking bays, loading bays and similar areas; and (e) they are clear of footpaths and pedestrian access. 	<p>AO1.1 Waste storage areas are designed and maintained in accordance with SC6.20 — Waste management planning scheme policy.</p>
Kerbside waste servicing	
<p>PO2 Kerbside collection of waste containers ensures the safety and amenity of road and footpath users.</p>	<p>AO2.1 Waste bins are located on the footpath so that:</p> <ol style="list-style-type: none"> (a) bins are located one (1) metre apart from other bins and obstructions; (b) all bins are accommodated within the street frontage of the site; (c) a clear pedestrian access way two (2) metres wide is retained; and (d) bins are capable of being serviced by the collection vehicle travelling forward, without having to reverse the vehicle.

Performance outcomes	Acceptable outcomes
<p>PO3 Waste storage minimises adverse impacts on adjoining properties.</p>	<p>AO3.1 Waste storage areas are:</p> <ul style="list-style-type: none"> (a) integrated with the building design; or (b) set back a minimum of two (2) metres from any boundary; and (c) screened from neighbouring properties and the street by a fence of 1.8 metres minimum height; and (d) not located directly adjoining dwelling units on the site and on neighbouring properties. <p>AND</p> <p>AO3.2 Waste bins are fitted with lids.</p>
<p>PO4 Waste storage areas:</p> <ul style="list-style-type: none"> (a) have a level area on impermeable, durable materials so that they are easily cleaned; and (b) have adequate clearance between and around waste storage bins to allow for manoeuvring and washing of bins. 	<p>No acceptable outcome is nominated.</p>
Water management	
<p>PO5 Waste storage areas are designed to separate stormwater and wash-down water.</p>	<p>AO5.1 Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.</p> <p>AND</p> <p>AO5.2 Wash-down areas are:</p> <ul style="list-style-type: none"> (a) provided with a tap and water supply; and (b) provided with a stormwater diversion valve and arrestor trap.

9.3.8 Water and sewer code

9.3.8.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3 located in Part 5.

9.3.8.2 Purpose

- (1) The purpose of the water and sewer code is to ensure that development is provided with potable water and sewerage infrastructure in an efficient and sustainable way, which maintains public health.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development facilitates the efficient provision of water, including infrastructure for supply, treatment, storage and reticulation;
 - (b) development facilitates the efficient provision of sewerage infrastructure, including reticulation, treatment, storage and disposal;
 - (c) whole of life cycle costs for water and sewerage infrastructure are minimised; and
 - (d) adverse impacts on the environment and the amenity of the locality are avoided and optimal use of water resources is maintained.

9.3.8.3 Specific benchmarks for assessment

Table 9.3.8.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Water	
<p>PO1 A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p>AO1.1 Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO2 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO2.1 Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO2.2 Where within a water supply planning area, staged developments are connected to the water supply network and operational prior to</p>

Performance outcomes	Acceptable outcomes
	the commencement of the use or endorsement of the survey plan.
Sewer	
<p>PO3 Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO3.1 Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO4 Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>AO4.1 Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO4.2 Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>
Point source waste water management	
<p>PO5 The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> (a) avoids waste water discharge to waterways; or (b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways can not practically and reasonably be avoided. 	<p>AO5.1 A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> (a) waste water type; (b) climatic conditions; (c) water quality objectives; and (d) best practice environmental management.

9.3.9 Works code

9.3.9.1 Application

This code applies to requirements for accepted development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.9.2 Purpose

- (1) The purpose of the works code is to ensure development is provided with a level of infrastructure which maintains or enhances community health, safety and amenity and which avoids or minimises impacts on the natural environment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) premises are provided with a level of services which are appropriate to the intended character and function of the zone;
 - (b) risk to life and property is avoided;
 - (c) development does not detract from environmental values or from the desired visual and amenity characteristics of the locality;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and meet the reasonable demands generated by the development;
 - (f) development facilitates an efficient provision of infrastructure and use of resources; and
 - (g) whole of life cycle costs for infrastructure are minimised.

9.3.9.3 Specific benchmarks for assessment

Table 9.3.9.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Access driveways	
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ol style="list-style-type: none"> (a) the size of the parking area; (b) the volume, frequency and type of vehicle traffic; (c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access; (d) the type of use and the implications on parking and circulation for example long-term or short-term car parking; (e) frontage road function and conditions; and (f) the capacity and function of the adjoining street system. 	<p>AO1.1 New access driveways are not located within:</p> <ol style="list-style-type: none"> (a) twenty-five (25) metres of a signalised road intersection; (b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and (c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 New access driveways:</p> <ol style="list-style-type: none"> (a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street

Performance outcomes	Acceptable outcomes
	signs; (b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; (c) must be sealed and to a formed road; (d) are not constructed over an access point to equipment under the control of a regulatory authority, including stormwater pits, water meters, hydrants and telephone pits; and (e) where an access chamber is to be incorporated within the driveway, are raised or lowered to match the surface level of the driveway and are provided with a trafficable lid.
PO3 Access driveways and cross-falls within the verge are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	AO3.1 New access driveways and cross-falls within the verge are constructed in compliance with the Capricorn Municipal Development Guidelines.
PO4 An access driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 New access driveways have a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.
Parking, access and transport	
PO5 Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity. Editor's note—SC6.6 – Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code. OR AO5.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing number of on-site car parks is retained or increased.
PO6 Car parking areas are designed to: (a) be clearly defined, marked and signed; (b) be convenient and accessible; (c) be safe for vehicles, pedestrians and cyclists; and (d) provide spaces which meet the needs of people with disabilities.	AO6.1 AO6.1.1 The car parking areas are sealed and designed in accordance with Australian Standard AS 2890, as updated from time to time. OR AO6.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of on-site car parks is maintained or improved.

Performance outcomes	Acceptable outcomes
<p>PO7 Parking access arrangements are appropriate for:</p> <ul style="list-style-type: none"> (a) the capacity of the parking area; (b) the volume, frequency and type of vehicle usage; and (c) the function and characteristics of the access road and adjoining road network. 	<p>AO7.1 AO7.1.1 Parking access is provided in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>OR</p> <p>AO7.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing parking access is maintained or improved.</p>
<p>PO8 Landscaping is provided to soften the visual impact of car parking areas and to provide shading.</p>	<p>AO8.1 AO8.1.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy provides sources for determining appropriate species and planting standards.</p> <p>OR</p> <p>AO8.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of landscaping is maintained or improved.</p>
<p>PO9 Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that:</p> <ul style="list-style-type: none"> (a) is adequate to meet the demands generated by the development; (b) is designed to accommodate service vehicle requirements; (c) is wholly contained within the site; and (d) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the site. 	<p>AO9.1 AO9.1.1 New development is designed to ensure service vehicles do not perform reversing movements onto public roads.</p> <p>AND</p> <p>AO9.1.2 Access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.</p> <p>OR</p> <p>AO9.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing provision for service vehicles is maintained or improved.</p>
<p>PO10 Development is located on roads that are appropriate for the nature of traffic (including</p>	<p>AO10.1 AO10.1.1 The existing infrastructure fronting the</p>

Performance outcomes	Acceptable outcomes
<p>vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p>proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO10.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing infrastructure fronting the proposed development is maintained or improved.</p>
Infrastructure	
<p>PO11 A water supply is provided that is adequate for the current and future needs of the development.</p>	<p>AO11.1 Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO12 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO12.1 Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO12.2 Where within a water supply planning area, staged developments are connected to the water supply network and operational, prior to the commencement of the use or endorsement of the survey plan.</p>
<p>PO13 Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO13.1 Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of</p>

Performance outcomes	Acceptable outcomes
<p>PO14 Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p> <p>AO14.1 Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO14.2 Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>
<p>PO15 Development is located and designed in a manner that does not result in adverse flood affects to the site and on adjoining properties.</p>	<p>AO15.1 The development does not result in an increase in flood level, flood water velocity or flood duration on upstream, downstream or adjacent properties.</p> <p>AND</p> <p>AO15.2 Roof and surface water is conveyed to the kerb and channel or an inter-allotment drainage system in accordance with Australian Standard AS/NZ 3500.3.2, and the Queensland Urban Drainage Manual as updated from time to time.</p>
Waste management	
<p>PO16 Provision is made for waste management that is appropriate to the use, protects the health and safety of people and the environment.</p> <p>Editor's note—Applicants should also be aware that any provision for disposal of any trade waste is to be made in accordance Council's Trade Waste Policy supporting the <i>Water Act 2000, Water Supply (Safety and Reliability) Act 2008</i> and <i>Plumbing and Drainage Act 2018</i>.</p>	<p>AO16.1 The development provides a bin container storage area that has a sealed pad and is screened to the height of the bins.</p> <p>AND</p> <p>AO16.2 On sites in an industrial zone that are greater than 2,000 square metres in area, provision is made for refuse collection vehicles to access the collection area and to enter and leave the site in a forward direction without having to make more than a three-point turn.</p>
Erosion and sediment control	
<p>PO17 Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental</p>	<p>AO17.1 AO17.1.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p> <p>OR</p>

Performance outcomes	Acceptable outcomes
values.	AO17.1.2 No filling or excavation is occurring on the site.

[Intentionally blank]

Part 10 Other plans

10.1 State development areas — *State Development and Public Works Organisation Act 1971*

10.1.1 Preliminary

Rockhampton region includes one area declared by the state government as State Development Area (SDA). State development areas are clearly defined areas of land established by the Coordinator-General to promote economic development in Queensland.

State development areas are created under section 77 of the *State Development and Public Works Organisation Act 1971*.

The state development areas are listed in the *State Development and Public Works Organisation (State Development Areas) Regulation*, which identifies the regulatory maps for each state development area.

Each state development area is subject to a development scheme that controls land use and infrastructure planning and development in the state development area. The Coordinator-General is responsible for the planning, establishment and ongoing management of state development areas throughout Queensland.

In a state development area the Coordinator-General:

- (1) controls land use activities;
- (2) implements the development scheme; and
- (3) assesses and approves all development or material change of use applications.

Any material change of use within a state development area requires a development approval.

10.1.1.1 Stanwell-Gladstone infrastructure corridor state development area

The Stanwell-Gladstone infrastructure corridor state development area provides land for underground infrastructure purposes to facilitate economic development in Rockhampton and Gladstone.

Further details regarding development within this state development area can be found in the Stanwell-Gladstone infrastructure corridor state development area scheme.

10.2 Priority development area — *Economic Development Act 2012*

10.2.1 Preliminary

The Rockhampton region includes one area declared by the state government as a priority development area under the *Economic Development Act 2012*.

Priority development areas are declared to facilitate the development of land in Queensland for economic development or development for community purposes.

The declarations fast track and streamline the planning for and assessment of development in the declared priority development area.

Development within each priority development area is managed within a development scheme approved by the Minister for Economic Development Queensland.

10.2.1.1 Central Queensland University (CQU) Rockhampton Priority Development Area

Declared in April 2013, the Central Queensland University Rockhampton priority development area is a university based urban development integrating CQUUniversity's learning and other facilities with residential neighbourhoods.

Officers of Economic Development Queensland are the assessment managers for development in this priority development area.

10.3 Land use plan — *Transport Infrastructure Act 1994*

10.3.1 Preliminary

Rockhampton region includes a part of Port Alma that is port land operated by the Gladstone Ports Corporation.

10.3.1.1 Gladstone Ports Corporation land use plan — Port Alma

The *Transport Infrastructure Act 1994* provisions require Gladstone Ports Corporation to gazette a land use plan to facilitate management and assessment of development on port authority land. The Gladstone Ports Corporation Land Use Plan for Port Alma (LUP2012) was gazetted in March 2012.

The purpose of the land use plan LUP2012 is to provide a strategic framework for the management and assessment of development on strategic port land, through identifying land use precincts and appropriate land uses, and defining the outcomes sought to manage growth and development of the port.

Schedule 1 Definitions

SC1.1 Use definitions

Use definitions have a specific meaning for the purpose of the planning scheme.
Any use not listed in Table SC1.1.2 column 1 is an undefined use.

Note—Development comprising a combination of defined uses is not considered to be an undefined use.

A use listed in Table SC1.1.2 column 1 has the meaning set out beside that term in column 2.
Column 3 of Table SC1.1.2 identifies examples of the types of activities which fall within the use identified in column 1.

Column 4 of Table SC1.1.2 identifies examples of activities which do not fall within the use identified in column 1.

Columns 3 and 4 of Table SC1.1.2 are not exhaustive lists.

Uses listed in Table SC1.1.2 columns 3 and 4 which are not listed in column 1 form part of the definition.

The use definitions listed here are the definitions used in this planning scheme.

Table SC1.1.1 — Index of use definitions

<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air service • Animal husbandry • Animal keeping • Aquaculture • Bar • Brothel • Bulk landscape supplies • Caretaker's accommodation • Car wash • Cemetery • Childcare centre • Club • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling house • Dwelling unit • Educational establishment • Emergency services • Environment facility • Extractive industry • Food and drink outlet • Function facility • Funeral parlour • Garden centre • Hardware and trade supplies • Health care service 	<ul style="list-style-type: none"> • High impact industry • Home-based business • Hospital • Hotel • Indoor sport and recreation • Intensive animal industry • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Medium impact industry • Motor sport facility • Multiple dwelling • Nature-based tourism • Nightclub entertainment facility • Non-resident workforce accommodation • Office • Outdoor sales • Outdoor sport and recreation • Outstation • Park • Parking station • Party house • Permanent plantation • Place of worship • Port service 	<ul style="list-style-type: none"> • Relocatable home park • Renewable energy facility • Research and technology industry • Residential care facility • Resort complex • Retirement facility • Roadside stall • Rooming accommodation • Rural industry • Rural workers' accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Special industry • Substation • Telecommunications facility • Theatre • Tourist attraction • Tourist park • Transport depot • Utility installation • Veterinary service • Warehouse • Wholesale nursery • Winery
---	---	--

Table SC1.1.2 — Use definitions

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Adult store	<p><i>Adult store</i> means the use of premises for the primary purpose of displaying or selling—</p> <ul style="list-style-type: none"> (a) sexually explicit materials; or (b) products and devices that are associated with, or used in, a sexual practice or activity. 	Sex shop.	<p>Shop, newsagent, registered pharmacist or video hire, where the primary use of these are concerned with:</p> <ul style="list-style-type: none"> • the sale, display or hire of printed or recorded matter (not of a sexually explicit nature); or • the sale or display of underwear or lingerie; or • the sale or display of an article or thing primarily concerned with or used in association with a medically recognised purpose.
Agricultural supplies store	<p><i>Agricultural supplies store</i> means the use of premises for the sale of agricultural supplies and products.</p>	Animal feed, bulk veterinary supplies, chemicals, farm clothing, fertilisers, irrigation materials, saddlery, seeds.	Bulk landscape supplies, garden centre, outdoor sales, wholesale nursery.
Air service	<p><i>Air service</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) the arrival or departure of aircraft; or (b) housing, servicing, refuelling, maintaining or repairing aircraft; or (c) the assembly and dispersal of passengers or goods on or from an aircraft; or (d) training and education facilities relating to aviation; or (e) aviation facilities; or (f) an activity that— 	Airport, airstrip, helipad, public or private airfield.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (i) is ancillary to an activity or facility stated in paragraphs (a) to (e); and (ii) directly services the needs of aircraft passengers. 		
Animal husbandry	<p><i>Animal husbandry</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) producing animals or animal products on native or improved pastures or vegetation; or (b) a yard, stable, temporary holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a). 	Cattle studs, grazing of livestock, non-feedlot dairying.	Animal keeping, intensive animal industry, aquaculture, feedlots, piggeries.
Animal keeping	<p><i>Animal keeping</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) boarding, breeding or training animals; or (b) a holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a). 	Aviaries, catteries, kennels, stables, wildlife refuge.	Aquaculture, cattle studs, domestic pets, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, animal husbandry.
Aquaculture	<i>Aquaculture</i> means the use of premises for cultivating, in a confined area, aquatic animals or plants for sale.	Pond farms, tank systems, hatcheries, raceway system, rack and line systems, sea cages.	Intensive animal industry.
Bar	<p><i>Bar</i> means the use of premises, with seating for 60 or less people, for—</p> <ul style="list-style-type: none"> (a) selling liquor for consumption on the premises; or (b) an entertainment activity, or preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). 		Club, hotel, nightclub entertainment facility, tavern.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Brothel	<i>Brothel</i> means premises made available for prostitution by two or more prostitutes at the premises. Note — See the <i>Prostitution Act 1999</i> , schedule 4.		Adult store, club, nightclub entertainment facility, shop.
Bulk landscape supplies	<i>Bulk landscape supplies</i> means the use of premises for the bulk storage and sale of mainly non-packaged landscaping and gardening supplies, including for example, soil, gravel, potting mix or mulch.		Garden centre, outdoor sales, wholesale nursery.
Caretaker's accommodation	<i>Caretaker's accommodation</i> means the use of premises for a dwelling for a caretaker of a non-residential use on the same premises.		Dwelling house.
Car wash	<i>Car wash</i> means the use of premises for the commercial cleaning of motor vehicles.		Service station.
Cemetery	<i>Cemetery</i> means the use of premises for the interment of bodies or ashes after death.	Burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum.	Crematorium, funeral parlour.
Childcare centre	<i>Childcare centre</i> means the use of premises for the care, education and minding, but not residence, of children.	Before or after school care, crèche, early childhood centre, kindergarten, vacation care.	Educational establishment, home based child care, family day care.
Club	<i>Club</i> means the use of premises for— (a) an association established for social, literary, political, sporting, athletic or other similar purposes; or (b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).	Club house, guide and scout clubs, surf lifesaving club, RSL, bowls club.	Hotel, nightclub entertainment facility, place of worship, theatre.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Community care centre	<p><i>Community care centre</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) providing social support to members of the public; or</p> <p>(ii) providing medical care to members of the public, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include the use of premises for providing accommodation to members of the public.</p>	Disability support services, drop in centre, respite centre, integrated indigenous support centre.	Childcare centre, family day care, home based child care, health care services, residential care facility.
Community residence	<p><i>Community residence</i>—</p> <p>(a) means the use of premises for residential accommodation for—</p> <p>(i) no more than—</p> <p>A. 6 children, if the accommodation is provided as part of a program or service under the <i>Youth Justice Act 1992</i>; or</p> <p>B. 6 persons who require assistance or support with daily living needs; and</p> <p>(ii) no more than 1 support worker; and</p> <p>(b) includes a building or structure that is reasonably associated with the use in paragraph (a).</p>	Hospice.	Dwelling house, dwelling unit, residential care facility, rooming accommodation, short-term accommodation.
Community use	<p><i>Community use</i> means the use of premises for—</p> <p>(a) providing artistic, social or cultural facilities or community services to the public; or</p> <p>(b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).</p>	Art gallery, community centre, community hall, library, museum.	Cinema, club, hotel, nightclub entertainment facility, place of worship.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Crematorium	<i>Crematorium</i> means the use of premises for the cremation or aquamation of bodies.		Cemetery.
Cropping	<i>Cropping</i> means the use of premises for— (a) growing and harvesting plants, or plant material, that are cultivated in soil, for commercial purposes; or (b) harvesting, storing or packing plants or plant material grown on the premises, if the use is ancillary to the use in paragraph (a); or (c) repairing and servicing machinery used on the premises, if the use is ancillary to the use in paragraph (a).	Fruit, nut, vegetable and grain production, forestry for wood production, fodder and pasture production, plant fibre production, sugar cane growing, vineyard.	Permanent plantations, intensive horticulture, rural industry.
Detention facility	<i>Detention facility</i> means the use of premises for the lawful detention of persons.	Correctional facility, detention centre, prison, youth detention centre.	Police station, court cell complex.
Dual occupancy	<i>Dual occupancy</i> — (a) means a residential use of premises for two households involving— (i) 2 dwellings (whether attached or detached) on a single lot, or 2 dwellings (whether attached or detached) on separate lots that share a common property; and (ii) any domestic outbuilding associated with the dwellings; but (b) does not include a residential use of premises that involves a secondary dwelling.	Duplex, two dwellings on a single lot (whether or not attached), two dwellings within one single community title scheme under the <i>Body Corporate and Community Management Act 1997</i> , two dwellings within the body corporate to which the <i>Building Units and Group Title Act 1980</i> continues to apply.	Dwelling house, multiple dwelling.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Dwelling house	<i>Dwelling house</i> means a residential use of premises involving— (a) 1 dwelling for a single household and any domestic outbuildings associated with the dwelling; or (b) 1 dwelling for a single household, a secondary dwelling, and any domestic outbuildings associated with either dwelling.		Caretaker's accommodation, dual occupancy, multiple dwelling, rooming accommodation, short-term accommodation, student accommodation.
Dwelling unit	<i>Dwelling unit</i> means the use of premises containing a non-residential use for a single dwelling, other than a dwelling for a caretaker of the non-residential use.	"Shop-top" apartment.	Caretaker's accommodation, dwelling house.
Educational establishment	<i>Educational establishment</i> means the use of premises for— (a) training and instruction to impart knowledge and develop skills; or (b) student accommodation, before or after school care, or vacation care, if the use is ancillary to the use in paragraph (a).	College, outdoor education centre, preparatory school, primary school, secondary school, special education facility, technical institute, university.	Child care centre, home based child care, family day care.
Emergency services	<i>Emergency services</i> means the use of premises by a government entity or community organisation to provide— (a) essential emergency services; or (b) disaster management services; or (c) management support facilities for the services.	Ambulance station, evacuation centre, fire station, police station.	Community use, hospital, residential care facility.
Environment facility	<i>Environment facility</i> — (a) means the use of premises for a facility for the appreciation, conservation or	Nature-based attractions, walking tracks, seating, shelters, boardwalks,	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>interpretation of an area of cultural, environmental or heritage value; but</p> <p>(b) does not include the use of premises to provide accommodation for tourists and travellers.</p>	<p>observation decks, bird hides.</p>	
<p>Extractive industry</p>	<p><i>Extractive industry</i> means the use of premises for—</p> <p>(a) extracting or processing extractive resources; and</p> <p>(b) any related activities, including, for example, transporting the resources to market.</p>	<p>Quarry.</p>	
<p>Food and drink outlet</p>	<p><i>Food and drink outlet</i> means the use of premises for—</p> <p>(a) preparing and selling food and drink for consumption on or off the premises; or</p> <p>(b) providing liquor for consumption on the premises, if the use is ancillary to the use in paragraph (a).</p>	<p>Cafe, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, takeaway shop, tea room.</p>	<p>Bar, club, hotel, shop, theatre, nightclub entertainment facility.</p>
<p>Function facility</p>	<p><i>Function facility</i> means the use of premises for—</p> <p>(a) receptions or functions; or</p> <p>(b) preparing and providing food and liquor for consumption on the premises as part of a reception or function.</p>	<p>Conference centre, reception centre.</p>	<p>Community use, hotel.</p>
<p>Funeral parlour</p>	<p><i>Funeral parlour</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) arranging and conducting funerals, memorials and other similar events; or</p> <p>(ii) a mortuary; or</p> <p>(iii) storing and preparing bodies for burial or cremation; but</p>		<p>Cemetery, crematorium, place of worship.</p>

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	(b) does not include the use of premises for the burial or cremation of bodies.		
Garden centre	<i>Garden centre</i> means the use of premises for— (a) selling plants; or (b) selling gardening and landscape products and supplies that are mainly in pre-packaged form; or (c) a food and drink outlet that is ancillary to the use in paragraph (a).	Retail plant nursery.	Bulk landscape supplies, wholesale nursery, outdoor sales.
Hardware and trade supplies	<i>Hardware and trade supplies</i> means the use of premises for selling, displaying or hiring hardware and trade supplies, including, for example, house fixtures, timber, tools, paint, wallpaper or plumbing supplies.	Hardware store.	Shop, showroom, outdoor sales and warehouse.
Health care service	<i>Health care service</i> means the use of premises for medical purposes, paramedical purposes, alternative health therapies or general health care, if overnight accommodation is not provided on the premises.	Dental clinics, medical centres, natural medicine practices, nursing services, physiotherapy clinic.	Community care centre, hospital.
High impact industry	<i>High impact industry</i> means the use of premises for an industrial activity— (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and (b) that a local planning instrument applying to the premises states is a high impact industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number	Abattoirs, concrete batching plant, boiler making and engineering and metal foundry. Note — Additional examples may be shown in Table SC1.1.2.1 industry thresholds.	Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers, service industry, low impact industry, medium impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>of products manufactured or the level of emissions produced by the activity.</p> <p>For the purposes of the planning scheme a high impact industry is an industry activity that—</p> <p>has one or more of the following attributes—</p> <p>(d) potential for significant impacts on sensitive land uses due to off-site emissions including aerosol, fume, particle, smoke, odour and noise;</p> <p>(e) potential for significant off-site impacts in the event of fire, explosion or toxic release;</p> <p>(f) generates high traffic flows in the context of the locality or the road network;</p> <p>(g) generates a significant demand on the local infrastructure network;</p> <p>(h) on-site controls are required for emissions and dangerous goods risks; and</p> <p>(i) complies with any thresholds for the activity stated in SC1.1.2 industry thresholds.</p>		
Home-based business	<i>Home-based business</i> means the use of a dwelling or domestic outbuilding on premises for a business activity that is subordinate to the residential use of the premises.	Bed and breakfast, home office, home based child care.	Hobby, office, shop, warehouse, transport depot.
Hospital	<i>Hospital</i> means the use of premises for— (a) the medical or surgical care or treatment of patients, whether or not the care or		Health care services, residential care facility.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>treatment requires overnight accommodation; or</p> <p>(b) providing accommodation for patients; or</p> <p>(c) providing accommodation for employees, or any other use, if the use is ancillary to the use in paragraph (a) or (b).</p>		
Hotel	<p><i>Hotel</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) selling liquor for consumption on the premises; or</p> <p>(ii) a dining or entertainment activity, or providing accommodation to tourists or travellers, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include a bar.</p>	Pub, tavern.	Bar, nightclub entertainment facility.
Indoor sport and recreation	<p><i>Indoor sport and recreation</i> means the use of premises for a leisure, sport or recreation activity conducted wholly or mainly indoors.</p>	Amusement parlour, bowling alley, gymnasium, squash courts, enclosed tennis courts.	Cinema, hotel, nightclub entertainment facility, theatre.
Intensive animal industry	<p><i>Intensive animal industry</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) the intensive production of animals or animal products, in an enclosure, that requires food and water to be provided mechanically or by hand; or</p> <p>(ii) storing and packing feed and produce, if the use is ancillary to the use in subparagraph (i); but</p>	Feedlots, piggeries, poultry and egg production.	Animal industries, aquaculture, drought feeding, milking sheds, shearing sheds, weaning pens.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	(b) does not include the cultivation of aquatic animals.		
Intensive horticulture	<p><i>Intensive horticulture</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) the intensive production of plants or plant material carried out indoors on imported media; or</p> <p>(ii) the intensive production of plants or plant material carried out outside using artificial lights or containers; or</p> <p>(iii) the storing and packing of plants or plant material grown on the premises, if the use is ancillary to the use in subparagraph (i) or (ii); but</p> <p>(b) does not include the cultivation of aquatic plants.</p>	Greenhouse, hydroponic farm, mushroom farm.	Wholesale nursery.
Landing	<p><i>Landing</i> means the use of premises for a structure—</p> <p>(a) for mooring, launching, storing and retrieving vessels; and</p> <p>(b) from which passengers embark and disembark.</p>	Boat ramp, jetty, pontoon.	Marina.
Low impact industry	<p><i>Low impact industry</i> means the use of premises for an industrial activity—</p> <p>(a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and</p>	<p>Repairing motor vehicles, fitting and turning workshop.</p> <p>Note—Additional examples may be shown in SC1.1.2.1—Industry thresholds.</p>	Panel beating, spray painting or surface coating, tyre recycling, drum re-conditioning, wooden and laminated product manufacturing, service industry, medium impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>(b) that a local planning instrument applying to the premises states is a low impact industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p> <p>For the purpose of the planning scheme a low impact industry is an industry activity that—</p> <p>has one or more of the following attributes—</p> <ul style="list-style-type: none"> • negligible impacts on sensitive land uses due to off-site emissions including aerosol, fume, particle, smoke, odour and noise; • minimal traffic generation and heavy-vehicle usage; • demands imposed upon the local infrastructure network consistent with surrounding uses; • off-site impacts from storage of dangerous goods are negligible; • the use is primarily undertaken indoors; and • complies with any thresholds for the activity stated in SC1.1.2 industry 		

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	thresholds.		
Major electricity infrastructure	<p><i>Major electricity infrastructure</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) a transmission grid or supply network; or</p> <p>(ii) a telecommunication facility, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include the use of premises for a supply network or private electricity works stated in schedule 6, section 26(5), of the <i>Planning Regulation 2017</i> unless the use involves—</p> <p>(i) a new zone substation or bulk supply substation; or</p> <p>(ii) the augmentation of a zone substation or bulk supply substation that significantly increases the input or output standard voltage.</p>	Powerlines greater than 66kV.	Minor electricity infrastructure, substation.
Major sport, recreation and entertainment facility	<i>Major sport, recreation and entertainment facility</i> means the use of premises for large-scale events, including, for example, major sporting, recreation, conference or entertainment events.	Convention centre, exhibition centre, horse racing facility, sports stadium.	Indoor sport and recreation, local sporting field, motor sport, park, outdoor sport and recreation.
Marine industry	<p><i>Marine industry</i> means the use of waterfront premises for—</p> <p>(a) manufacturing, storing, repairing or servicing vessels or maritime infrastructure; or</p> <p>(b) providing fuel or disposing of waste, if the use is ancillary to the use in paragraph (a).</p>	Boat building, boat storage, dry dock.	Marina.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Market	<p><i>Market</i> means the use of premises on a regular basis for—</p> <p>(a) selling goods to the public mainly from temporary structures, including, for example, stalls, booths or trestle tables; or</p> <p>(b) providing entertainment, if the use is ancillary to the use in paragraph (a).</p>	Flea market, farmers market, car boot sales.	Shop, roadside stall.
Medium impact industry	<p><i>Medium impact industry</i> means the use of premises for an industrial activity—</p> <p>(a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and</p> <p>(b) that a local planning instrument applying to the premises states is a medium impact industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p> <p>For the purposes of the planning scheme a medium impact industry is an industry activity that—</p> <p>has one or more of the following attributes—</p> <ul style="list-style-type: none"> • potential for noticeable impacts on sensitive land uses due to off-site emissions including aerosol, fume, 	<p>Spray painting and surface coating, wooden and laminated product manufacturing (including cabinet making, joining, timber truss making or wood working).</p> <p>Note — Additional examples may be shown in Table 1.1.2.1 industry thresholds.</p>	Concrete batching, tyre manufacturing and retreading, metal recovery (involving a fragmentiser), textile manufacture, chemically treating timber and plastic product manufacture, service industry, low impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>particle, smoke, odour and noise;</p> <ul style="list-style-type: none"> • potential for noticeable off-site impacts in the event of fire, explosion or toxic release; • generates high traffic flows in the context of the locality or the road network; • generates an elevated demand on the local infrastructure network; • on-site controls are required for emissions and dangerous goods risks; • the use is primarily undertaken indoors; and • complies with any thresholds for the activity stated in SC1.1.2 industry thresholds. 		
Motor sport facility	<p><i>Motor sport facility</i> means the use of premises for—</p> <p>(a) organised or recreational motor sports; or</p> <p>(b) facilities for spectators, including, for example, stands, amenities and food and drink outlets, if the use is ancillary to the use in paragraph (a).</p>	Car race track, go-kart track, lawnmower race track, trail bike park, 4WD and all terrain park, motocross track, motorcycle race track, off road motorcycle facility.	Major sport, recreation and entertainment facility, outdoor sport and recreation.
Multiple dwelling	<p><i>Multiple dwelling</i> means a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.</p>	Apartments, flats, units, townhouses, row housing, triplex.	Rooming accommodation, dual occupancy, duplex, granny flat,

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
			residential care facility, retirement facility.
Nature-based tourism	<i>Nature-based tourism</i> means the use of premises for a tourism activity, including accommodation for tourists, for the appreciation, conservation or interpretation of— (a) an area of environmental, cultural or heritage value; or (b) a local ecosystem; or (c) the natural environment.	Environmentally responsible accommodation facilities including cabins, huts, lodges and tents.	Environment facility.
Nightclub entertainment facility	<i>Nightclub entertainment facility</i> means the use of premises for— (a) providing entertainment that is cabaret, dancing or music; or (b) selling liquor, and preparing and selling food, for consumption on the premises, if the use is ancillary to the use in paragraph (a).		Club, hotel, tavern, pub, indoor sport and recreation, theatre, concert hall.
Non-resident workforce accommodation	<i>Non-resident workforce accommodation</i> means the use of premises for— (a) accommodation for non-resident workers; or (b) recreation and entertainment facilities for persons residing at the premises and their visitors, if the use is ancillary to the use in paragraph (a).	Contractor's camp, construction camp, single person's quarters, temporary workers' accommodation.	Relocatable home park, short-term accommodation, tourist park.
Office	<i>Office</i> — (a) means the use of premises for— (i) providing an administrative, financial, management or secretarial service or function; or (ii) the practice of a profession; or	Bank, real estate agency.	Home-based business, home office, shop, outdoor sales.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (iii) providing business or professional advice or services; but (b) does not include the use of premises for making, selling or hiring goods. 		
Outdoor sales	<p><i>Outdoor sales</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) displaying, selling, hiring or leasing vehicles, boats, caravans, machinery, equipment or other similar products, if the use is mainly conducted outdoors; or (b) repairing, servicing, selling or fitting accessories for the products stated in paragraph (a), if the use is ancillary to the use in paragraph (a). 	Agricultural machinery sales yard, motor vehicles sales yard.	Bulk landscape supplies, market.
Outdoor sport and recreation	<p><i>Outdoor sport and recreation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) a recreation or sporting activity that is carried on outdoors and requires areas of open space; or (b) providing and selling food and drink, change room facilities or storage facilities, if the use is ancillary to the use in paragraph (a). 	Driving range, golf course, swimming pool, tennis courts, football ground, cricket oval.	Major sport, recreation and entertainment facility, motor sport, park, community use.
Outstation	<p><i>Outstation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) cultural or recreation activities by Aboriginal people or Torres Strait Islanders; or (b) facilities for short-term or long-term camping activities, if the use is ancillary to the use in paragraph (a). 	Indigenous camp site.	Dwelling house, hostel, multiple dwelling, relocatable home park, short-term accommodation, tourist park.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Park	<i>Park</i> means the use of premises, accessible to the public free of charge, for sport, recreation and leisure activities and facilities.	Urban common.	Tourist attraction, outdoor sport and recreation.
Parking station	<i>Parking station</i> means the use of premises for parking vehicles, other than parking that is ancillary to another use.	Car park, 'park and ride', bicycle parking.	
Party house	<i>Party house</i> means premises containing a dwelling that is used to provide, for a fee, accommodation or facilities for guests if: <ul style="list-style-type: none"> (a) guests regularly use all or part of the premises for parties (bucks parties, hens parties, raves, or wedding receptions, for example); and (b) the accommodation or facilities are provided for a period of less than 10 days; and (c) the owner of the premises does not occupy the premises during that period. 		
Permanent plantation	<i>Permanent plantation</i> means the use of premises for growing, but not harvesting, plants for carbon sequestration, biodiversity, natural resource management or another similar purpose.		Forestry for wood production, bio-fuel production.
Place of worship	<i>Place of worship</i> means the use of premises for— <ul style="list-style-type: none"> (a) organised worship and other religious activities; or (b) social, education or charitable activities, if the use is ancillary to the use in paragraph (a). 	Church, chapel, mosque, synagogue, temple.	Community use, childcare centre, funeral parlour, crematorium.
Port service	<i>Port service</i> means the use of premises for— <ul style="list-style-type: none"> (a) the arrival and departure of vessels; or 	Marina, ferry terminal.	Landing.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (b) the movement of passengers or goods on or off vessels; or (c) storing, servicing, maintaining or repairing vessels; or (d) ancillary uses that directly service the needs of passengers of the vessels. 		
Relocatable home park	<p><i>Relocatable home park</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) relocatable dwellings for long-term residential accommodation; or (b) amenity facilities, food and drink outlets, a manager’s residence, or recreation facilities for the exclusive use of residents, if the use is ancillary to the use in paragraph (a). 		Tourist park.
Renewable energy facility	<p><i>Renewable energy facility</i>—</p> <ul style="list-style-type: none"> (a) means the use of premises for the generation of electricity or energy from a renewable energy source, including, for example, sources of bioenergy, geothermal energy, hydropower, ocean energy, solar energy or wind energy; but (b) does not include the use of premises to generate electricity or energy that is to be used mainly on the premises. 	Geothermal power, hydroelectric power, solar farm, tidal power, wind farm.	Wind turbine or solar panels supplying energy to domestic or rural activities on the same site.
Research and technology industry	<p><i>Research and technology industry</i> means the use of premises for an innovative or emerging industry that involves designing and researching, assembling, manufacturing, maintaining, storing or testing machinery or equipment.</p>	Aeronautical engineering, biotechnology industries, computer component manufacturing, computer server facilities, energy industries, medical laboratories.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Residential care facility	<p><i>Residential care facility</i> means the use of premises for supervised accommodation, and medical and other support services, for persons who—</p> <p>(a) can not live independently; and</p> <p>(b) require regular nursing or personal care.</p>	Convalescent home, nursing home.	Community residence, dwelling house, dual occupancy, hospital, multiple dwelling, retirement facility.
Resort complex	<p><i>Resort complex</i> means the use of premises for—</p> <p>(a) tourist and visitor accommodation that includes integrated leisure facilities; or</p> <p><i>Examples of integrated leisure facilities—</i></p> <p>bars, meeting and function facilities, restaurants, sporting and fitness facilities</p> <p>(b) staff accommodation that is ancillary to the use in paragraph (a); or</p> <p>(c) transport facilities for the premises, including, for example, a ferry terminal or air service.</p>		
Retirement facility	<p><i>Retirement facility</i> means a residential use of premises for—</p> <p>(a) accommodation for older members of the community, or retired persons, in independent living units or serviced units; or</p> <p>(b) amenity and community facilities, a manager's residence, health care and support services, preparing food and drink or staff accommodation, if the use is ancillary to the use in paragraph (a).</p>	Retirement village.	Residential care facility.
Roadside stall	<p><i>Roadside stall</i> means the use of premises for the roadside display and sale of goods in a rural area.</p>	Produce stall.	Market.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Rooming accommodation	<p><i>Rooming accommodation</i> means the use of premises for—</p> <p>(a) residential accommodation, if each resident—</p> <p>(i) has a right to occupy 1 or more rooms on the premises; and</p> <p>(ii) does not have a right to occupy the whole of the premises; and</p> <p>(iii) does not occupy a self-contained unit, as defined under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i>, schedule 2, or has only limited facilities available for private use; and</p> <p>(iv) shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises; or</p> <p>(b) a manager's residence, an office or providing food or other services to residents, if the use is ancillary to the use in paragraph (a).</p>	Boarding house, hostel, monastery, offsite student accommodation.	Hospice, community residence, dwelling house, short-term accommodation, multiple dwelling.
Rural industry	<i>Rural industry</i> means the use of premises for—	Packing shed.	Intensive animal industries, intensive horticulture, roadside stall, wholesale

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (a) storing, processing or packaging products from a rural use carried out on the premises or adjoining premises; or (b) selling products from a rural use carried out on the premises or adjoining premises, if the use is ancillary to the use in paragraph (a). 		nursery, winery, abattoir, agricultural supply store.
Rural workers' accommodation	<p><i>Rural workers' accommodation</i> means the use of premises as accommodation, whether or not self-contained, for employees of a rural use, if—</p> <ul style="list-style-type: none"> (a) the premises, and the premises where the rural use is carried out, are owned by the same person; and (b) the employees are not non-resident workers. 	Farm workers' accommodation.	Short-term accommodation, caretaker's accommodation, dual occupancy, dwelling house, nature or rural based tourist accommodation, non-resident workforce accommodation, multiple dwelling.
Sales office	<p><i>Sales office</i> means the use of premises for the temporary display of land parcels or buildings that—</p> <ul style="list-style-type: none"> (a) are for sale or proposed to be sold; or (b) can be won as a prize in a competition. 	Display dwelling.	Bank, office.
Service industry	<p><i>Service industry</i> means the use of premises for an industrial activity that—</p> <ul style="list-style-type: none"> (a) does not result in off-site air, noise or odour emissions; and (b) is suitable for location with other non-industrial uses. 	Audio visual equipment repair, bicycle repairs, clock and watch repairs, computer repairs, dry cleaning, film processing, hand engraving, jewellery making, laundromat, locksmith, picture framing, shoe repairs, tailor.	Small engine mechanical repair workshop, cabinet making, shop fitting, sign writing, tyre depot, low impact industry, medium impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Service station	<i>Service station</i> means the use of premises for— (a) selling fuel, including, for example, petrol, liquid petroleum gas, automotive distillate or alternative fuels; or (b) a food and drink outlet, shop, trailer hire, or maintaining, repairing, servicing or washing vehicles, if the use is ancillary to the use in paragraph (a).	Electric vehicle charging station.	Car wash.
Shop	<i>Shop</i> means the use of premises for— (a) displaying, selling or hiring goods; or (b) providing personal services or betting to the public.	Betting agency, corner store, department store, discount variety store, hair dressing salon, liquor store, supermarket.	Adult store, food and drink outlet, hardware and trade supplies, market, showroom.
Shopping centre	<i>Shopping centre</i> means the use of premises for an integrated shopping complex consisting mainly of shops.		
Short-term accommodation	<i>Short term accommodation</i> — (a) means the use of premises for— (i) providing accommodation of less than 3 consecutive months to tourists or travellers; or (ii) a manager's residence, office, or recreation facilities for the exclusive use of guests, if the use is ancillary to the use in subparagraph (i); but (b) does not include a hotel, nature-based tourism, resort complex or tourist park.	Motel, backpackers accommodation, cabins, serviced apartments, hotel, farm stay.	Hostel, rooming accommodation, tourist park.
Showroom	<i>Showroom</i> means the use of premises for the sale of goods that are of— (a) a related product line; and (b) a size, shape or weight that requires—	Bulk stationary supplies, bulky goods sales, bulk home supplies, motor vehicles sales showroom.	Food and drink outlet, shop, outdoor sales.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (i) a large area for handling, display or storage; and (ii) direct vehicle access to the building that contains the goods by members of the public to enable the loading and unloading of the goods. 		
Special industry	<p><i>Special industry</i> means the use of premises for an industrial activity—</p> <ul style="list-style-type: none"> (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating products; and (b) that a local planning instrument applying to the premises states is a special industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity. 	<p>Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers.</p> <p>Note—Additional examples may be shown in SC1.1.2.1 — Industry thresholds.</p>	Low impact industry, medium impact industry, high impact industry, service industry.
Substation	<p><i>Substation</i> means the use of premises—</p> <ul style="list-style-type: none"> (a) as part of a transmission grid or supply network to— <ul style="list-style-type: none"> (i) convert or transform electrical energy from one voltage to another; or (ii) regulate voltage in an electrical circuit; or (iii) control electrical circuits; or 	Substations, switching yards.	Major electricity infrastructure, minor electricity infrastructure.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (iv) switch electrical current between circuits; or (b) for a telecommunications facility for— <ul style="list-style-type: none"> (i) works as defined under the <i>Electricity Act 1994</i>, section 12(1); or (ii) workforce operational and safety communications. 		
Telecommunications facility	<i>Telecommunications facility</i> means the use of premises for a facility that is capable of carrying communications and signals by guided or unguided electromagnetic energy.	Telecommunication tower, broadcasting station, television station.	Aviation facility, “low-impact telecommunications facility” as defined under the <i>Telecommunications Act 1997</i> .
Theatre	<p><i>Theatre</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) presenting movies, live entertainment or music to the public; or (b) the production of film or music; or (c) the following activities or facilities, if the use is ancillary to a use in paragraph (a) or (b)— <ul style="list-style-type: none"> (i) preparing and selling food and drink for consumption on the premises; (ii) facilities for editing and post-production; (iii) facilities for wardrobe, laundry and make-up; (iv) set construction workshops; (v) sound stages. 	Cinema, movie house, concert hall, dance hall, film studio, music recording studio.	Community hall, hotel, indoor sport and recreation facility, temporary film studio.
Tourist attraction	<i>Tourist attraction</i> means the use of premises for—	Theme park, zoo.	Hotel, major sport, recreation and entertainment facility, nightclub entertainment facility.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (a) providing entertainment to, or a recreation facility for, the general public; or (b) preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). 		
Tourist park	<p><i>Tourist park</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) holiday accommodation in caravans, self-contained cabins, tents or other similar structures; or (b) amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors, or staff accommodation, if the use is ancillary to the use in paragraph (a). 	Camping ground, caravan park, holiday cabins.	Relocatable home park, tourist attraction, short-term accommodation, non-resident workforce accommodation.
Transport depot	<p><i>Transport depot</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) storing vehicles, or machinery, that are used for a commercial or public purpose; or (b) cleaning, repairing or servicing vehicles or machinery, if the use is ancillary to the use in paragraph (a). 	Using premises to store buses, taxis, trucks, heavy vehicles or heavy machinery.	Home-based business, warehouse, low impact industry, service industry.
Utility installation	<p><i>Utility installation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) a service for supplying or treating water, hydraulic power or gas; or (b) a sewerage, drainage or stormwater service; or (c) a transport service; or (d) a waste management service; or (e) a maintenance depot, storage depot or other facility for a service stated in paragraphs (a) to (d). 	Sewerage treatment plant, mail depot, pumping station, water treatment plant.	Telecommunications tower, major electricity infrastructure, minor electricity infrastructure, substation, renewable energy facility, transport depot.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Veterinary service	<i>Veterinary service</i> means the use of premises for— (a) the medical or surgical treatment of animals; or (b) the short-term stay of animals, if the use is ancillary to the use in paragraph (a).		Animal keeping.
Warehouse	<i>Warehouse</i> means the use of premises for— (a) storing or distributing goods, whether or not carried out in a building; or (b) the wholesale of goods, if the use is ancillary to the use in paragraph (a).	Self-storage facility, storage yards.	Hardware and trade supplies, outdoor sales, showroom, shop.
Wholesale nursery	<i>Wholesale nursery</i> means the use of premises for— (a) the wholesale of plants grown on or next to the premises; or (b) selling gardening materials, if the use is ancillary to the use in paragraph (a).		Bulk landscape supplies, garden centre.
Winery	<i>Winery</i> means the use of premises for— (a) making wine; or (b) selling wine that is made on the premises.		Rural industry.

SC1.1.1 Defined activity groups

There are no defined activity groups for the planning scheme.

SC1.1.2 Industry thresholds

The industry thresholds listed below are to be used in conjunction with the defined uses listed in Table SC1.1.1 for low impact industry, medium impact industry, high impact industry and special industry.

Table SC1.1.2.1 — Industry thresholds

Column 1 Use	Column 2 Additional examples include
Low impact industry	<ul style="list-style-type: none"> (1) Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting; (2) Repairing and servicing lawn mowers and outboard engines; (3) Fitting and turning workshop; (4) Assembling or fabricating products from sheet metal or welding steel, producing less than ten (10) tonnes a year and not including spray painting; (5) Assembling wood products not involving cutting, routing, sanding or spray painting; (6) Dismantling automotive or mechanical equipment, not including debonding brake or clutch components.
Medium impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing less than ten (10) tonnes of metal castings per annum; (2) Boiler making or engineering works producing less than 10,000 tonnes of metal product per annum; (3) Concrete batching and producing concrete products; (4) Facility, goods yard or warehouse for storage and distribution of dangerous goods not involving manufacturing processes and not a major hazard facility under the <i>Work Health and Safety Act 2011</i>; (5) Abrasive blasting facility using less than ten (10) tonnes of abrasive material per annum; (6) Enamelling workshop using less than 15,000 litres of enamel per annum; (7) Galvanising works using less than 100 tonnes of zinc per annum; (8) Anodising or electroplating workshop where tank area is less than 400 square metres; (9) Powder coating workshop using less than 500 tonnes of coating per annum; (10) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using less than 20,000 litres of paint per annum; (11) Scrap metal yard (not including a fragmentiser), dismantling automotive or mechanical equipment including debonding brake or clutch components; (12) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, less than 200 tonnes per annum; (13) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 200 tonnes per annum; (14) Vegetable oil or oilseed processing in works with a design production capacity of less than 1,000 tonnes per annum; (15) Manufacturing wooden products including cabinet making, joinery, wood working, producing less than 500 tonnes per annum;

Column 1 Use	Column 2 Additional examples include
	<ul style="list-style-type: none"> (16) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, less than 250 tonnes per annum; (17) Sawmilling, wood chipping and kiln drying timber and logs, producing less than 500 tonnes per annum; (18) Recycling and reprocessing batteries; (19) Repairing or maintaining boats; (20) Manufacturing substrate for mushroom growing; (21) Manufacturing or processing plaster, producing less than 5,000 tonnes per annum; (22) Recycling or reprocessing tyres including retreading; (23) Printing advertising material, magazines, newspapers, packaging and stationery; Manufacturing fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, less than five (5) tonnes per annum (except fibreglass boats, tanks and swimming pools); (24) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, less than 10,000 tonnes per annum; (25) Reconditioning metal or plastic drums; (26) Glass fibre manufacture less than 200 tonnes per annum; (27) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.
High impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing ten (10) tonnes or greater of metal castings per annum; (2) Boiler making or engineering works producing 10,000 tonnes or greater of metal product per annum; (3) Major hazard facility for the storage and distribution of dangerous goods not involving manufacturing processes; (4) Scrap metal yard including a fragmentiser; (5) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, greater than 200 tonnes per annum; (6) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, greater than 200 tonnes per annum; (7) Vegetable oil or oilseed processing in works with a design production capacity of greater than 1,000 tonnes per annum; (8) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum; (9) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, 250 tonnes or greater per annum; (10) Sawmilling, wood chipping and kiln drying timber and logs, producing greater than 500 tonnes per annum; (11) Manufacturing or processing plaster, producing greater than 5,000 tonnes per annum; (12) Enamelling workshop using 15,000 litres or greater of enamel per annum; (13) Galvanising works using 100 tonnes or greater of zinc per annum; (14) Anodising or electroplating workshop where tank area is 400 square metres or greater; (15) Powder coating workshop using 500 tonnes or greater of coating per annum; (16) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using 20,000 litres or greater of paint per annum; (17) Treating timber for preservation using chemicals including copper, chromium, arsenic, borax and creosote; (18) Manufacturing soil conditioners by receiving, blending, storing, processing, drying or composting organic material or organic

Column 1 Use	Column 2 Additional examples include
	<p>waste, including animal manures, sewage, septic sludges and domestic waste;</p> <p>(19) Manufacturing fibreglass pools, tanks and boats;</p> <p>(20) Manufacturing, fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, five (5) tonnes or greater per annum (except fibreglass boats, tanks and swimming pools);</p> <p>(21) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, 10,000 tonnes or greater per annum;</p> <p>(22) Manufacturing tyres, asbestos products, asphalt, cement; glass or glass fibre, mineral wool or ceramic fibre;</p> <p>(23) Abattoir;</p> <p>(24) Recycling chemicals, oils or solvents;</p> <p>(25) Manufacturing batteries;</p> <p>(26) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum;</p> <p>(27) Abrasive blasting facility using ten (10) tonnes or greater of abrasive material per annum;</p> <p>(28) Crematoria;</p> <p>(29) Glass fibre manufacture producing 200 tonnes or greater per annum;</p> <p>(30) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.</p>
Special industry	<p>(1) Oil refining or processing;</p> <p>(2) Producing, refining or processing gas or fuel gas;</p> <p>(3) Distilling alcohol in works producing greater than 2,500 litres per annum;</p> <p>(4) Power station;</p> <p>(5) Producing, quenching, cutting, crushing or grading coke;</p> <p>(6) Waste incinerator;</p> <p>(7) Sugar milling or refining;</p> <p>(8) Pulp or paper manufacturing;</p> <p>(9) Tobacco processing;</p> <p>(10) Tannery or works for curing animal skins, hides or finishing leather;</p> <p>(11) Textile manufacturing, including carpet manufacturing, wool scouring or carbonising, cotton milling, or textile bleaching, dyeing or finishing;</p> <p>(12) Rendering plant;</p> <p>(13) Manufacturing chemicals, poisons and explosives;</p> <p>(14) Manufacturing fertilisers involving ammonia;</p> <p>(15) Manufacturing polyvinyl chloride plastic.</p>

SC1.2 Administrative definitions

- (a) Administrative definitions assist with the interpretation of the planning scheme but do not have a meaning in relation to a use.
- (b) A term listed in Table SC1.2.2 column 1 has the meaning set out beside that term in column 2 under the heading.
- (c) The administrative definitions listed here are the definitions for the purpose of the planning scheme.

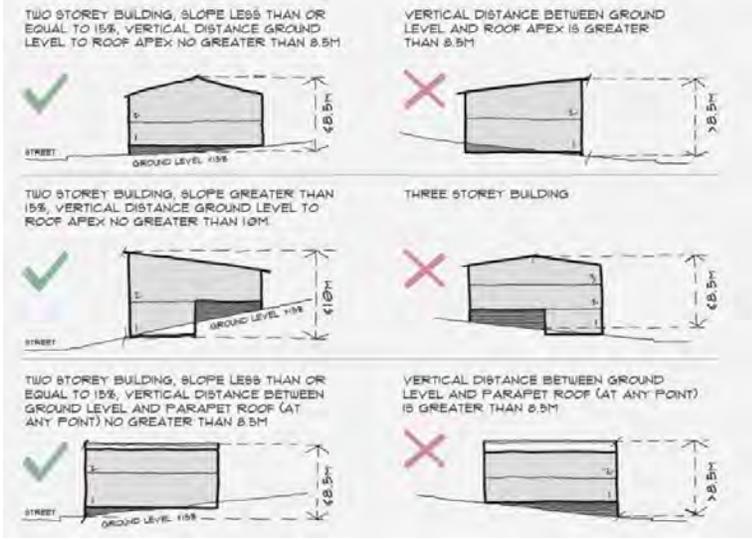
Table SC1.2.1 — Index of administrative definitions

<ul style="list-style-type: none"> • Active frontage • Active transport • Adjoining premises • Advertising device • Affordable housing • Annual exceedance probability (AEP) • Articulation • Average recurrence interval (ARI) • Average width • Aviation facility • Base date • Basement • Boundary clearance • Buffer • Building envelope • Building height • Coastal-dependent development • Council • Crime prevention through environmental design (CPTED) • Defined flood event (DFE) • Defined flood level (DFL) • Defined storm tide event (DSTE) • Demand unit • Demolition work • Development footprint 	<ul style="list-style-type: none"> • Domestic outbuilding • Drainage catchment • Drainage system • Dwelling • Filling or excavation • Floodplain • Formed road • Frontage • Gross floor area • Gross leasable floor area • Ground level • Heavy trailer • Heavy vehicle • Heritage place • Highest astronomical tide (HAT) • Household • Lawful point of discharge • Minor building work • Minor electricity infrastructure • Minor public marine development • Movement network • Net developable area • Non-resident workers • Outermost projection 	<ul style="list-style-type: none"> • Overland flow path • Planning assumption • Plot ratio • Primary street frontage • Projection area • Public open space • Public safety area • Runoff • Secondary dwelling • Self-contained vehicle • Sensitive land use • Service catchment • Setback • Site • Site area • Site cover • Storey • Storm tide • Streetscape • Temporary use • Total floor area • Total use area • Ultimate development • Unacceptable risk • Unrelated person • Urban purpose • Vehicle trip • Verge • Water sensitive urban design • Waterway • Wetland
---	---	---

Table SC1.2.2 — Administrative definitions

Column 1 Term	Column 2 Definition
Active frontage	Are those frontages that are comprised of shopfronts and other ground floor uses that foster a high level of social and business activity on streets and in public places.
Active transport	Non-motorised travel such as walking and cycling.
Adjoining premises	Premises that share a common boundary, including premises that meet at a single point on a common boundary.
Advertising device	<p>a) means a permanent sign, structure or other device used, or intended to be used, for advertising; and</p> <p>b) includes a structure, or part of a building, the primary purpose of which is to support the sign, structure or device.</p>

Column 1 Term	Column 2 Definition
Affordable housing	Housing that is appropriate to the needs of households with low to moderate incomes, if the members of the households will spend no more than thirty (30) per cent of gross income on housing costs.
Annual exceedance probability (AEP)	The likelihood of occurrence of a flood of a given size or larger in any one year, usually expressed as a percentage. For example, if a peak flood discharge of 500 cubic metres per second has an annual exceedance probability of five (5) per cent, it means that there is a five (5) per cent risk, that is the probability of 0.05 or a likelihood of one (1) in twenty (20), of a peak flood discharge of 500 cubic metres per second or larger occurring in any one (1) year. The annual exceedance probability of a flood event gives no indication of when a flood of that size will occur next.
Articulation	Designing a building, or the I of a building, with clearly distinguishable parts.
Average recurrence interval (ARI)	The average, or expected, value of the periods between exceedances of a given rainfall total accumulated over a given duration. It is implicit in this definition that the periods between exceedances are generally random. Editor's note—For example, a 100 year average recurrence interval indicates an average of 100 years between exceedance of a given storm magnitude.
Average width	In regard to a lot, the distance, measured in metres, between the midpoint on each side boundary of the lot.
Aviation facilities	Navigation, communication or surveillance facility provided to assist the safe and efficient movement of aircraft. Such facilities may be located on or off airport.
Base date	The date from which the local government has estimated future infrastructure demand and costs for the local government area.
Basement	A space— a) between a floor level in a building and the floor level that is immediately below it; and b) no part of which is more than one (1) metre above ground level.
Boundary clearance	The distance between a building or structure on premises and the boundary of the premises, measured from the part of the building or structure that is closest to the boundary, other than a part that is— (a) an architectural or ornamental attachment; or (b) a rainwater fitting. <i>Examples—</i> 1 If the fascia of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between the outside of the fascia and the boundary. 2 If a point on the roof of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between that point on the roof and the boundary.
Buffer	An area of land, including waterways, required for maintaining separation distances: (a) between different land uses; or (b) from a major noise source; or (c) from a conservation area or a public recreation area; or (d) from a wetland or waterway.
Building envelope	Identifying the part of the site where building work can occur for a house, garage, outdoor recreation, gazebos, sheds, etcetera, but not including the driveway or septic trenches.
Building height	In regards to a building, means— (a) the vertical distance, measured in metres, between the ground level of the building and the highest point on the roof of the building,

Column 1 Term	Column 2 Definition
	<p>other than a point that is part of an aerial, chimney, flagpole or load-bearing antenna; or</p> <p>(b) the number of storeys in the building above ground level.</p>  <p>Diagram 1: Two storey building, slope less than or equal to 15%, vertical distance ground level to roof apex no greater than 8.5m. (Compliant, green checkmark)</p> <p>Diagram 2: Two storey building, slope greater than 15%, vertical distance ground level to roof apex no greater than 10m. (Compliant, green checkmark)</p> <p>Diagram 3: Two storey building, slope less than or equal to 15%, vertical distance between ground level and parapet roof (at any point) no greater than 8.5m. (Compliant, green checkmark)</p> <p>Diagram 4: Three storey building, vertical distance between ground level and roof apex is greater than 8.5m. (Non-compliant, red cross)</p> <p>Diagram 5: Three storey building, vertical distance between ground level and parapet roof (at any point) is greater than 8.5m. (Non-compliant, red cross)</p> <p>Diagram 6: Two storey building, vertical distance between ground level and parapet roof (at any point) is greater than 8.5m. (Non-compliant, red cross)</p>
Coastal-dependent development	<p>Development that in order to function must be located in tidal waters or be able to access tidal water:</p> <p>(a) (a) may include, but is not limited to:</p> <ul style="list-style-type: none"> (i) industrial and commercial facilities such as ports, public marine development, harbours and navigation channels and facilities, aquaculture involving marine species, desalination plants, tidal generators, coastal protection works, erosion control structures and beach nourishment; (ii) tourism facilities for marine (boating) purposes; (iii) community facilities and sporting facilities which require access to tidal water in order to function, such as surf clubs, marine rescue, rowing and sailing clubs; or (iv) co-located residential and tourist uses that are part of an integrated development proposal (e.g. mixed use development) incorporating a marina, if these uses are located directly landward of the marina and appropriately protected from natural hazards; <p>(b) (b) does not include:</p> <ul style="list-style-type: none"> (i) residential development, including canal development, as the primary use; (ii) waste management facilities, such as landfills, sewage treatment plants; or (iii) transport infrastructure, other than for access to the coast.
Council	The Rockhampton Regional Council.
Crime prevention through environmental design (CPTED)	The use of crime prevention through environmental design is intended to reduce crime and fear by reducing criminal opportunity and fostering positive social interaction among legitimate users of space. The emphasis is on prevention rather than apprehension and punishment.
Defined flood event (DFE)	The flood event adopted by Rockhampton Regional Council for the management of development is the one (1) per cent annual exceedance probability (AEP) flood.
Defined flood level (DFL)	The mapped area of the inundation level of the defined flood event being the one (1) per cent annual exceedance probability (AEP) flood.

Column 1 Term	Column 2 Definition
Defined storm tide event (DSTE)	The event (measured in terms of likelihood of recurrence) and associated inundation level adopted to manage the development of a particular area. The DSTE is equivalent to a one in 100 year average recurrence interval storm event incorporating: <ul style="list-style-type: none"> (a) sea level rise; and (b) an increase in cyclone intensity by ten (10) per cent relative to maximum potential intensity.
Demand unit	A unit of measurement for measuring the level of demand for infrastructure.
Demolition work	Work to demolish or systematically dismantle a structure, or part of a structure, but does not include the systematic dismantling of: <ul style="list-style-type: none"> (a) a part of a structure for alteration, maintenance, remodelling or repair; or (b) formwork, falsework, scaffold or other construction designed or used to provide support, access or containment during construction work.
Development footprint	In regards to development, any part of the premises that, after the development is carried out, will be covered by— <ul style="list-style-type: none"> (a) buildings or structures, measured to their outermost projection; or (b) landscaping or open space; or (c) facilities relating to the development; or (d) on-site stormwater drainage or wastewater treatment; or (e) a car park, road, access track or area used for vehicle movement; or (f) another area of disturbance.
Domestic outbuilding	A non-habitable class 10a building that is— <ul style="list-style-type: none"> (a) a shed, garage or carport; and (b) ancillary to a residential use carried out on the premises where the building is.
Drainage catchment	As defined by the Queensland Urban Drainage Manual.
Drainage system	As defined by the Queensland Urban Drainage Manual.
Dwelling	All or part of a building that— <ul style="list-style-type: none"> (a) is used, or capable of being used, as a self-contained residence; and (b) contains— <ul style="list-style-type: none"> (i) food preparation facilities; and (ii) a bath or shower; and (iii) a toilet; and (iv) a wash basin; and (v) facilities for washing clothes.
Filling or excavation	Removal or importation of material to, from or within a lot that will change the ground level of the land.
Floodplain	A floodplain is defined as the extent of land inundated by the Probable Maximum Flood.
Formed road	A dedicated road that does not have gravel paving but which is formed using a grader so that storm water will drain off laterally.
Frontage	Means a boundary of a lot which abuts a road.
Gross floor area	In regards to a building, the total floor area of all storeys of the building, measured from the outside of the external walls and the centre of any common walls of the building, other than areas used for— <ul style="list-style-type: none"> (a) building services, plant or equipment; or (b) access between levels; or (c) a ground floor public lobby; or (d) a mall; or (e) parking, loading or manoeuvring vehicles; or (f) unenclosed private balconies, whether roofed or not.

Column 1 Term	Column 2 Definition
Gross leasable floor area	The total floor area, inclusive of all internal walls and columns, capable of being occupied by separate tenants for their exclusive use, including basements, mezzanine and toilets.
Ground level	Means— (a) the level of the natural ground; or (b) if the level of the natural ground has changed, the level as lawfully changed.
Heavy trailer	Means a trailer that has a gross vehicle mass of more than 4.5 tonnes.
Heavy vehicle	Means a motor vehicle that has a gross vehicle mass of more than 4.5 tonnes.
Heritage place	Means a site, area, land, landscape, feature, building or work (or group of buildings or works) that is of cultural heritage significance. A heritage place may include: (a) a local heritage place; or (b) Queensland heritage place; or (c) national heritage place; or (d) world heritage property.
Highest astronomical tide (HAT)	The highest tide level that can be predicted to occur under average meteorological conditions and any combination of astronomical conditions. This level will not be reached every year, and is less than extreme levels that can be caused by storm tides.
Household	One (1) or more individuals who— (a) live in a dwelling with the intent of living together on a long-term basis; and (b) make common provision for food and other essentials for living. A household contains one (1) water and sewer connection to the premises.
Lawful point of discharge	As defined by the Queensland Urban Drainage Manual.
Minor building work	Building work that increases the gross floor area of a building by no more than the lesser of the following— (a) fifty (50) square metres; (b) an area equal to five (5) per cent of the gross floor area of the building.
	.
Minor electricity infrastructure	Development stated in the <i>Planning Regulation 2017</i> , schedule 6, section 26(5).
Minor public marine development	Maritime facilities such as boat ramps, pontoons, slipways, wharves and jetties that serve a public purpose.
Movement network	All road, rail, bus, pedestrian and cycle corridors together with passenger transport stations and interchanges that provide access to these corridors.
Net developable area	For premises, means the area of the premises that— (a) is able to be developed; and (b) is not subject to a development constraint, including, for example, a constraint relating to acid sulfate soils, flooding or slope.
Non-resident worker	A person who— (a) performs work as part of— (i) a resource extraction project; or (ii) a project identified in a planning scheme as a major industry or infrastructure project; or (iii) a rural use; and (b) lives, for extended periods, in the locality of the project, but has a permanent residence elsewhere. <i>Example of a non-resident worker—</i>

Column 1 Term	Column 2 Definition
	a person engaged in fly-in/fly-out, or drive in/drive out, working arrangements.
Outermost projection	In regards to a building or structure, is the outermost part of the building or structure, other than a part that is— (a) a retractable blind; or (b) a fixed screen; or (c) a rainwater fitting; or (d) an ornamental attachment.
Overland flow path	Where a piped drainage system exists: it is the path where storm flows in excess of the capacity of the underground drainage system would flow. Where no piped drainage system or other form of defined watercourse exists: it is the path taken by surface runoff from higher parts of the catchment to a watercourse, channel or gully. It does not include a watercourse, channel or gully with well-defined bed and banks.
Planning assumption	An assumption about the type, scale, location and timing of future growth in the local government area.
Plot ratio	The ratio of the gross floor area of a building on a site to the area of the site.
Primary street frontage	Means: (a) where a lot is vacant, the frontage most commonly addressed by other buildings in the block as the front of the lot; or (b) where a lot is not vacant, the frontage to which the front of the existing building addresses the street.
Projection area	A part of the local government area for which the local government has carried out demand growth projection.
Public open space	Outdoor spaces that are generally accessible to the community and provide for a range of sport, recreation, cultural, entertainment or leisure pursuits.
Public safety area	Means the defined area at the end of a strategic airport's runway in which development is restricted in order to protect the safety of people and property on the ground in the event of an aircraft incident during landing or take-off.
Runoff	As defined by the Queensland Urban Drainage Manual.
Secondary dwelling	A dwelling, whether attached or detached, that is used in conjunction with, and subordinate to, a dwelling house on the same lot.
Self-contained vehicle	The vehicle must have installed and/or carry the necessary fit for purpose specifically manufactured equipment. This includes: (a) Water Supply (b) Sink/Shower (c) Grey Water (d) Toilet (e) Rubbish Note – Definition from the <i>Caravan and Motorhome Club of Australia Limited – CMCA Self Contained Vehicle (SCV) Policy</i>
Sensitive land use	Means the following defined uses: (a) caretaker's accommodation; (b) childcare centre; (c) community care centre; (d) community residence; (e) detention facility; (f) dual occupancy; (g) dwelling house; (h) dwelling unit; (i) educational establishment;

Column 1 Term	Column 2 Definition
	(j) health care service; (k) hospital; (l) hotel; (m) multiple dwelling; (n) non-resident workforce accommodation; (o) relocatable home park; (p) residential care facility; (q) resort complex; (r) retirement facility; (s) rooming accommodation; (t) rural workers' accommodation; (u) short-term accommodation; and (v) tourist park.
Service catchment	An area serviced by an infrastructure network.
Setback	For a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
Site	In regards to development, means the land that the development is to be carried out on. <i>Examples—</i> 1 If development is to be carried out on part of a lot, the site of the development is that part of the lot. 2 If development is to be carried out on part of one (1) lot and part of an adjoining lot, the site of the development is both of those parts.
Site area	That part of a lot or lots which is proposed to be used, is currently used, or is the subject of a development application.
Site cover	In regards to development, the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is— (a) in a landscaped or open space area, including, for example, a gazebo or shade structure; or (b) a basement that is completely below ground level and used for car parking; or (c) the eaves of a building; or (d) a sun shade.
Storey	(a) means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than— (i) a space containing only a lift shaft, stairway or meter room; or (ii) a space containing only a bathroom, shower room, laundry, toilet or other sanitary compartment; or (iii) a space containing only a combination of the things stated in subparagraph (i) or (ii); or (iv) a basement with a ceiling that is not more than 1m above ground level; and (b) includes— (i) a mezzanine; and (ii) a roofed structure that is on, or part of, a rooftop, if the structure does not only accommodate building plant and equipment.
Storm tide	The increase in sea level occurring during a cyclone or severe storm resulting from the combined effect of reduced atmospheric pressure and the build-up of water against the shore caused by onshore wind (wind stress).

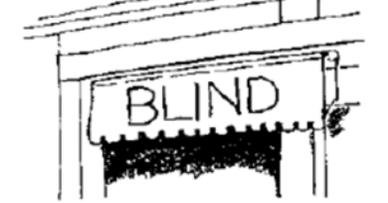
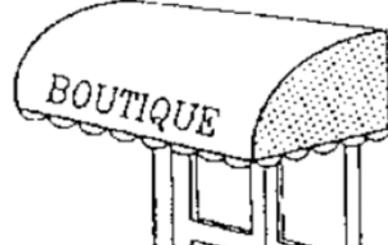
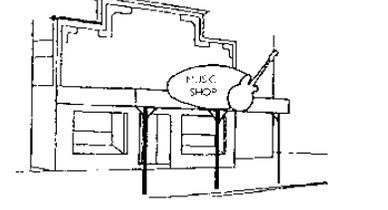
Column 1 Term	Column 2 Definition
Streetscape	The collective combination of urban form elements that constitute the view of a street and its public and private domains. These elements include buildings, roads, footpaths, vegetation, open spaces and street furniture.
Temporary use	A use that— (a) is carried out on a non-permanent basis; and (b) does not involve the construction of, or significant changes to, permanent buildings or structures. Editor's note —Council's Local Law No.1 Administration is also applicable to temporary uses.
Total floor area	The total floor area of all storeys of a building (measured from the outside of the external walls or the centre of a common wall). The term includes buildings or structures used for the parking and manoeuvring of motor vehicles.
Total use area	The sum of all the areas (exclusive of all walls and columns) of all storeys of a building which are used or intended for use for a particular purpose, plus any other area of a site which is used, or intended to be used, for the same purpose which are likely to generate car parking demand. The term does not include: (a) areas (inclusive of all walls and columns) of any lift wells, lift motor rooms, air conditioning and associated mechanical or electrical plant and equipment rooms; (b) areas of any staircases/access between levels; (c) areas of any public common foyer or lobby where these are not being used for commercial or retail purposes; (d) areas of any public toilets; (e) areas of any staff toilets, washrooms, recreation areas and lunchrooms, provided that such areas are not open to persons other than staff; (f) areas used for the access, parking and associated manoeuvring of motor vehicles; (g) mall/public arcade; and (h) unenclosed private balconies whether roof or not.
Ultimate development	For an area or premises, means the likely extent of development that is anticipated in the area, or on the premises, if the area or premises are fully developed.
Unacceptable risk	A situation where people or property are exposed to a predictable hazard event that may result in serious injury, loss of life, failure of community infrastructure, or property damage that would make a dwelling unfit for habitation.
Unrelated person	A person other than a parent, son, daughter, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child of the member or their spouse and a spouse of any of the aforementioned individuals.
Urban purpose	Has the meaning defined in the <i>Planning Regulation 2017</i> , schedule 24.
Vehicle trip	Means one (1) trip arriving to and departing from the site or vice versa.
Verge	That part of the street or road reserve between the carriageway and the boundary of the adjacent lot or other limit to the road reserve. The term may accommodate service provider utility infrastructure, footpaths, stormwater flows, street lighting poles and planting.
Water sensitive urban design	A holistic design approach to the management of stormwater, incorporating: a) the protection and enhancement of the environmental values of receiving waters; b) the use of plants as a form of stormwater treatment; c) water conservation using the reuse of stormwater and the planting of native plants that are water efficient;

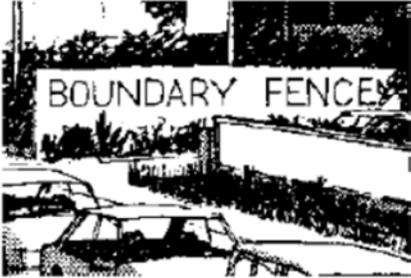
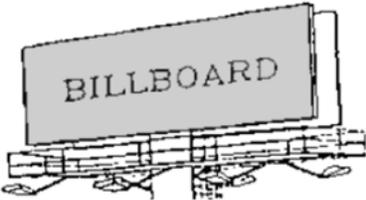
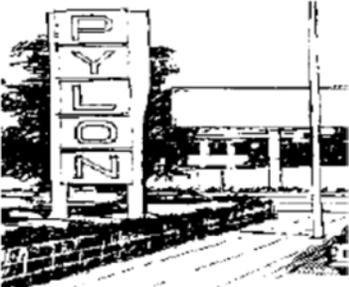
Column 1 Term	Column 2 Definition
	d) a multi-disciplinary approach to the design of stormwater management; and e) best practice environmental management.
Waterway	Means any of the following: (a) a creek, river, stream or watercourse; or (b) an inlet of the sea into which a creek, river, stream or watercourse flows; or (c) a dam or weir.
Wetland	An area shown as a wetland on "Map of referable wetlands", a document approved by the chief executive (environment).

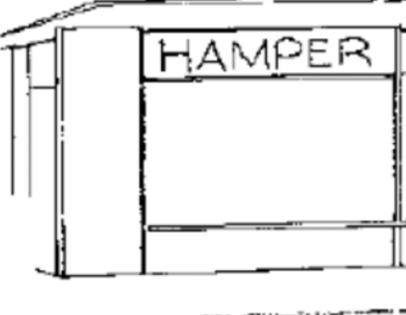
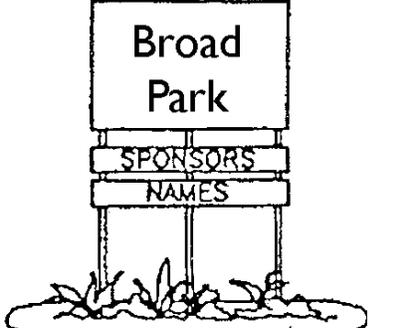
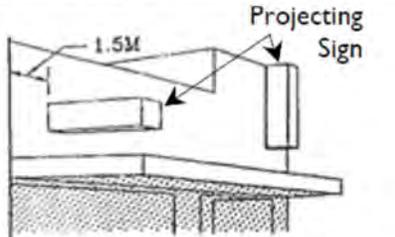
SC1.3 Advertising devices definitions

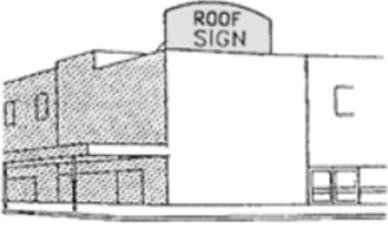
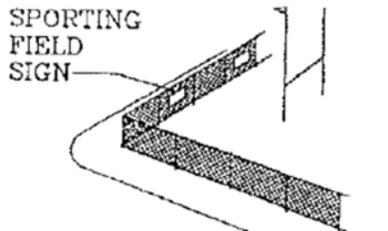
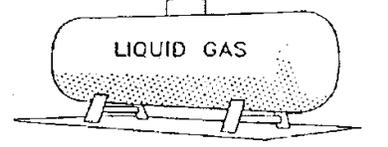
Administrative definitions for advertising devices assist with the interpretation of the planning scheme relative to Part 9.3.2 Advertising devices code.

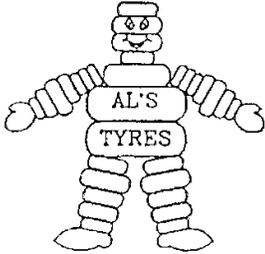
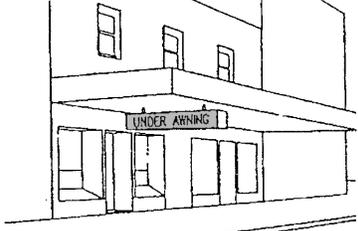
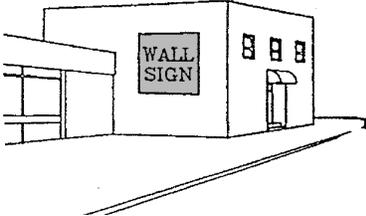
Table SC1.3.1 — Index and definitions of advertising devices

Advertising device type	Specific sign types	Pictorial description
Above awning sign	An above awning sign means any advertising device located on top of and attached to an awning or verandah which is situated over a public roadway.	
Awning fascia sign or return fascia sign	An awning fascia or return fascia sign is any advertising device painted or otherwise attached to the fascia or return fascia of an awning.	
Blind sign	A blind sign is any advertising device painted or applied to a flexible material suspended from an awning, verandah or wall.	
Business name plate sign or home-based business sign	A business name plate sign or home-based business sign is any advertising device intended to display the name and occupation of the business occupant or occupants and may include the hours of operation of the business.	
Canopy sign	A canopy sign is any advertising device painted or applied onto a canopy structure.	
Creative awning sign	A creative awning sign is any advertising device consisting of an advertisement attached to the fascia of an awning, which projects beyond and interrupts the natural line of the awning.	

Advertising device type	Specific sign types	Pictorial description
Fence sign	<p>A fence sign is any advertising device painted or otherwise affixed to a fence, where the fence acts as a permanent partition, screen or barrier normally along the boundary of a property.</p>	 
Flag sign	<p>A flag sign is any advertising device in the form of a flag, which is flown from a masthead, fixed either to or in front of a building or suspended from any structure or pole. Any masthead, structure or pole able at any time to fly a flag is taken to also be part of a flag sign.</p> <p>To remove any doubt this does not include the Australian flag (including armed forces), Queensland flag, Rockhampton Regional Council flag or any other similar type of flag.</p>	
Freestanding sign	<p>A freestanding sign is an advertising device that is typically in the form of a billboard (the width of which is greater than the height) or a pylon (the height of which is greater than the width) and which may be positioned on the ground or mounted to one or more vertical supports.</p>	 

Advertising device type	Specific sign types	Pictorial description
Ground sign	A ground sign is any advertising device, which identifies the site and is normally erected at a driveway entrance on the ground as a permanent structure. This includes any entry statement into a development such as a residential estate, industrial estate and the like.	
Hamper sign	A hamper sign is any advertising device located above the door head or its equivalent height and below the awning level or verandah of a building. It may be painted or otherwise affixed upon the building face.	
Park sign	A park sign is any advertising device that identifies a sporting club associated with the use of an area of public open space as well as their sponsors. To remove any doubt, a park sign does not include any sign or part of a sign that states the name of an area of public open space, that name being the name approved by a resolution of the Council.	
Projected image sign	A projected image sign is any advertising device that is illuminated and projected onto a surface as a static or moving image.	
Projecting sign	A projecting sign is any advertising device mounted to and projecting from the façade of a building.	

Advertising device type	Specific sign types	Pictorial description
Roof sign	A roof sign is an advertising device located on the roof of a building whether or not it has relation to the architectural design or appearance of the building.	
Sign written roof sign	<p>A sign written roof sign is an advertising device painted or otherwise affixed to the roof cladding of a building.</p> <p>These advertising devices do not include an advertising device attached to a roof in the context of a roof sign as otherwise defined.</p>	
Sporting field fence sign	A sporting field fence sign is any advertising device painted or otherwise affixed to a fence marking the boundaries of a playing field.	
Stall board sign		
Stall board sign	A stall board sign is any advertising device located below or at the bottom of a ground floor window. It may be painted or otherwise affixed upon the building face.	
Structure sign	A structure sign is any advertising device painted or otherwise affixed to any structure which is not a building. Structures to which this type of advertising device may be attached include batching plants, conveyor housings storage, liquid or gas tanks and the like.	

Advertising device type	Specific sign types	Pictorial description
Three-dimensional sign	<p>A three-dimensional sign is any advertising device that is designed to replicate or copy a real world object or shape.</p> <p>The replica may be:</p> <ul style="list-style-type: none"> (a) enlarged, miniaturised or equal in scale; and (b) freestanding or form part of a freestanding sign. 	
Under awning sign	<p>An under awning sign is any advertising device attached or suspended under an awning or verandah.</p>	
Wall Sign	<p>A wall sign is any advertising device painted or otherwise affixed to and confined within the limits of a wall of a building. It does not include a real estate sign, public notification sign, trade sign or election sign.</p>	
Window sign	<p>A window sign is any advertising device painted or otherwise affixed to the glazed area of any window. These advertising devices also include signs that may be suspended from the window frame but does not include project displays or showcases to be viewed by pedestrians.</p>	

Schedule 2 Mapping

The table(s) below lists any strategic framework, zoning, local plan and overlay maps applicable to the planning scheme area.

Editor's note—Mapping for the LGIP is contained in Schedule 3 of the planning scheme.

SC2.1 Map index

Table SC2.1.1 — Map index

Map ref	Locality
1	Allenstown
2	Alton Downs
3	Bajool
4	Baree
5	Berserker
6	Boulder Creek
7	Bouldercombe
8	Bushley
9	Dalma
10	Depot Hill
11	Fairy Bower
12	Fletcher Creek
13	Frenchville
14	Garnant
15	Glenroy
16	Gogango
17	Gracemere
18	Hamilton Creek
19	Horse Creek
20	Johnsons Hill
21	Kabra
22	Kalapa
23	Kawana
24	Koongal
25	Lakes Creek
26	Leydens Hill
27	Limestone
28	Limestone Creek
29	Marmor
30	Midgee
31	Moongan
32	Morinish
33	Morinish South
34	Mount Archer
35	Mount Morgan
36	Nine Mile
37	Nine Mile Creek
38	Norman Gardens
39	Oakey Creek
40	Park Avenue
41	Parkhurst
42	Pink Lily
43	Port Alma
44	Port Curtis
45	Ridgeland

Map ref	Locality
46	Rockhampton City
47	South Yaamba
48	Stanwell
49	Struck Oil
50	The Common
51	The Mine
52	The Range
53	Trotter Creek
54	Walmul
55	Walterhall
56	Wandal
57	West Rockhampton
58	Westwood
59	Wura
60	Wycarbah

Table SC2.1.2 — List of maps

Map number	Map title	Gazettal date
Strategic framework maps		
Settlement Pattern		
SFM-1	Strategic Framework Map — Settlement Pattern — Regional	
SFM-2	Strategic Framework Map — Settlement Pattern — Rockhampton	
SFM-3	Strategic Framework Map — Settlement Pattern — Gracemere	
SFM-4	Strategic Framework Map — Settlement Pattern — Mount Morgan	
Environmental		
SFM-5	Strategic Framework Map — Environmental — Regional	
SFM-6	Strategic Framework Map — Environmental — Rockhampton	
SFM-7	Strategic Framework Map — Environmental — Gracemere	
SFM-8	Strategic Framework Map — Environmental — Mount Morgan	
Infrastructure		
SFM-9	Strategic Framework Map — Infrastructure — Regional	
SFM-10	Strategic Framework Map — Infrastructure — Rockhampton	
SFM-11	Strategic Framework Map — Infrastructure — Gracemere	
SFM-12	Strategic Framework Map — Infrastructure — Mount Morgan	
Zone maps		
ZM-0	Zone Map ZM-0 (Regional)	
ZM-1	Zone Map ZM-1 (Allerstown)	
ZM-2	Zone Map ZM-2 (Alton Downs)	
ZM-3	Zone Map ZM-3 (Bajool)	
ZM-4	Zone Map ZM-4 (Baree)	
ZM-5	Zone Map ZM-5 (Berserker)	
ZM-6	Zone Map ZM-6 (Boulder Creek)	
ZM-7	Zone Map ZM-7 (Bouldercombe)	
ZM-8	Zone Map ZM-8 (Bushley)	
ZM-9	Zone Map ZM-9 (Dalma)	
ZM-10	Zone Map ZM-10 (Depot Hill)	
ZM-11	Zone Map ZM-11 (Fairy Bower)	

Map number	Map title	Gazettal date
ZM-12	Zone Map ZM-12 (Fletcher Creek)	
ZM-13	Zone Map ZM-13 (Frenchville)	
ZM-14	Zone Map ZM-14 (Garnant)	
ZM-15	Zone Map ZM-15 (Glenroy)	
ZM-16	Zone Map ZM-16 (Gogango)	
ZM-17	Zone Map ZM-17 (Gracemere)	
ZM-18	Zone Map ZM-18 (Hamilton Creek)	
ZM-19	Zone Map ZM-19 (Horse Creek)	
ZM-20	Zone Map ZM-20 (Johnsons Hill)	
ZM-21	Zone Map ZM-21 (Kabra)	
ZM-22	Zone Map ZM-22 (Kalapa)	
ZM-23	Zone Map ZM-23 (Kawana)	
ZM-24	Zone Map ZM-24 (Koongal)	
ZM-25	Zone Map ZM-25 (Lakes Creek)	
ZM-26	Zone Map ZM-26 (Leydens Hill)	
ZM-27	Zone Map ZM-27 (Limestone)	
ZM-28	Zone Map ZM-28 (Limestone Creek)	
ZM-29	Zone Map ZM-29 (Marmor)	
ZM-30	Zone Map ZM-30 (Midgee)	
ZM-31	Zone Map ZM-31 (Moongan)	
ZM-32	Zone Map ZM-32 (Morinish)	
ZM-33	Zone Map ZM-33 (Morinish South)	
ZM-34	Zone Map ZM-34 (Mount Archer)	
ZM-35	Zone Map ZM-35 (Mount Morgan)	
ZM-36	Zone Map ZM-36 (Nine Mile)	
ZM-37	Zone Map ZM-37 (Nine Mile Creek)	
ZM-38	Zone Map ZM-38 (Norman Gardens)	
ZM-39	Zone Map ZM-39 (Oakey Creek)	
ZM-40	Zone Map ZM-40 (Park Avenue)	
ZM-41	Zone Map ZM-41 (Parkhurst)	
ZM-42	Zone Map ZM-42 (Pink Lily)	
ZM-43	Zone Map ZM-43 (Port Alma)	
ZM-44	Zone Map ZM-44 (Port Curtis)	
ZM-45	Zone Map ZM-45 (Ridgeland)	
ZM-46	Zone Map ZM-46 (Rockhampton City)	
ZM-47	Zone Map ZM-47 (South Yaamba)	
ZM-48	Zone Map ZM-48 (Stanwell)	
ZM-49	Zone Map ZM-49 (Struck Oil)	
ZM-50	Zone Map ZM-50 (The Common)	
ZM-51	Zone Map ZM-51 (The Mine)	
ZM-52	Zone Map ZM-52 (The Range)	
ZM-53	Zone Map ZM-53 (Trotter Creek)	
ZM-54	Zone Map ZM-54 (Walmul)	
ZM-55	Zone Map ZM-55 (Walterhall)	
ZM-56	Zone Map ZM-56 (Wandal)	
ZM-57	Zone Map ZM-57 (West Rockhampton)	
ZM-58	Zone Map ZM-58 (Westwood)	
ZM-59	Zone Map ZM-59 (Wura)	
ZM-60	Zone Map ZM-60 (Wycarbah)	
Local plan maps		
Overlay maps		
OM-1-0	Acid Sulfate Soils Overlay Map OM-1-0 (Regional)	
OM-1-1	Acid Sulfate Soils Overlay Map OM-1-1 (Allentown)	
OM-1-2	Acid Sulfate Soils Overlay Map OM-1-2 (Alton Downs)	
OM-1-3	Acid Sulfate Soils Overlay Map OM-1-3 (Bajool)	

Map number	Map title	Gazettal date
OM-1-5	Acid Sulfate Soils Overlay Map OM-1-5 (Berserker)	
OM-1-7	Acid Sulfate Soils Overlay Map OM-1-7 (Bouldercombe)	
OM-1-10	Acid Sulfate Soils Overlay Map OM-1-10 (Depot Hill)	
OM-1-11	Acid Sulfate Soils Overlay Map OM-1-11 (Fairy Bower)	
OM-1-13	Acid Sulfate Soils Overlay Map OM-1-13 (Frenchville)	
OM-1-14	Acid Sulfate Soils Overlay Map OM-1-14 (Garnant)	
OM-1-15	Acid Sulfate Soils Overlay Map OM-1-15 (Glenroy)	
OM-1-17	Acid Sulfate Soils Overlay Map OM-1-17 (Gracemere)	
OM-1-21	Acid Sulfate Soils Overlay Map OM-1-21 (Kabra)	
OM-1-23	Acid Sulfate Soils Overlay Map OM-1-23 (Kawana)	
OM-1-24	Acid Sulfate Soils Overlay Map OM-1-24 (Koongal)	
OM-1-25	Acid Sulfate Soils Overlay Map OM-1-25 (Lakes Creek)	
OM-1-29	Acid Sulfate Soils Overlay Map OM-1-29 (Marmor)	
OM-1-30	Acid Sulfate Soils Overlay Map OM-1-30 (Midgee)	
OM-1-32	Acid Sulfate Soils Overlay Map OM-1-32 (Morinish)	
OM-1-36	Acid Sulfate Soils Overlay Map OM-1-36 (Nine Mile)	
OM-1-38	Acid Sulfate Soils Overlay Map OM-1-38 (Norman Gardens)	
OM-1-40	Acid Sulfate Soils Overlay Map OM-1-40 (Park Avenue)	
OM-1-41	Acid Sulfate Soils Overlay Map OM-1-41 (Parkhurst)	
OM-1-42	Acid Sulfate Soils Overlay Map OM-1-42 (Pink Lily)	
OM-1-43	Acid Sulfate Soils Overlay Map OM-1-43 (Port Alma)	
OM-1-44	Acid Sulfate Soils Overlay Map OM-1-44 (Port Curtis)	
OM-1-45	Acid Sulfate Soils Overlay Map OM-1-45 (Ridgelands)	
OM-1-46	Acid Sulfate Soils Overlay Map OM-1-46 (Rockhampton City)	
OM-1-47	Acid Sulfate Soils Overlay Map OM-1-47 (South Yaamba)	
OM-1-50	Acid Sulfate Soils Overlay Map OM-1-50 (The Common)	
OM-1-52	Acid Sulfate Soils Overlay Map OM-1-52 (The Range)	
OM-1-56	Acid Sulfate Soils Overlay Map OM-1-56 (Wandal)	
OM-1-57	Acid Sulfate Soils Overlay Map OM-1-57 (West Rockhampton)	
OM-2A-0	Airport Obstacle Limitation Surface Overlay Map OM-2A-0 (Regional)	
OM-2A-1	Airport Obstacle Limitation Surface Overlay Map OM-2A-1 (Allenstown)	
OM-2A-2	Airport Obstacle Limitation Surface Overlay Map OM-2A-2 (Alton Downs)	
OM-2A-5	Airport Obstacle Limitation Surface Overlay Map OM-2A-5 (Berserker)	
OM-2A-7	Airport Obstacle Limitation Surface Overlay Map OM-2A-7 (Bouldercombe)	
OM-2A-10	Airport Obstacle Limitation Surface Overlay Map OM-2A-10 (Depot Hill)	
OM-2A-11	Airport Obstacle Limitation Surface Overlay Map OM-2A-11 (Fairy Bower)	
OM-2A-13	Airport Obstacle Limitation Surface Overlay Map OM-2A-13 (Frenchville)	
OM-2A-17	Airport Obstacle Limitation Surface Overlay Map OM-2A-17 (Gracemere)	
OM-2A-21	Airport Obstacle Limitation Surface Overlay Map OM-2A-21 (Kabra)	
OM-2A-23	Airport Obstacle Limitation Surface Overlay Map OM-2A-23 (Kawana)	
OM-2A-24	Airport Obstacle Limitation Surface Overlay Map OM-2A-24 (Koongal)	

Map number	Map title	Gazettal date
OM-2A-25	Airport Obstacle Limitation Surface Overlay Map OM-2A-25 (Lakes Creek)	
OM-2A-28	Airport Obstacle Limitation Surface Overlay Map OM-2A-28 (Limestone Creek)	
OM-2A-30	Airport Obstacle Limitation Surface Overlay Map OM-2A-30 (Midgee)	
OM-2A-34	Airport Obstacle Limitation Surface Overlay Map OM-2A-34 (Mount Archer)	
OM-2A-36	Airport Obstacle Limitation Surface Overlay Map OM-2A-36 (Nine Mile)	
OM-2A-38	Airport Obstacle Limitation Surface Overlay Map OM-2A-38 (Norman Gardens)	
OM-2A-40	Airport Obstacle Limitation Surface Overlay Map OM-2A-40 (Park Avenue)	
OM-2A-41	Airport Obstacle Limitation Surface Overlay Map OM-2A-41 (Parkhurst)	
OM-2A-42	Airport Obstacle Limitation Surface Overlay Map OM-2A-42 (Pink Lily)	
OM-2A-44	Airport Obstacle Limitation Surface Overlay Map OM-2A-44 (Port Curtis)	
OM-2A-46	Airport Obstacle Limitation Surface Overlay Map OM-2A-46 (Rockhampton City)	
OM-2A-50	Airport Obstacle Limitation Surface Overlay Map OM-2A-50 (The Common)	
OM-2A-52	Airport Obstacle Limitation Surface Overlay Map OM-2A-52 (The Range)	
OM-2A-56	Airport Obstacle Limitation Surface Overlay Map OM-2A-56 (Wandal)	
OM-2A-57	Airport Obstacle Limitation Surface Overlay Map OM-2A-57 (West Rockhampton)	
OM-2B-0	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-0 (Regional)	
OM-2B-11	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-11 (Fairy Bower)	
OM-2B-17	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-17 (Gracemere)	
OM-2B-42	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-42 (Pink Lily)	
OM-2B-52	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-52 (The Range)	
OM-2B-57	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-57 (West Rockhampton)	
OM-2C-0	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-0 (Regional)	
OM-2C-1	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-1 (Allenstown)	
OM-2C-2	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-2 (Alton Downs)	
OM-2C-5	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-5 (Berserker)	
OM-2C-7	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-7 (Bouldercombe)	
OM-2C-10	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-10 (Depot Hill)	
OM-2C-11	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-11 (Fairy Bower)	
OM-2C-13	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-13 (Frenchville)	

Map number	Map title	Gazettal date
OM-2C-17	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-17 (Gracemere)	
OM-2C-21	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-21 (Kabra)	
OM-2C-23	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-23 (Kawana)	
OM-2C-24	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-24 (Koongal)	
OM-2C-25	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-25 (Lakes Creek)	
OM-2C-28	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-28 (Limestone Creek)	
OM-2C-30	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-30 (Midgee)	
OM-2C-34	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-34 (Mount Archer)	
OM-2C-36	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-36 (Nine Mile)	
OM-2C-38	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-38 (Norman Gardens)	
OM-2C-40	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-40 (Park Avenue)	
OM-2C-41	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-41 (Parkhurst)	
OM-2C-42	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-42 (Pink Lily)	
OM-2C-44	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-44 (Port Curtis)	
OM-2C-46	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-46 (Rockhampton City)	
OM-2C-50	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-50 (The Common)	
OM-2C-52	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-52 (The Range)	
OM-2C-56	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-56 (Wandal)	
OM-2C-57	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-57 (West Rockhampton)	
OM-2D-0	Aviation Facilities Building Restricted Area Overlay Map OM-2D-0 (Regional)	
OM-2D-11	Aviation Facilities Building Restricted Area Overlay Map OM-2D-11 (Fairy Bower)	
OM-2D-21	Aviation Facilities Building Restricted Area Overlay Map OM-2D-21 (Kabra)	
OM-2D-42	Aviation Facilities Building Restricted Area Overlay Map OM-2D-42 (Pink Lily)	
OM-2D-57	Aviation Facilities Building Restricted Area Overlay Map OM-2D-57 (West Rockhampton)	
OM-2E-0	Aviation Public Safety Area Overlay Map OM-2E-0 (Regional)	
OM-2E-42	Aviation Public Safety Area Overlay Map OM-2E-42 (Pink Lily)	
OM-2E-57	Aviation Public Safety Area Overlay Map OM-2E-57 (West Rockhampton)	
OM-2F-0	Airport Light Restriction Zone Overlay Map OM-2F-0 (Regional)	
OM-2F-1	Airport Light Restriction Zone Overlay Map OM-2F-1 (Allenstown)	

Map number	Map title	Gazettal date
OM-2F-2	Airport Light Restriction Zone Overlay Map OM-2F-2 (Alton Downs)	
OM-2F-5	Airport Light Restriction Zone Overlay Map OM-2F-5 (Berserker)	
OM-2F-10	Airport Light Restriction Zone Overlay Map OM-2F-10 (Depot Hill)	
OM-2F-11	Airport Light Restriction Zone Overlay Map OM-2F-11 (Fairy Bower)	
OM-2F-13	Airport Light Restriction Zone Overlay Map OM-2F-13 (Frenchville)	
OM-2F-17	Airport Light Restriction Zone Overlay Map OM-2F-17 (Gracemere)	
OM-2F-23	Airport Light Restriction Zone Overlay Map OM-2F-23 (Kawana)	
OM-2F-36	Airport Light Restriction Zone Overlay Map OM-2F-36 (Nine Mile)	
OM-2F-38	Airport Light Restriction Zone Overlay Map OM-2F-38 (Norman Gardens)	
OM-2F-40	Airport Light Restriction Zone Overlay Map OM-2F-40 (Park Avenue)	
OM-2F-41	Airport Light Restriction Zone Overlay Map OM-2F-41 (Parkhurst)	
OM-2F-42	Airport Light Restriction Zone Overlay Map OM-2F-42 (Pink Lily)	
OM-2F-44	Airport Light Restriction Zone Overlay Map OM-2F-44 (Port Curtis)	
OM-2F-46	Airport Light Restriction Zone Overlay Map OM-2F-46 (Rockhampton City)	
OM-2F-50	Airport Light Restriction Zone Overlay Map OM-2F-50 (The Common)	
OM-2F-52	Airport Light Restriction Zone Overlay Map OM-2F-52 (The Range)	
OM-2F-56	Airport Light Restriction Zone Overlay Map OM-2F-56 (Wandal)	
OM-2F-57	Airport Light Restriction Zone Overlay Map OM-2F-57 (West Rockhampton)	
OM-3A-0	Biodiversity Areas Overlay Map OM-3A-0 (Regional)	
OM-3A-1	Biodiversity Areas Overlay Map OM-3A-1 (Allenstown)	
OM-3A-2	Biodiversity Areas Overlay Map OM-3A-2 (Alton Downs)	
OM-3A-3	Biodiversity Areas Overlay Map OM-3A-3 (Bajool)	
OM-3A-4	Biodiversity Areas Overlay Map OM-3A-4 (Baree)	
OM-3A-5	Biodiversity Areas Overlay Map OM-3A-5 (Berserker)	
OM-3A-6	Biodiversity Areas Overlay Map OM-3A-6 (Boulder Creek)	
OM-3A-7	Biodiversity Areas Overlay Map OM-3A-7 (Bouldercombe)	
OM-3A-8	Biodiversity Areas Overlay Map OM-3A-8 (Bushley)	
OM-3A-9	Biodiversity Areas Overlay Map OM-3A-9 (Dalma)	
OM-3A-10	Biodiversity Areas Overlay Map OM-3A-10 (Depot Hill)	
OM-3A-11	Biodiversity Areas Overlay Map OM-3A-11 (Fairy Bower)	
OM-3A-12	Biodiversity Areas Overlay Map OM-3A-12 (Fletcher Creek)	
OM-3A-13	Biodiversity Areas Overlay Map OM-3A-13 (Frenchville)	
OM-3A-14	Biodiversity Areas Overlay Map OM-3A-14 (Garnant)	
OM-3A-15	Biodiversity Areas Overlay Map OM-3A-15 (Glenroy)	
OM-3A-16	Biodiversity Areas Overlay Map OM-3A-16 (Gogango)	
OM-3A-17	Biodiversity Areas Overlay Map OM-3A-17 (Gracemere)	

Map number	Map title	Gazettal date
OM-3A-18	Biodiversity Areas Overlay Map OM-3A-18 (Hamilton Creek)	
OM-3A-19	Biodiversity Areas Overlay Map OM-3A-19 (Horse Creek)	
OM-3A-20	Biodiversity Areas Overlay Map OM-3A-20 (Johnsons Hill)	
OM-3A-21	Biodiversity Areas Overlay Map OM-3A-21 (Kabra)	
OM-3A-22	Biodiversity Areas Overlay Map OM-3A-22 (Kalapa)	
OM-3A-23	Biodiversity Areas Overlay Map OM-3A-23 (Kawana)	
OM-3A-24	Biodiversity Areas Overlay Map OM-3A-24 (Koongal)	
OM-3A-25	Biodiversity Areas Overlay Map OM-3A-25 (Lakes Creek)	
OM-3A-26	Biodiversity Areas Overlay Map OM-3A-26 (Leydens Hill)	
OM-3A-27	Biodiversity Areas Overlay Map OM-3A-27 (Limestone)	
OM-3A-28	Biodiversity Areas Overlay Map OM-3A-28 (Limestone Creek)	
OM-3A-29	Biodiversity Areas Overlay Map OM-3A-29 (Marmor)	
OM-3A-30	Biodiversity Areas Overlay Map OM-3A-30 (Midgee)	
OM-3A-31	Biodiversity Areas Overlay Map OM-3A-31 (Moongan)	
OM-3A-32	Biodiversity Areas Overlay Map OM-3A-32 (Morinish)	
OM-3A-33	Biodiversity Areas Overlay Map OM-3A-33 (Morinish South)	
OM-3A-34	Biodiversity Areas Overlay Map OM-3A-34 (Mount Archer)	
OM-3A-35	Biodiversity Areas Overlay Map OM-3A-35 (Mount Morgan)	
OM-3A-36	Biodiversity Areas Overlay Map OM-3A-36 (Nine Mile)	
OM-3A-37	Biodiversity Areas Overlay Map OM-3A-37 (Nine Mile Creek)	
OM-3A-38	Biodiversity Areas Overlay Map OM-3A-38 (Norman Gardens)	
OM-3A-39	Biodiversity Areas Overlay Map OM-3A-39 (Oakey Creek)	
OM-3A-40	Biodiversity Areas Overlay Map OM-3A-40 (Park Avenue)	
OM-3A-41	Biodiversity Areas Overlay Map OM-3A-41 (Parkhurst)	
OM-3A-42	Biodiversity Areas Overlay Map OM-3A-42 (Pink Lily)	
OM-3A-43	Biodiversity Areas Overlay Map OM-3A-43 (Port Alma)	
OM-3A-44	Biodiversity Areas Overlay Map OM-3A-44 (Port Curtis)	
OM-3A-45	Biodiversity Areas Overlay Map OM-3A-45 (Ridgeland)	
OM-3A-46	Biodiversity Areas Overlay Map OM-3A-46 (Rockhampton City)	
OM-3A-47	Biodiversity Areas Overlay Map OM-3A-47 (South Yaamba)	
OM-3A-48	Biodiversity Areas Overlay Map OM-3A-48 (Stanwell)	
OM-3A-49	Biodiversity Areas Overlay Map OM-3A-49 (Struck Oil)	
OM-3A-50	Biodiversity Areas Overlay Map OM-3A-50 (The Common)	
OM-3A-51	Biodiversity Areas Overlay Map OM-3A-51 (The Mine)	
OM-3A-52	Biodiversity Areas Overlay Map OM-3A-52 (The Range)	
OM-3A-53	Biodiversity Areas Overlay Map OM-3A-53 (Trotter Creek)	
OM-3A-54	Biodiversity Areas Overlay Map OM-3A-54 (Walmul)	
OM-3A-55	Biodiversity Areas Overlay Map OM-3A-55 (Walterhall)	
OM-3A-56	Biodiversity Areas Overlay Map OM-3A-56 (Wandal)	
OM-3A-57	Biodiversity Areas Overlay Map OM-3A-57 (West Rockhampton)	

Map number	Map title	Gazettal date
OM-3A-58	Biodiversity Areas Overlay Map OM-3A-58 (Westwood)	
OM-3A-59	Biodiversity Areas Overlay Map OM-3A-59 (Wura)	
OM-3A-60	Biodiversity Areas Overlay Map OM-3A-60 (Wycarbah)	
OM-3B-0	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-0 (Regional)	
OM-3B-2	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-2 (Alton Downs)	
OM-3B-3	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-3 (Bajool)	
OM-3B-6	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-6 (Boulder Creek)	
OM-3B-7	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-7 (Bouldercombe)	
OM-3B-8	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-8 (Bushley)	
OM-3B-9	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-9 (Dalma)	
OM-3B-11	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-11 (Fairybower)	
OM-3B-12	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-12 (Fletcher Creek)	
OM-3B-13	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-13 (Frenchville)	
OM-3B-15	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-15 (Glenroy)	
OM-3B-16	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-16 (Gogango)	
OM-3B-18	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-18 (Hamilton Creek)	
OM-3B-19	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-19 (Horse Creek)	
OM-3B-21	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-21 (Kabra)	
OM-3B-22	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-22 (Kalapa)	
OM-3B-25	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-25 (Lakes Creek)	
OM-3B-26	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-26 (Leydens Hill)	
OM-3B-27	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-27 (Limestone)	
OM-3B-28	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-28 (Limestone Creek)	
OM-3B-29	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-29 (Marmor)	
OM-3B-30	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-30 (Midgee)	
OM-3B-31	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-31 (Moongan)	
OM-3B-32	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-32 (Morinish)	
OM-3B-33	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-33 (Morinish South)	
OM-3B-34	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-34 (Mount Archer)	
OM-3B-37	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-37 (Nine Mile Creek)	

Map number	Map title	Gazettal date
OM-3B-38	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-38 (Norman Gardens)	
OM-3B-41	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-41 (Parkhurst)	
OM-3B-42	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-42 (Pink Lily)	
OM-3B-43	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-43 (Port Alma)	
OM-3B-45	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-45 (Ridgeland)	
OM-3B-47	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-47 (South Yaamba)	
OM-3B-48	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-48 (Stanwell)	
OM-3B-49	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-49 (Struck Oil)	
OM-3B-51	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-51 (The Mine)	
OM-3B-52	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-52 (The Range)	
OM-3B-53	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-53 (Trotter Creek)	
OM-3B-56	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-56 (Wandal)	
OM-3B-57	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-57 (West Rockhampton)	
OM-3C-0	Biodiversity Waterways Overlay Map OM-3C-0 (Regional)	
OM-3C-2	Biodiversity Waterways Overlay Map OM-3C-2 (Alton Downs)	
OM-3C-3	Biodiversity Waterways Overlay Map OM-3C-3 (Bajool)	
OM-3C-4	Biodiversity Waterways Overlay Map OM-3C-4 (Baree)	
OM-3C-5	Biodiversity Waterways Overlay Map OM-3C-5 (Berserker)	
OM-3C-6	Biodiversity Waterways Overlay Map OM-3C-6 (Boulder Creek)	
OM-3C-7	Biodiversity Waterways Overlay Map OM-3C-7 (Bouldercombe)	
OM-3C-8	Biodiversity Waterways Overlay Map OM-3C-8 (Bushley)	
OM-3C-9	Biodiversity Waterways Overlay Map OM-3C-9 (Dalma)	
OM-3C-10	Biodiversity Waterways Overlay Map OM-3C-10 (Depot Hill)	
OM-3C-11	Biodiversity Waterways Overlay Map OM-3C-11 (Fairy Bower)	
OM-3C-12	Biodiversity Waterways Overlay Map OM-3C-12 (Fletcher Creek)	
OM-3C-13	Biodiversity Waterways Overlay Map OM-3C-13 (Frenchville)	
OM-3C-14	Biodiversity Waterways Overlay Map OM-3C-14 (Garnant)	
OM-3C-15	Biodiversity Waterways Overlay Map OM-3C-15 (Glenroy)	
OM-3C-16	Biodiversity Waterways Overlay Map OM-3C-16 (Gogango)	
OM-3C-17	Biodiversity Waterways Overlay Map OM-3C-17 (Gracemere)	
OM-3C-18	Biodiversity Waterways Overlay Map OM-3C-18 (Hamilton Creek)	

Map number	Map title	Gazettal date
OM-3C-19	Biodiversity Waterways Overlay Map OM-3C-19 (Horse Creek)	
OM-3C-20	Biodiversity Waterways Overlay Map OM-3C-20 (Johnsons Hill)	
OM-3C-21	Biodiversity Waterways Overlay Map OM-3C-21 (Kabra)	
OM-3C-22	Biodiversity Waterways Overlay Map OM-3C-22 (Kalapa)	
OM-3C-23	Biodiversity Waterways Overlay Map OM-3C-23 (Kawana)	
OM-3C-24	Biodiversity Waterways Overlay Map OM-3C-24 (Koongal)	
OM-3C-25	Biodiversity Waterways Overlay Map OM-3C-25 (Lakes Creek)	
OM-3C-26	Biodiversity Waterways Overlay Map OM-3C-26 (Leydens Hill)	
OM-3C-27	Biodiversity Waterways Overlay Map OM-3C-27 (Limestone)	
OM-3C-28	Biodiversity Waterways Overlay Map OM-3C-28 (Limestone Creek)	
OM-3C-29	Biodiversity Waterways Overlay Map OM-3C-29 (Marmor)	
OM-3C-30	Biodiversity Waterways Overlay Map OM-3C-30 (Midgee)	
OM-3C-31	Biodiversity Waterways Overlay Map OM-3C-31 (Moongan)	
OM-3C-32	Biodiversity Waterways Overlay Map OM-3C-32 (Morinish)	
OM-3C-33	Biodiversity Waterways Overlay Map OM-3C-33 (Morinish South)	
OM-3C-34	Biodiversity Waterways Overlay Map OM-3C-34 (Mount Archer)	
OM-3C-35	Biodiversity Waterways Overlay Map OM-3C-35 (Mount Morgan)	
OM-3C-36	Biodiversity Waterways Overlay Map OM-3C-36 (Nine Mile)	
OM-3C-37	Biodiversity Waterways Overlay Map OM-3C-37 (Nine Mile Creek)	
OM-3C-38	Biodiversity Waterways Overlay Map OM-3C-38 (Norman Gardens)	
OM-3C-39	Biodiversity Waterways Overlay Map OM-3C-39 (Oakey Creek)	
OM-3C-40	Biodiversity Waterways Overlay Map OM-3C-40 (Park Avenue)	
OM-3C-41	Biodiversity Waterways Overlay Map OM-3C-41 (Parkhurst)	
OM-3C-42	Biodiversity Waterways Overlay Map OM-3C-42 (Pink Lily)	
OM-3C-43	Biodiversity Waterways Overlay Map OM-3C-43 (Port Alma)	
OM-3C-44	Biodiversity Waterways Overlay Map OM-3C-44 (Port Curtis)	
OM-3C-45	Biodiversity Waterways Overlay Map OM-3C-45 (Ridglands)	
OM-3C-46	Biodiversity Waterways Overlay Map OM-3C-46 (Rockhampton City)	
OM-3C-47	Biodiversity Waterways Overlay Map OM-3C-47 (South Yaamba)	
OM-3C-48	Biodiversity Waterways Overlay Map OM-3C-48 (Stanwell)	

Map number	Map title	Gazettal date
OM-3C-49	Biodiversity Waterways Overlay Map OM-3C-49 (Struck Oil)	
OM-3C-50	Biodiversity Waterways Overlay Map OM-3C-50 (The Common)	
OM-3C-51	Biodiversity Waterways Overlay Map OM-3C-51 (The Mine)	
OM-3C-53	Biodiversity Waterways Overlay Map OM-3C-53 (Trotter Creek)	
OM-3C-54	Biodiversity Waterways Overlay Map OM-3C-54 (Walmul)	
OM-3C-55	Biodiversity Waterways Overlay Map OM-3C-55 (Walterhall)	
OM-3C-56	Biodiversity Waterways Overlay Map OM-3C-56 (Wandal)	
OM-3C-57	Biodiversity Waterways Overlay Map OM-3C-57 (West Rockhampton)	
OM-3C-58	Biodiversity Waterways Overlay Map OM-3C-58 (Westwood)	
OM-3C-59	Biodiversity Waterways Overlay Map OM-3C-59 (Wura)	
OM-3C-60	Biodiversity Waterways Overlay Map OM-3C-60 (Wycarbah)	
OM-3D-0	Biodiversity Wetlands Overlay Map OM-3D-0 (Regional)	
OM-3D-1	Biodiversity Wetlands Overlay Map OM-3D-1 (Allenstown)	
OM-3D-2	Biodiversity Wetlands Overlay Map OM-3D-2 (Alton Downs)	
OM-3D-7	Biodiversity Wetlands Overlay Map OM-3D-7 (Bouldercombe)	
OM-3D-10	Biodiversity Wetlands Overlay Map OM-3D-10 (Depot Hill)	
OM-3D-11	Biodiversity Wetlands Overlay Map OM-3D-11 (Fairy Bower)	
OM-3D-14	Biodiversity Wetlands Overlay Map OM-3D-14 (Garnant)	
OM-3D-15	Biodiversity Wetlands Overlay Map OM-3D-15 (Glenroy)	
OM-3D-16	Biodiversity Wetlands Overlay Map OM-3D-16 (Gogango)	
OM-3D-17	Biodiversity Wetlands Overlay Map OM-3D-17 (Gracemere)	
OM-3D-29	Biodiversity Wetlands Overlay Map OM-3D-29 (Marmor)	
OM-3D-30	Biodiversity Wetlands Overlay Map OM-3D-30 (Midgee)	
OM-3D-32	Biodiversity Wetlands Overlay Map OM-3D-32 (Morinish)	
OM-3D-36	Biodiversity Wetlands Overlay Map OM-3D-36 (Nine Mile)	
OM-3D-41	Biodiversity Wetlands Overlay Map OM-3D-41 (Parkhurst)	
OM-3D-42	Biodiversity Wetlands Overlay Map OM-3D-42 (Pink Lily)	
OM-3D-43	Biodiversity Wetlands Overlay Map OM-3D-43 (Port Alma)	
OM-3D-44	Biodiversity Wetlands Overlay Map OM-3D-44 (Port Curtis)	
OM-3D-47	Biodiversity Wetlands Overlay Map OM-3D-47 (South Yaamba)	
OM-3D-52	Biodiversity Wetlands Overlay Map OM-3D-52 (The Range)	
OM-3D-57	Biodiversity Wetlands Overlay Map OM-3D-57 (West Rockhampton)	
OM-4-0	Bushfire Hazard Overlay Map OM-4-0 (Regional)	
OM-4-2	Bushfire Hazard Overlay Map OM-4-2 (Alton Downs)	

Map number	Map title	Gazettal date
OM-4-3	Bushfire Hazard Overlay Map OM-4-3 (Bajool)	
OM-4-4	Bushfire Hazard Overlay Map OM-4-4 (Baree)	
OM-4-5	Bushfire Hazard Overlay Map OM-4-5 (Berserker)	
OM-4-6	Bushfire Hazard Overlay Map OM-4-6 (Boulder Creek)	
OM-4-7	Bushfire Hazard Overlay Map OM-4-7 (Bouldercombe)	
OM-4-8	Bushfire Hazard Overlay Map OM-4-8 (Bushley)	
OM-4-9	Bushfire Hazard Overlay Map OM-4-9 (Dalma)	
OM-4-11	Bushfire Hazard Overlay Map OM-4-11 (Fairy Bower)	
OM-4-12	Bushfire Hazard Overlay Map OM-4-12 (Fletcher Creek)	
OM-4-13	Bushfire Hazard Overlay Map OM-4-13 (Frenchville)	
OM-4-14	Bushfire Hazard Overlay Map OM-4-14 (Garnant)	
OM-4-15	Bushfire Hazard Overlay Map OM-4-15 (Glenroy)	
OM-4-16	Bushfire Hazard Overlay Map OM-4-16 (Gogango)	
OM-4-17	Bushfire Hazard Overlay Map OM-4-17 (Gracemere)	
OM-4-18	Bushfire Hazard Overlay Map OM-4-18 (Hamilton Creek)	
OM-4-19	Bushfire Hazard Overlay Map OM-4-19 (Horse Creek)	
OM-4-20	Bushfire Hazard Overlay Map OM-4-20 (Johnsons Hill)	
OM-4-21	Bushfire Hazard Overlay Map OM-4-21 (Kabra)	
OM-4-22	Bushfire Hazard Overlay Map OM-4-22 (Kalapa)	
OM-4-23	Bushfire Hazard Overlay Map OM-4-23 (Kawana)	
OM-4-24	Bushfire Hazard Overlay Map OM-4-24 (Koongal)	
OM-4-25	Bushfire Hazard Overlay Map OM-4-25 (Lakes Creek)	
OM-4-26	Bushfire Hazard Overlay Map OM-4-26 (Leydens Hill)	
OM-4-27	Bushfire Hazard Overlay Map OM-4-27 (Limestone)	
OM-4-28	Bushfire Hazard Overlay Map OM-4-28 (Limestone Creek)	
OM-4-29	Bushfire Hazard Overlay Map OM-4-29 (Marmor)	
OM-4-30	Bushfire Hazard Overlay Map OM-4-30 (Midgee)	
OM-4-31	Bushfire Hazard Overlay Map OM-4-31 (Moongan)	
OM-4-32	Bushfire Hazard Overlay Map OM-4-32 (Morinish)	
OM-4-33	Bushfire Hazard Overlay Map OM-4-33 (Morinish South)	
OM-4-34	Bushfire Hazard Overlay Map OM-4-34 (Mount Archer)	
OM-4-35	Bushfire Hazard Overlay Map OM-4-35 (Mount Morgan)	
OM-4-36	Bushfire Hazard Overlay Map OM-4-36 (Nine Mile)	
OM-4-37	Bushfire Hazard Overlay Map OM-4-37 (Nine Mile Creek)	
OM-4-38	Bushfire Hazard Overlay Map OM-4-38 (Norman Gardens)	
OM-4-39	Bushfire Hazard Overlay Map OM-4-39 (Oakey Creek)	
OM-4-40	Bushfire Hazard Overlay Map OM-4-40 (Park Avenue)	
OM-4-41	Bushfire Hazard Overlay Map OM-4-41 (Parkhurst)	
OM-4-42	Bushfire Hazard Overlay Map OM-4-42 (Pink Lily)	
OM-4-43	Bushfire Hazard Overlay Map OM-4-43 (Port Alma)	
OM-4-44	Bushfire Hazard Overlay Map OM-4-44 (Port Curtis)	
OM-4-45	Bushfire Hazard Overlay Map OM-4-45 (Ridgelands)	
OM-4-47	Bushfire Hazard Overlay Map OM-4-47 (South Yaamba)	
OM-4-48	Bushfire Hazard Overlay Map OM-4-48 (Stanwell)	
OM-4-49	Bushfire Hazard Overlay Map OM-4-49 (Struck Oil)	
OM-4-50	Bushfire Hazard Overlay Map OM-4-50 (The Common)	
OM-4-51	Bushfire Hazard Overlay Map OM-4-51 (The Mine)	
OM-4-52	Bushfire Hazard Overlay Map OM-4-52 (The Range)	
OM-4-53	Bushfire Hazard Overlay Map OM-4-53 (Trotter Creek)	
OM-4-54	Bushfire Hazard Overlay Map OM-4-54 (Walmul)	
OM-4-55	Bushfire Hazard Overlay Map OM-4-55 (Walterhall)	
OM-4-56	Bushfire Hazard Overlay Map OM-4-56 (Wandal)	
OM-4-57	Bushfire Hazard Overlay Map OM-4-57 (West Rockhampton)	

Map number	Map title	Gazettal date
OM-4-58	Bushfire Hazard Overlay Map OM-4-58 (Westwood)	
OM-4-59	Bushfire Hazard Overlay Map OM-4-59 (Wura)	
OM-4-60	Bushfire Hazard Overlay Map OM-4-60 (Wycarbah)	
OM-5-0	Character Overlay Map OM-5-0 (Regional)	
OM-5-1	Character Overlay Map OM-5-1 (Allenstown)	
OM-5-46	Character Overlay Map OM-5-46 (Rockhampton City)	
OM-5-52	Character Overlay Map OM-5-52 (The Range)	
OM-5-56	Character Overlay Map OM-5-56 (Wandal)	
OM-6A-0	Coastal Erosion Prone Area Overlay Map OM-6A-0 (Regional)	
OM-6A-1	Coastal Erosion Prone Area Overlay Map OM-6A-1 (Allenstown)	
OM-6A-2	Coastal Erosion Prone Area Overlay Map OM-6A-2 (Alton Downs)	
OM-6A-3	Coastal Erosion Prone Area Overlay Map OM-6A-3 (Bajool)	
OM-6A-5	Coastal Erosion Prone Area Overlay Map OM-6A-5 (Berserker)	
OM-6A-7	Coastal Erosion Prone Area Overlay Map OM-6A-7 (Bouldercombe)	
OM-6A-10	Coastal Erosion Prone Area Overlay Map OM-6A-10 (Depot Hill)	
OM-6A-11	Coastal Erosion Prone Area Overlay Map OM-6A-11 (Fairy Bower)	
OM-6A-23	Coastal Erosion Prone Area Overlay Map OM-6A-23 (Kawana)	
OM-6A-24	Coastal Erosion Prone Area Overlay Map OM-6A-24 (Koongal)	
OM-6A-25	Coastal Erosion Prone Area Overlay Map OM-6A-25 (Lakes Creek)	
OM-6A-29	Coastal Erosion Prone Area Overlay Map OM-6A-29 (Marmor)	
OM-6A-30	Coastal Erosion Prone Area Overlay Map OM-6A-30 (Midgee)	
OM-6A-40	Coastal Erosion Prone Area Overlay Map OM-6A-40 (Park Avenue)	
OM-6A-41	Coastal Erosion Prone Area Overlay Map OM-6A-41 (Parkhurst)	
OM-6A-42	Coastal Erosion Prone Area Overlay Map OM-6A-42 (Pink Lily)	
OM-6A-43	Coastal Erosion Prone Area Overlay Map OM-6A-43 (Port Alma)	
OM-6A-44	Coastal Erosion Prone Area Overlay Map OM-6A-44 (Port Curtis)	
OM-6A-46	Coastal Erosion Prone Area Overlay Map OM-6A-46 (Rockhampton City)	
OM-6A-50	Coastal Erosion Prone Area Overlay Map OM-6A-50 (The Common)	
OM-6A-56	Coastal Erosion Prone Area Overlay Map OM-6A-56 (Wandal)	
OM-6A-57	Coastal Erosion Prone Area Overlay Map OM-6A-57 (West Rockhampton)	
OM-6B-0	Coastal Hazard Overlay Map OM-6B-0 (Regional)	
OM-6B-1	Coastal Hazard Overlay Map OM-6B-1 (Allenstown)	
OM-6B-2	Coastal Hazard Overlay Map OM-6B-2 (Alton Downs)	
OM-6B-3	Coastal Hazard Overlay Map OM-6B-3 (Bajool)	
OM-6B-5	Coastal Hazard Overlay Map OM-6B-5 (Berserker)	

Map number	Map title	Gazettal date
OM-6B-7	Coastal Hazard Overlay Map OM-6B-7 (Bouldercombe)	
OM-6B-10	Coastal Hazard Overlay Map OM-6B-10 (Depot Hill)	
OM-6B-11	Coastal Hazard Overlay Map OM-6B-11 (Fairy Bower)	
OM-6B-17	Coastal Hazard Overlay Map OM-6B-17 (Gracemere)	
OM-6B-23	Coastal Hazard Overlay Map OM-6B-23 (Kawana)	
OM-6B-24	Coastal Hazard Overlay Map OM-6B-24 (Koongal)	
OM-6B-25	Coastal Hazard Overlay Map OM-6B-25 (Lakes Creek)	
OM-6B-29	Coastal Hazard Overlay Map OM-6B-29 (Marmor)	
OM-6B-30	Coastal Hazard Overlay Map OM-6B-30 (Midgee)	
OM-6B-40	Coastal Hazard Overlay Map OM-6B-40 (Park Avenue)	
OM-6B-41	Coastal Hazard Overlay Map OM-6B-41 (Parkhurst)	
OM-6B-42	Coastal Hazard Overlay Map OM-6B-42 (Pink Lily)	
OM-6B-43	Coastal Hazard Overlay Map OM-6B-43 (Port Alma)	
OM-6B-44	Coastal Hazard Overlay Map OM-6B-44 (Port Curtis)	
OM-6B-46	Coastal Hazard Overlay Map OM-6B-46 (Rockhampton City)	
OM-6B-50	Coastal Hazard Overlay Map OM-6B-50 (The Common)	
OM-6B-52	Coastal Hazard Overlay Map OM-6B-52 (The Range)	
OM-6B-56	Coastal Hazard Overlay Map OM-6B-56 (Wandal)	
OM-6B-57	Coastal Hazard Overlay Map OM-6B-57 (West Rockhampton)	
OM-7-0	Extractive Resources Overlay Map OM-7-0 (Regional)	
OM-7-2	Extractive Resources Overlay Map OM-7-2 (Alton Downs)	
OM-7-22	Extractive Resources Overlay Map OM-7-22 (Kalapa)	
OM-7-28	Extractive Resources Overlay Map OM-7-28 (Limestone Creek)	
OM-7-38	Extractive Resources Overlay Map OM-7-38 (Norman Gardens)	
OM-7-41	Extractive Resources Overlay Map OM-7-41 (Parkhurst)	
OM-7-42	Extractive Resources Overlay Map OM-7-42 (Pink Lily)	
OM-7-48	Extractive Resources Overlay Map OM-7-48 (Stanwell)	
OM-8A-0	Fitzroy River Flood Overlay Map OM-8A-0 (Regional)	
OM-8A-1	Fitzroy River Flood Overlay Map OM-8A-1 (Allenstown)	
OM-8A-2	Fitzroy River Flood Overlay Map OM-8A-2 (Alton Downs)	
OM-8A-5	Fitzroy River Flood Overlay Map OM-8A-5 (Berserker)	
OM-8A-7	Fitzroy River Flood Overlay Map OM-8A-7 (Bouldercombe)	
OM-8A-10	Fitzroy River Flood Overlay Map OM-8A-10 (Depot Hill)	
OM-8A-11	Fitzroy River Flood Overlay Map OM-8A-11 (Fairy Bower)	
OM-8A-17	Fitzroy River Flood Overlay Map OM-8A-17 (Gracemere)	
OM-8A-23	Fitzroy River Flood Overlay Map OM-8A-23 (Kawana)	
OM-8A-24	Fitzroy River Flood Overlay Map OM-8A-24 (Koongal)	
OM-8A-25	Fitzroy River Flood Overlay Map OM-8A-25 (Lakes Creek)	
OM-8A-30	Fitzroy River Flood Overlay Map OM-8A-30 (Midgee)	
OM-8A-36	Fitzroy River Flood Overlay Map OM-8A-36 (Nine Mile)	
OM-8A-40	Fitzroy River Flood Overlay Map OM-8A-40 (Park Avenue)	
OM-8A-41	Fitzroy River Flood Overlay Map OM-8A-41 (Parkhurst)	
OM-8A-42	Fitzroy River Flood Overlay Map OM-8A-42 (Pink Lily)	
OM-8A-44	Fitzroy River Flood Overlay Map OM-8A-44 (Port Curtis)	
OM-8A-46	Fitzroy River Flood Overlay Map OM-8A-46 (Rockhampton City)	
OM-8A-50	Fitzroy River Flood Overlay Map OM-8A-50 (The Common)	

Map number	Map title	Gazettal date
OM-8A-52	Fitzroy River Flood Overlay Map OM-8A-52 (The Range)	
OM-8A-56	Fitzroy River Flood Overlay Map OM-8A-56 (Wandal)	
OM-8A-57	Fitzroy River Flood Overlay Map OM-8A-57 (West Rockhampton)	
OM-8B-0	Floodplain Investigation Area Overlay Map OM-8B-0 (Regional)	
OM-8B-2	Floodplain Investigation Area Overlay Map OM-8B-2 (Alton Downs)	
OM-8B-3	Floodplain Investigation Area Overlay Map OM-8B-3 (Bajool)	
OM-8B-4	Floodplain Investigation Area Overlay Map OM-8B-4 (Baree)	
OM-8B-6	Floodplain Investigation Area Overlay Map OM-8B-6 (Boulder Creek)	
OM-8B-7	Floodplain Investigation Area Overlay Map OM-8B-7 (Bouldercombe)	
OM-8B-8	Floodplain Investigation Area Overlay Map OM-8B-8 (Bushley)	
OM-8B-9	Floodplain Investigation Area Overlay Map OM-8B-9 (Dalma)	
OM-8B-12	Floodplain Investigation Area Overlay Map OM-8B-12 (Fletcher Creek)	
OM-8B-14	Floodplain Investigation Area Overlay Map OM-8B-14 (Garnant)	
OM-8B-15	Floodplain Investigation Area Overlay Map OM-8B-15 (Glenroy)	
OM-8B-16	Floodplain Investigation Area Overlay Map OM-8B-16 (Gogango)	
OM-8B-17	Floodplain Investigation Area Overlay Map OM-8B-17 (Gracemere)	
OM-8B-19	Floodplain Investigation Area Overlay Map OM-8B-19 (Horse Creek)	
OM-8B-21	Floodplain Investigation Area Overlay Map OM-8B-21 (Kabra)	
OM-8B-22	Floodplain Investigation Area Overlay Map OM-8B-22 (Kalapa)	
OM-8B-29	Floodplain Investigation Area Overlay Map OM-8B-29 (Marmor)	
OM-8B-30	Floodplain Investigation Area Overlay Map OM-8B-30 (Midgee)	
OM-8B-32	Floodplain Investigation Area Overlay Map OM-8B-32 (Morinish)	
OM-8B-33	Floodplain Investigation Area Overlay Map OM-8B-33 (Morinish South)	
OM-8B-35	Floodplain Investigation Area Overlay Map OM-8B-35 (Mount Morgan)	
OM-8B-36	Floodplain Investigation Area Overlay Map OM-8B-36 (Nine Mile)	
OM-8B-37	Floodplain Investigation Area Overlay Map OM-8B-37 (Nine Mile Creek)	
OM-8B-39	Floodplain Investigation Area Overlay Map OM-8B-39 (Oakey Creek)	
OM-8B-43	Floodplain Investigation Area Overlay Map OM-8B-43 (Port Alma)	
OM-8B-45	Floodplain Investigation Area Overlay Map OM-8B-45 (Ridgelands)	

Map number	Map title	Gazettal date
OM-8B-47	Floodplain Investigation Area Overlay Map OM-8B-47 (South Yaamba)	
OM-8B-48	Floodplain Investigation Area Overlay Map OM-8B-48 (Stanwell)	
OM-8B-51	Floodplain Investigation Area Overlay Map OM-8B-51 (The Mine)	
OM-8B-53	Floodplain Investigation Area Overlay Map OM-8B-53 (Trotter Creek)	
OM-8B-54	Floodplain Investigation Area Overlay Map OM-8B-54 (Walmul)	
OM-8B-55	Floodplain Investigation Area Overlay Map OM-8B-55 (Walterhall)	
OM-8B-58	Floodplain Investigation Area Overlay Map OM-8B-58 (Westwood)	
OM-8B-59	Floodplain Investigation Area Overlay Map OM-8B-59 (Wura)	
OM-8B-60	Floodplain Investigation Area Overlay Map OM-8B-60 (Wycarbah)	
OM-8C-0	Creek Catchment Flood Overlay Map OM-8C-0 (Regional)	
OM-8C-5	Local Catchment Flood Overlay Map OM-8C-5 (Berserker)	
OM-8C-7	Creek Catchment Flood Overlay Map OM-8C-7 (Bouldercombe)	
OM-8C-13	Local Catchment Flood Overlay Map OM-8C-13 (Frenchville)	
OM-8C-17	Creek Catchment Flood Overlay Map OM-8C-17 (Gracemere)	
OM-8C-21	Creek Catchment Flood Overlay Map OM-8C-21 (Kabra)	
OM-8C-23	Local Catchment Flood Overlay Map OM-8C-23 (Kawana)	
OM-8C-24	Local Catchment Flood Overlay Map OM-8C-24 (Koongal)	
OM-8C-28	Local Catchment Flood Overlay Map OM-8C-28 (Limestone Creek)	
OM-8C-34	Local Catchment Flood Overlay Map OM-8C-34 (Mount Archer)	
OM-8C-38	Local Catchment Flood Overlay Map OM-8C-38 (Norman Gardens)	
OM-8C-40	Local Catchment Flood Overlay Map OM-8C-40 (Park Avenue)	
OM-8C-41	Local Catchment Flood Overlay Map OM-8C-41 (Parkhurst)	
OM-8C-50	Local Catchment Flood Overlay Map OM-8C-50 (The Common)	
OM-9-0	Heritage Place Overlay Map OM-9-0 (Regional)	
OM-9-1	Heritage Place Overlay Map OM-9-1 (Allentown)	
OM-9-4	Heritage Place Overlay Map OM-9-4 (Baree)	
OM-9-5	Heritage Place Overlay Map OM-9-5 (Berserker)	
OM-9-10	Heritage Place Overlay Map OM-9-10 (Depot Hill)	
OM-9-17	Heritage Place Overlay Map OM-9-17 (Gracemere)	
OM-9-24	Heritage Place Overlay Map OM-9-24 (Koongal)	
OM-9-35	Heritage Place Overlay Map OM-9-35 (Mount Morgan)	
OM-9-39	Heritage Place Overlay Map OM-9-39 (Oakey Creek)	
OM-9-40	Heritage Place Overlay Map OM-9-40 (Park Avenue)	
OM-9-41	Heritage Place Overlay Map OM-9-41 (Parkhurst)	
OM-9-46	Heritage Place Overlay Map OM-9-46 (Rockhampton City)	

Map number	Map title	Gazettal date
OM-9-51	Heritage Place Overlay Map OM-9-51 (The Mine)	
OM-9-52	Heritage Place Overlay Map OM-9-52 (The Range)	
OM-9-56	Heritage Place Overlay Map OM-9-56 (Wandal)	
OM-9-57	Heritage Place Overlay Map OM-9-57 (West Rockhampton)	
OM-10-0	Special Management Area Overlay Map OM-10-0 (Regional)	
OM-10-3	Special Management Area Overlay Map OM-10-3 (Bajool)	
OM-10-5	Special Management Area Overlay Map OM-10-5 (Berserker)	
OM-10-7	Special Management Area Overlay Map OM-10-7 (Bouldercombe)	
OM-10-17	Special Management Area Overlay Map OM-10-17 (Gracemere)	
OM-10-21	Special Management Area Overlay Map OM-10-21 (Kabra)	
OM-10-22	Special Management Area Overlay Map OM-10-22 (Kalapa)	
OM-10-24	Special Management Area Overlay Map OM-10-24 (Koongal)	
OM-10-25	Special Management Area Overlay Map OM-10-25 (Lakes Creek)	
OM-10-29	Special Management Area Overlay Map OM-10-29 (Marmor)	
OM-10-36	Special Management Area Overlay Map OM-10-36 (Nine Mile)	
OM-10-48	Special Management Area Overlay Map OM-10-48 (Stanwell)	
OM-10-50	Special Management Area Overlay Map OM-10-50 (The Common)	
OM-11-0	Steep Land Overlay Map OM-11-0 (Regional)	
OM-11-1	Steep Land Overlay Map OM-11-1 (Allerstown)	
OM-11-2	Steep Land Overlay Map OM-11-2 (Alton Downs)	
OM-11-3	Steep Land Overlay Map OM-11-3 (Bajool)	
OM-11-4	Steep Land Overlay Map OM-11-4 (Baree)	
OM-11-5	Steep Land Overlay Map OM-11-5 (Berserker)	
OM-11-6	Steep Land Overlay Map OM-11-6 (Boulder Creek)	
OM-11-7	Steep Land Overlay Map OM-11-7 (Bouldercombe)	
OM-11-8	Steep Land Overlay Map OM-11-8 (Bushley)	
OM-11-9	Steep Land Overlay Map OM-11-9 (Dalma)	
OM-11-10	Steep Land Overlay Map OM-11-10 (Depot Hill)	
OM-11-11	Steep Land Overlay Map OM-11-11 (Fairy Bower)	
OM-11-12	Steep Land Overlay Map OM-11-12 (Fletcher Creek)	
OM-11-13	Steep Land Overlay Map OM-11-13 (Frenchville)	
OM-11-14	Steep Land Overlay Map OM-11-14 (Garnant)	
OM-11-15	Steep Land Overlay Map OM-11-15 (Glenroy)	
OM-11-16	Steep Land Overlay Map OM-11-16 (Gogango)	
OM-11-17	Steep Land Overlay Map OM-11-17 (Gracemere)	
OM-11-18	Steep Land Overlay Map OM-11-18 (Hamilton Creek)	
OM-11-19	Steep Land Overlay Map OM-11-19 (Horse Creek)	
OM-11-20	Steep Land Overlay Map OM-11-20 (Johnsons Hill)	
OM-11-21	Steep Land Overlay Map OM-11-21 (Kabra)	
OM-11-22	Steep Land Overlay Map OM-11-22 (Kalapa)	
OM-11-23	Steep Land Overlay Map OM-11-23 (Kawana)	
OM-11-24	Steep Land Overlay Map OM-11-24 (Koongal)	
OM-11-25	Steep Land Overlay Map OM-11-25 (Lakes Creek)	

Map number	Map title	Gazettal date
OM-11-26	Steep Land Overlay Map OM-11-26 (Leydens Hill)	
OM-11-27	Steep Land Overlay Map OM-11-27 (Limestone)	
OM-11-28	Steep Land Overlay Map OM-11-28 (Limestone Creek)	
OM-11-29	Steep Land Overlay Map OM-11-29 (Marmor)	
OM-11-30	Steep Land Overlay Map OM-11-30 (Midgee)	
OM-11-31	Steep Land Overlay Map OM-11-31 (Moongan)	
OM-11-32	Steep Land Overlay Map OM-11-32 (Morinish)	
OM-11-33	Steep Land Overlay Map OM-11-33 (Morinish South)	
OM-11-34	Steep Land Overlay Map OM-11-34 (Mount Archer)	
OM-11-35	Steep Land Overlay Map OM-11-35 (Mount Morgan)	
OM-11-36	Steep Land Overlay Map OM-11-36 (Nine Mile)	
OM-11-37	Steep Land Overlay Map OM-11-37 (Nine Mile Creek)	
OM-11-38	Steep Land Overlay Map OM-11-38 (Norman Gardens)	
OM-11-39	Steep Land Overlay Map OM-11-39 (Oakey Creek)	
OM-11-40	Steep Land Overlay Map OM-11-40 (Park Avenue)	
OM-11-41	Steep Land Overlay Map OM-11-41 (Parkhurst)	
OM-11-42	Steep Land Overlay Map OM-11-42 (Pink Lily)	
OM-11-43	Steep Land Overlay Map OM-11-43 (Port Alma)	
OM-11-44	Steep Land Overlay Map OM-11-44 (Port Curtis)	
OM-11-45	Steep Land Overlay Map OM-11-45 (Ridgeland)	
OM-11-46	Steep Land Overlay Map OM-11-46 (Rockhampton City)	
OM-11-47	Steep Land Overlay Map OM-11-47 (South Yaamba)	
OM-11-48	Steep Land Overlay Map OM-11-48 (Stanwell)	
OM-11-49	Steep Land Overlay Map OM-11-49 (Struck Oil)	
OM-11-50	Steep Land Overlay Map OM-11-50 (The Common)	
OM-11-51	Steep Land Overlay Map OM-11-51 (The Mine)	
OM-11-52	Steep Land Overlay Map OM-11-52 (The Range)	
OM-11-53	Steep Land Overlay Map OM-11-53 (Trotter Creek)	
OM-11-54	Steep Land Overlay Map OM-11-54 (Walmul)	
OM-11-55	Steep Land Overlay Map OM-11-55 (Walterhall)	
OM-11-56	Steep Land Overlay Map OM-11-56 (Wandal)	
OM-11-57	Steep Land Overlay Map OM-11-57 (West Rockhampton)	
OM-11-58	Steep Land Overlay Map OM-11-58 (Westwood)	
OM-11-59	Steep Land Overlay Map OM-11-59 (Wura)	
OM-11-60	Steep Land Overlay Map OM-11-60 (Wycarbah)	
OM-12-0	Water Resource Catchments Overlay Map OM-12-0 (Regional)	
OM-12-2	Water Resource Catchments Overlay Map OM-12-2 (Alton Downs)	
OM-12-12	Water Resource Catchments Overlay Map OM-12-12 (Fletcher Creek)	
OM-12-20	Water Resource Catchments Overlay Map OM-12-20 (Johnsons Hill)	
OM-12-23	Water Resource Catchments Overlay Map OM-12-23 (Kawana)	
OM-12-27	Water Resource Catchments Overlay Map OM-12-27 (Limestone)	
OM-12-35	Water Resource Catchments Overlay Map OM-12-35 (Mount Morgan)	
OM-12-40	Water Resource Catchments Overlay Map OM-12-40 (Park Avenue)	
OM-12-41	Water Resource Catchments Overlay Map OM-12-41 (Parkhurst)	
OM-12-42	Water Resource Catchments Overlay Map OM-12-42 (Pink Lily)	

Map number	Map title	Gazettal date
OM-12-47	Water Resource Catchments Overlay Map OM-12-47 (South Yaamba)	
OM-12-49	Water Resource Catchments Overlay Map OM-12-49 (Struck Oil)	
OM-12-56	Water Resource Catchments Overlay Map OM-12-56 (Wandal)	
Overlays for the planning scheme without code(s)		
OM-13-0	Agricultural Land Classification Overlay Map OM-13-0 (Regional)	
OM-13-2	Agricultural Land Classification Overlay Map OM-13-2 (Alton Downs)	
OM-13-3	Agricultural Land Classification Overlay Map OM-13-3 (Bajool)	
OM-13-7	Agricultural Land Classification Overlay Map OM-13-7 (Bouldercombe)	
OM-13-8	Agricultural Land Classification Overlay Map OM-13-8 (Bushley)	
OM-13-9	Agricultural Land Classification Overlay Map OM-13-9 (Dalma)	
OM-13-11	Agricultural Land Classification Overlay Map OM-13-11 (Fairy Bower)	
OM-13-12	Agricultural Land Classification Overlay Map OM-13-12 (Fletcher Creek)	
OM-13-14	Agricultural Land Classification Overlay Map OM-13-14 (Garnant)	
OM-13-15	Agricultural Land Classification Overlay Map OM-13-15 (Glenroy)	
OM-13-16	Agricultural Land Classification Overlay Map OM-13-16 (Gogango)	
OM-13-17	Agricultural Land Classification Overlay Map OM-13-17 (Gracemere)	
OM-13-21	Agricultural Land Classification Overlay Map OM-13-21 (Kabra)	
OM-13-22	Agricultural Land Classification Overlay Map OM-13-22 (Kalapa)	
OM-13-30	Agricultural Land Classification Overlay Map OM-13-30 (Midgee)	
OM-13-32	Agricultural Land Classification Overlay Map OM-13-32 (Morinish)	
OM-13-33	Agricultural Land Classification Overlay Map OM-13-33 (Morinish South)	
OM-13-36	Agricultural Land Classification Overlay Map OM-13-36 (Nine Mile)	
OM-13-42	Agricultural Land Classification Overlay Map OM-13-42 (Pink Lily)	
OM-13-45	Agricultural Land Classification Overlay Map OM-13-45 (Ridglands)	
OM-13-47	Agricultural Land Classification Overlay Map OM-13-47 (South Yaamba)	
OM-13-48	Agricultural Land Classification Overlay Map OM-13-48 (Stanwell)	
OM-13-58	Agricultural Land Classification Overlay Map OM-13-58 (Westwood)	
OM-13-59	Agricultural Land Classification Overlay Map OM-13-59 (Wura)	
OM-13-60	Agricultural Land Classification Overlay Map OM-13-60 (Wycarbah)	

Map number	Map title	Gazettal date
OM-14-0	Bicycle Network Plan Overlay Map OM-14-0 (Regional)	
OM-14-1	Bicycle Network Plan Overlay Map OM-14-1 (Allenstown)	
OM-14-2	Bicycle Network Plan Overlay Map OM-14-2 (Alton Downs)	
OM-14-4	Bicycle Network Plan Overlay Map OM-14-4 (Baree)	
OM-14-5	Bicycle Network Plan Overlay Map OM-14-5 (Berserker)	
OM-14-7	Bicycle Network Plan Overlay Map OM-14-7 (Bouldercombe)	
OM-14-10	Bicycle Network Plan Overlay Map OM-14-10 (Depot Hill)	
OM-14-11	Bicycle Network Plan Overlay Map OM-14-11 (Fairy Bower)	
OM-14-13	Bicycle Network Plan Overlay Map OM-14-13 (Frenchville)	
OM-14-17	Bicycle Network Plan Overlay Map OM-14-17 (Gracemere)	
OM-14-18	Bicycle Network Plan Overlay Map OM-14-18 (Hamilton Creek)	
OM-14-19	Bicycle Network Plan Overlay Map OM-14-19 (Horse Creek)	
OM-14-20	Bicycle Network Plan Overlay Map OM-14-20 (Johnsons Hill)	
OM-14-21	Bicycle Network Plan Overlay Map OM-14-21 (Kabra)	
OM-14-23	Bicycle Network Plan Overlay Map OM-14-23 (Kawana)	
OM-14-24	Bicycle Network Plan Overlay Map OM-14-24 (Koongal)	
OM-14-25	Bicycle Network Plan Overlay Map OM-14-25 (Lakes Creek)	
OM-14-26	Bicycle Network Plan Overlay Map OM-14-26 (Leydens Hill)	
OM-14-28	Bicycle Network Plan Overlay Map OM-14-28 (Limestone Creek)	
OM-14-30	Bicycle Network Plan Overlay Map OM-14-30 (Midgee)	
OM-14-31	Bicycle Network Plan Overlay Map OM-14-31 (Moongan)	
OM-14-34	Bicycle Network Plan Overlay Map OM-14-34 (Mount Archer)	
OM-14-35	Bicycle Network Plan Overlay Map OM-14-35 (Mount Morgan)	
OM-14-36	Bicycle Network Plan Overlay Map OM-14-36 (Nine Mile)	
OM-14-37	Bicycle Network Plan Overlay Map OM-14-37 (Nine Mile Creek)	
OM-14-38	Bicycle Network Plan Overlay Map OM-14-38 (Norman Gardens)	
OM-14-39	Bicycle Network Plan Overlay Map OM-14-39 (Oakey Creek)	
OM-14-40	Bicycle Network Plan Overlay Map OM-14-40 (Park Avenue)	
OM-14-41	Bicycle Network Plan Overlay Map OM-14-41 (Parkhurst)	
OM-14-42	Bicycle Network Plan Overlay Map OM-14-42 (Pink Lily)	
OM-14-44	Bicycle Network Plan Overlay Map OM-14-44 (Port Curtis)	
OM-14-46	Bicycle Network Plan Overlay Map OM-14-46 (Rockhampton City)	
OM-14-48	Bicycle Network Plan Overlay Map OM-14-48 (Stanwell)	
OM-14-50	Bicycle Network Plan Overlay Map OM-14-50 (The Common)	
OM-14-52	Bicycle Network Plan Overlay Map OM-14-52 (The Range)	

Map number	Map title	Gazettal date
OM-14-54	Bicycle Network Plan Overlay Map OM-14-54 (Walmul)	
OM-14-56	Bicycle Network Plan Overlay Map OM-14-56 (Wandal)	
OM-14-57	Bicycle Network Plan Overlay Map OM-14-57 (West Rockhampton)	
OM-14-59	Bicycle Network Plan Overlay Map OM-14-59 (Wura)	
OM-15-0	Coastal Management District Overlay Map OM-15-0 (Regional)	
OM-15-3	Coastal Management District Overlay Map OM-15-3 (Bajool)	
OM-15-5	Coastal Management District Overlay Map OM-15-5 (Berserker)	
OM-15-10	Coastal Management District Overlay Map OM-15-10 (Depot Hill)	
OM-15-24	Coastal Management District Overlay Map OM-15-24 (Koongal)	
OM-15-25	Coastal Management District Overlay Map OM-15-25 (Lakes Creek)	
OM-15-29	Coastal Management District Overlay Map OM-15-29 (Marmor)	
OM-15-30	Coastal Management District Overlay Map OM-15-30 (Midgee)	
OM-15-40	Coastal Management District Overlay Map OM-15-40 (Park Avenue)	
OM-15-43	Coastal Management District Overlay Map OM-15-43 (Port Alma)	
OM-15-44	Coastal Management District Overlay Map OM-15-44 (Port Curtis)	
OM-15-46	Coastal Management District Overlay Map OM-15-46 (Rockhampton City)	
OM-15-50	Coastal Management District Overlay Map OM-15-50 (The Common)	
OM-15-56	Coastal Management District Overlay Map OM-15-56 (Wandal)	
OM-16A-0	Defined Storm Tide Event Level Regional HAT Zone Overlay Map OM-16A-0 (Regional)	
OM-16B-1-0	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-0 (Regional)	
OM-16B-1-1	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-1 (Allentown)	
OM-16B-1-2	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-2 (Alton Downs)	
OM-16B-1-3	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-3 (Bajool)	
OM-16B-1-5	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-5 (Berserker)	
OM-16B-1-7	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-7 (Bouldercombe)	
OM-16B-1-10	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-10 (Depot Hill)	
OM-16B-1-11	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-11 (Fairy Bower)	
OM-16B-1-14	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-14 (Garnant)	
OM-16B-1-17	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-17 (Gracemere)	
OM-16B-1-23	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-23 (Kawana)	

Map number	Map title	Gazettal date
OM-16B-1-24	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-24 (Koongal)	
OM-16B-1-25	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-25 (Lakes Creek)	
OM-16B-1-30	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-30 (Midgee)	
OM-16B-1-36	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-36 (Nine Mile)	
OM-16B-1-40	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-40 (Park Avenue)	
OM-16B-1-41	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-41 (Parkhurst)	
OM-16B-1-42	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-42 (Pink Lily)	
OM-16B-1-43	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-43 (Port Alma)	
OM-16B-1-44	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-44 (Port Curtis)	
OM-16B-1-46	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-46 (Rockhampton City)	
OM-16B-1-47	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-47 (South Yaamba)	
OM-16B-1-50	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-50 (The Common)	
OM-16B-1-52	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-52 (The Range)	
OM-16B-1-56	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-56 (Wandal)	
OM-16B-1-57	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-57 (West Rockhampton)	
OM-16C-2-0	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-0 (Regional)	
OM-16C-2-3	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-3 (Bajool)	
OM-16C-2-29	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-29 (Marmor)	
OM-16C-2-43	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-43 (Port Alma)	
OM-17-0	Mining Leases Overlay Map OM-17-0 (Regional)	
OM-17-2	Mining Leases Overlay Map OM-17-2 (Alton Downs)	
OM-17-3	Mining Leases Overlay Map OM-17-3 (Bajool)	
OM-17-6	Mining Leases Overlay Map OM-17-6 (Boulder Creek)	
OM-17-7	Mining Leases Overlay Map OM-17-7 (Bouldercombe)	
OM-17-8	Mining Leases Overlay Map OM-17-8 (Bushley)	
OM-17-9	Mining Leases Overlay Map OM-17-9 (Dalma)	
OM-17-15	Mining Leases Overlay Map OM-17-15 (Glenroy)	
OM-17-17	Mining Leases Overlay Map OM-17-17 (Gracemere)	
OM-17-21	Mining Leases Overlay Map OM-17-21 (Kabra)	
OM-17-29	Mining Leases Overlay Map OM-17-29 (Marmor)	
OM-17-32	Mining Leases Overlay Map OM-17-32 (Morinish)	
OM-17-33	Mining Leases Overlay Map OM-17-33 (Morinish South)	
OM-17-35	Mining Leases Overlay Map OM-17-35 (Mount Morgan)	
OM-17-36	Mining Leases Overlay Map OM-17-36 (Nine Mile)	
OM-17-41	Mining Leases Overlay Map OM-17-41 (Parkhurst)	
OM-17-43	Mining Leases Overlay Map OM-17-43 (Port Alma)	
OM-17-45	Mining Leases Overlay Map OM-17-45 (Ridgeland)	
OM-17-48	Mining Leases Overlay Map OM-17-48 (Stanwell)	

Map number	Map title	Gazettal date
OM-17-49	Mining Leases Overlay Map OM-17-49 (Struck Oil)	
OM-17-51	Mining Leases Overlay Map OM-17-51 (The Mine)	
OM-17-55	Mining Leases Overlay Map OM-17-55 (Walterhall)	
OM-17-58	Mining Leases Overlay Map OM-17-58 (Westwood)	
OM-17-60	Mining Leases Overlay Map OM-17-60 (Wycarbah)	
OM-18-0	Regional Infrastructure Corridors Overlay Map OM-18-0 (Regional)	
OM-18-1	Regional Infrastructure Corridors Overlay Map OM-18-1 (Allentown)	
OM-18-2	Regional Infrastructure Corridors Overlay Map OM-18-2 (Alton Downs)	
OM-18-3	Regional Infrastructure Corridors Overlay Map OM-18-3 (Bajool)	
OM-18-5	Regional Infrastructure Corridors Overlay Map OM-18-5 (Berserker)	
OM-18-6	Regional Infrastructure Corridors Overlay Map OM-18-6 (Boulder Creek)	
OM-18-7	Regional Infrastructure Corridors Overlay Map OM-18-7 (Bouldercombe)	
OM-18-8	Regional Infrastructure Corridors Overlay Map OM-18-8 (Bushley)	
OM-18-9	Regional Infrastructure Corridors Overlay Map OM-18-9 (Dalma)	
OM-18-10	Regional Infrastructure Corridors Overlay Map OM-18-10 (Depot Hill)	
OM-18-11	Regional Infrastructure Corridors Overlay Map OM-18-11 (Fairy Bower)	
OM-18-12	Regional Infrastructure Corridors Overlay Map OM-18-12 (Fletcher Creek)	
OM-18-15	Regional Infrastructure Corridors Overlay Map OM-18-15 (Glenroy)	
OM-18-16	Regional Infrastructure Corridors Overlay Map OM-18-16 (Gogango)	
OM-18-17	Regional Infrastructure Corridors Overlay Map OM-18-17 (Gracemere)	
OM-18-18	Regional Infrastructure Corridors Overlay Map OM-18-18 (Hamilton Creek)	
OM-18-19	Regional Infrastructure Corridors Overlay Map OM-18-19 (Horse Creek)	
OM-18-20	Regional Infrastructure Corridors Overlay Map OM-18-20 (Johnsons Hill)	
OM-18-21	Regional Infrastructure Corridors Overlay Map OM-18-21 (Kabra)	
OM-18-22	Regional Infrastructure Corridors Overlay Map OM-18-22 (Kalapa)	
OM-18-23	Regional Infrastructure Corridors Overlay Map OM-18-23 (Kawana)	
OM-18-24	Regional Infrastructure Corridors Overlay Map OM-18-24 (Koongal)	
OM-18-25	Regional Infrastructure Corridors Overlay Map OM-18-25 (Lakes Creek)	
OM-18-26	Regional Infrastructure Corridors Overlay Map OM-18-26 (Leydens Hill)	
OM-18-29	Regional Infrastructure Corridors Overlay Map OM-18-29 (Marmor)	
OM-18-30	Regional Infrastructure Corridors Overlay Map OM-18-30 (Midgee)	

Map number	Map title	Gazettal date
OM-18-32	Regional Infrastructure Corridors Overlay Map OM-18-32 (Morinish)	
OM-18-33	Regional Infrastructure Corridors Overlay Map OM-18-33 (Morinish South)	
OM-18-35	Regional Infrastructure Corridors Overlay Map OM-18-35 (Mount Morgan)	
OM-18-36	Regional Infrastructure Corridors Overlay Map OM-18-36 (Nine Mile)	
OM-18-37	Regional Infrastructure Corridors Overlay Map OM-18-37 (Nine Mile Creek)	
OM-18-38	Regional Infrastructure Corridors Overlay Map OM-18-38 (Norman Gardens)	
OM-18-39	Regional Infrastructure Corridors Overlay Map OM-18-39 (Oakey Creek)	
OM-18-40	Regional Infrastructure Corridors Overlay Map OM-18-40 (Park Avenue)	
OM-18-41	Regional Infrastructure Corridors Overlay Map OM-18-41 (Parkhurst)	
OM-18-42	Regional Infrastructure Corridors Overlay Map OM-18-42 (Pink Lily)	
OM-18-44	Regional Infrastructure Corridors Overlay Map OM-18-44 (Port Curtis)	
OM-18-45	Regional Infrastructure Corridors Overlay Map OM-18-45 (Ridgeland)	
OM-18-46	Regional Infrastructure Corridors Overlay Map OM-18-46 (Rockhampton City)	
OM-18-48	Regional Infrastructure Corridors Overlay Map OM-18-48 (Stanwell)	
OM-18-49	Regional Infrastructure Corridors Overlay Map OM-18-49 (Struck Oil)	
OM-18-50	Regional Infrastructure Corridors Overlay Map OM-18-50 (The Common)	
OM-18-51	Regional Infrastructure Corridors Overlay Map OM-18-51 (The Mine)	
OM-18-52	Regional Infrastructure Corridors Overlay Map OM-18-52 (The Range)	
OM-18-53	Regional Infrastructure Corridors Overlay Map OM-18-53 (Trotter Creek)	
OM-18-54	Regional Infrastructure Corridors Overlay Map OM-18-54 (Walmul)	
OM-18-56	Regional Infrastructure Corridors Overlay Map OM-18-56 (Wandal)	
OM-18-57	Regional Infrastructure Corridors Overlay Map OM-18-57 (West Rockhampton)	
OM-18-58	Regional Infrastructure Corridors Overlay Map OM-18-58 (Westwood)	
OM-18-59	Regional Infrastructure Corridors Overlay Map OM-18-59 (Wura)	
OM-19-0	Road Hierarchy Overlay Map OM-19-0 (Regional)	
OM-19-1	Road Hierarchy Overlay Map OM-19-1 (Allenstown)	
OM-19-2	Road Hierarchy Overlay Map OM-19-2 (Alton Downs)	
OM-19-3	Road Hierarchy Overlay Map OM-19-3 (Bajool)	
OM-19-4	Road Hierarchy Overlay Map OM-19-4 (Baree)	
OM-19-5	Road Hierarchy Overlay Map OM-19-5 (Berserker)	
OM-19-6	Road Hierarchy Overlay Map OM-19-6 (Boulder Creek)	
OM-19-7	Road Hierarchy Overlay Map OM-19-7 (Bouldercombe)	
OM-19-8	Road Hierarchy Overlay Map OM-19-8 (Bushley)	
OM-19-9	Road Hierarchy Overlay Map OM-19-9 (Dalma)	

Map number	Map title	Gazettal date
OM-19-10	Road Hierarchy Overlay Map OM-19-10 (Depot Hill)	
OM-19-11	Road Hierarchy Overlay Map OM-19-11 (Fairy Bower)	
OM-19-13	Road Hierarchy Overlay Map OM-19-13 (Frenchville)	
OM-19-14	Road Hierarchy Overlay Map OM-19-14 (Garnant)	
OM-19-15	Road Hierarchy Overlay Map OM-19-15 (Glenroy)	
OM-19-16	Road Hierarchy Overlay Map OM-19-16 (Gogango)	
OM-19-17	Road Hierarchy Overlay Map OM-19-17 (Gracemere)	
OM-19-18	Road Hierarchy Overlay Map OM-19-18 (Hamilton Creek)	
OM-19-19	Road Hierarchy Overlay Map OM-19-19 (Horse Creek)	
OM-19-20	Road Hierarchy Overlay Map OM-19-20 (Johnsons Hill)	
OM-19-21	Road Hierarchy Overlay Map OM-19-21 (Kabra)	
OM-19-22	Road Hierarchy Overlay Map OM-19-22 (Kalapa)	
OM-19-23	Road Hierarchy Overlay Map OM-19-23 (Kawana)	
OM-19-24	Road Hierarchy Overlay Map OM-19-24 (Koongal)	
OM-19-25	Road Hierarchy Overlay Map OM-19-25 (Lakes Creek)	
OM-19-26	Road Hierarchy Overlay Map OM-19-26 (Leydens Hill)	
OM-19-27	Road Hierarchy Overlay Map OM-19-27 (Limestone)	
OM-19-28	Road Hierarchy Overlay Map OM-19-28 (Limestone Creek)	
OM-19-29	Road Hierarchy Overlay Map OM-19-29 (Marmor)	
OM-19-30	Road Hierarchy Overlay Map OM-19-30 (Midgee)	
OM-19-31	Road Hierarchy Overlay Map OM-19-31 (Moongan)	
OM-19-32	Road Hierarchy Overlay Map OM-19-32 (Morinish)	
OM-19-33	Road Hierarchy Overlay Map OM-19-33 (Morinish South)	
OM-19-34	Road Hierarchy Overlay Map OM-19-34 (Mount Archer)	
OM-19-35	Road Hierarchy Overlay Map OM-19-35 (Mount Morgan)	
OM-19-36	Road Hierarchy Overlay Map OM-19-36 (Nine Mile)	
OM-19-37	Road Hierarchy Overlay Map OM-19-37 (Nine Mile Creek)	
OM-19-38	Road Hierarchy Overlay Map OM-19-38 (Norman Gardens)	
OM-19-39	Road Hierarchy Overlay Map OM-19-39 (Oakey Creek)	
OM-19-40	Road Hierarchy Overlay Map OM-19-40 (Park Avenue)	
OM-19-41	Road Hierarchy Overlay Map OM-19-41 (Parkhurst)	
OM-19-42	Road Hierarchy Overlay Map OM-19-42 (Pink Lily)	
OM-19-43	Road Hierarchy Overlay Map OM-19-43 (Port Alma)	
OM-19-44	Road Hierarchy Overlay Map OM-19-44 (Port Curtis)	
OM-19-45	Road Hierarchy Overlay Map OM-19-45 (Ridgelands)	
OM-19-46	Road Hierarchy Overlay Map OM-19-46 (Rockhampton City)	
OM-19-47	Road Hierarchy Overlay Map OM-19-47 (South Yaamba)	
OM-19-48	Road Hierarchy Overlay Map OM-19-48 (Stanwell)	
OM-19-49	Road Hierarchy Overlay Map OM-19-49 (Struck Oil)	
OM-19-50	Road Hierarchy Overlay Map OM-19-50 (The Common)	
OM-19-51	Road Hierarchy Overlay Map OM-19-51 (The Mine)	
OM-19-52	Road Hierarchy Overlay Map OM-19-52 (The Range)	
OM-19-53	Road Hierarchy Overlay Map OM-19-53 (Trotter Creek)	
OM-19-54	Road Hierarchy Overlay Map OM-19-54 (Walmul)	
OM-19-55	Road Hierarchy Overlay Map OM-19-55 (Walterhall)	
OM-19-56	Road Hierarchy Overlay Map OM-19-56 (Wandal)	
OM-19-57	Road Hierarchy Overlay Map OM-19-57 (West Rockhampton)	
OM-19-58	Road Hierarchy Overlay Map OM-19-58 (Westwood)	
OM-19-59	Road Hierarchy Overlay Map OM-19-59 (Wura)	
OM-19-60	Road Hierarchy Overlay Map OM-19-60 (Wycarbah)	
OM-20-0	Sewer Planning Area Overlay Map OM-20-0 (Regional)	

Map number	Map title	Gazettal date
OM-20-1	Sewer Planning Area Overlay Map OM-20-1 (Allenstown)	
OM-20-5	Sewer Planning Area Overlay Map OM-20-5 (Berserker)	
OM-20-10	Sewer Planning Area Overlay Map OM-20-10 (Depot Hill)	
OM-20-13	Sewer Planning Area Overlay Map OM-20-13 (Frenchville)	
OM-20-17	Sewer Planning Area Overlay Map OM-20-17 (Gracemere)	
OM-20-19	Sewer Planning Area Overlay Map OM-20-19 (Horse Creek)	
OM-20-21	Sewer Planning Area Overlay Map OM-20-21 (Kabra)	
OM-20-23	Sewer Planning Area Overlay Map OM-20-23 (Kawana)	
OM-20-24	Sewer Planning Area Overlay Map OM-20-24 (Koongal)	
OM-20-25	Sewer Planning Area Overlay Map OM-20-25 (Lakes Creek)	
OM-20-35	Sewer Planning Area Overlay Map OM-20-35 (Mount Morgan)	
OM-20-38	Sewer Planning Area Overlay Map OM-20-38 (Norman Gardens)	
OM-20-40	Sewer Planning Area Overlay Map OM-20-40 (Park Avenue)	
OM-20-41	Sewer Planning Area Overlay Map OM-20-41 (Parkhurst)	
OM-20-46	Sewer Planning Area Overlay Map OM-20-46 (Rockhampton City)	
OM-20-50	Sewer Planning Area Overlay Map OM-20-50 (The Common)	
OM-20-51	Sewer Planning Area Overlay Map OM-20-51 (The Mine)	
OM-20-52	Sewer Planning Area Overlay Map OM-20-52 (The Range)	
OM-20-55	Sewer Planning Area Overlay Map OM-20-55 (Walterhall)	
OM-20-56	Sewer Planning Area Overlay Map OM-20-56 (Wandal)	
OM-20-57	Sewer Planning Area Overlay Map OM-20-57 (West Rockhampton)	
OM-21-0	Transport Noise Corridors Overlay Map OM-21-0 (Regional)	
OM-21-1	Transport Noise Corridors Overlay Map OM-21-1 (Allenstown)	
OM-21-2	Transport Noise Corridors Overlay Map OM-21-2 (Alton Downs)	
OM-21-3	Transport Noise Corridors Overlay Map OM-21-3 (Bajool)	
OM-21-4	Transport Noise Corridors Overlay Map OM-21-4 (Baree)	
OM-21-5	Transport Noise Corridors Overlay Map OM-21-5 (Berserker)	
OM-21-7	Transport Noise Corridors Overlay Map OM-21-7 (Bouldercombe)	
OM-21-8	Transport Noise Corridors Overlay Map OM-21-8 (Bushley)	
OM-21-10	Transport Noise Corridors Overlay Map OM-21-10 (Depot Hill)	
OM-21-11	Transport Noise Corridors Overlay Map OM-21-11 (Fairy Bower)	
OM-21-16	Transport Noise Corridors Overlay Map OM-21-16 (Gogango)	
OM-21-17	Transport Noise Corridors Overlay Map OM-21-17 (Gracemere)	

Map number	Map title	Gazettal date
OM-21-18	Transport Noise Corridors Overlay Map OM-21-18 (Hamilton Creek)	
OM-21-19	Transport Noise Corridors Overlay Map OM-21-19 (Horse Creek)	
OM-21-20	Transport Noise Corridors Overlay Map OM-21-20 (Johnsons Hill)	
OM-21-21	Transport Noise Corridors Overlay Map OM-21-21 (Kabra)	
OM-21-22	Transport Noise Corridors Overlay Map OM-21-22 (Kalapa)	
OM-21-23	Transport Noise Corridors Overlay Map OM-21-23 (Kawana)	
OM-21-24	Transport Noise Corridors Overlay Map OM-21-24 (Koongal)	
OM-21-25	Transport Noise Corridors Overlay Map OM-21-25 (Lakes Creek)	
OM-21-26	Transport Noise Corridors Overlay Map OM-21-26 (Leydens Hill)	
OM-21-28	Transport Noise Corridors Overlay Map OM-21-28 (Limestone Creek)	
OM-21-29	Transport Noise Corridors Overlay Map OM-21-29 (Marmor)	
OM-21-30	Transport Noise Corridors Overlay Map OM-21-30 (Midgee)	
OM-21-35	Transport Noise Corridors Overlay Map OM-21-35 (Mount Morgan)	
OM-21-37	Transport Noise Corridors Overlay Map OM-21-37 (Nine Mile Creek)	
OM-21-38	Transport Noise Corridors Overlay Map OM-21-38 (Norman Gardens)	
OM-21-39	Transport Noise Corridors Overlay Map OM-21-39 (Oakey Creek)	
OM-21-40	Transport Noise Corridors Overlay Map OM-21-40 (Park Avenue)	
OM-21-41	Transport Noise Corridors Overlay Map OM-21-41 (Parkhurst)	
OM-21-42	Transport Noise Corridors Overlay Map OM-21-42 (Pink Lily)	
OM-21-43	Transport Noise Corridors Overlay Map OM-21-43 (Port Alma)	
OM-21-44	Transport Noise Corridors Overlay Map OM-21-44 (Port Curtis)	
OM-21-45	Transport Noise Corridors Overlay Map OM-21-45 (Ridgeland)	
OM-21-46	Transport Noise Corridors Overlay Map OM-21-46 (Rockhampton City)	
OM-21-48	Transport Noise Corridors Overlay Map OM-21-48 (Stanwell)	
OM-21-49	Transport Noise Corridors Overlay Map OM-21-49 (Struck Oil)	
OM-21-50	Transport Noise Corridors Overlay Map OM-21-50 (The Common)	
OM-21-52	Transport Noise Corridors Overlay Map OM-21-52 (The Range)	
OM-21-53	Transport Noise Corridors Overlay Map OM-21-53 (Trotter Creek)	
OM-21-54	Transport Noise Corridors Overlay Map OM-21-54 (Walmul)	

Map number	Map title	Gazettal date
OM-21-56	Transport Noise Corridors Overlay Map OM-21-56 (Wandal)	
OM-21-57	Transport Noise Corridors Overlay Map OM-21-57 (West Rockhampton)	
OM-21-58	Transport Noise Corridors Overlay Map OM-21-58 (Westwood)	
OM-21-59	Transport Noise Corridors Overlay Map OM-21-59 (Wura)	
OM-21-60	Transport Noise Corridors Overlay Map OM-21-60 (Wycarbah)	
OM-22-0	Water Supply Planning Area Overlay Map OM-22-0 (Regional)	
OM-22-1	Water Supply Planning Area Overlay Map OM-22-1 (Allentown)	
OM-22-5	Water Supply Planning Area Overlay Map OM-22-5 (Berserker)	
OM-22-10	Water Supply Planning Area Overlay Map OM-22-10 (Depot Hill)	
OM-22-13	Water Supply Planning Area Overlay Map OM-22-13 (Frenchville)	
OM-22-17	Water Supply Planning Area Overlay Map OM-22-17 (Gracemere)	
OM-22-19	Water Supply Planning Area Overlay Map OM-22-19 (Horse Creek)	
OM-22-21	Water Supply Planning Area Overlay Map OM-22-21 (Kabra)	
OM-22-23	Water Supply Planning Area Overlay Map OM-22-23 (Kawana)	
OM-22-24	Water Supply Planning Area Overlay Map OM-22-24 (Koongal)	
OM-22-25	Water Supply Planning Area Overlay Map OM-22-25 (Lakes Creek)	
OM-22-35	Water Supply Planning Area Overlay Map OM-22-35 (Mount Morgan)	
OM-22-38	Water Supply Planning Area Overlay Map OM-22-38 (Norman Gardens)	
OM-22-40	Water Supply Planning Area Overlay Map OM-22-40 (Park Avenue)	
OM-22-41	Water Supply Planning Area Overlay Map OM-22-41 (Parkhurst)	
OM-22-46	Water Supply Planning Area Overlay Map OM-22-46 (Rockhampton City)	
OM-22-50	Water Supply Planning Area Overlay Map OM-22-50 (The Common)	
OM-22-51	Water Supply Planning Area Overlay Map OM-22-51 (The Mine)	
OM-22-52	Water Supply Planning Area Overlay Map OM-22-52 (The Range)	
OM-22-55	Water Supply Planning Area Overlay Map OM-22-55 (Walterhall)	
OM-22-56	Water Supply Planning Area Overlay Map OM-22-56 (Wandal)	
OM-22-57	Water Supply Planning Area Overlay Map OM-22-57 (West Rockhampton)	

SC2.2 Strategic framework maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC2.3 Zone maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC2.4 Local plan maps

Not applicable.

SC2.5 Overlay maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC3.1 Planning assumption tables

SC3.1.1 Existing and projected population

1. The predicted existing and future population in the local government area is stated in **Table SC3.1.1.1** for the following:
 - a) local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b) the development category in column 2 (totals are shown for estimated resident population (ERP) and non-resident population (NRP)); and
 - c) the population per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.1.1: Existing and projected population

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected population					
		Existing (2017)	2021	2026	2031	2036	Ultimate development
Allenstown	Dwelling House	2,583	2,586	2,546	2,546	2,543	2,743
	Dual Occupancy	113	113	113	117	117	508
	Multiple Dwelling	597	597	597	597	597	752
	Other Dwelling	85	85	85	85	85	85
	Total ERP	3,379	3,381	3,341	3,344	3,342	4,088
	Total NRP	892	914	914	915	915	1,226
Berserker	Dwelling House	6,698	6,760	6,793	6,793	6,805	6,159
	Dual Occupancy	237	241	245	245	245	2,188
	Multiple Dwelling	702	769	810	812	813	1,601
	Other Dwelling	51	51	51	51	51	51
	Total ERP	7,687	7,821	7,899	7,901	7,914	10,000
	Total NRP	252	252	227	227	157	147
Depot Hill	Dwelling House	1,263	1,261	1,261	1,261	1,261	1,143
	Dual Occupancy	3	16	16	16	16	259
	Multiple Dwelling	7	7	7	7	7	6

Koongal	Dwelling House	3,992	3,999	3,999	3,999	3,994	3,570
	Dual Occupancy	171	174	174	174	174	1,561
	Multiple Dwelling	256	256	256	256	256	298
	Other Dwelling	0	0	0	0	0	0
	Total ERP	4,419	4,430	4,430	4,430	4,424	5,430
	Total NRP	27	27	27	27	27	16
Lakes Creek	Dwelling House	203	218	218	218	218	125
	Dual Occupancy	0	0	0	0	0	157
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total ERP	203	218	218	218	218	282
	Total NRP	0	0	0	0	0	0
Mount Morgan	Dwelling House	1,905	1,900	1,900	1,947	1,942	2,150
	Dual Occupancy	18	18	18	98	101	1,932
	Multiple Dwelling	43	43	43	43	43	86
	Other Dwelling	0	0	0	0	0	0
	Total ERP	1,966	1,961	1,961	2,088	2,086	4,167
	Total NRP	23	23	23	24	26	108
Norman Gardens	Dwelling House	8,415	9,161	9,179	9,179	9,256	7,730
	Dual Occupancy	539	604	604	604	604	3,471
	Multiple Dwelling	642	693	693	693	693	652
	Other Dwelling	86	86	86	86	86	86
	Total ERP	9,682	10,543	10,561	10,561	10,638	11,939
	Total NRP	262	262	262	262	262	168
Park Avenue	Dwelling House	4,977	4,984	4,984	4,984	4,984	3,859
	Dual Occupancy	277	280	280	280	280	2,518
	Multiple Dwelling	290	290	290	290	290	264

The Range	Dwelling House	4,456	4,459	4,459	4,459	4,464	3,722
	Dual Occupancy	126	132	132	132	139	2,138
	Multiple Dwelling	868	868	868	868	869	1,017
	Other Dwelling	0	0	0	0	0	0
	Total ERP	5,450	5,459	5,459	5,459	5,472	6,877
	Total NRP	417	497	524	552	581	564
Walterhall	Dwelling House	63	63	63	81	81	124
	Dual Occupancy	0	0	0	10	10	45
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total ERP	63	63	63	91	91	169
	Total NRP	0	0	0	0	0	0
Wandal	Dwelling House	4,020	4,029	4,029	4,029	4,029	4,403
	Dual Occupancy	69	75	75	75	75	1,062
	Multiple Dwelling	395	395	395	395	395	457
	Other Dwelling	0	0	0	0	0	0
	Total ERP	4,484	4,499	4,499	4,499	4,499	5,923
	Total NRP	0	0	0	0	0	0
West Rockhampton	Dwelling House	2,002	2,005	2,005	2,005	2,005	1,453
	Dual Occupancy	92	105	105	105	105	1,299
	Multiple Dwelling	39	39	39	39	39	51
	Other Dwelling	0	0	0	0	0	0
	Total ERP	2,134	2,149	2,149	2,149	2,149	2,803
	Total NRP	0	0	0	0	0	0
Total Inside PIA	Dwelling House	65,910	68,450	71,167	74,960	78,262	74,057
	Dual Occupancy	2,491	2,863	3,050	3,457	3,584	28,665
	Multiple Dwelling	5,127	5,332	5,841	6,466	6,826	13,189

	Other Dwelling	290	290	290	290	290	287
	Total ERP	73,818	76,934	80,348	85,173	88,960	116,199
	Total NRP	4,316	4,493	5,328	5,829	6,111	20,442
	Total Population	78,134	81,427	85,676	91,002	95,071	136,641
Total Outside PIA	Dwelling House	8,863	9,006	9,111	9,111	9,113	14,753
	Dual Occupancy	4	7	7	7	7	454
	Multiple Dwelling	138	138	138	138	138	492
	Other Dwelling	18	18	18	18	18	18
	Total ERP	9,023	9,169	9,275	9,275	9,277	15,716
	Total NRP	35	35	35	35	35	47
	Total Population	9,058	9,204	9,310	9,310	9,312	15,763
Total Regional Area	Dwelling House	74,772	77,456	80,278	84,071	87,376	88,809
	Dual Occupancy	2,496	2,870	3,057	3,465	3,592	29,119
	Multiple Dwelling	5,265	5,470	5,980	6,604	6,964	13,681
	Other Dwelling	308	308	308	308	308	306
	Total ERP	82,841	86,104	89,623	94,448	98,237	131,915
	Total NRP	4,352	4,528	5,363	5,864	6,146	20,489
	Total Population	87,193	90,631	94,986	100,312	104,383	152,404

SC3.1.2 Existing and projected employees

1. The predicted existing and future employees in the local government area are stated in Table SC3.1.2.1 for the following:
 - a) local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b) the development category in column 2; and
 - c) the number of employees per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.2.1: Existing and projected employees

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected employees					
		Existing (2017)	2021	2026	2031	2036	Ultimate development
Allenstown	Retail	886	918	1,020	1,036	1,070	6,134
	Commercial	515	523	523	526	526	683
	Industrial	162	162	162	162	162	873
	Community Purposes	310	365	383	402	422	422
	Total Employment	1,874	1,968	2,089	2,127	2,182	8,114
Berserker	Retail	2,352	2,469	2,553	2,618	2,878	19,500
	Commercial	1,428	1,521	1,557	1,574	1,712	6,645
	Industrial	157	135	135	135	129	986
	Community Purposes	315	368	386	404	424	432
	Total Employment	4,252	4,493	4,631	4,732	5,142	27,562
Depot Hill	Retail	49	49	49	49	49	0
	Commercial	331	331	331	331	331	326
	Industrial	362	362	362	362	362	364

	Community Purposes	21	25	26	27	29	29
	Total Employment	764	767	768	770	771	719
Frenchville	Retail	206	206	206	206	206	1,160
	Commercial	204	204	204	204	204	16
	Industrial	8	8	8	8	8	0
	Community Purposes	413	486	509	535	561	572
	Total Employment	832	904	928	953	979	1,748
Gracemere	Retail	507	507	838	929	956	7,397
	Commercial	150	153	172	189	197	1,104
	Industrial	454	569	848	1,068	1,425	9,109
	Community Purposes	189	221	232	243	255	371
	Total Employment	1,300	1,450	2,089	2,430	2,833	17,982
Kabra	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	101	2,028
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	101	2,028
Kawana	Retail	346	346	346	346	346	1,547
	Commercial	387	387	387	387	387	113
	Industrial	1,624	1,651	1,709	1,802	2,051	4,697
	Community Purposes	375	448	472	498	525	525
	Total Employment	2,733	2,833	2,915	3,033	3,309	6,881
Koongal	Retail	117	117	117	117	117	0
	Commercial	49	49	49	49	49	0
	Industrial	17	17	17	17	20	24
	Community Purposes	103	121	126	132	139	141

	Total Employment	286	304	310	316	325	166
Lakes Creek	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	159	159	159	159	159	288
	Community Purposes	39	47	49	52	55	55
	Total Employment	198	206	208	211	214	343
Mount Morgan	Retail	326	326	327	354	397	2,462
	Commercial	105	105	105	112	121	101
	Industrial	2	2	2	2	2	0
	Community Purposes	326	326	326	326	326	326
	Total Employment	759	759	759	793	846	2,888
Norman Gardens	Retail	974	1,014	1,014	1,014	1,263	15,722
	Commercial	151	170	170	170	170	60
	Industrial	62	62	62	62	62	0
	Community Purposes	1,009	1,204	1,268	1,336	1,408	1,408
	Total Employment	2,196	2,450	2,514	2,582	2,903	17,190
Park Avenue	Retail	2,208	2,501	2,501	2,501	2,501	13,025
	Commercial	1,031	1,031	1,051	1,051	1,051	199
	Industrial	1,382	1,382	1,382	1,382	1,382	1,910
	Community Purposes	254	297	312	327	343	343
	Total Employment	4,875	5,211	5,245	5,260	5,276	15,476
Parkhurst	Retail	390	390	390	390	390	1,708
	Commercial	103	103	103	103	103	230
	Industrial	1,380	1,380	1,380	1,469	1,518	5,023
	Community Purposes	119	141	148	155	163	163
	Total Employment	1,992	2,014	2,021	2,118	2,174	7,125

Rockhampton City	Retail	3,482	4,209	4,836	5,208	5,413	22,973
	Commercial	4,614	5,145	5,661	5,972	6,188	14,028
	Industrial	1,057	1,057	1,057	1,057	1,057	1,429
	Community Purposes	995	951	987	1,025	1,065	1,079
	Total Employment	10,148	11,362	12,541	13,262	13,722	39,508
The Common	Retail	7	7	7	7	7	7
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	28	28	28	28	28	28
	Total Employment	35	35	35	35	35	35
The Mine	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	0	0
The Range	Retail	97	97	97	97	97	50
	Commercial	206	206	206	206	206	110
	Industrial	0	0	0	0	0	0
	Community Purposes	3,016	3,606	3,801	4,007	4,224	4,234
	Total Employment	3,319	3,909	4,104	4,310	4,526	4,394
Walterhall	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	0	0
Wandal	Retail	185	185	185	185	185	414

	Commercial	111	111	111	111	111	108
	Industrial	36	36	36	36	36	32
	Community Purposes	423	482	501	522	543	543
	Total Employment	754	813	832	853	874	1,097
West Rockhampton	Retail	40	40	40	40	40	284
	Commercial	94	94	94	94	94	614
	Industrial	34	34	34	34	34	26
	Community Purposes	48	57	60	64	67	459
	Total Employment	215	225	228	231	235	1,383
Total Inside PIA	Retail	12,173	13,380	14,525	15,097	15,915	92,382
	Commercial	9,479	10,134	10,725	11,080	11,450	24,337
	Industrial	6,895	7,015	7,352	7,754	8,505	26,790
	Community Purposes	7,984	9,172	9,615	10,082	10,575	11,130
	Total Employment	36,532	39,702	42,218	44,013	46,447	154,639
Total Outside PIA	Retail	159	159	159	159	159	63
	Commercial	174	176	182	189	196	45
	Industrial	675	675	675	675	675	64,644
	Community Purposes	246	263	270	277	284	430
	Total Employment	1,254	1,274	1,286	1,300	1,314	65,183
Total Regional Area	Retail	12,333	13,540	14,685	15,257	16,075	92,446
	Commercial	9,653	10,310	10,907	11,269	11,646	24,382
	Industrial	7,570	7,690	8,027	8,428	9,180	91,434
	Community Purposes	8,230	9,436	9,885	10,359	10,860	11,560
	Total Employment	37,786	40,976	43,504	45,313	47,760	219,822

SC3.1.3 Existing and projected dwellings

1. The predicted existing and future dwellings in the local government area are stated in Table SC3.1.3.1 for the following:
 - a. local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b. the development category in column 2; and
 - c. the number of dwellings per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.3.1 Existing and projected dwellings

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected residential dwellings					
		Existing (2017)	2021	2026	2031	2036	Ultimate
Allenstown	Dwelling House	1,033	1,033	1,017	1,017	1,017	1,097
	Dual Occupancy	81	81	81	83	83	318
	Multiple Dwelling	460	460	460	460	460	502
	Other Dwelling	751	768	768	769	769	943
	Total Dwellings	2,325	2,342	2,326	2,329	2,329	2,860
Berserker	Dwelling House	2,679	2,703	2,716	2,716	2,722	2,464
	Dual Occupancy	169	172	174	174	174	1,368
	Multiple Dwelling	540	585	612	614	614	1,067
	Other Dwelling	233	233	214	214	160	113
	Total Dwellings	3,621	3,692	3,716	3,718	3,670	5,011
Depot Hill	Dwelling House	505	505	505	505	505	457
	Dual Occupancy	2	10	10	10	10	162
	Multiple Dwelling	5	5	5	5	5	4

	Other Dwelling	11	11	11	11	11	0
	Total Dwellings	523	531	531	531	531	623
Frenchville	Dwelling House	3,280	3,307	3,310	3,311	3,322	2,888
	Dual Occupancy	252	276	276	277	277	1,860
	Multiple Dwelling	196	197	204	204	204	206
	Other Dwelling	0	0	0	0	0	33
	Total Dwellings	3,728	3,780	3,790	3,791	3,802	4,987
Gracemere	Dwelling House	3,805	4,163	4,760	5,464	5,887	4,937
	Dual Occupancy	109	168	209	251	276	3,616
	Multiple Dwelling	168	198	244	328	378	669
	Other Dwelling	45	45	50	56	57	435
	Total Dwellings	4,127	4,574	5,263	6,099	6,599	9,658
Kabra	Dwelling House	1	1	1	1	0	0
	Dual Occupancy	0	0	0	0	0	0
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	1	1	1	1	0	0
Kawana	Dwelling House	1,441	1,454	1,454	1,454	1,454	1,284
	Dual Occupancy	198	212	212	212	212	801
	Multiple Dwelling	188	189	189	189	189	105
	Other Dwelling	13	13	13	13	13	0
	Total Dwellings	1,840	1,868	1,868	1,868	1,868	2,190
Koongal	Dwelling House	1,597	1,598	1,598	1,598	1,598	1,428
	Dual Occupancy	122	124	124	124	124	976
	Multiple Dwelling	197	197	197	197	197	199
	Other Dwelling	21	21	21	21	21	12

	Total Dwellings	1,937	1,940	1,940	1,940	1,940	2,615
Lakes Creek	Dwelling House	81	87	87	87	87	50
	Dual Occupancy	0	0	0	0	0	98
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	81	87	87	87	87	148
Mount Morgan	Dwelling House	1,003	1,000	1,000	1,022	1,020	1,024
	Dual Occupancy	8	8	8	58	60	1,207
	Multiple Dwelling	48	48	48	48	48	57
	Other Dwelling	18	18	18	19	20	83
	Total Dwellings	1,077	1,074	1,074	1,147	1,148	2,371
Norman Gardens	Dwelling House	3,365	3,633	3,671	3,671	3,702	3,091
	Dual Occupancy	385	425	425	425	425	2,170
	Multiple Dwelling	494	528	528	528	528	434
	Other Dwelling	268	268	268	268	268	195
	Total Dwellings	4,512	4,854	4,892	4,892	4,923	5,890
Park Avenue	Dwelling House	1,991	1,994	1,994	1,994	1,994	1,544
	Dual Occupancy	198	200	200	200	200	1,574
	Multiple Dwelling	223	223	223	223	223	176
	Other Dwelling	93	93	93	93	93	0
	Total Dwellings	2,505	2,510	2,510	2,510	2,510	3,293
Parkhurst	Dwelling House	706	913	1,357	2,096	2,941	4,637
	Dual Occupancy	23	82	157	310	361	917
	Multiple Dwelling	0	6	132	264	365	597
	Other Dwelling	164	164	164	164	164	172
	Total Dwellings	893	1,165	1,811	2,834	3,831	6,323

Rockhampton City	Dwelling House	742	762	757	747	742	661
	Dual Occupancy	46	46	44	44	44	4
	Multiple Dwelling	492	518	659	816	908	3,759
	Other Dwelling	1,606	1,663	2,299	2,656	2,813	13,401
	Total Dwellings	2,886	2,988	3,758	4,263	4,507	17,825
The Common	Dwelling House	0	0	0	0	0	0
	Dual Occupancy	0	0	0	0	0	0
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	0	0	0	0	0	0
The Mine	Dwelling House	9	9	9	9	9	31
	Dual Occupancy	0	0	0	2	2	6
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	9	9	9	11	11	38
The Range	Dwelling House	1,782	1,783	1,783	1,783	1,786	1,489
	Dual Occupancy	90	94	94	94	98	1,336
	Multiple Dwelling	668	668	668	668	668	678
	Other Dwelling	321	383	403	424	447	434
	Total Dwellings	2,861	2,928	2,948	2,970	2,999	3,937
Walterhall	Dwelling House	33	33	33	42	42	59
	Dual Occupancy	0	0	0	6	6	28
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	33	33	33	48	48	87
Wandal	Dwelling House	1,608	1,612	1,612	1,612	1,612	1,761

	Dual Occupancy	49	53	53	53	53	664
	Multiple Dwelling	304	304	304	304	304	305
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	1,961	1,969	1,969	1,969	1,969	2,730
West Rockhampton	Dwelling House	801	802	802	802	802	581
	Dual Occupancy	66	74	74	74	74	812
	Multiple Dwelling	30	30	30	30	30	34
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	897	906	906	906	906	1,427
Total Inside PIA	Dwelling House	26,461	27,391	28,465	29,930	31,240	29,483
	Dual Occupancy	1,798	2,026	2,143	2,397	2,480	17,916
	Multiple Dwelling	4,011	4,154	4,502	4,877	5,121	8,793
	Other Dwelling	3,543	3,679	4,321	4,707	4,835	15,821
	Total Dwellings	35,814	37,250	39,431	41,911	43,676	72,013
Total Outside PIA	Dwelling House	3,571	3,623	3,664	3,664	3,667	5,850
	Dual Occupancy	3	5	5	5	5	284
	Multiple Dwelling	106	106	106	106	106	328
	Other Dwelling	41	41	41	41	41	36
	Total Dwellings	3,722	3,776	3,816	3,816	3,819	6,498
Total Regional Area	Dwelling House	30,033	31,015	32,129	33,594	34,906	35,333
	Dual Occupancy	1,801	2,031	2,148	2,402	2,485	18,199
	Multiple Dwelling	4,118	4,260	4,608	4,983	5,227	9,121
	Other Dwelling	3,584	3,720	4,362	4,748	4,876	15,857
	Total Dwellings	39,536	41,026	43,247	45,727	47,495	78,511

SC3.1.4 Existing and projected non-residential floor space

1. The predicted existing and future non-residential floor space in the local government area are stated in Table SC3.1.4.1 for the following:
 - a. local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b. the development category in column 2; and
 - c. the number of gross floor area per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.4.1 Existing and projected non-residential floor space

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected non-residential floor space (m ² GFA)					
		Existing (2017)	2021	2026	2031	2036	Ultimate
Allenstown	Retail	42,074	43,483	48,185	48,918	50,473	276,539
	Commercial	33,018	34,718	34,718	34,828	34,828	16,521
	Industrial	16,248	16,248	16,905	16,905	17,942	87,330
	Community Purposes	25,531	29,360	30,624	31,957	33,363	33,363
	Total GFA	116,871	123,809	130,432	132,607	136,606	413,753
Berserker	Retail	98,304	103,563	107,262	110,203	122,228	880,896
	Commercial	41,315	45,033	46,582	47,262	51,077	264,024
	Industrial	16,067	13,889	13,889	15,170	16,570	98,571
	Community Purposes	25,246	28,723	29,870	31,080	32,422	33,136

	Total GFA	180,932	191,207	197,602	203,715	222,297	1,276,627
Depot Hill	Retail	2,412	2,412	2,412	2,412	2,412	9
	Commercial	8,278	8,278	8,278	8,278	8,278	8,149
	Industrial	39,000	39,000	39,000	39,000	39,000	36,408
	Community Purposes	2,239	2,482	2,563	2,647	2,737	2,737
	Total GFA	51,929	52,172	52,253	52,337	52,427	47,303
Frenchville	Retail	8,479	8,479	8,479	8,479	8,479	52,206
	Commercial	10,850	10,850	10,850	10,850	10,850	0
	Industrial	792	792	792	792	792	0
	Community Purposes	31,119	35,929	37,517	39,192	40,959	41,701
	Total GFA	51,240	56,051	57,639	59,313	61,081	93,907
Gracemere	Retail	22,412	22,412	37,301	41,400	42,617	332,886
	Commercial	11,147	11,548	12,194	12,806	13,063	44,155
	Industrial	48,353	59,872	87,752	109,733	145,451	907,356
	Community Purposes	15,091	17,222	17,925	18,667	19,449	27,009
	Total GFA	97,004	111,054	155,172	182,606	220,580	1,311,406
Kabra	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	10,142	202,848

	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	10,142	202,848
Kawana	Retail	18,146	18,146	18,146	18,146	18,146	69,613
	Commercial	15,773	15,773	15,773	15,773	15,773	8,627
	Industrial	167,527	170,204	176,017	185,256	210,146	453,834
	Community Purposes	26,433	31,550	33,239	35,020	36,900	36,900
	Total GFA	227,879	235,673	243,175	254,196	280,965	568,974
Koongal	Retail	4,892	4,892	4,892	4,892	4,892	3
	Commercial	1,994	1,994	1,994	1,994	1,994	0
	Industrial	1,704	1,704	1,704	1,704	1,969	700
	Community Purposes	8,633	9,826	10,220	10,635	11,073	11,259
	Total GFA	17,223	18,416	18,810	19,225	19,928	11,962
Lakes Creek	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	23,840	23,840	23,840	23,840	23,840	28,804
	Community Purposes	2,723	3,268	3,448	3,637	3,837	3,837
	Total GFA	26,564	27,108	27,288	27,478	27,678	32,641
Mount Morgan	Retail	13,606	13,611	13,611	14,858	16,804	111,214
	Commercial	5,999	5,999	5,999	6,233	6,598	1,895

	Industrial	174	174	174	174	174	0
	Community Purposes	24,027	24,027	24,027	24,027	24,027	24,027
	Total GFA	43,807	43,812	43,812	45,292	47,603	137,136
Norman Gardens	Retail	62,470	73,494	73,494	73,494	84,707	707,863
	Commercial	20,143	20,893	20,893	20,893	20,893	7,099
	Industrial	6,172	6,172	6,172	6,172	6,172	0
	Community Purposes	74,252	87,883	92,381	97,126	102,133	102,133
	Total GFA	163,038	188,443	192,941	197,686	213,905	817,094
Park Avenue	Retail	86,000	100,142	100,142	100,142	91,744	586,109
	Commercial	35,940	35,940	36,640	36,640	36,640	7,947
	Industrial	91,970	91,970	91,970	91,970	91,970	154,923
	Community Purposes	22,919	25,955	26,957	28,014	29,129	29,129
	Total GFA	236,828	254,007	255,709	256,766	249,483	778,108
Parkhurst	Retail	22,803	22,803	22,803	22,803	22,803	82,275
	Commercial	14,387	14,387	14,387	14,387	14,387	9,202
	Industrial	157,543	157,543	157,543	166,454	171,273	501,371
	Community Purposes	8,109	9,220	9,587	9,974	10,382	10,382
	Total GFA	202,842	203,953	204,320	213,617	218,844	603,230
Rockhampton City	Retail	138,949	170,640	198,847	215,642	224,761	958,048

	Commercial	165,524	185,010	193,060	198,117	201,483	453,049
	Industrial	100,618	102,105	102,105	102,249	102,611	102,175
	Community Purposes	50,413	50,570	52,123	53,758	55,479	56,379
	Total GFA	455,503	508,325	546,135	569,766	584,335	1,569,651
The Common	Retail	674	674	674	674	674	674
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	7,032	7,032	7,032	7,032	7,032	7,032
	Total GFA	7,706	7,706	7,706	7,706	7,706	7,706
The Mine	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	0	0
The Range	Retail	3,637	3,637	3,637	3,637	3,637	1,735
	Commercial	27,085	27,085	27,085	27,085	27,085	17,605
	Industrial	0	0	0	0	0	0
	Community Purposes	115,878	138,198	145,564	153,335	161,533	162,286
	Total GFA	146,599	168,919	176,285	184,056	192,254	181,626

Walterhall	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	0	0
Wandal	Retail	10,190	10,190	10,190	10,190	10,190	20,989
	Commercial	8,028	8,028	8,028	8,028	8,028	4,309
	Industrial	4,106	4,106	4,106	4,106	4,106	3,206
	Community Purposes	51,772	55,867	57,218	58,644	60,147	60,147
	Total GFA	74,096	78,191	79,542	80,968	82,472	88,652
West Rockhampton	Retail	1,512	1,512	1,512	1,512	1,512	12,768
	Commercial	2,350	2,350	2,350	2,350	2,350	25,537
	Industrial	3,350	3,350	3,350	3,350	3,350	1,508
	Community Purposes	3,472	4,133	4,351	4,581	4,823	30,190
	Total GFA	10,685	11,345	11,563	11,793	12,036	70,003
Total Inside PIA	Retail	536,560	600,089	651,587	677,402	706,080	4,093,827
	Commercial	401,831	427,886	438,830	445,524	453,326	868,118
	Industrial	677,466	690,971	725,321	766,877	845,510	2,579,035
	Community Purposes	494,890	561,246	584,644	609,326	635,427	671,648

	Total GFA	2,110,747	2,280,192	2,400,382	2,499,128	2,640,342	8,212,627
Total Outside PIA	Retail	9,438	9,438	9,438	9,438	9,438	4,612
	Commercial	21,810	21,810	21,810	21,810	21,810	8,581
	Industrial	87,893	87,893	87,893	87,893	87,893	6,464,252
	Community Purposes	31,899	33,404	33,901	34,426	34,979	46,914
	Total GFA	151,040	152,546	153,043	153,567	154,120	6,524,360
Total Regional Area	Retail	545,998	609,528	661,025	686,840	715,518	4,098,439
	Commercial	423,641	449,696	460,641	467,334	475,136	876,699
	Industrial	765,359	778,864	813,214	854,770	933,403	9,043,287
	Community Purposes	526,789	594,650	618,545	643,751	670,405	718,562
	Total GFA	2,261,787	2,432,738	2,553,425	2,652,695	2,794,462	14,736,987

SC3.1.5 Planned density and demand generation

1. Table SC3.1.5.1 stipulates the planned density and demand each residential zone and precinct has on trunk infrastructure networks.
2. Table SC3.1.5.2 stipulates the planned density and demand each non-residential zone and precinct has on trunk infrastructure networks.

Table SC3.1.5.1 – Residential planned density and demand generation rate for a trunk infrastructure network

<i>Planning scheme identification</i>			<i>Planned Density</i>	<i>Demand rate</i>				
<i>Zone</i>	<i>Precinct</i>	<i>Category</i>	<i>Residential density (dwellings/net dev ha)</i>	Water supply (ET/net dev ha)	Sewerage (ET/net dev ha)	Parks (Persons/net dev ha)	Transport (daily vehicle trips/net dev ha)	Stormwater (% impervious area)
<i>Residential zones category</i>								
Low density residential	All	Dwelling house	13.6	13.6	13.6	35.36	122.4	50%
		Dual occupancy	0.8	0.8	0.8	1.28	4.2	50%
		Multiple dwelling	1.6	0.8	1.6	2.4	8.4	50%
		Totals	16	15.2	16	39.04	135	50%
Low-medium density residential		Dwelling house	14.64	14.64	14.64	38.064	131.76	75%
		Dual occupancy	4.88	4.88	4.88	7.808	25.62	75%
		Multiple dwelling	4.88	2.44	4.88	7.32	25.62	75%
		Totals	24.4	21.96	24.4	53.192	183	75%
High density residential		Multiple dwelling, Other dwelling	560	280	560	840	2940	100%
<i>Centres zones category</i>								
Principal centre*	Business services (12 metres and 3 storeys)	Multiple dwelling, Other dwelling	96	48	96	144	504	90%
	Business services (18 metres and 5 storeys)	Multiple dwelling, Other dwelling	180	90	180	270	945	90%

	Business services (45 metres and 12 storeys)	Multiple dwelling, Other dwelling	240	120	240	360	1260	90%
	Core (2 storeys and 9 metres)	Other dwelling	80	40	80	104	560	100%
	Core (3 storeys and 12 metres)	Other dwelling	120	60	120	156	840	100%
	Core (5 storeys and 18 metres)	Other dwelling	200	100	200	260	1400	100%
	Core (10 storeys and 35 metres)	Other dwelling	192	96	192	249.6	1344	100%
	Core (12 storeys and 45 metres)	Other dwelling	224	112	224	291.2	1568	100%
	Denison Street	Other dwelling	48	24	48	62.4	336	90%
	Quay Street	Other dwelling	80	40	80	104	560	100%
District centre*		Other dwelling	16	8	16	20.8	112	90%
Local Centre		Other dwelling	8	4	8	10.4	56	90%
Specialised centre	Gladstone Road and George Street Residential and Food Services Sub-Precinct*	Other dwelling	112	56	112	145.6	784	90%
	Musgrave Street Mixed Use Sub-Precinct*	Multiple dwelling	40	20	40	60	210	90%
Other zones category								

Emerging community		Dwelling house	13.6	13.6	13.6	35.36	122.4	50%
		Dual occupancy	0.8	0.8	0.8	1.28	4.2	50%
		Multiple dwelling	1.6	0.8	1.6	2.4	8.4	50%
		Totals	16	15.2	16	39.04	135	50%
Rural residential		Dwelling house	2.5	2.5	2.5	6.5	22.5	20%
	Baree and Walterhall Precinct	Dwelling house	2.5	2.5	2.5	4	13.125	20%
Township	All	Dwelling house	16.67	16.67	16.67	43.342	150.03	50%

Table SC3.1.5.2 – Non-residential planned density and demand generation rate for a trunk infrastructure network

<i>Planning scheme identification</i>			<i>Planned Density</i>		<i>Demand rate</i>				
<i>Zone</i>	<i>Precinct</i>	<i>Category</i>	<i>Non-residential plot ratio</i>	<i>Non-residential density (GFA m²/net dev ha)</i>	<i>Water supply (ET/net dev ha)</i>	<i>Sewerage (ET/net dev ha)</i>	<i>Parks (ET/net dev ha)</i>	<i>Transport (daily vehicle trips/net dev ha)</i>	<i>Stormwater (% impervious area)</i>
Residential zones category									
High density residential*		Retail	0.8	8000	16	12	N/A	3,600	100%
Centres zones category									
Principal centre*	Business services (12 metres and 3 storeys)	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Total	1.44	14400	33.6	24	N/A	4,728	90%
	Business services (18 metres and 5 storeys)	Retail	1.8	18000	36	27	N/A	8,100	100%
		Commercial	0.9	9000	27	18	N/A	765	100%
		Total	2.7	27000	63	45	N/A	8,865	100%
	Business services (45 metres and 12 storeys)	Retail	2.4	24000	48	36	N/A	10,800	100%
		Commercial	1.2	12000	36	24	N/A	1020	100%
		Total	3.6	36000	84	60	N/A	11,820	100%
	Core (2 storeys and 9 metres)	Retail	0.8	8000	16	12	N/A	3,600	100%
		Commercial	0.4	4000	12	8	N/A	340	100%
		Total	1.2	12000	28	20	N/A	3,940	100%
		Retail	1.2	12000	24	18	N/A	5,400	100%

	Core (3 storeys and 12 metres)	Commercial	0.6	6000	18	12	N/A	510	100%
		Total	1.8	18000	42	30	N/A	5,910	100%
	Core (5 storeys and 18 metres)	Retail	2	20000	40	30	N/A	9,000	100%
		Commercial	1	10000	30	20	N/A	850	100%
		Total	3	30000	70	50	N/A	9,850	100%
	Core (10 storeys and 35 metres)	Retail	1.92	19200	38.4	28.8	N/A	8,640	100%
		Commercial	0.96	9600	28.8	19.2	N/A	816	100%
		Total	2.88	28800	67.2	48	N/A	9,456	100%
	Core (12 storeys and 45 metres)	Retail	2.24	22400	44.8	33.6	N/A	10,080	100%
		Commercial	1.12	11200	33.6	22.4	N/A	952	100%
		Total	3.36	33600	78.4	56	N/A	11,032	100%
	Denison Street	Retail	0.72	7200	14.4	10.8	N/A	3,240	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Industrial	0.72	7200	28.8	25.2	N/A	324	90%
		Total	1.92	19200	57.6	45.6	N/A	3,972	90%
	Quay Street	Retail	0.8	8000	16	12	N/A	3,600	100%
		Commercial	0.4	4000	12	8	N/A	340	100%
		Total	1.2	12000	28	20	N/A	3,940	100%
Major centre		Retail	1.6	16000	32	24	N/A	7,200	90%
District centre*		Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.16	1600	4.8	3.2	N/A	136	90%
		Total	1.44	14400	30.4	22.4	N/A	5,896	90%

Local centre		Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.24	2400	7.2	4.8	N/A	204	90%
		Total	1.52	15200	32.8	24	N/A	5,964	90%
Neighbourhood centre		Retail	1.12	11200	22.4	16.8	N/A	5,040	90%
		Commercial	0.28	2800	8.4	5.6	N/A	238	90%
		Total	1.4	14000	30.8	22.4	N/A	5,278	90%
Specialised centre	Gladstone Road and George Street Precinct	Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.32	3200	9.6	6.4	N/A	272	90%
		Total	1.6	16000	35.2	25.6	N/A	6,032	90%
	Gladstone Road and George Street Precinct - Outdoor Sales and Services Sub-Precinct	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Industrial	0.64	6400	25.6	22.4	N/A	288	90%
		Total	1.6	16000	44.8	36.8	N/A	4,608	90%
	Gladstone Road and George Street – Residential and food services sub-precinct*	Retail	0.48	4800	9.6	7.2	N/A	2,160	90%
	Yaamba Road	Retail	1.6	16000	32	24	N/A	7,200	90%
	Musgrave Street – Mixed Use Sub-Precinct*	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.64	6400	19.2	12.8	N/A	544	90%
		Total	1.6	16000	38.4	27.2	N/A	4,864	90%
	Musgrave Street – Outdoor Sales and Services Sub-Precinct	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.64	6400	19.2	12.8	N/A	544	90%

		Total	1.6	16000	38.4	27.2	N/A	4,864	90%
Industry zones category									
Low impact industry	South Rockhampton				No further development				
	All other low impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
Medium impact industry	Gracemere Saleyards	Industrial	0.4	4000	16	14	N/A	180	90%
		Retail	0.1	1000	2	1.5	N/A	450	90%
		Total	0.5	5000	18	15.68	N/A	630	90%
High impact industry	All other medium impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
	Lakes Creek				No further development				
	All other high impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
Special industry		Industrial	0.5	5000	20	17.5	N/A	225	90%
Water front and marine		Industrial	0.5	5000	20	17.5	N/A	225	90%
Other zones category									
Special purpose	Rockhampton airport – Business services sub-precinct	Retail	0.24	2400	4.8	3.6	N/A	1,080	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Community Purposes	0.48	4800	24	19.2	N/A	19.2	90%
		Total	1.2	12000	43.2	32.4	N/A	1,507	90%
	CQU				As per CQU Rockhampton Priority Development Area Development Scheme				
All other Special purpose				No further development					

Table SC3.1.5.3: Existing and projected demand for the water supply network

Service catchment*	Existing and projected demand (ET)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	1,570	1,845	2,429	3,424	4,392	8,188
North Rockhampton	20,149	20,854	21,008	21,115	21,343	32,595
South Rockhampton	12,159	12,581	13,108	13,482	13,723	26,135
Gracemere	4,362	4,854	5,669	6,561	7,225	14,480
Mount Morgan	1,252	1,249	1,249	1,342	1,347	2,774

* The service catchments for the water supply network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.4 – Existing and projected demand for the sewerage network

Service catchment*	Existing and projected demand (ET)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	1,540	1,816	2,463	3,519	4,535	8,261
North Rockhampton	20,764	21,457	21,601	21,691	21,855	31,795
South Rockhampton	13,808	14,241	15,130	15,746	16,100	34,545
Gracemere	4,400	4,901	5,723	6,646	7,311	14,239
Mount Morgan	1,248	1,245	1,245	1,337	1,342	2,763

*Column 1. The service catchments for the sewerage network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.5 – Existing and projected demand for the stormwater network

Service catchment*	Existing and projected demand (Imp Ha)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	126	133	158	207	241	596
North Rockhampton	815	846	857	859	871	923
South Rockhampton	413	415	416	417	417	434
Gracemere	206	225	271	317	342	2,038
Mount Morgan	66	66	66	68	69	107

* Column 1. The service catchments for the stormwater network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.6 - Existing and projected demand for the transport network

Service catchment*	Existing and projected demand (Trips)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	28,143	30,613	35,756	44,391	53,108	113,747
North Rockhampton	348,601	374,289	379,473	384,003	395,076	1,330,183
South Rockhampton	266,497	292,204	315,701	330,434	340,485	912,275
Gracemere	52,781	57,556	71,649	81,751	88,778	279,974
Mount Morgan	22,229	22,208	22,208	23,378	24,281	73,400

*Column 1. The service catchments for the transport network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.7 - Existing and projected demand for the parks and land for community facilities network

Service catchment*	Existing and projected demand (Population)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	2,086	2,727	4,192	6,554	8,984	14,643
North Rockhampton	43,216	44,366	44,538	44,543	44,598	51,038
South Rockhampton	23,794	24,111	25,118	25,825	26,196	48,127
Gracemere	10,360	11,436	13,143	15,175	16,390	20,192
Mount Morgan	2,824	2,818	2,818	2,992	2,990	5,077

*Column 1. The service catchments for the parks and land for community facilities network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

SC3.2 Priority Infrastructure Area

Local Government Infrastructure Plan Map PIA-1 to PIA-4 Priority infrastructure area and projection areas map

Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 Service catchment map

SC3.3 Plans for Trunk Infrastructure maps

Local Government Infrastructure Plan Map 1-0 to 1-29 Plan for trunk water supply infrastructure

Local Government Infrastructure Plan Map 2-0 to 2-18 Plan for trunk sewerage infrastructure

Local Government Infrastructure Plan Map 3-0 to 3-14 Plan for trunk transport infrastructure

Local Government Infrastructure Plan Map 4-0 to 4-17 Plan for trunk stormwater infrastructure

Local Government Infrastructure Plan Map 5-0 to 5-2+2 Plan for trunk parks and land for community facilities infrastructure

SC3.4 Schedules of works

Table SC3.4.1 – Water supply network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
1-7	WAT-2	300mm Lucas Street to Macquarie Street/Middle Road - 1.8km	Constructed	\$833,125
1-7	WAT-5	200mm Somerset Road (Stewart Street to Overpass) - 1.3km	Constructed	\$534,846
1-7	WAT-35	Lucas Street Water Pump Station Upgrade	Constructed	\$565,702
1-20	WAT-38	300mm McLaughlin Street (William Palfrey Road to Birkbeck Reservoir) - 1.25km	Constructed	\$578,045
1-20	WAT-40	200mm Olive Street	Constructed	\$197,482
1-20	WAT-41	200mm Norman Road (Olive Street to Southern Boundary of Lot 100 on SP261800) - 210m	Constructed	\$43,198

1-20	WAT-42	200mm Mason Avenue	Constructed	\$166,625
1-20	WAT-45	450mm main - Western extension of Olive Street (Western Boundary SP238731/5 to McLaughlin Street) - 750m	2026	\$827,117
1-4	WAT-47	375mm Rockhampton to Gracemere Duplication	Constructed	\$5,142,746
1-20	WAT-48	200mm Olive Street (Norman Road to McMillan Avenue) - 450m	Constructed	\$185,139
1-7	WAT-49	200mm main - Lucas Street (Chatterton Boulevard to Allen Road) - 970m	2031	\$454,737
1-7	WAT-50	200mm main - Allen Road (Lucas Street to Gavial - Gracemere Road) - 780m	2031	\$365,664
1-20	WAT-51	450mm main - Western extension of Olive Street (Yaamba Road to Western Boundary SP238731/5) - 1350m	2036	\$1,488,810
1-7	WAT-52	300mm main (Old Capricorn Highway Pump Station to Lucas Street Reservoir) - 5.2km	2026	\$3,366,051
1-7	WAT-53	Lucas Street Reservoir duplication	2036	\$3,937,044
1-7	WAT-60	300mm main - Middle Road (Macquarie Street to Stewart Street) - 1.2km	2036	\$776,781
1-7	WAT-61	200mm main - Stewart Street (Middle Road to Somerset Road) - 1.1 km	2036	\$712,049
1-7	WAT-63	200mm main - Somerset Road (Overpass to Western boundary of Lot 54 on P4030) - 1.3 km	2036	\$609,441
1-20	WAT-68	200mm Norman Road (Extension from WAT-41 to Mason Avenue) - 350m	Constructed	\$143,997
1-20	WAT-69	300mm main - Western extension of Olive Street (Yaamba Road to Western Boundary SP238731/5) - 1350m	2036	\$1,047,816
1-20	WAT-70	Glenmore Water Treatment Plant - High Lift Pump Station Upgrade	Constructed	\$11,314,043
1-4	WAT-71	750mm main - Rockhampton Ring Road (Glenmore Water Treatment Plant to Capricorn Highway)	2031	\$36,044,870
1-7	WAT-72	150mm main - Capricorn Street Alignment (Capricorn Highway to Somerset Road) - 190m	2026	\$75,800
1-7	WAT-73	200mm main - Webster Street (Victoria Street to Eastern Boundary of Lot253 on P4014) - 250m	2026	\$117,200
1-7	WAT-74	200mm main - Webster Street (Eastern Boundary of Lot253 on P4014 to Eastern Boundary of Lot 252 on P4013) - 400m	2031	\$187,520
1-7	WAT-75	200mm main - Washpool Road (Cherryfield Road to Eastern Boundary of Lot 1 on RP848973) - 1.4km	2026	\$656,321

1-7	WAT-76	200mm main - Washpool Road (Eastern Boundary of Lot 1 on RP848973 to Lucas Street) - 1.2km	2036	\$562,561
1-26	WAT-77	Agnes Street Water Pump Station - Pump and switchboard upgrade to also supply Gracemere	2021	\$1,687,300
1-7	WAT-79	450mm main - Laurie Street (Laurie Street bridge across railway line) - 130m	2031	\$119,467
Total				\$72,741,497

Table SC3.4.2 – Sewerage network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
2-13	SEW-2	Bruce Highway Sewerage Pump Station	Constructed	\$332,222
2-13	SEW-3	Limestone Creek Sewage Pump Station	2031	\$1,124,870
2-13	SEW-6	McLaughlin Street Sewage Pump Station	2026	\$731,165
2-13	SEW-8	200mm Rising Main (Bruce Highway Sewerage Pump Station to Olive Street) - 1.3km	Constructed	\$534,846
2-13	SEW-9	300mm Gravity Main (Western Boundary of Lot 2 on RP617657 to Bruce Highway Sewerage Pump Station) - 670m	Constructed	\$503,991
2-13	SEW-11	225mm Gravity Main - Parallel to Yaamba Road (Northern Boundary of Lot 2 on RP617657 to Bruce Highway Sewerage Pump Station) - 620m	Constructed	\$314,736
2-13	SEW-14	300mm Rising Main - Norman Road (Limestone Creek Sewage Pump Station to Nagle Drive) - 2.2km	2031	\$1,270,419
2-13	SEW-28	225mm Gravity Main (Discharge chamber for SEW-132 from Springbrook Close Sewage Pump Station to McLaughlin Street Sewer Pump Station) - 500m	2026	\$203,354
2-13	SEW-29	300mm Gravity Main (From Lot 37 on RP600698 to McLaughlin Street Sewer Pump station) - 800m	2036	\$423,473
2-3	SEW-30	South Rockhampton STP augmentation	2031	\$18,747,826
2-6	SEW-32	Gracemere STP - New bioreactor and secondary clarifier to be constructed using designs developed for SRSTP interim upgrade and existing clarifier design to achieve at least 20,000 EP capacity	2021	\$7,499,130
2-15	SEW-35	50% of ultimate augmentation to 75,000 EP commencing 2021	2026	\$23,434,783
2-6	SEW-39	375mm and 300mm Gravity Main (Breakspear Street to Lucas Street) - 1.1km	Constructed	\$654,158
2-6	SEW-40	450mm Gravity Main - Breakspear Street to Sewerage Pump Station FS6 - 80m	Constructed	\$66,857
2-6	SEW-41	300mm Rising Main (Rahima Court Sewage Pump Station to Gracemere Sewage Treatment Plant) - 2.4km	2021	\$1,385,911
2-6	SEW-42	150mm Rising Main (Webster Street Sewage Pump Station to James Street) - 1250m	2026	\$498,683
2-6	SEW-43	300mm Gravity Main - Washpool Road (Western Boundary of Lot 5 on SP101498 to Sewerage Pump Station FS15) - 550m	Constructed	\$237,596

2-6	SEW-44	225mm Gravity Main (Western Boundary of Lot 3 on SP198267 to Western Boundary of Lot 5 on SP101498) - 400m	Constructed	\$129,597
2-6	SEW-45	100mm Rising Main (Sewerage Pump Station FS16 to Southern Boundary of Lot 13 on RP604012 Macquarie Street) -780m	Constructed	\$140,911
2-6	SEW-46	300mm Gravity Main - Somerset Road (Western Side of Lot 49 on P4030 to Somerset Road Sewerage Pump Station No1) - 1.1km	2036	\$582,275
2-6	SEW-47	200mm Gravity Main (Sewerage Pump Station FS17 to Eastern Boundary of Lot 1 on SP260358) - 400m	Constructed	\$164,568
2-6	SEW-48	200mm Rising Main (Sewerage Pump Station FS17 to Sewerage Pump Station FS4) - 4.0km	Constructed	\$1,616,880
2-6	SEW-87	Armstrong Street - Sewerage Pump Station FS1 Augmentation	Constructed	\$462,847
2-6	SEW-88	Fisher Street Sewerage Pump Station - Pump augmentation to match new rising main (SEW-120)	2036	\$281,217
2-6	SEW-90	Rahima Court Sewerage Pump Station - Pump augmentation to match new rising main (SEW-41)	2021	\$281,217
2-6	SEW-91	Capricorn Street Sewerage Pump Station - Pump augmentation to match new rising main (SEW-103)	2031	\$56,243
2-6	SEW-93	Somerset Road - Sewerage Pump Station FS17	Constructed	\$462,846
2-13	SEW-100	Ellida Sewerage Pump Station	2031	\$562,435
2-13	SEW-101	150mm Rising Main (Ellida Sewerage Pump Station to Mason Avenue) - 900m	2031	\$359,052
2-13	SEW-106	300mm Gravity Main - Olive Street (Norman Road to Yaamba Road) - 480m	Constructed	\$359,992
2-6	SEW-107	Gracemere - Webster Street Sewerage Pump Station	2026	\$506,191
2-6	SEW-108	225mm Gravity Main (Macquarie Street to Capricorn Street) - 750m	2031	\$309,098
2-6	SEW-109	225mm Gravity Main (Northern Boundary of Lot 3 on SP119672 to Capricorn Sewerage Pump Station) - 350m	2021	\$112,466
2-6	SEW-110	Washpool South Sewerage Pump Station (South of Washpool Road on Lot 1 on RP848973)	2026	\$393,704
2-6	SEW-111	100mm Rising Main (Washpool South Sewerage Pump Station to Head of Reticulated gravity network) - 500m	2026	\$108,662
2-6	SEW-114	200mm Gravity Main (SEW-47 to Southern Boundary of Lot 2 on RP613519) - 570m	Constructed	\$365,135
2-3	SEW-115	South Rockhampton STP Process upgrade and PLC renewal with capacity of approximately 35,000 EP	Constructed	\$805,602

2-4	SEW-118	200mm effluent rising main from Gracemere Sewage Treatment Plant to Rockhampton Golf Course	2021	\$3,390,629
2-15	SEW-119	North Rockhampton STP upgrade design	2021	\$374,957
2-6	SEW-120	250mm Rising Main (Fisher Street Sewage Pump Station to James Street) - 710m	2036	\$359,300
2-6	SEW-124	300mm Rising Main (Armstrong Street Sewerage Pump Station FS1 to Gracemere Sewage Treatment Plant) - 1.4km	Constructed	\$658,273
2-6	SEW-126	225mm Gravity Main (Southern Boundary of Lot 2 on SP119672 to Northern Boundary of Lot 3 on SP119672) - 550m	2031	\$223,689
2-13	SEW-132	100mm Rising Main (Divert Springbrook Close Sewage Pump Station discharge from Belmont Road Sewage Pump Station to gravity network prior to McLaughlin Street Sewage Pump Station) - 1.0km	2026	\$193,419
2-13	SEW-133	200mm Rising Main (McLaughlin Street Sewage Pump Station to Sturt Street) - 3.4km	2026	\$1,366,973
2-13	SEW-135	300mm Gravity Main Rachel Drive (Beal Avenue to Norman Road) - 190m	2031	\$143,636
2-13	SEW-136	450mm Gravity Main Norman Road (Rachel Drive to Limestone Creek Sewer Pump Station) - 550m	2031	\$598,497
2-13	SEW-137	375mm Gravity Main Norman Road (Mason Street to Rachel Drive) - 700m	2031	\$506,367
2-6	SEW-138	225mm Gravity Main- (Webster Street Sewage Pump Station) - 400m	2026	\$162,683
2-13	SEW-139	375mm Gravity Main (Discharge chamber for rising main under Mason Street) - 160m	2031	\$115,741
2-13	SEW-140	Springbrook Close Sewer Pump Station upgrade	2026	\$33,746
2-10	SEW-141	225mm Gravity Main (Railway Parade - Little James street to William St) - 660m	Constructed	\$296,343
2-10	SEW-142	Railway Parade Sewage Pump Station	2021	\$337,461
2-10	SEW-143	100mm Rising Main (Railway Parade to Dee River Sewage Pump Station) - 300m	2021	\$65,197
2-6	SEW-144	Gracemere STP Inlet works to meet at least 20,000EP. Completed in 2017.	Constructed	\$779,683
2-6	SEW-145	Gracemere STP Mechanical dewatering to improve sludge handling in line with future capacity. Completed in 2018.	Constructed	\$45,369
2-3	SEW-146	Construction of recycled water pump station and distribution mains to supply recycled water to nearby customers and irrigate SRFL	2021	\$1,874,783

		grassed embankments. Installation of mechanical dewatering for improved biosolids handling and storage post construction of the SRFL.		
2-6	SEW-147	150mm Rising main (Capricorn Street Sewage Pump Station to existing 200mm Rising main on Somerset Road) - 490m	2031	\$195,484
Total				\$77,747,188

Table SC3.4.3 - Transport network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
3-6	T-2	Intersection Upgrade	2021	\$1,427,071
3-6	T-3	(Stage 1) Upgrade Alexandra Street between Farm Street and Maloney Street to four lane Urban Arterial	2031	\$3,066,302
3-6	T-4	Alexandra Street - (Stage 2) Upgrade Alexandra Street between Maloney Street and Werribee Street to four lane Urban Arterial	2036	\$4,926,605
3-6	T-5	Alexandra Street - (Stage 3) Upgrade Alexandra Street between Werribee Street and Limestone Creek to four lane Urban Arterial	2036+	\$3,682,275
3-10	T-6	Alexandra Street - Bridge Duplication on Alexandra Street over Limestone Creek.	2036+	\$13,157,104
3-10	T-7	Alexandra Street - (Stage 4) Upgrade Alexandra Street between Limestone Creek and Wade street to four lane Urban Arterial	2036+	\$1,868,726
3-10	T-8	Alexandra Street - (Stage 5) Upgrade Alexandra Street between Wade Street and Birkbeck Drive to tow lane Urban Sub-Arterial	2031	\$6,439,087
3-10	T-9	Boundary Road - Upgrade Boundary Road (East) between Kidd Street and Norman Road to Major Urban Collector	2021	\$1,066,029
3-10	T-10	Norman Road - Upgrade to Major Urban Collector from Boundary Road to Olive Street	2036	\$5,075,948
3-4	T-15	Breakspear Street - Upgrade to Major Urban Collector (from Johnson Road to Rosewood Avenue)	2026	\$2,402,734
3-4	T-17	Lucas Street - Upgrade to Major Urban Collector (from Johnson Road to Allen Road)	2026	\$3,424,381
3-4	T-18	Cherryfield Road - Upgrade to Major Urban Collector (from Johnson Road to Washpool Road)	2021	\$685,663
3-4	T-19	Allen Road - Upgrade to Major Urban Collector (from Gavial-Gracemere Road to Lucas Street)	2026	\$2,514,856
3-9	T-22	Alexandra St / Main St Intersection Upgrade	2036	\$1,068,331
3-6	T-23	Farm St / Hinchliff St Intersection Upgrade	2031	\$1,190,035
3-8	T-34	Norman Road - (Stage 1) Construct additional lanes and associated works, between Nagle Drive and Foulkes Street intersections, upgrade to Urban Arterial Standard.	2036	\$4,238,414

3-8	T-35	Norman Road - (Stage 2) Construct additional lanes and associated works, between Foulkes Street and Rockhampton-Yeppoon Road intersections, upgrade to Urban Arterial standard.	2036	\$1,402,337
3-10	T-36	Olive Street - (Stage 1) Upgrade Olive Street between Norman Road and Bruce Highway to Major Urban Collector, with a 40m wide corridor	2036+	\$2,471,697
3-4	T-46	James Street - Upgrade to Major Urban Collector (from Platen Street to Viney Street)	2026	\$2,046,945
3-4	T-47	Middle Road - Upgrade to Major Urban Collector (from Johnson Road to Capricorn Street)	2031	\$2,183,385
3-4	T-49	Somerset Road - Upgrade to Industrial Collector (from 117 Somerset Road to Stewart Street)	Constructed	\$584,888
3-4	T-51	Macquarie Street - Upgrade to Industrial Collector (from Somerset Road to Middle Road)	2021	\$3,630,868
3-4	T-53	Capricorn Street - Upgrade to Industrial Collector (from Somerset Road to Middle Road)	2031	\$3,419,642
3-4	T-56	Douglas Street - (Stage 2) Construct extension of Douglas Street (from Gracemere Overpass to Douglass Street/Somerset Road link) Build as Industrial Collector.	2036	\$7,190,681
3-5	T-57	Douglas Street - (Stage 3) Construct extension of Douglas Street (from Douglas Street/Somerset Road link to Morgan Street) Build as Industrial Collector	2036+	\$6,236,793
3-4	T-58	Somerset Road - (Stage 1) Construct extension of Somerset Road (from Gracemere Overpass to Douglas Street/Somerset Road link) Build as Industrial Collector	2036	\$4,813,129
3-5	T-59	Somerset Road - (Stage 2) Construct extension of Somerset Road (from Douglas Street/Somerset Road link to Wiseman Street) Build as Industrial Collector	2036+	\$3,563,016
3-5	T-61	Boongary Road - Designate as Rural Arterial (from Halfpenny Road to Kabra Road)	2021	\$918,197
3-5	T-62	Construct new road link between Somerset Road and Douglas Street opposite Kabra-Scrubby Creek Road	2036+	\$6,079,472
3-4	T-66	Johnson Road / Middle Road Intersection Upgrade	2031	\$496,914
3-4	T-67	Johnson Road / Breakspear Street Intersection Upgrade	2026	\$1,061,004
3-4	T-68	Johnson Road / Lucas Street Intersection Upgrade	2036+	\$1,061,004

3-10	T-69	Norman Road - Construct one lane in each direction to establish a new Major Collector link between the Norman Road/Rockhampton-Yeppoon Road Intersection and Norman Road/Boundary Road Intersection	2036+	\$5,158,356
3-4	T-73	Webster Street - Upgrade to Major Urban Collector (from Riley Drive to Victoria Street)	2026	\$314,736
3-4	T-74	Webster Street - Extend Webster Street eastward as Major Urban Collector	2031	\$3,859,329
3-10	T-81	McMillan Avenue - Construct extension of McMillan Avenue south from Olive Street extended for 100m (approx.). Build as Major Urban Collector, with a 30m wide corridor.	2036+	\$830,640
3-10	T-82	McMillan Avenue -Construct extension of McMillan Avenue (from T-81 to existing McMillan Avenue Construction). Build as Major Urban Collector, with a 30m wide corridor.	2036+	\$418,378
3-4	T-84	Allen Road - New Major Urban Collector (from Lucas Street to Deaves Avenue, and second entry into future development on Lot 1 on LN1538)	2036	\$3,303,008
3-4	T-86	Middle Road - Built to Major Urban Collector standard (from Capricorn Street to Macquarie Street)	Constructed	\$3,587,922
3-4	T-90	Somerset Road - Upgrade to Industrial Collector (from 117 Somerset Road to 31 Somerset Road (Pacific National))	2036	\$2,905,256
3-10	T-92	McMillan Avenue - Upgrade to Major Urban Collector (from T-82 to T-690, with a 30m wide corridor.	2036+	\$3,135,512
3-4	T-93	Washpool Road - Upgrade to Major Urban Collector from Cherryfield road to Future Intersection for Lot 4 on SP119672	2021	\$2,100,492
3-4	T-94	Washpool Road Connector Stage 1 - Connect Washpool Road to Washpool Creek as Major Urban Collector	2026	\$2,000,083
3-4	T-95	Washpool Road Connector Stage 2 - Connect Washpool Creek to Allen Road as Major Urban Connector	2036+	\$860,290
3-10	T-96	Alexandra St / Birckbeck Dr / Belmont Rd Intersection - Major upgrade to roundabout configuration and associated works	2026	\$2,210,385
3-10	T-97	Alexandra Street Extended - Stage 1 Construct extension of Alexandra Street (from Birkbeck Drive / Belmont Road intersection to William Palfrey Road). Build as Major Urban Collector.	2026	\$8,935,831
3-10	T-98	William Palfrey Road - Upgrade to Major Urban Collector	2031	\$5,439,845

3-10	T-99	William Palfrey Road - Deviation of William Palfrey Road to join at Olive Street. Build as Major Urban Collector, with a 40m wide corridor (to cater for future Urban Arterial)	2021	\$2,284,154
3-10	T-100	William Palfrey Rd / Olive St Intersection - Construct three-leg signalised intersection at new William Palfrey Road / Olive Street intersection	2026	\$1,573,877
3-10	T-101	William Palfrey Road - Deviation of William Palfrey Road to join at Olive Street. Build as Major Urban Collector, with a 30m wide corridor.	2026	\$2,863,932
3-10	T-102	William Palfrey Road - Upgrade to Major Urban Collector, with a 30m wide corridor	2031	\$4,718,888
3-10	T-103	McLaughlin Street Extended - Acquire road corridor for post-2031 link. Future link will be an Urban Arterial with a 40m wide corridor, existing corridor is 20m.	2036+	\$434,000
3-4	T-104	Allen Road - Upgrade to Sub-Arterial for the first 550m (approx.) from Gavial-Gracemere Road to possible new intersection for Lot 1 on LN1538.	2031	\$2,312,207
3-4	T-105	Washpool Road - Upgrade to Major Urban Collector from T-93 to 136 Washpool Road	2026	\$3,884,184
3-10	T-106	Alexandra St Extended / William Palfrey Rd Intersection - Construct intersection (roundabout configuration) and associated works	2031	\$2,754,330
3-10	T-107	McMillan Avenue - Upgrade to Major Urban Collector (from T-10 to T-92), with a 30m wide corridor.	2036+	\$3,452,852
3-1	T-108	Canning Street / Denham Street Intersection Upgrade	2031	\$2,219,428
3-1	T-109	Canning Street / Fitzroy Street Intersection Upgrade	2031	\$2,407,515
3-12	T-110	Canning Street / Albert Street Intersection Upgrade	2026	\$2,313,471
3-8	T-111	Norman Road / Moores Creek Road Intersection Improvements	2031	\$815,641
3-6	T-112	Alexandra Street / Werribee Street Intersection Upgrade	2031	\$2,407,515
3-4	T-113	Washpool Creek Bridge - Construct 2 lane bridge over Washpool Creek	2036+	\$4,645,711
Total				\$187,541,306

Table SC3.4.4 – Stormwater network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
4-12	D-1	Parkhurst East Drainage Scheme (Stage 1) - Construct major drainage network from northern extent of Bean Avenue toward Olive Street	2021	\$644,149
4-12	D-2	Norman Road cross-drainage - Construct new cross-drainage under Norman Road	2021	\$316,936
4-12	D-3	McMillan Avenue cross-drainage - Upgrade cross-drainage in McMillan Avenue	2021	\$665,945
4-12	D-4	Parkhurst East Drainage Scheme (Stage 2) - Establish major drainage network upstream from McMillan Avenue cross-drainage	2021	\$679,824
4-5	D-5	Drainage Path North of Washpool Road - Establish major drainage system corridor parallel to Washpool Road	2026	\$1,817,507
4-5	D-6	Gracemere Industrial Area drainage (Gracemere Creek) - Establish major drainage system corridor	2021	\$1,600,000
4-5	D-25	Gracemere Drainage Path (Middle Road to Railway Line) - Establish major drainage system corridor from Middle Road to northern boundary of Lot 242 on LN837879	2021	\$780,000
4-5	D-26	Gracemere Industrial Area - West of Overpass - Establish major drainage system corridor	2026	\$700,000
4-5	D-27	Gracemere Industrial Area - East of Overpass - Establish major drainage system corridor	2026	\$50,000
4-5	D-28	Reigel Drive to Washpool Road - Establish major drainage system corridor	2026	\$7,616,663
4-12	D-29	North of Olive Street to Yaamba Road - Establish major drainage system corridor	2026	\$245,000
4-12	D-31	North of Olive Street across Yaamba Road downstream of D-29 - Establish major drainage system corridor	2031	\$60,000
4-5	D-33	North of Reigel Drive toward Cherryfield Road - Establish major drainage system corridor	2026	\$677,045
4-5	D-36	Victoria Street and Webster Street Drainage - Establish major drainage system corridor	2031	\$150,000
4-5	D-37	Gracemere Industrial Area Regional Detention Basin	2026	\$6,672,303
Total				\$22,675,372

Table SC3.4.5 – Parks and land for community facilities schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
5-6	PCL501	District sports park - Land and embellishments	2026	\$4,317,588
5-6	PCL503	District park - Land and embellishments	2026	\$1,698,691
5-6	PCL505	District sports park - Land and embellishments	2031	\$4,317,588
5-14	PCL513	District park -Land and embellishments	2021	\$3,393,691
5-14	PCL514	Regional community facility - Land	2021	\$248,158
5-14	PCL515	District sports park - Embellishments	2026	\$3,560,088
5-12	PCL516	District park - Land and embellishments	2026	\$5,753,691
5-13	PCL518	Regional park - Embellishments	Completed	\$11,918,570
5-10	PCL520	District park - Embellishments	2026	\$2,709,107
5-5	PCL521	District park - Embellishments	2026	\$596,846
5-9	PCL522	District park - Embellishments	2026	\$596,846
5-20	PCL523	District park - Embellishments	2026	\$596,846
5-16	PCL524	District park - Embellishments	2026	\$1,193,691
5-16	PCL525	Regional park - Land and Embellishments	Completed	\$34,590,265
Total				\$75,491,666

Schedule 4 Notations required under the *Planning Act 2016*

SC4.1 Notation of decisions affecting the planning scheme under section 89 of the Act

Table SC4.1.1 — Notation of decisions affecting the planning scheme under section 89 of the Act

Date of decision	Location (real property description)	Decision type	File/Map reference
13/10/2015	274, 276-278 and 280-282 George Street, ROCKHAMPTON QLD 4700 (Lots 2-4 RP600286; Lots 1-4 RP600287; Lot 13 RP600293)	Material change of use for a vehicle depot	D/39-2015
10/11/2015	9 Belmont Road, PARKHURST QLD 4702 (Lot 28 RP618145)	Reconfiguring a Lot (one lot into two lots)	D/103-2015
27/01/2016	179 Somerset Road, GRACEMERE QLD 4702 (Lot 1 RP616167)	Material change of use for a vehicle depot	D/25-2015
08/03/2016	1014-1016 Yaamba Road, PARKHURST QLD 4702 (Lot 3 RP619710)	Material change of use for short-term accommodation (six units)	D/155-2015
24/05/2016	16 Alan Drive, FRENCHVILLE QLD 4701 (Lot 25 SP238738)	Material change of use for a child care centre	D/151-2015
26/05/2016	Lot 2330 South Yaamba Road, SOUTH YAAMBA QLD 4702 (Lot 2330 LIV40846)	Material change of use for an undefined use (Rural entertainment and function facility with ancillary accommodation)	D/106-2015
09/06/2016	241 Bolsover Street, ROCKHAMPTON QLD 4700 (Lot 3 RP600250)	Material change of use for an educational establishment	D/177-2015
26/07/2016	72 McMillan Avenue, PARKHURST QLD 4702 (Lot 3 SP264078)	Material change of use for outdoor sport and recreation	D/176-2015
27/09/2016	110 and 112 Clifton Street, BERSERKER QLD 4701 (Lot 13 RP603409; Lot 15 RP603409)	Material change of use for a multiple dwelling (ten units)	D/3-2016
21/10/2016	32 Reaney Street, BERSERKER QLD 4701 (Lot 2 RP603338)	Material change of use for a dwelling house	D/138-2016

Date of decision	Location (real property description)	Decision type	File/Map reference
04/11/2016	19 Eucalyptus Crescent, NORMAN GARDENS QLD 4701 (Lot 4 SP163932)	Material change of use for a dwelling house	D/84-2016
08/11/2016	63 Farm Street, KAWANA QLD 4701 (Lot 1 RP607631)	Material change of use for a transport depot	D/110-2016
08/11/2016	3 O'Shanesy Street, GRACEMERE QLD 4702 (Lot 1 RP602231)	Material change of use for health care services and a shop and operational works for advertising services (awning facia sign, wall sign and billboard sign)	D/131-2016
28/07/2017	Lot 503 Nagle Drive, NORMAN GARDENS QLD 4701 (Lot 503 SP266441)	Reconfiguring a Lot (one lot into thirty-one lots)	D/191-2016
15/09/2017	169 Gladstone Road, ALLENSTOWN QLD 4700 (Lot 1 RP600990)	Material Change of Use for a Telecommunication Facility	D/42-2017
15/09/2017	143 Stanley Street and 66 Gladstone Road, ALLENSTOWN QLD 4700 (Lot 23 RP603294, Lots 2, 3 and 7 RP603294 and Lots 1 and 2 RP603161)	Material Change of Use for an Agricultural Supplies Store (ancillary car park)	D/43-2017
10/11/2017	54077 Burnett Highway, GRACEMERE QLD 4702 (Lot 240 P4050)	Material Change of Use for a Dwelling House	D/98-2017
28/11/2017	116 and 124 William Street, ROCKHAMPTON QLD 4700 (Lot 0 GTP60042 and Lot 5 GTP60042)	Material Change of Use for a Food and Drink Outlet	D/77-2017
14/12/2017	263A Belmont Road, PARKHURST QLD 4702, Lot 138, 139, 1743 and 1918 D Berrys Road PARKHURST QLD 4702 and Lot 2 Belmont Road, GLENLEE QLD 4711 (Lot 91 SP224420, Lot 1743 LIV40543, Lot 1918 LIV40627, Lot 2 RP601957, Lot 138 and Lot 139 PL4021)	Material Change of Use for an Extractive Industry, High Impact Industry and Warehouse Extractive Industry, High Impact Industry, Warehouse, Environmentally Relevant Activity 16 (Extractive and Screening Activities) and Environmentally Relevant Activity 53 (Composting and Soil Conditioner Manufacturing)	D/158-2016
14/12/2017	277 Yeppoon Road and 66 Alfred Road, PARKHURST QLD 4702	Reconfiguring a Lot (two lots into five lots) and Access Easement	D/19-2017

Date of decision	Location (real property description)	Decision type	File/Map reference
	(Lot 1844 LIV 40662 and Lot 485 LIV 40112)		
20/02/2018	138 Denham Street, ALLENSTOWN QLD 4700 (Lot 1-2 RP600326)	Material Change of Use for a Hotel (Extensions for an Ancillary car Park and Beer Garden)	D/125-2017
27/02/2018	128 Western Street, WEST ROCKHAMPTON QLD 4700 (Lot 101 SP123574)	Building Works Assessable against a Planning Scheme for Outdoor Sport and Recreation	D/13-2018
10/04/2018	Lot 93 and Lot 96 Nine Mile Road, PINK LILY QLD 4702 (Lot 93 and Lot 96 PL4022)	Material Change of Use for a Transport Depot and Extractive Industry	D/90-2017
26/04/2018	9 Kelly Road, GRACEMERE QLD 4702 (Lot 2 RP885689)	Reconfiguring a Lot (one lot into two lots)	D/136-2017
27/07/2018	Lot 1 Capricorn Highway, GRACEMERE QLD 4702 (Lot 1 and Lot 2 on RP617280)	Material Change of Use for a Service Station and Ancillary Food and Drink Outlet	D/146-2017
17/08/2018	135 and 143 Alma Street, Rockhampton City QLD 4700 (Lot 11 on RP602506 and Lot 307 on R1675)	Material Change of Use for a Parking Station	D/45-2018
28/08/2018	342-350 Holt Street, Frenchville (Lot 153 on RP866052)	Material Change of Use for a House	D/90-2015
13/11/2018	59793 Bruce Highway, Midgee (Lot 2 on RP888747)	Material Change of Use for Extractive Industry, Medium Impact Industry and a Warehouse	D/79-2017
20/06/2019	346A Archer Road, Mount Morgan (Lot 16 on SP208184)	Material Change of Use for a Telecommunications Facility	D/120-2018
11/11/2019	608 Montgomerie Street, Lakes Creek (Lot 75 on RP603370)	Material Change of Use for a Dwelling House	D/65-2019
13/12/2019	140 William Street, Rockhampton City (Lot 2 and 3 on RP606144)	Material Change of Use for Health Care Services	D/82-2019
19/02/2020	4 Featherstone Street, Parkhurst (Lot 1 on RP617306)	Material Change of Use for a High Impact Industry and Environmentally Relevant Activity 62 (Resource Recovery and Transfer Facility Operation)	D/102-2019
20/02/2020	15 Jellicoe Street, Port Curtis (Lots 27 & 28 on RP600807)	Material Change of Use for a Place of Worship (Samadhi Buddhist Temple)	D/105-2019

Date of decision	Location (real property description)	Decision type	File/Map reference
21/02/2020	56 Emmert Lane, Ridglands (Lot 19 on P4052)	Material Change of Use for a High Impact Industry (Poultry Abattoir)	D/78-2019
03/04/2020	998-1002 and 1014-1016 Yaamba Road, Parkhurst (Lot 3 and Lot 4 on SP316476)	Short Term Accommodation and Relocatable Home Park	D/99-2019
09/04/2020	59793 Bruce Highway, Midgee	High Impact Industry and Environmentally Relevant Activity	D/83-2019
07/10/2020	392C Alexandra Street and 17 Bush Crescent, Parkhurst	Reconfiguring a Lot (two lots into two lots)	D/103-2020
19/10/2020	162 Middle Road, Gracemere	Material Change of Use for Special Industry (manufacturing liquid fertiliser (urea-ammonium nitrate) and Environmentally Relevant Activity 7 – Chemical Manufacturing	D/69-2020
20/11/2020	20-26 Albert Street and 34 Kent Street, Rockhampton City	Material Change of Use for a Service Station and Operational Works for Advertising Devices (Two (2) Freestanding Signs, one (1) Canopy Sign and one (1) Fascia Sign)	D/28-2020
14/12/2020	4 Phoebe Street, Lakes Creek	Material Change of Use for a Dwelling House	D/88-2020
15/12/2020	123 Von Allmen Road, Pink Lily	Material Change of Use for a Dwelling House (building envelope)	D/50-2020
1/02/2021	452 Lakes Creek Road, Lakes Creek	Material Change of Use for a Dual Occupancy	D/120-2020
12/03/2021	40-44 Albert Street, Rockhampton City	Material Change of Use for a Food and Drink Outlet (Drive-Through Coffee Shop) and Operational Works for an Advertising Device (Wall Sign and Projecting Sign)	D/127-2020
23 March 2021	540 Weir Park Road, Gogango	Material Change of Use for Extractive Industry and High Impact Industry (concrete batching) and Environmentally Relevant Activity 16 (Extractive and Screening Activities)	D135-2020
11 June 2021	625 Montgomerie Street, Lakes Creek	Material Change of Use for a Dwelling House (Building Envelope)	D91-2020
25 June 2021	24 Murphy Road, Kabra	Material Change of Use for Animal Keeping (Horse Training for four (4) horses)	D15-2021
19 October 2022	3 Sturt Street, Parkhurst (Lot 6 on SO216432)	Material Change of Use for Medium Impact Industry	D39-2022

Date of decision	Location (real property description)	Decision type	File/Map reference
		(Spray Painting and Abrasive Blasting)	
1 November 2022	127 East Street, Mount Morgan (Lot 2 on RP605219)	Material Change of Use for Dwelling House (Within Existing Building)	D92-2022
20 December 2022	3 Glenmore Road, Park Avenue (Lot 43 on LN1499 & Lot 1 on CP848924)	Material Change of Use for Outdoor Sales (Caravan and Recreational Vehicle Sales)	D19-2022
2 June 2023	150 Port Curtis Road, Port Curtis (Lot 3 on LN1187)	Material Change of Use for Medium Impact Industry (Industrial Spray-painting Facility) and Building Works Assessable against the Planning Scheme (Industrial Spray-Painting Facility)	D23-2023
21 June 2023	452-488 Yaamba Road, Norman Gardens (Lot 25 on RP610513)	Material Change of Use for Shopping Centre, Showroom and Multiple Dwellings (12 Townhouses)	D77-2022
27 June 2023	1018-1038 Yaamba road, Parkhurst (Lot 81 on SP300144)	Material Change of Use for Service Station, Reconfiguring a Lot (one lot into two lots and access easements) and Operational Works for Advertising Devices (Pylon Sign x 1, Wall Sign x 2 and Canopy Sign x 3)	D25-2020
18 July 2023	227 Somerset Road, Gracemere (Lot 1 on RP609889)	Material Change of Use for Non-Resident Workforce Accommodation	D34-2021
18 July 2023	304 Quay Street, Rockhampton City (Lot 1 on RP608441)	Material Change of Use for Special Industry (Microbrewery, Hotel and Shop)	D2-2023

Editor's note—This schedule must include details of:

- (1) development approvals that are substantially inconsistent with the planning scheme;
- (2) variation approvals; and
- (3) decisions agreeing to a superseded planning scheme request to apply to a superseded scheme to a particular development.

SC4.2 Notation of resolution(s) under Chapter 4, Part 2, Division 2 of the Act

Table SC4.2.1 — Notation of resolutions under Chapter 4, Part 2, Division 2 of the Act

Date of resolution	Date of effect	Details	Contact information
12 August 2014	25 August 2014	Adopted Infrastructure Charges Resolution (No. 4) 2014	Available on Council's website, or by calling 1300 22 55 77

28 September 2015	28 September 2015	Adopted Infrastructure Charges Resolution (No. 5) 2015	Available on Council's website, or by calling 1300 22 55 77
25 January 2022	1 July 2022	Charges Resolution No.1 of 2022	Available on Council's website, or by calling 1300 22 55 77

Editor's note—This schedule should provide details regarding the adopted infrastructure charges for the local government and where a copy of the adopted charges can be obtained, including a link to the local government website where a copy of the infrastructure charges resolution can be viewed or downloaded.

SC4.3 Notation of registration for urban encroachment provisions under section 267 of the Act

Table SC4.3.1 — Notation of registrations made under section 267 of the Act

Date of registration of the premises	Date of effect	Details	Contact information

Schedule 5 Designation of premises for development

Table SC5.1 — Designation of premises for development of infrastructure under section 42 of the Act

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
PRE- 2008:			
8/09/2000	RP612339/1 RP612339/2	2-78 Canning Street, The Range QLD 4700	(h) hospitals and associated institutions: Rockhampton Hospital.
<p>Designation matters: Designation details number: 169 Effective: 8/09/2000 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
30/04/1999	LN1609/207	25 Yeppoon Road, Parkhurst QLD 4702	(s) any other facility not mentioned in paragraphs (a) to (r) and intended primarily to accommodate government functions: Department of Primary Industries – Central Office.
<p>Designation matters: Designation details number: 226 Effective: 30/04/1999 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
11/05/2001	SP104414/2	163-171 Robinson Street, Frenchville QLD 4701	(s) any other facility not in (a) to (r) and intended to accommodate government functions: North Rockhampton Police Station
<p>Designation matters: Designation details number: Unknown Effective: 11/05/2001 Designation method: Ministerial designation Designation status: Current Designation requirements: Unknown</p>			
POST 15 MARCH 2008:			
22/08/2008	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland	Various – refer to table gazetted in Queensland Government Gazette No. 116 on 22/08/2008	(k) operating works under the <i>Electricity Act 1994</i> : Powerlink Queensland's proposed Bouldercombe to

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
	Government Gazette No. 116 on 22/08/2008		Pandoin 132 KV transmission line, Pandoin Substation and upgraded Bouldercombe Substation.
<p>Designation matters: Designation details number: 613 Effective: 22/08/2008 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
07/08/2009	RP606218/25	214 Richardson Road, Park Avenue QLD 4701	(r) storage and works depot and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure): A mechanical workshop for plant, equipment and vehicles used by the Department Transport and Main Roads as well as other government departments in the central Queensland area; office accommodation for various groups of staff who work on roads; storage of supplies used in road making activities; and a laboratory for testing of soil, asphalt and other raw road making material.
<p>Designation matters: Designation details number: 665 Effective: 07/08/2009 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
02/09/2011	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland	Various – refer to table gazetted in Queensland Government Gazette No. 3 on 02/09/2011	(11) operating works under the <i>Electricity Act 1994</i> : Banana Shire Council and Rockhampton

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
	Government Gazette No. 3 on 02/09/2011		Regional Council – see Gazette notice.
<p>Designation matters: Designation details number: 767 Effective: 02/09/2011 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
26/08/2011	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland Government Gazette No. 122 on 26/08/2011	Various – refer to table gazetted in Queensland Government Gazette No. 122 on 26/08/2011	(11) operating works under the <i>Electricity Act 1994</i> : A new 10.2km 132kV single circuit concrete pole transmission line from the Stanwell Substation to the proposed Queensland Rail National Wycarbah Substation.
<p>Designation matters: Designation details number: 768 Effective: 26/08/2011 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
20/07/2012	CP888751/239	128 Berserker Street, Berserker QLD 4701	(4) community and cultural facilities, including facilities where a child-care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries; (6) education facilities; and (15) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure Berserker Street State School and Rockhampton Children and Family Centre.
<p>Designation matters: Designation details number: 818 Effective: 20/07/2012</p>			

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
<p>Designation method: Ministerial designation Designation status: Current – re-affirms the current use of the land and facilitates future development of the site for its given purposes Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
16/08/2013	LN1929/196	55 Johnson Road, Gracemere QLD 4702	(4) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National Law (Queensland) is operated or a child care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries; (6) education facilities; and (15) storage and works depot and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure; Waraburra State School and Kindergarten and associated facilities
<p>Designation matters: Designation details number: 860 Effective: 16/08/2013 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation does not include requirements about the works or use of the land for the community infrastructure</p>			
<u>07/07/2017</u>	<u>R26334/7</u> <u>RP602438/10</u> <u>RP602438/11</u>	<u>91-115 William Street, Rockhampton City QLD 4700</u>	4) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National Law (Queensland) is operated or a child care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries;

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
			(6) educational facilities; and (15) storage and works depots and similar facilities, including administrative facilities associated with the provision or maintenance of the following community infrastructure: Rockhampton Special School
<p>Designation matters: Designation details number: Unknown Effective: 07/07/2017 Designation method: Ministerial designation Designation status: Current Designation requirements: Unknown</p>			
<u>25/10/19</u>	The designation allows for the construction of the approximately 8.7 kilometres long levee across 58 properties as described in the table gazetted in Queensland Government Gazette No. 56 on 25/10/2019	Various – refer to table gazetted in Queensland Government Gazette No. 56 on 25/10/2019	<u>(17)</u> water cycle management infrastructure
<p>Designation matters: Designation details number: MID-0119-0321 Effective: 25/10/19 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>17/1/2020</u>	P4031/410	9 Russell Street Gracemere 4702	(8) emergency services facilities
<p>Designation matters: Designation details number: MID-1019-0378 Effective: 17/1/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>29/5/2020</u>	SP318433/10 (previously SP304742/100 RP606826/1)	11 Mason Avenue, Parkhurst, QLD, 4702	(6) educational facilities (9) facilities at which an education and care service under the Education Care Services National Law (Queensland) is operated

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
			(10) facilities at which a QEC approved service under the Education and Care Services Act 2013 is operated.
<p>Designation matters: Designation details number: MID-1219-0393 Effective: 29/5/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>17/7/2020</u>	SP318492/1	12 Nuttall Street, Parkhurst (previously 607-701 Yaamba Road, Parkhurst, QLD, 4702)	(12) hospitals and health care services (19) any other facility not stated in this part that is intended mainly to accommodate government functions
<p>Designation matters: Designation details number: MID-0520-0419 Effective: 17/7/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>25/10/2022</u>	CP816738/1	2 Murray Street, Wandal QLD, 4700	Education (Hall State School)
<p>Designation matters: Designation details number: MID-0222-0570 Effective: 25/10/2022 Designation method: Ministerial infrastructure designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			

Note—The Act requires a local government to note any community infrastructure designation outside and near the planning scheme area.

[Intentionally blank]

SC6 Planning scheme policies

SC6.1 Planning scheme policy index

The Table SC6.1.1 below lists all the planning scheme policies applicable to the planning scheme area.

Table SC6.1.1 — Planning scheme policy index

Planning scheme No.	Planning scheme policy title
SC6.2	Advertising devices planning scheme policy
SC6.3	Air, noise and hazard assessments planning scheme policy
SC6.4	Bicycle network planning scheme policy
SC6.5	Bushfire management planning scheme policy
SC6.6	Car parking contributions planning scheme policy
SC6.7	Coastal protection management planning scheme policy
SC6.8	Ecological assessment planning scheme policy
SC6.9	Economic impact assessment planning scheme policy
SC6.10	Flood hazard planning scheme policy
SC6.11	Geotechnical report planning scheme policy
SC6.12	Landscape design and street trees planning scheme policy
SC6.13	Local heritage planning scheme policy
SC6.14	Local parks planning scheme policy
SC6.15	Road infrastructure and hierarchy planning scheme policy
SC6.16	Scenic amenity planning scheme policy
SC6.17	Sewerage infrastructure planning scheme policy
SC6.18	Stormwater management planning scheme policy
SC6.19	Structure plan planning scheme policy
SC6.20	Waste management planning scheme policy
SC6.21	Water supply infrastructure planning scheme policy

SC6.2 Advertising devices planning scheme policy

SC6.2.1 Application

This planning scheme policy is used for all development requiring an application to Council made under the *Planning Act 2016* and the planning scheme if involving an advertising device.

SC6.2.2 Purpose

The purpose of this planning scheme policy is to:

- (1) Assist in the administration of the advertising devices code; and
- (2) Advise how to calculate maximum total sign face area under this planning scheme.

SC6.2.3 Advice for calculating maximum total sign face area

This planning scheme policy provides advice on how to calculate the maximum total sign face area for advertising devices at any given site. Compliance with the maximum total sign face area for advertising devices based on the calculation methodology stated below will assist in demonstrating that the design of the advertising device does not visually dominate the premises or streetscape.

The maximum sign face area for an advertising device at any given site is the higher of the areas calculated using the following two (2) calculation methods:

- (1) The boundary length calculation method; or
- (2) The building elevation calculation method.

Total sign face area for a premises = the sum of all sign face areas of existing advertising devices on the premises.

To establish maximum sign face area, the applicant must subtract the total sign face area to establish the remaining sign face area permitted for a premise.

For advertising devices that advertise on the front and back, the sign face area of only one side of the advertising device contributes to the total sign face area.

To remove any doubt, decorating lines, stripes and architectural trims whether illuminated or non-illuminated (that are not part of a logo, trademark, etcetera), do not form part of the calculated total sign face area.

For a site with more than one (1) tenancy or business, the maximum total sign face area is increased by twenty-five (25) per cent. For a site with more than one (1) street frontage (for example corner sites) the maximum total sign face area for each street frontage shall be calculated separately and all advertising devices shall be positioned so as to face the relevant street for which the calculation has been made. Sign face area can not be transferred from one frontage to another.

SC6.2.3.1 Boundary length calculation method

The boundary length calculation method is based on the length of the site fronting the street on which the advertising device is to be located.

Under this method the maximum sign face area is calculated as follows:

Maximum sign face area = the length of the site frontage multiplied by one (1) square metre.
Maximum sign face area – total sign face area = remaining sign face area of the premises.

Editor's note—If located on a corner site that has been truncated, measure from the point created by extending both property boundaries facing the street through each other as if there was no truncation. Should the advertising device be proposed on both frontages (e.g. curved signs) and they differ in length; an average of each frontage that the advertising device is located on is used to establish maximum sign face area.

SC6.2.3.2 Building elevation calculation method

The building elevation calculation method is based on the height and width of the building fronting the street on which the advertising device is to be located or to which the advertising device will refer to (or more specifically a business, group or organisation within the building).

Table SC6.2.3.2.1 below provides the basis for calculating the maximum sign face area for a site containing a single or multistorey building. For the purposes of Table SC6.2.3.2.1, the building width of a storey in a building is calculated by projecting the floor area of each storey onto a horizontal plane, then measuring the horizontal width of the frontage of each storey to the street frontage to which the advertising device will face. To remove any doubt, a mezzanine or partial storey is a storey for the purposes of Table SC6.2.3.2.1.

Table SC6.2.3.2.1 — Basis for calculating total sign face area for a site

Sign face area per metre of building width	Storey
1.0 square metres of sign face area per metre of building width	The ground level storey
0.5 square metres of sign face area per metre of building width	The first storey above the ground level storey
0.25 square metres of sign face area per metre of building width	For each additional storey

The manner in which the total sign face area is calculated is demonstrated using Figure SC6.2.3.2.2 and Figure SC6.2.3.2.3 below.

For a building such as that shown below in Figure SC6.2.3.2.2, the process is to look at the development in plan view and to then project the width of the building towards the street that the total sign face area is being calculated for, as shown in Figure SC6.2.3.2.3.

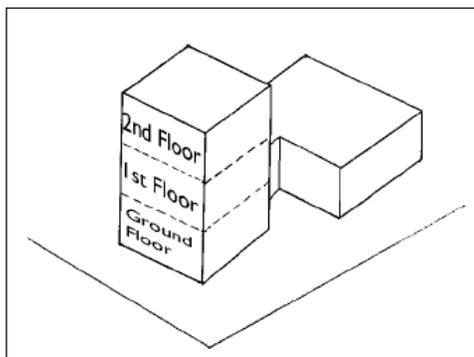


Figure SC6.2.3.2.2 — Schematic 3-D view of building for calculating total sign face area

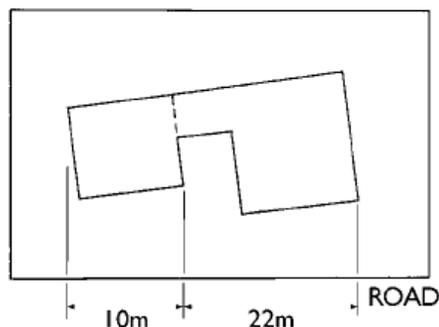


Figure SC6.2.3.2.3 — Plan view of building for calculating total sign face area

Based on Figure SC6.2.3.2.3 above, the total ground floor building width is thirty-two (32) metres, while the width for the first floor and the second floor is ten (10) metres each. Using these figures with the figures in Table SC6.2.3.2.1 above, the total sign face area for the building is:
 $(32 * 1) + (10 * 0.5) + (10 * 0.25)$ which equals 39.5 square metres.

SC6.2.3.3 Examples

Example 1: A site having a single tenant

A two storey building has a street frontage building width of 17.5 metres and is located on a lot having a site frontage to the street of thirty-two (32) metres.

By using the boundary length calculation method:

Maximum total sign face area = 32 metres * 1 square metre

Maximum total sign face area = 32 square metres

By using the building elevation calculation method:

Maximum total sign face area = (17.5 metres * 1 square metre) for the ground floor
+ (17.5 metres * 0.5 square metres) for the first floor

Maximum total sign face area = 26.25 square metres

In this example the boundary length calculation method would be used to determine the maximum total sign face area for the site.

Example 2: A site having multiple advertising devices when using the boundary length calculation method

The premise already has two (2) existing signs and a third advertising device is proposed.

By using the boundary length calculation method:

Existing sign 1 = 12.5 square metres

Existing sign 2 = 3 square metres

Total sign face area = 12.5 + 3 = 15.5 square metres

Boundary length = 40m

$40 \times 1 = 40\text{m}$ square metres (maximum sign face area)

maximum sign face area – total sign face area

40 square metres – 15.5 square metres = 24.5 square metres

Therefore the maximum sign face area for proposed new sign 3 is 24.5 square metres. Refer to Figure SC6.2.3.3.1 for guidance.

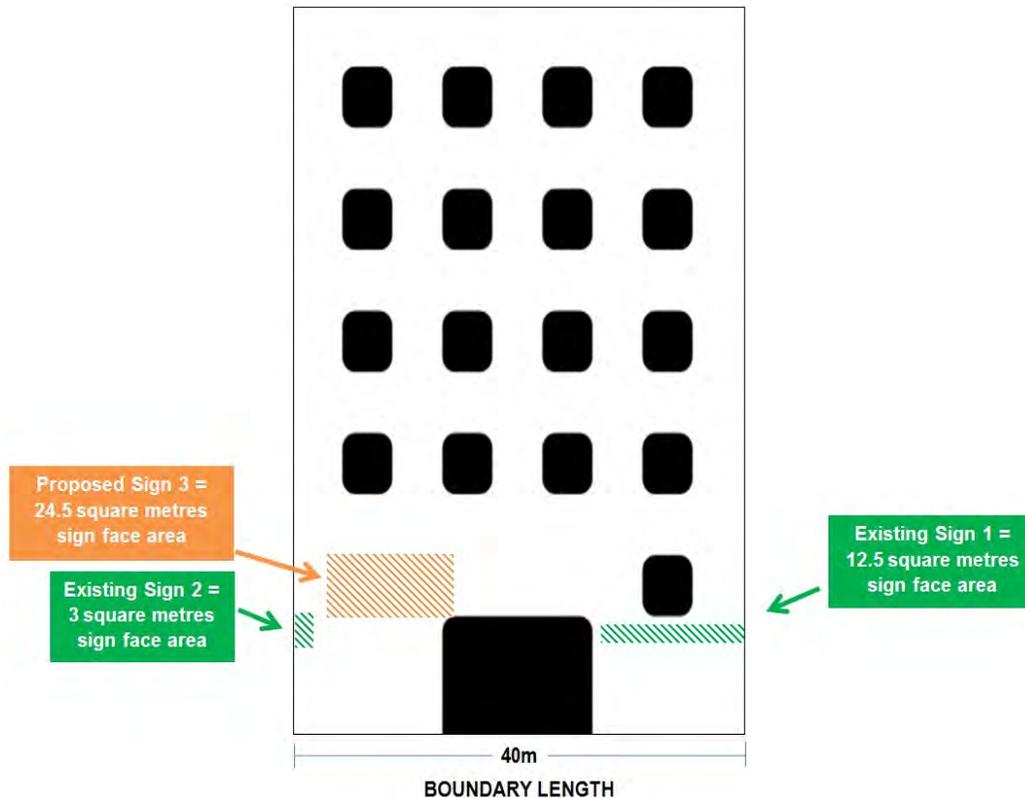


Figure SC6.2.3.3.1 — Front view of building for calculating total sign face area

Example 3: A site having multiple tenants

A site has a frontage of twenty (20) metres and multiple tenancies.

By using the boundary length calculation method:

Total sign face area = 20 metres * 1 square metre

Total sign face area = 20 square metres

Total sign face area = 20 square metres * 1.25 (25 per cent increase allowable)

Total sign face area = 25 square metres

SC6.2.3.4 Advertising on the face of a building where the building face does not adjoin a street

Where a building is visible from a nearby street but does not front or have direct access to that street, the building may contain advertising devices which are visible to the street. The maximum total sign face area for an advertising device is to be calculated using the building elevation calculation method identified in Figure SC6.2.3.2.2, with the width calculations being based only on the floors of the building visible from the street.

SC6.3 Air, noise and hazard assessments planning scheme policy

SC6.3.1 Air impact assessment requirements

SC6.3.1.1 Application

- (1) This planning scheme policy is used to provide methodologies for assessing the impacts of industrial air emissions on sensitive land use(s), typically involving the following steps:
 - (a) gathering information to make a qualitative assessment of air quality impacts;
 - (b) assessing the characteristics of the existing environment; and
 - (c) assessing the cumulative air quality impacts.
- (2) The scope of an air impact assessment should be appropriate to the scale and level of impact that a sensitive land use may be exposed to. This guideline supports a two-tiered approach to reflect the likely level of impact. The two (2) tiers are:
 - (a) Tier 1 — a preliminary assessment to identify whether there is likely to be significant air quality impacts and if further assessment is required; and
 - (b) Tier 2 — a largely quantitative assessment with increased complexity in modelling and reliance on site-specific data.

SC6.3.1.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking an air impact assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses, or within a special management area; or
- (2) proposed industrial uses that are to be located near existing, or future sensitive land use(s).

SC6.3.1.2.1 Tier 1 assessment

The Tier 1 assessment is a qualitative assessment. The purpose of this assessment is to identify and scope the key issues and determine if further assessment is required.

A Tier 1 assessment should involve:

- (1) A description of the surrounding environment, as well as the nature and scale of any surrounding industry uses, focussing on the following:
 - (a) the proximity of the proposed development to industry uses;
 - (b) whether surrounding industry uses will release air emissions as part of manufacturing processes;
 - (c) the types of emissions that are likely to be released from the surrounding industrial land uses;
 - (d) the physical geography of the receiving environment; and
 - (e) the types of industry uses that may be supported by this planning scheme or regional plan.
- (2) A qualitative description of the potential effects, taking into account the emissions and the receiving environment. This should include consideration of the air quality objectives in the *Environmental Protection (Air) Policy 2019*, or where an emission does not have a relevant air quality objective, any other objective in a relevant national or international standard (for example, the World Health Organization Air Quality Guidelines 2005).
- (3) Further air impact assessment under Tier 2 is not required if:
 - (a) there are no actual or potential air emissions (like the air quality indicators listed in the *Environmental Protection (Air) Policy 2019*) released by surrounding industrial land uses; and
 - (b) actual or potential discharges to the air from surrounding or likely industry uses are considered to be well below the air quality objectives in the *Environmental Protection (Air) Policy 2019* or other relevant objective.

SC6.3.1.2.2 Tier 2 assessment

The purpose of a Tier 2 assessment is to undertake dispersion modelling to predict the likely ground level concentrations that a proposed sensitive land use may be exposed to.

A Tier 2 assessment should:

- (1) After consideration of the information gathered in Tier 1 assessment, identify all industries or future industries that may result in air emissions.
- (2) Describe the potential damaging/emergency conditions from those industries identified in Step 1.
- (3) Undertake dispersion modelling to estimate the ground level air concentrations. This modelling should take into account potential damaging/emergency conditions and be carried out by an appropriate method. Specifically this should include consideration of the following elements:
 - (a) emissions inventory;
 - (b) meteorological data;
 - (c) background air quality, terrain, sensitive receptors and building wake effects;
 - (d) dispersion modelling; and
 - (e) interpretation of dispersion modelling results.

An example of an appropriate method is the Approved Methods for the Modelling and Assessment of Air Pollutants in New South Wales prepared by the Department of Environment and Conservation.

Editor's note—The modelled ground level concentrations should be compared against the air quality objectives in the *Environmental Protection (Air) Policy 2019* or in the absence of an air quality objective, any relevant national or international objective (for example, the World Health Organisation Air Quality Guidelines 2005).

SC6.3.2 Noise impact assessment requirements

SC6.3.2.1 Application

This planning scheme policy is used to provide a methodology for assessing the noise impacts from industry uses on sensitive land use(s).

SC6.3.2.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking a noise impact assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses, or within a special management area; or
- (2) proposed industry uses that are to be located near existing or future sensitive land use(s).

SC6.3.2.3 Requirements

A noise impact assessment should, at a minimum, include the following:

- (1) Description of the project and the surrounding environment:
 - (a) A description of the proposed sensitive land use or proposed industry uses;
 - (b) A description of the types of industries supported by this planning scheme instrument that may impact on sensitive land use(s);
 - (c) A site plan showing:
 - (i) the location of the proposed sensitive land use or industry uses;
 - (ii) the location of surrounding noise generating industries or sensitive land use(s);
 - (iii) any other existing or proposed structures likely to affect the transmission of noise, including, but not limited to, buildings, barriers, walls and fences; and
 - (iv) any earth mounding, cuttings or other significant topographical features;
 - (d) A description about the nature of the surrounding industrial land uses, including:
 - (i) their general hours of operation;
 - (ii) whether manufacturing and processing is undertaken indoors or outdoors;
 - (iii) allowable hours of operation in this planning scheme; and

- (iv) the type of noise (for example intermittent, ongoing); and
 - (e) A description of the relevant acoustic quality objectives in the *Environmental Protection (Noise) Policy 2008*.
- (2) Measurement:
- (a) A background sound level should be used that adequately anticipates the background sound from existing and potential industries or from a developed industrial area of the same size and nature. The Australian Standard AS 1055.3-2018 — Acoustics – Description and measurement of environmental noise part 3: Acquisition of data pertinent to land use provides an example of how this can be achieved;
 - (b) Instrumentation should be set up and operated to provide an adequate and representative measure of the impacts that will be experienced at the most sensitive locations of the proposed development. The Australian Standard AS 1055.3-2018 — Acoustics – Description and measurement of environmental noise part 3: General procedures provide an example of how this can be achieved. Documentation of noise monitoring equipment and procedures, including:
 - (i) location of noise monitors, including distance to noise emitting sources;
 - (ii) site photographs identifying the noise monitor(s) and its position;
 - (iii) type of instrument used; and
 - (iv) results of field calibration checks;
 - (c) Documentation of noise monitoring results, including:
 - (i) sample times and measurement intervals (both attended and unattended);
 - (ii) weather conditions during measurement, including wind speed, wind direction and rainfall;
 - (iii) adjustments for nearby reflecting surfaces;
 - (iv) a table summarising the measured noise levels; and
 - (v) methodology for determining existing noise levels.
- (3) Conclusion:
- (a) The conclusion should include a description about:
 - (i) the current industry noise impacts;
 - (ii) forecast noise impacts from the proposed development;
 - (iii) proposed mitigation measures; and
 - (iv) discussion of the likely effectiveness in achieving the objectives in the *Environmental Protection (Noise) Policy 2019*.
 - (b) This will include:
 - (i) an explanation of noise mitigation measures used to achieve the indoor noise objectives of the *Environmental Protection (Noise) Policy 2008*; and
 - (ii) a statement of limitation of noise mitigation treatments and, if applicable, explanation of why some treatments may not be reasonable, feasible or cost effective.

SC6.3.3 Hazard and risk assessment requirements for industrial uses

SC6.3.3.1 Application

This planning scheme policy is used to assist in undertaking a hazard and risk assessment of the impact of industry uses on sensitive land use(s).

SC6.3.3.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking a hazard and risk assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses; or
- (2) proposed industry uses that are to be located near existing or future sensitive land use(s).

For the purpose of a hazard and risk assessment, hazard and risk are defined as the following:

- (1) Hazard — a situation or an intrinsic property with the potential to cause harm to people, property or the environment; and
- (2) Risk — the likelihood of a level of harm occurring from a hazard.

The basis for a hazard and risk assessment is that within society there are risks that are considered tolerable. For example, driving, rock climbing and playing a range of sports. The concept of acceptability of risk is that it should be low relative to other known and tolerated risks.

SC6.3.3.3 Preliminary hazard analysis

A preliminary hazard analysis should be undertaken as the first stage of a hazard and risk assessment. The purpose of this assessment is to determine if a full hazard and risk assessment is required.

- (1) A preliminary hazard analysis should include the following at a minimum:
 - (a) a description of the proposed sensitive land use or industry use;
 - (b) a site plan showing:
 - (i) the location of the proposed sensitive land use or industry use in relation to surrounding hazardous industries;
 - (ii) the location of all surrounding hazardous industries. This should include discussion with the Explosives Inspectorate, Safety and Health, Department of Natural Resources and Mines and the Hazardous Industries and Chemicals Branch within Workplace Health and Safety Queensland, Department of Environmental and Resource Management and the environmental health unit;
 - (c) a description of the types of industry uses that are consistent with this planning scheme. This should specifically include discussion about the potential for future hazardous industries with Council; and
 - (d) a qualitative analysis of the worst possible incident that could result from any surrounding hazardous industry. This should include consideration of the type, quantity and use of the chemicals being stored.
- (2) Where the preliminary hazard analysis demonstrates that the risk to sensitive land use(s) is low or less, a full hazard and risk analysis is not necessary. The risk is considered to be low or minor in nature if each of the following criteria is met:
 - (a) the materials or chemicals used are relatively non-hazardous for example, non-flammable or non-reactive;
 - (b) the quantities of the materials are relatively low; and
 - (c) there are no foreseeable major off-site consequences from the surrounding industries.

SC6.3.3.4 Hazard and risk analysis

A hazard and risk analysis should be undertaken after a preliminary hazard analysis has demonstrated that proposed sensitive land use or the proposed industrial use could potentially be exposed to major off-site impacts. The main quantitative criteria considered are fatality, injury, property and environmental damage.

SC6.4 Bicycle network planning scheme policy

SC6.4.1 Application

This planning scheme policy applies throughout the Rockhampton Region and will be considered when assessing development applications for material change of use and reconfiguring of lots.

SC6.4.2 Purpose

The purpose of this planning scheme policy is to:

- (1) outline a strategic network of existing and proposed on-road and off-road bicycle routes, in the form of a bicycle network;
- (2) specify standards of construction, upgrading, reservation for bikeways and bicycle facilities when development is over or adjacent to part of the bicycle network, and is considered to link with the network or is likely to attract or generate bicycle trips; and
- (3) ensure the design of new roadworks and the upgrade of existing roads in the Rockhampton region appropriately caters for bicycle movements.

SC6.4.3 Context

This planning scheme policy has been prepared to provide a mechanism for the construction of the bicycle network, in accordance with the bicycle network plan, and to ensure the provision of appropriate bikeway and bicycle facilities in new development.

Implementation of this policy will improve the physical network of bikeways in the Rockhampton region, and consequently encourage increased bicycle usage in the region by providing an alternative mode of transport to the private car.

This policy will ensure that bikeways and bicycle facilities are addressed at the planning stage of new development and accordingly provision for bikeways and facilities will be made at the earliest possible stage.

An integrated bicycle network will also:

- (1) provide an alternative mode of transport to the private vehicle and thereby reduce the associated pollution of a car dependant society;
- (2) help reduce the number of trips of private vehicles and therefore reduce traffic congestion and pressures to augment the road system in the future;
- (3) promote the Rockhampton region as a cycle friendly destination;
- (4) provide an inexpensive and efficient transport alternative;
- (5) provide an alternative choice for people who cannot or are unable to access a private vehicle; and
- (6) offer a safe, alternative recreational and healthy experience.

SC6.4.4 Development on or adjacent to the bicycle network

If development is proposed for land that is on or adjoining a proposed bikeway, as identified on the bicycle network plan, the proponent is required to give due consideration to the bicycle network and where reasonable and relevant the Council will require as a condition of approval the construction of that part of the proposed bicycle network which traverses or adjoins the subject land and provision of appropriate onsite bicycle facilities. In the event that physical or other constraints prevent the construction of that part of the proposed bicycle network, the condition may require the construction of an alternative bikeway that satisfies the intent of this Bicycle Network Planning Scheme Policy.

SC6.4.5 Provision of local bicycle network

In new residential subdivisions, in addition to addressing any relevant bikeways as identified on the bicycle network plan, the Council will require identification and construction of appropriate local bicycle networks. These local networks should provide access to schools, community facilities, parkland, shops, higher order roads and off-road connections to the Rockhampton region wide network.

In new residential subdivisions, the proposed plan of layout must identify the proposed local bicycle network and where reasonable and relevant, the construction of the local bicycle network and provision of appropriate on-site bicycle facilities will be required as a condition of approval.

SC6.4.6 Provision of bikeways on new roads and road upgrades and other infrastructure

Bicycle movements must be considered on all new roads and road upgrades in the Rockhampton region. Dedicated bikeways should be included in the design and construction of the following road types, in accordance with the local government infrastructure plan – desired standards of service:

- (1) Urban arterial roads;
- (2) Urban sub-arterial roads;
- (3) Major urban collector roads; and
- (4) Minor urban collector roads.

Safe bicycle movement should also be provided for in the design and construction of infrastructure works such as bridges, pedestrian overpasses/underpasses, local area traffic management devices and streetscape improvements.

SC6.4.7 Provision of bicycle facilities (end of trip facilities)

Appropriate bicycle parking facilities are required to be incorporated into uses likely to attract or generate significant numbers of bicycle trips.

New uses of land that are involving new building works (other than minor building works as defined in the planning scheme) are required to provide bicycle parking facilities in convenient and accessible locations to an appropriate standard that are close to entrances and exits to the site and visible to promote safety. These standards are outlined in the tables below.

Table SC6.4.7.1 — Bicycle parking facilities provision rates

Use	Required number of employee or resident parking spaces	Class	Required number of visitor or shopper parking spaces	Class
Bar	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	1	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	3
Community use for a library	1 per 500m ² GFA	2	4, plus 2 per 200m ² GFA	3
Community use - other	For an art gallery – 1 per 1,500m ² GFA For a youth club, scout hall, or similar – Nil	2	For an art gallery – 2, plus 1 per 1,500m ² GFA For a youth club, scout hall, or similar – Nil	3
Educational establishment	For primary and secondary schools – 1 per 5 students over year 4 For a tertiary school – 1 per 100 part time students and 2 per 100 full time students	2	Nil	N/A
Emergency services	Nil	2	Nil	N/A
Food and drink outlet	1 per 100m ² GFA	1 or 2	For a restaurant – 2 For a take-away store – 1 per 50m ² GFA	3
Health care service	1 per 400m ² GFA	1 or 2	1 per 200m ²	3
High impact industry	1 per 150m ² GFA	2	Nil	N/A
Hotel	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	1	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	3
Indoor sport and recreation	1 per 4 employees	2	For an amusement gaming parlour 2 plus 1 per 50m ² GFA All others – 1 per 200m ² GFA	3
Low impact industry	1 per 1,000m ² GFA	2	Nil	N/A
Major sport, recreation and entertainment facility	1 per 1,500 spectator seats	1 or 2	1 per 250 spectator seats	3
Market	Nil	N/A	1 per 10 stalls	3
Medium impact industry	1 per 150m ² GFA	2	Nil	N/A
Multiple dwelling	1 per 3 dwellings	1	1 per 12 dwellings	3

Use	Required number of employee or resident parking spaces	Class	Required number of visitor or shopper parking spaces	Class
Non-resident workforce accommodation	1 per 4 accommodation units or rooms	1	Nil	N/A
Office	1 per 200m ² GFA	1 or 2	Where not a bank – 1 per 750m ² GFA over 1,000m ² GFA For a bank – 2	3
Outdoor sport and recreation	Nil	N/A	For a swimming pool – 2 per 20m ² of pool area All others – Nil	3
Rooming accommodation	For a hostel or backpackers - 1 per 4 accommodation units or rooms For a boarding house – 1 per 3 accommodation units or rooms	1	For a hostel or backpackers - 1 per 16 accommodation units or rooms For a boarding house 1 per 12 accommodation units or rooms	3
Shop	1 per 300m ² GFA	1 or 2	1 per 500m ² GFA over 1,000m ² GFA	3
Shopping centre	1 per 300m ² GFA	1	1 per 500m ² GFA	3
Short-term accommodation	1 per 40 accommodation units or rooms	1	Nil	N/A
Showroom	1 per 750m ² GFA	1 or 2	1 per 1,000m ² GFA	3
Warehouse	1 per 1,000m ² GFA	2	Nil	N/A
Any other use not specified in this table	Nil	N/A	Nil	N/A

Table SC6.4.7.2 — Classification of bicycle facilities

Class	Security level	Description	Duration of parking	Main user type
1	High	Fully enclosed individual locker	All day and night	Bike and ride commuters
2	Medium	Lockable enclose, shelter or compound fitted with class 3 facilities where the cyclist is responsible for locking the bicycle within the communal enclosure	All day	Employees, students, and bike and ride commuters
3	Low	Bicycle rails or racks to which both the bicycle frame and wheels can be locked	Short to medium term	Shoppers, visitors, and employees of workplaces where security supervision of the facility is provided

SC6.4.8 Cycleway planning standards

The Austroads Guide to Road Design-Part 6A (Pedestrian and Cyclist Paths) and the 'Cycling Aspects of Austroads Guides' (a summation of all aspects of cycling in Austroads) – set out guidelines for on-road and off-road cycle ways. The following are based on the above guides, and are recommended as suitable for application in Rockhampton for cycleway planning standards.

SC6.4.8.1 On-road cycleways (including arterial routes)

Table SC6.4.8.1.1 — Exclusive bicycle lane/sealed shoulder

Road posted speed limit (km/h)	Lane width (m)		
	60	80	100
Desirable	1.5	2	2.5
Acceptable range	1.2 - 2.5	1.8 - 2.7	2.0 - 3.0

Table SC6.4.8.1.2 — Wide kerbside lane

Road posted speed limit (km/h)	Lane width (m)	
	60	80
Desirable	4.2	4.5
Acceptable range	3.7 - 4.5	4.3 - 5.0

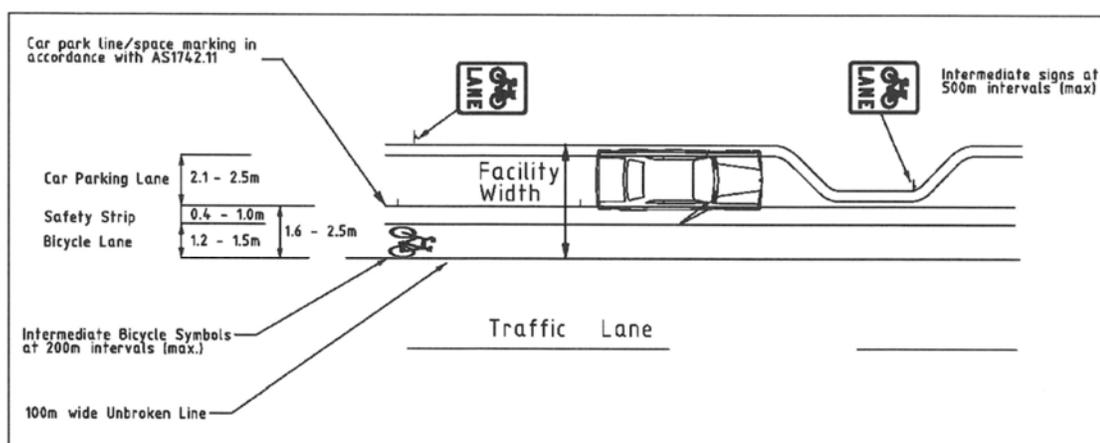
Editor's note—While a 'Wide Kerbside Lane' may be permissible at posted speeds of 80km/h, it is Council's preference to use an exclusive bicycle lane in this situation.

Shared bicycle/car parking lanes

Bicycle/car parking lanes should be used where there is a demand for parking and the street widths are relatively wide. It is important that all users of the road be accommodated and that there is adequate room for the parked vehicle to have an opened door (for access and egress) and the cyclist is able to safely pass.

Table SC6.4.8.1.3 — With parallel parking

Road posted speed limit (km/h)	Overall facility width (m)	
	60	80
Desirable	4.0	4.5
Acceptable range	3.7 - 4.5	4.0 - 4.7



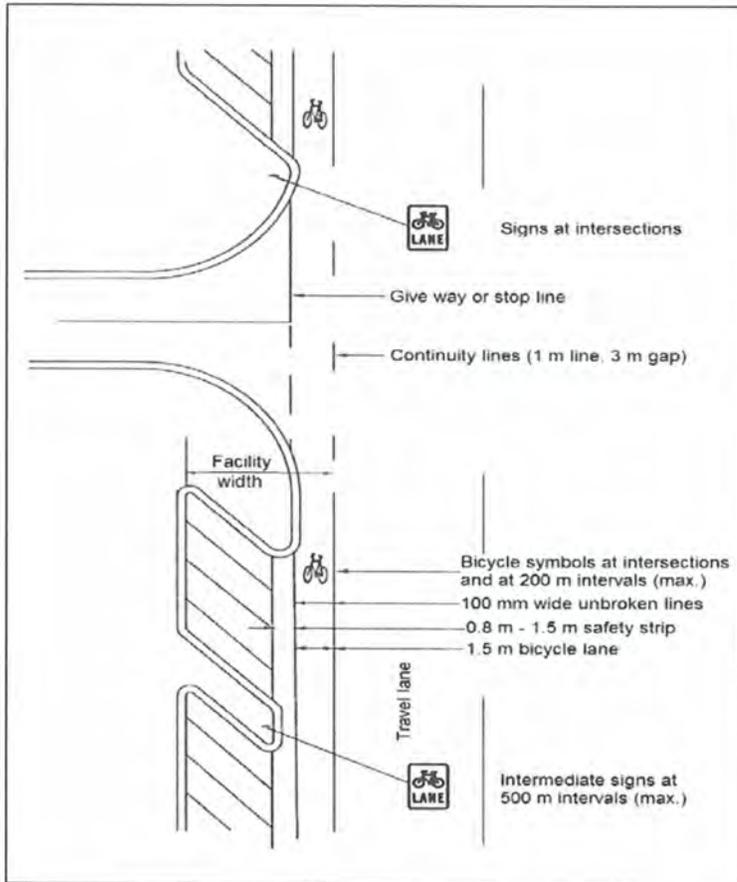
Source: Austroads (2010b) Figure 4.27.

Figure SC6.4.8.1.4 — Typical bicycle/car parking lanes layout – parallel parking

Table SC6.4.8.1.5 — With angle parking

Parking angle (degrees)	Overall facility width (m)		
	45	60	90
Desirable	7.3	7.6	8.0
Acceptable range	7.1 - 7.8	7.4 - 8.1	7.8 - 8.5

All dimensions stated are allowing for a 0.6 metre overhang of the parked vehicle to a low obstacle (kerb and channel) if this is not possible then 0.6 metre must be added the overall facility width.



Source: Austroads (2010b) Figure 4.28.

Figure SC6.4.8.1.6 — Typical bicycle/car parking lanes layout – angle parking

SC6.4.8.2 Off-road cycleways

Where the areas beside the path are relatively flat a lateral clearance of at least one (1) metre (0.5 metre absolute minimum) should be provided between the edge of the path and the obstacle. However, on high-speed paths it is desirable to have clearances of more than one (1) metre.

Where there is a vertical drop or steep batter beside the path then a partial barrier fence may need to be provided as per the Austroads standards.

Table SC6.4.8.2.1 — Shared paths

	Path width (m)		
	Local access	Commuter path	Recreational path
Desirable	2.5	3.0	3.5
Acceptable range	2.5 - 3.0	2.5 - 4.0	3.0 - 4.0

Table SC6.4.8.2.2 — Bicycle paths

	Path width (m)	
	Local access	Major path
Desirable	2.5	3.0
Acceptable range	2.5 - 3.0	2.5 - 4.0

SC6.5 Bushfire management planning scheme policy

SC6.5.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by the bushfire hazard overlay map OM-4 and the bushfire hazard overlay code where:

- (1) a bushfire mapping reliability assessment is required; or
- (2) the development application cannot meet all the requirements of the bushfire hazard overlay code and a bushfire management plan is required.

SC6.5.2 Purpose

The purpose of this planning scheme policy is to:

- (1) define how to conduct a bushfire mapping reliability assessment where the reliability of the bushfire hazard overlay map OM-4 is in question;
- (2) define when a bushfire management plan is required and to provide guidance on how to minimise bushfire risk by addressing the items required for a bushfire management plan; and
- (3) provide other information to further mitigate the risk of bushfire on development, such as the application of appropriate building siting, road and lot layout, landscaping and buffer zones.

SC6.5.3 Bushfire mapping reliability assessment

Bushfire hazard mapping is prepared by the Queensland Government, and a simplified version of the methodology used to prepare this mapping is provided below:

Step 1

Vegetation hazard classes and potential fuel loads are calculated based on a combination of regional ecosystem maps, foliage project cover maps, land use maps, water body maps and tree plantation maps.

Step 2

Slope maps are created from a twenty-five (25) metre resolution digital terrain model by calculation the maximum slope (in degrees) from the central pixel in a group of nine by nine cells to the eight adjoining cells in that group.

Step 3

Creation of potential severe fire weather maps.

Step 4

Creation of potential fireline intensity maps by using the above three inputs.

Step 5

Creation of potential bushfire intensity maps.

Step 6

Completion of a reliability assessment.

Council recognises that the accuracy of the bushfire mapping will continue to be improved over time. This may be due to land use changes such as clearing, or due to the currency of the underlying layers such as vegetation classifications. If applicants do not agree with the accuracy of the bushfire hazard mapping they can undertake a reliability assessment of the bushfire hazard mapping and provide this information to Council. The methodology for undertaking a bushfire mapping reliability assessment and the information required to support the outcome is contained in State Planning Policy - State interest guideline – Natural hazards, risk and resilience.

SC6.5.4 Bushfire management plans

- (1) The bushfire management plan identifies strategies for mitigating the impacts of bushfire on life, property and the environment. This includes identifying specific risk factors associated with the development, planning for the separation of at-risk elements and potential hazards and providing access and treatments to facilitate an effective response to bushfire.
- (2) The bushfire management plan is prepared by a suitably qualified professional person with appropriate technical expertise in the identification and mitigation of bushfire hazard.
- (3) At a minimum, Queensland Fire and Emergency Services and/or responsible rural fire brigades and managers of adjacent parks or reserves should be consulted. It is also desirable to consult with other agencies or individuals, such as the previous owners of the land or neighbours, who may have local knowledge of the severity and nature of the bushfire hazard.
- (4) A bushfire management plan:
 - (a) includes a risk assessment of the nature and severity of the bushfire hazard affecting the site, including the Bushfire Attack Level (BAL)⁴ rating and other relevant factors as detailed below;
 - (b) addresses other site specific factors that are important in devising suitable bushfire mitigation strategies. These factors could include matters such as:
 - (i) likely direction of bushfire attack;
 - (ii) environmental values that may limit mitigation options;
 - (iii) locations of evacuation routes and/or safety zones; and
 - (iv) identification of the risks on site and from nearby sites;
 - (c) assesses the specific risk factors associated with the development proposal, including matters such as:
 - (i) the intended future population size and characteristics including exposure, tolerability and vulnerability;
 - (ii) the likely usage patterns on the site;
 - (iii) the estimated traffic generation;
 - (iv) the nature of activities and materials to be conducted/stored on the premises;
 - (v) the use of the site for emergency services or disaster response purposes;
 - (vi) the total extent of clearing, revegetation and landscaping proposed for the site, which is to be indicated on a site plan; and
 - (vii) warning and/or evacuation requirements;
 - (d) addresses mitigation measures identified for the development that addresses major factors in bushfire attack, including embers and burning debris, radiant heat, direct flame contact and wind;
 - (e) addresses each of the performance and acceptable outcomes in the bushfire hazard overlay code and recommends mitigation actions for the proposed development including:
 - (i) road and lot layout for reconfiguration;
 - (ii) site layout including identification of proposed locations of buildings or building protection zones;
 - (iii) fire trails and fire breaks;
 - (iv) accessways, driveways and evacuation routes;
 - (v) appropriate land uses;
 - (vi) warning and evacuation procedures, plans and routes including capability of public roads especially perimeter roads and traffic management treatments and responsibility for their maintenance;
 - (vii) fire resistant landscaping, fuel reduction areas and buffers;
 - (viii) fire fighting requirements including infrastructure and water supply;
 - (ix) any other specific measures such as external sprinkler systems and alarms; and
 - (x) ongoing purchaser or resident education and awareness programs.

⁴ Determination of the Bushfire Attack Level is a requirement under the National Construction Code and is calculated in accordance with the methodology described in Australian Standard AS3959 Construction of buildings in bushfire-prone areas.

SC6.5.5 Bushfire hazard mitigation options

SC6.5.5.1 Building siting and building location envelope

- (1) The way a building is sited on land is a basic factor influencing the ability to protect people and property. As the pattern of fires is predictable, it is possible to determine the most favourable areas to minimise impacts. For example:
 - (a) check data about previous fires in the area to determine the possible directions a fire would travel;
 - (b) be aware that most bushfires occur during dry conditions, particularly in hot temperatures and low humidity, and are often accompanied by strong winds;
 - (c) remember fires accelerate going up-hill and decrease in speed travelling down-hill;
 - (d) hanging a building out over the hazard will increase the risk, such as a pole house with timber decks will be much more exposed than one set into the slope;
 - (e) siting the structures down-hill from the hazard reduces the risk; and
 - (f) setbacks are still necessary to avoid falling trees and debris rolling down-hill.
- (2) There are two (2) key principles to be considered in siting a building in a bushfire hazard area:
 - (a) avoiding higher risk situations, particularly locations with a combination of slope and certain aspects; and
 - (b) maximising the setbacks from hazardous vegetation.
- (3) On larger lots it may be possible to site buildings in an area depicted on bushfire hazard assessment maps as being subject to a lower bushfire risk.
- (4) Irrespective of the hazard severity, combinations of slope and aspect on individual sites should be considered. Figure SC6.5.5.1.1 illustrates the relative bushfire safety of building site locations based on slope and aspect considerations.

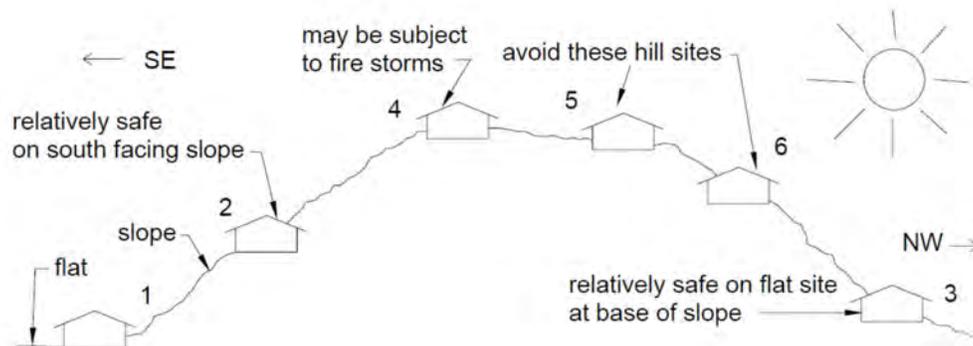


Figure SC6.5.5.1.1 — Bushfire safety based on slope and orientation

Editor's note—House sites numbered in order of degree of fire safety, 1 being the safest and 6 being the most hazardous.

- (5) The order of preference is low flat sites, sites set into southerly or south-east slopes and sites at the bottom of more exposed west and north-west slopes. The most dangerous sites being on or at the top of west or north-west slopes. Building sites should also avoid the head of gullies with westerly aspects, because fire winds funnel up such sites.
- (6) Although fires may tend to come from a particular direction, local variations are always likely and protection for the southern and eastern side of developments must never be overlooked.
- (7) Siting should also:
 - (a) avoid ridge tops;
 - (b) avoid steep slopes, particularly upper slopes and narrow ridge crests;
 - (c) avoid locations where adequate fuel reduction areas and buffers can not be provided within the property;

- (d) locate buildings where vehicular access from two directions can be provided away from identified hazard areas wherever possible;
- (e) build on level ground wherever possible;
- (f) incorporate cut-in benches rather than elevated or above fill, where buildings must be constructed on sloping land;
- (g) avoid raised floors in preference to concrete slabs;
- (h) keep services underground, particularly electricity;
- (i) locate on-site water storage near buildings; and
- (j) locate the building near the property entrance for easier access, or egress, refer to Figure SC6.5.5.1.2.

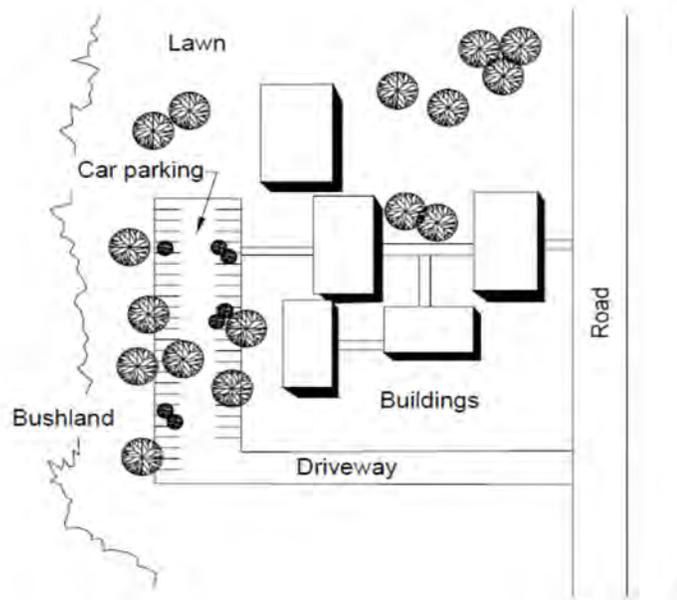


Figure SC6.5.5.1.2 — Preferred site layout

Editor's note—Consideration should be given to placing least susceptible land uses closer to the likely direction of fire.

- (8) Development envelopes should be sited in the same manner to the above; and
- (9) Development envelope shape and size is designed to allow for the allocation of fuel reduction areas and buffers to assets within the building envelopes.

SC6.5.5.2 Road and lot layout

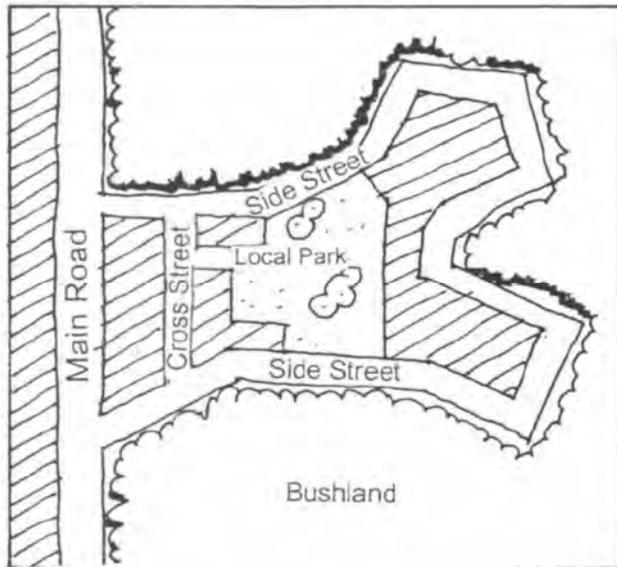


Figure SC6.5.5.2.1 — Preferred road layout in and adjoining bushfire hazard areas

Editor's note—Acceptable perimeter road system provides separation between hazard and assets, access for fire fighters, and two directions for evacuation.

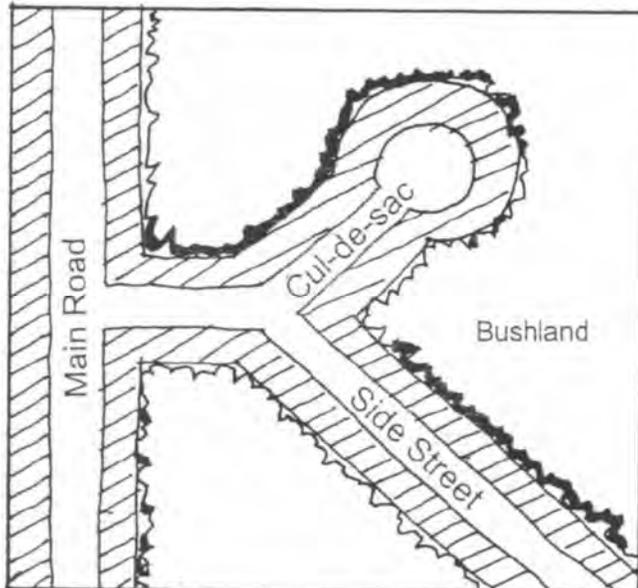


Figure SC6.5.5.2.2 — Unacceptable road layout in and adjoining bushfire hazard areas

SC6.5.5.3 Construction of buildings in bushfire hazard areas

- (1) Building design can have a significant impact on the likelihood of damage occurring due to bushfire.
- (2) Construction standards dependent on the Bushfire Attack Level are contained in the Australian Standard AS 3959:2018 — Construction of Buildings in Bushfire Prone Areas. Development in bushfire hazard overlay areas must be constructed to this standard.

SC6.5.5.4 Landscaping

- (1) Landscaping should be designed to assist in creation of buffers and fuel reduction areas. Fuel reduction areas require the gradual removal of fuel between a development and a hazard and are located to provide:
 - (a) areas of reduced fuel to slow advancing fire;
 - (b) adequate access for fire fighting and other emergency vehicles; and
 - (c) for the retention of environmental values.
- (2) Consideration should be given to surrounding isolated buildings with a wide driveway or paths of gravel, concrete, pavers etcetera or mown areas.
- (3) Landscaping, particularly using mulch, adjacent to buildings can facilitate spot fires.
- (4) Low flammability plant species indigenous to the planning scheme area should be used.

SC6.5.5.5 Buffers

- (1) Barriers and buffer zones around buildings will assist in slowing bushfire. Barriers may include planting suitable trees, vegetation and building permanent barriers such as low stone or masonry walls. These barriers or buffers assist in protecting buildings from possible attack by burning debris, heat radiation and direct flame contact.
- (2) Between the barriers and buildings, a 'buffer zone' (approximately twenty (20) metres minimum) is created by reducing the number of combustible items, refer to Figure SC6.5.5.5.1. This means that if burning debris passes through the barriers, there is minimal opportunity to create further outbreaks and provides an opportunity to put out spot fires. The buffer zone comprises of two (2) areas being the:
 - (a) Inner area: should consist of a ten (10) metre wide zone that is directly adjacent to the main development being protected. This area should be able to be easily maintained to be free of litter, and may be paved or concreted, gravel or lawn. The performance of the inner area must be such that:
 - (i) there is minimal fine fuel at ground level which could be set alight by a bushfire; and
 - (ii) woodpiles, wooden sheds, combustible material storage areas, large areas/quantities of garden mulch, stacked flammable building materials etcetera are not located in the inner area.
 - (b) Outer area: is also a ten (10) metre wide zone. In this area shrubs may be planted but not under trees and trees and shrubs may be retained or planted in a manner that ensures there will be no continuous canopy across or into a site. The presence of a few shrubs or trees in the outer area is acceptable provided that they:
 - (i) do not touch or overhang the building;
 - (ii) are well spread out and do not form a continuous canopy;
 - (iii) are not species that retain dead material or deposit excessive quantities of ground fuel in a short period or in a danger period; and
 - (iv) are located far enough away from the house so that they will not ignite the house by direct flame contact or radiant heat emission.
- (3) Consideration should be given to providing a grassed area or gravel, concrete or paved driveway in proximity to isolated buildings or mown areas.

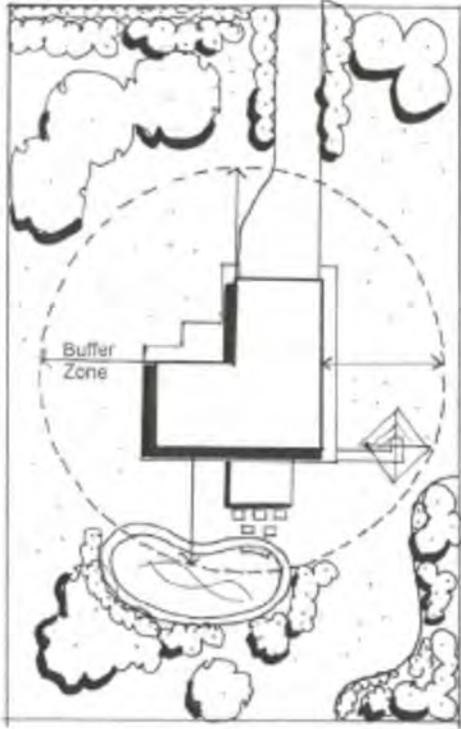


Figure SC6.5.5.5.1 — Creation of buffer zones between buildings and hazardous materials

SC6.6 Car parking contributions planning scheme policy

SC6.6.1 Application

- (1) This policy applies to non-residential development:
 - (a) identified within a contribution area as shown in Table SC6.6.4.1 — Contribution charge rates; or
 - (b) other areas as resolved by the Council from time to time.
- (2) Council will only consider applying this policy to development in the areas identified above where:
 - (a) access to the lot(s) will not be granted by the local government or State Government agencies; or
 - (b) in the opinion of the local government, it is impractical or undesirable to provide the full number of car parking spaces on-site; or
 - (c) the developer reduces the amount of on-street parking through the creation of permanent site access or other associated works; or
 - (d) a portion, or the entire car parking requirement, as specified in the access, parking and transport code:
 - (i) is not proposed to be provided on the site of the proposed development; or
 - (ii) is deemed by the local government to be inappropriate.

SC6.6.2 Purpose

The purpose of this policy is to:

- (1) prescribe those circumstances under which a developer can satisfy the relevant performance outcomes contained in the access, parking and transport code where the proposed development does not provide on-site car parking as required under the code;
- (2) provide details for the cash-in-lieu contribution rates and the procedure for determining the amount of contribution payable by agreement where the performance outcomes contained in the access, parking and transport code are to be satisfied under this policy by way of an infrastructure agreement;
- (3) state the time for payment of the cash-in-lieu contributions where the performance outcomes contained in the access, parking and transport code are to be satisfied under this policy by way of an infrastructure agreement; and
- (4) state information Council may request in relation to car parking for a development application.

SC6.6.3 General provisions

- (1) The policy does not replace a developer's obligation to provide on-site parking.
- (2) The policy adopts, as the requirement for a car parking space on a development site, the provisions of Australian Standard AS 2890: 2009 – Parking Facilities Set.
- (3) Any car parking spaces from cash-in-lieu contributions paid pursuant to an infrastructure agreement or constructed by a developer pursuant to a condition imposed under the *Planning Act 2016* shall remain available to the public and be administered by the Council.
- (4) The car parking cash-in-lieu contribution rates set forth in Table 6.6.4.1 of this policy for determining the payment are subject to review by the local government.

SC6.6.4 Procedure

- (1) Determining the number of parking spaces required:
 - (a) If a proposal provides the number of required on-site car parking spaces as described in Table 9.3.1.3.2 of the access, parking and transport code, the proposal satisfies the on-site car parking requirements and no further regard needs to be had to this policy;
 - (b) Council's assessment of the required number of car parking spaces will take into account the following considerations, among other things:
 - (i) whether there will be an adverse impact on the streetscape;

- (ii) whether the number or size of vehicles will create a traffic hazard or create on-street parking congestion; and
 - (iii) whether there will be any adverse impact on the amenity of the surrounding locality.
- (c) When assessing a development application Council may request the following information:
- (i) an empirical assessment of car parking demand in the locality;
 - (ii) a quantitative assessment of any car parking deficiencies or surplus associated with the existing use of the locality;
 - (iii) the availability of public transport in proximity to the development including an assessment of whether the public transport results in a reduced demand for parking for the development;
 - (iv) an assessment of any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;
 - (v) an assessment of the peak demand for the proposed use and whether it would be staggered with existing uses in the locality;
 - (vi) on-site movement including the location of vehicle and pedestrian ingress and egress and circulation within the site;
 - (vii) design, layout and construction standards of Australian Standard AS 2890: 2009 – Parking Facilities Set; and
 - (viii) any site specific matters considered relevant.
- (2) Following the assessment of a development application, Council may, in order to ensure the development satisfies the performance outcomes of the access, parking and transport code:
- (a) enter into an infrastructure agreement to allow the applicant to make a cash-in-lieu contribution of some or all of the required on-site car parks. The contribution would be set aside in a fund to upgrade parking, fund measures that will reduce parking congestion in the identified areas or carry out planning for future parking strategies. That may include additional parking in the road reserve, improved public transport measures or other measures aimed at reducing congestion. Any infrastructure agreement including requiring the payment of a cash-in-lieu contribution will require the contribution to be paid to Council prior to the commencement of the use, with the Certificate of Classification only being issued after the contribution has been paid;
 - (b) enter into an infrastructure agreement to require the applicant to undertake the construction of car parking or streetscape improvements in the reserve in another location suitable to Council to a value equivalent to the 'in lieu' contribution that would be payable for the development under this policy, particularly where it is not possible or desirable to undertake streetscape improvements in the immediate road reserve. The location would be in the same contribution area (shown in Table SC6.6.4.1) as the development;
 - (c) impose a condition on the development requiring the applicant to supply onsite car parking infrastructure; and
 - (d) impose a condition on the development under the *Planning Act 2016* requiring the applicant to supply public car parking infrastructure.
- (3) If Council considers that it is appropriate for it to enter into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution, the rates set out in Table SC6.6.4.1 herein shall apply:

Table SC6.6.4.1 — Contribution charge rates

Contribution area	Rate
Contribution Area 1 <ul style="list-style-type: none"> • Principal centre zone • Major centre zone • Within 800 metres of a principal centre or major centre zone 	\$11,500 per parking space

Contribution area	Rate
Contribution Area 2 <ul style="list-style-type: none"> • Local centre zone • Neighbourhood centre zone • District centre zone • Community facilities zone – Rockhampton health services precinct only • Sport and recreation zone – Rockhampton major sports precinct only 	\$3,000 per parking space

Note—The rates are indexed to the producer price index (PPI) – road and bridge construction index for Queensland on an annual basis from the commencement date of this planning scheme. Further studies are to be carried out to review these rates to appropriately reflect current land values and construction costs. Council may amend this policy to reflect these outcomes in the future at the total discretion of Council.

Editor's note—The abovementioned car parking cash-in-lieu contribution rates reflect the rates recommended by the Parsons Brinckerhoff Rockhampton Car Parking Strategy Review conducted in 2009, indexed to 2013.

SC6.7 Coastal protection management planning scheme policy

SC6.7.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by the coastal erosion prone area overlay map OM-6A and the coastal hazard overlay map OM-6B and the coastal protection overlay code where a coastal hazard risk assessment or a shoreline erosion management plan is required.

SC6.7.2 Purpose

The purpose of this planning scheme policy is to:

- (1) define the process to be followed in carrying out a coastal hazard assessment to determine the severity of coastal hazard risk, for development that may be exposed to storm tide inundation or located in erosion prone areas;
- (2) provide guidance on how to minimise coastal hazard risk by addressing the items required for a coastal hazard risk assessment;
- (3) ensure development is sited, designed and managed to minimise the risk of coastal hazards to people and property; and
- (4) detail the requirements for preparing a shoreline erosion management plan (SEMP) to proactively plan for erosion management in erosion prone areas.

SC6.7.3 Background information

A high proportion of Queensland's urban development is located in the coastal zone, with some development located in areas vulnerable to coastal hazards. Climate change is projected to increase sea-levels and storm intensity, and change rainfall patterns. This will compound the vulnerability of Queensland's low-lying coastal areas to coastal hazard impacts. These effects can be felt in some cases well up into major river systems. Such is the case here with the Fitzroy River.

The Queensland Government has mapped coastal hazard areas along the Queensland coast. These maps are used as overlays in this planning scheme and are indicative of the extent of Queensland's coastal areas projected to be at risk from coastal hazards to the year 2100.

Each map shows:

- (1) erosion prone area — due to storm impact and long-term trends of channel migration; and
- (2) a defined storm tide inundation area — medium hazard and high hazard temporary inundation areas.

The erosion prone areas and storm tide inundation areas are indicative only and a field survey is recommended to be undertaken by an applicant to verify feature boundaries and the extent of the erosion prone area at a site specific level. The storm tide inundation areas are derived from adopting the storm tide inundation level of two (2) metres above highest astronomical tide including a projected climate change impact to 2100 (0.8 metre increase in sea level).

SC6.7.4 Coastal hazard mapping

The overlay maps (coastal erosion prone area overlay map OM-6A and coastal hazard overlay map OM-6B) are supplied by the Queensland Government and are a guide only to trigger assessment. Field surveys are recommended to verify feature boundaries.

SC6.7.4.1 Erosion prone area (coastal erosion prone area overlay)

Permanent inundation due to storm impact and long-term trends of channel migration will be experienced as shoreline erosion events in which the original extent of the foreshore may never recover. While sea-level rise is projected to accelerate over the next 100 years as a consequence of climate change, the permanent loss of land from a rise in sea-level may become apparent as accelerated coastal erosion.

SC6.7.4.2 Temporary inundation (coastal hazard overlay)

Temporary inundation (storm tides) is an infrequent event but it is not rare in Queensland and the effects on life and property can be dramatic. Unlike coastal erosion and permanent loss of land from sea-level rise, storm tides do not permanently inundate areas and can generally be measured in terms of hours or days. The frequency, depth and longevity of inundation changes with elevation above the highest astronomical tide level (HAT), in simple terms highest astronomical tide level is the highest point a tide reaches during the year. People and development located on land that is flooded to a depth of a metre or more during a defined storm tide event are at significant risk. This is due to the water depth being sufficient to generate damaging waves and the strength of tidal flows.

SC6.7.5 Coastal hazard risk assessment

In accordance with the coastal protection overlay code a site specific coastal hazard risk assessment may be required and risk mitigation measures proposed before development in erosion prone or coastal hazard areas can be approved.

A risk assessment must demonstrate that adverse coastal hazard impacts that affect the safety of people and the operational and structural integrity of the development are avoided. This includes ensuring the development is able to continue to function and maintain its design lifespan without maintenance or repair beyond the normal requirements for a development of its type. The risk assessment must outline how these impacts are avoided through location, design, construction and operating standards, including any coastal protection works.

SC6.7.5.1 Coastal hazard risk assessment process

- (1) Identify if the development site is located in an erosion prone or coastal hazard area by referring to the overlay maps contained within this planning scheme. The same mapping is provided on the Queensland State Government State Planning Policy interactive mapping website which provides a search function enabling specific lot and plan searches. Local scale mapping which takes into account local conditions may be used to establish whether the site is affected by coastal hazards. If the site is not identified as being in an erosion prone or coastal hazard area then a risk assessment is not required.
- (2) If the site is located in an erosion prone or coastal hazard area then the nature of the hazard (temporary or permanent inundation) and the extent of inundation (depth and area) on the site needs to be determined. A survey of the site, by a registered surveyor should be undertaken to create a property scale plan with the contours and topography at a scale to show the depths of inundation across the site.
- (3) Determine the level of risk assessment required for the development being either a minor, moderate or high level of intensification. Table SC6.7.5.1.1 outlines the steps for determining the scope of risk assessment required when considering development within a coastal hazard area. The proponent will need to provide sufficient information to support the scope of risk assessment chosen for their development proposal.

Table SC6.7.5.1.1 — Classification of development intensification

Step 3 — Classify the scale of development intensification			
	Minor intensification	Moderate intensification	High intensification
Description	<ul style="list-style-type: none">• Small number of additional persons living or working on site• Development does not involve constructing new community infrastructure such as roads or sewerage treatment plants	<ul style="list-style-type: none">• Moderate number of additional persons living or working on site• Development may involve small scale community infrastructure such as a new local road	<ul style="list-style-type: none">• Large number of additional persons living or working on site• Development involves construction of new community infrastructure such as local and feeder roads, major intersection upgrades, new railway stations, etcetera

Step 3 — Classify the scale of development intensification			
	Minor intensification	Moderate intensification	High intensification
Examples	<ul style="list-style-type: none"> • Single residential dwelling • Small-scale residential development (average one (1) to five (5) additional dwelling units on an existing land parcel) with no associated infrastructure such as a road • Home business • Retail business such as a restaurant • Cattery, dog keeping or other animal shelter • Other small-scale accommodation such as small tourist development 	<ul style="list-style-type: none"> • Residential unit development of between five (5) and thirty (30) additional dwelling units on existing land parcel • Subdivision of an existing parcel up to ten (10) new lots for residential, commercial or industrial purposes that involves the opening of a new local road • Tourist accommodation 	<ul style="list-style-type: none"> • Large subdivisions that involve new local and feeder roads or major intersection upgrades • Residential or mixed use development with greater than thirty (30) additional dwelling units • High-rise residential or mixed use development • Large educational institution such as a university campus • Other essential community infrastructure (for example hospitals, nursing home) • Sewage treatment plant • Sports stadium • Future mixed use development identified in local government infrastructure or strategic plans

- (4) Determine the impact of the hazard on the proposed development. The nature and extent of a coastal hazard is measured assuming no mitigation measures are employed. The measure of the impact of the hazard on the development must consider its structural integrity over the life of the development, the safety and well-being of people, effect on short-term and long-term operations and whether the development is an essential community service.
- (5) Identify potential measures that mitigate the risks to the development (including its operation) from exposure to adverse coastal hazard impacts for the life of the use of the site or to at least the year 2100. There may be different responses should the hazard be permanent inundation compared to temporary inundation above a defined storm tide event (DSTE). This may include design, siting and response options such as:
- filling land above inundation level (or partial filling combined with other actions);
 - locating the habitable rooms of the built structure above the assessed inundation level;
 - making a safe refuge available for people within the development site (appropriate for a temporary inundation event);
 - providing a safe evacuation route above the inundation level;
 - locating essential operational services (electricity, switchboards, pumps, hot water systems) so that they are not inundated during a defined storm tide event; and
 - locating and constructing associated infrastructure such as roads so that they are not permanently inundated.
- (6) Assess the viability of mitigation measures both onsite and offsite, taking into account environmental, social and financial factors. This includes considering the impact of the options on the development itself, associated infrastructure, neighbouring land use and development and public amenity taking into account long-term environmental, social and financial considerations. Assessing the viability of potential mitigation measures should also consider the most cost-effective manner in which to mitigate the risk. The cost of setting back the development, filling the development site, constructing coastal

protection structures or building design measures should be weighed against the value, use and vulnerability of the development.

- (7) After assessing the viability of potential mitigation measures, the preferred option(s) are to be identified, described and incorporated as part of the development proposal (see example Figure 6.7.5.1.2 below).

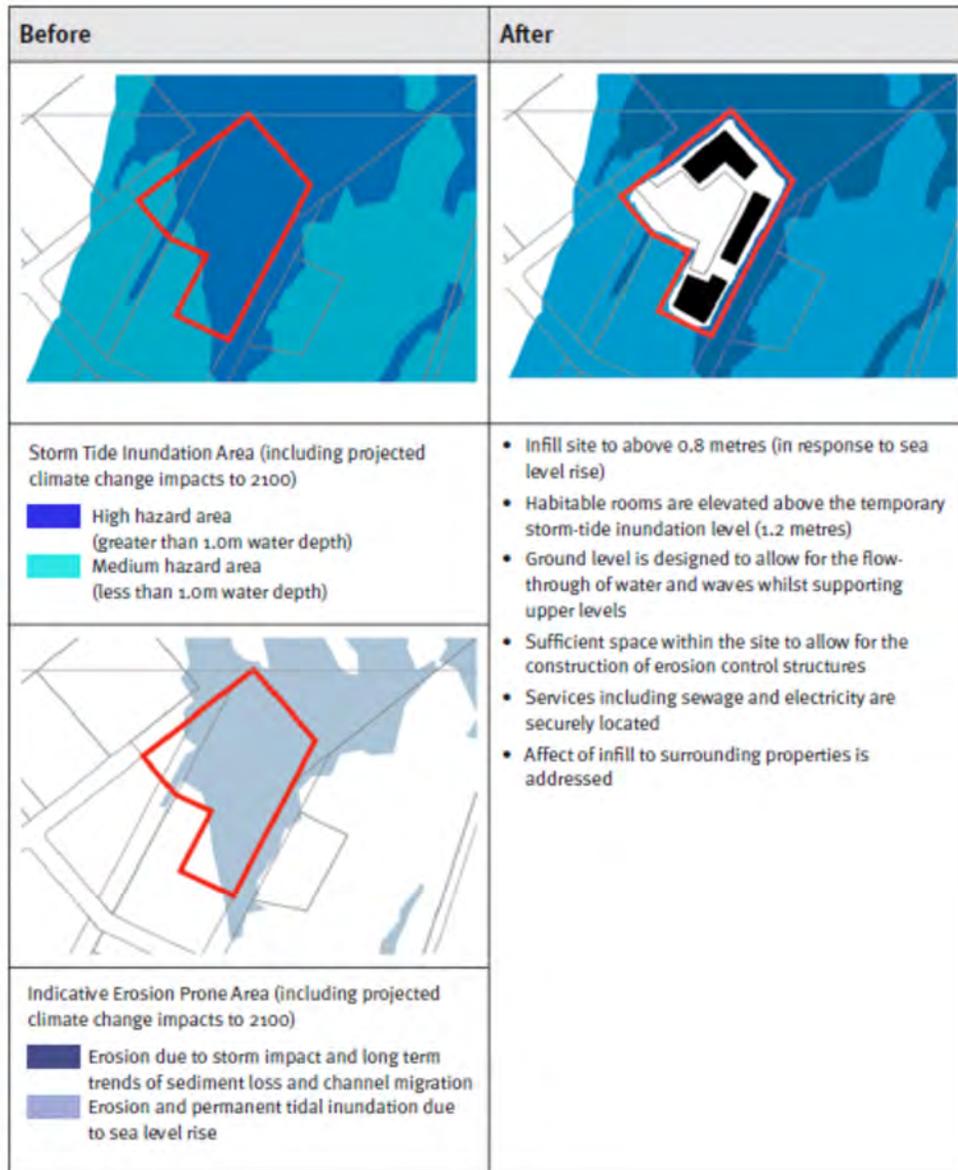


Figure SC6.7.5.1.2 — Example of acceptable mitigation measures for minor intensification in a high coastal hazard area

SC6.7.6 Preparing a shoreline erosion management plan

SC6.7.6.1 Purpose of a shoreline erosion management plan

In accordance with the coastal protection overlay code a shoreline erosion management plan may be required to proactively plan for erosion management in erosion prone areas. The purpose of a shoreline erosion management plan is to:

- (1) enable Council and developers to proactively plan for erosion management where development proposals may negatively impact on erosion prone areas;

- (2) investigate and address the underlying causes of shoreline erosion and likely future progression, at the local scale; and
- (3) determine cost-effective and sustainable erosion management strategies that maintain natural coastal processes and resources, and consider community needs in both the short-term and the long-term.

SC6.7.6.2 Benefits of a shoreline erosion management plan

A shoreline erosion management plan may be beneficial when:

- (1) natural coastal processes in an area pose a threat to existing development, such as roads and other community infrastructure or multiple private properties, along a coastal sector; or
- (2) existing or proposed land uses are disrupting natural coastal processes, or are increasing the erosion risk by destroying native vegetation, removing sand or altering land levels, or changing currents and wave actions which transfer erosion to other areas; or
- (3) natural coastal processes need to be allowed to proceed by managing an area as an erosion buffer zone or by maintaining areas free of permanent development.

SC6.7.6.3 Inclusions in a shoreline erosion management plan

A shoreline erosion management plan may include:

- (1) An assessment, identification and review of factors comprising risk, physical coastal processes, implementation strategies and responses including:
 - (a) an assessment, analysis and documentation of the severity of shoreline erosion and the subsequent risks posed for the community and development within the area;
 - (b) a description of the local and regional coastal processes impacting the area (specifically sediment transport processes, hydrodynamic regimes and the role of plants in erosion control and land building);
 - (c) identification of the cause of shoreline erosion, the geomorphic system responses and likely future trends, in a manner that can be understood by all stakeholders; and
 - (d) a review of the effectiveness and suitability of existing erosion responses and strategies being implemented (including an analysis of the structural integrity and effectiveness of any existing protection works) to determine if these are consistent with government policy. The identification of any knowledge gaps that may limit the management of shoreline erosion.
- (2) Management options and strategies including:
 - (a) the provision of technical descriptions of shoreline erosion or buffer zone management options;
 - (b) a ranking of management options with regard to environmental, social and economic cost benefits, sequentially prioritising options having regard to:
 - (i) minimising adverse impacts on coastal processes and biodiversity;
 - (ii) the preservation of areas of high conservation or ecological values with specific reference to areas of state significance (natural resources), coastal wetlands, biodiversity, environmental values and water quality objectives, and any relevant marine park zoning plan or declared fish habitat area. Other international, national, state and regional designations may also be relevant and should be identified and considered;
 - (iii) maintaining or enhancing buffer zones (dunal, mangrove or riparian);
 - (iv) maintaining foreshore access and recreational amenity of the site;
 - (v) minimising the threat to permanent development;
 - (vi) minimising the risk within storm tide coastal hazard areas; and
 - (vii) a recommendation of the preferred management strategy based on the ranking.
- (3) Budgetary information, including:
 - (a) an outline of the estimated costs associated with the preferred management strategy and possible funding sources; and

- (b) a summary of potential sources and costs of materials should a preferred management strategy require the use of sand for nourishment or rock for seawalls.
- (4) Implementation strategies, including:
 - (a) a program or strategy to implement preferred erosion and buffer zone management works;
 - (b) details of all federal, state and local government development approvals and requirements that may be required to undertake works associated with the recommended management strategies; and
 - (c) a summary of how the preferred management strategy complies with all relevant legislation particularly the *Coastal Protection and Management Act 1995* and relevant Queensland Government coastal planning provisions.

SC6.7.6.4 Stakeholder roles in preparing a shoreline erosion management plan

Stakeholder roles in preparation of a shoreline erosion management plan may entail Council, the developer and the Queensland State Government working together to develop and manage the shoreline erosion management plan (SEMP). Council and the developer may administer the shoreline erosion management plan and be responsible for ensuring erosion mitigation measures are delivered once the details of the shoreline erosion management plan are agreed upon during the development approval process. The Queensland State Government may be able to provide technical direction and expert coastal advice to proponents to ensure the objectives of the *Coastal Protection and Management Act 1995* are met. If the shoreline erosion management plan will impact on the local community they should also be consulted and asked to provide feedback on the management options provided. If the shoreline erosion management plan will impact on the broader community and is required to address more than one erosion prone area the development of the shoreline erosion management plan should generally be based on the following methodology:

- (1) If the shoreline erosion management plan is to address more than one erosion prone area, divide the coastal section into logical units or localities for individual investigation. This could be based on physical boundaries, such as headlands or river entrances or administrative boundaries.
- (2) Identify coastal resources, including wildlife and vegetation communities (such as shoreline vegetation, migratory shorebirds, nesting turtles, and intertidal communities), environmental values and water quality objectives of waters in each locality and their relative importance with regards to biodiversity conservation, water quality protection and maintenance of coastal processes. Identify and describe the physical coastal processes at work in each locality.
- (3) Determine the threats within each coastal locality and describe present and emerging risks to people, property and the environment from shoreline erosion. In addition, the benefits of the coastal areas to the community should be outlined.
- (4) This information is then used to outline the processes required to retain coastal resources and maintain or return a stable coastline. This should be based on a planning period of up to twenty (20) years and would comprise:
 - (a) mapping the erosion prone areas showing the various land uses with particular emphasis on property, infrastructure (including roads and access points), existing coastal protection works and areas of high environmental significance; and
 - (b) identifying or mapping existing coastal resources (such as wetlands, inshore and wildlife habitats).

SC6.8 Ecological assessment planning scheme policy

SC6.8.1 Application

The provisions of this policy apply to any assessable development where the application or proposal is subject to biodiversity values (including areas identified on the biodiversity overlay maps) and is to be supported by either of the following:

- (1) an Ecological Assessment Report; or
- (2) an Environmental Management Plan; or
- (3) a Rehabilitation Plan.

SC6.8.2 Purpose

The purpose of this planning scheme policy is to:

- (1) encourage more ecologically sustainable development;
- (2) outline ecological information about a site in order to inform the development assessment process;
- (3) provide direction on how to minimise any adverse impacts caused by development and to maximise any beneficial impacts of the development; and
- (4) provide guidance on the preparation and assessment of ecological assessment reports, environmental management plans and rehabilitation plans.

SC6.8.3 Protecting biodiversity values

- (1) The protection of biodiversity values can be ensured through:
 - (a) effective management and protection of areas of environmental significance;
 - (b) rehabilitation of biodiversity corridors and strategic rehabilitation areas so that ecological connectivity is improved and habitat extent increased; and
 - (c) development in or adjacent to wetlands of high environmental significance in Great Barrier Reef catchments being planned, designed, constructed and operated to minimise or prevent the loss or degradation of the wetlands and their values, or enhance these values.
- (2) Measures to protect biodiversity values from adverse impacts of development during construction and operation include:
 - (a) retaining native vegetation to the greatest extent possible through integration with development of the site and minimising edge effects;
 - (b) sequencing vegetation clearing in the presence of a qualified fauna spotter to provide opportunities for fauna to vacate affected land;
 - (c) rehabilitating with local endemic plants in undeveloped areas of the site where practicable before, during or immediately following completion of the development;
 - (d) allowing native vegetation to regenerate in cleared or disturbed areas of the site except for fire breaks and building envelopes;
 - (e) landscaping with local endemic plants;
 - (f) locating and designing public access to avoid disturbance to areas of environmental significance through measures such as exclusion devices, legal covenants, signage and designated access points;
 - (g) avoiding or minimising alterations to the natural landform, hydrology and drainage patterns and groundwater recharge processes so that development on the site does not negatively affect areas of environmental significance;
 - (h) incorporating measures that avoid or minimise the disruption of wildlife and their habitat and allow for their safe movement through or around the site. Appropriate measures may include vegetated buffers, fauna-friendly fencing, wildlife underpasses and overpasses, road signs alerting motorists to fauna movement and associated speed restrictions, access restriction, exclusion or guide fencing, noise control, sensitive lighting, and use of nest boxes in retained or nearby vegetation;
 - (i) implementing effective measures to prevent disturbance or predation of native fauna from domestic and pest species, such as exclusion zones which prevent physical entry to identified areas (where practicable);

- (j) implementing effective measures to anticipate and prevent the entry or spread of pest plants and animals in the areas of environmental significance relevant to the development;
 - (k) retaining biodiversity corridor values;
 - (l) minimising potential changes in fire regimes and the need for fire breaks on areas outside building envelopes;
 - (m) clustering development lots and building envelopes and minimising development footprints to maximise the ecological connectivity of native vegetation within the subject site and on adjoining properties;
 - (n) minimising edge effects on retained areas of environmental significance by retaining vegetation in the largest possible patches with the smallest possible perimeter to area ratios; and
 - (o) collocating required infrastructure, building envelopes and service and access corridors and locating in existing cleared areas where possible to minimise impacts on areas of environmental significance.
- (3) Where urban development or other activities occur adjacent to areas with environmental significance impacts must be avoided using measures by:
- (a) setting back buildings and structures as far away from the areas with environmental significance as possible. Particular attention should be given to the future operation of the structure or facility and ensure any potential impacts of nuisance (such as noise, light, vibration) are minimised;
 - (b) retaining native vegetation to the greatest extent possible adjacent to the area with environmental values;
 - (c) allowing for the regeneration of native vegetation to the area or rehabilitating with local endemic plants in non-vegetated areas of the site adjacent to the area of environmental significance, immediately following practical completion of the development, and landscaping with local endemic plant species;
 - (d) locating and designing public access to avoid disturbance of ecological values in the adjacent area of environmental significance;
 - (e) avoiding or minimising alterations to the natural landform, hydrology and drainage patterns and groundwater recharge processes so that development on the site does not negatively affect areas of environmental significance (as far as possible, natural topography must be maintained);
 - (f) incorporating measures that avoid the disruption of threatened wildlife and their habitat and allows for their safe movement through the site to the adjacent area of environmental significance. Appropriate measures may include vegetated buffers, fauna-friendly fencing, wildlife underpasses or overpasses, road signs alerting motorists to fauna movement, noise control and sensitive lighting, and use of nest boxes in retained or nearby vegetation (for example ensuring artificial lighting as seen from a turtle nesting beach is not increased);
 - (g) implementing effective measures to prevent disturbance or predation of native fauna from domestic and pest animal species;
 - (h) implementing effective measures to prevent the entry or spread of pest plants;
 - (i) minimising potential changes in fire regimes and the need for fire breaks on areas outside building envelopes and fire trails;
 - (j) minimising the need for local government mosquito and biting midge control measures;
 - (k) ensuring structures as a result of the development minimise shading of areas of environmental significance;
 - (l) rehabilitating undeveloped areas of the site where practicable before, during and immediately following completion of the development;
 - (m) retaining and enhancing ecological corridor values;
 - (n) clustering development lots and building envelopes and minimising development footprints to maximise the ecological connectivity of native vegetation within the subject site and with vegetation on adjoining properties, and minimise edge effects on retained areas of environmental value by retaining vegetation in the largest possible patches with the smallest possible perimeter to area ratios; and
 - (o) collocating required infrastructure, building envelopes and service and access corridors and locating in existing cleared areas where possible to minimise impacts on areas of environmental significance.

- (4) Within biodiversity corridors protection of wildlife movement can be enhanced by:
 - (a) incorporating fauna-friendly fencing;
 - (b) fencing to exclude domestic, livestock and pest species;
 - (c) encouraging the regeneration of native vegetation;
 - (d) including wildlife underpasses and overpasses;
 - (e) installing road signs alerting motorists of fauna movement;
 - (f) retaining habitat trees;
 - (g) using nest boxes and other supporting measures;
 - (h) applying appropriate buffers and setbacks;
 - (i) applying appropriate levels of access, lighting and noise;
 - (j) fencing to exclude domestic and pest species, encourage revegetation and prevent predation;
 - (k) ensuring that development (for example roads, pedestrian access, in-stream structures) both during construction and operation does not create barriers to the movement of fauna along or within biodiversity corridors;
 - (l) providing wildlife movement infrastructure where necessary and directing fauna to locations where wildlife movement infrastructure has been provided to enable fauna to safely negotiate a development area;
 - (m) separating fauna from potential hazards (for example through fencing); and
 - (n) using exclusion fencing that does not result in a barrier or hazard to the movement of fauna to manage the threat of pest species and to prevent stock from carrying weeds and exotic plants into the corridor.
- (5) During construction and operation of development, corridor biodiversity values are protected from impacts associated with noise, light or visual disturbance in the following ways:
 - (a) lighting is managed to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice;
 - (b) noise is managed to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice; and
 - (c) visual disturbance is controlled to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice. Visual disturbance may be controlled through exclusion of activities in certain areas (for example, line of sight buffers, exclusion fencing) and the use of visual screens, or similar, during sensitive periods such as breeding and roosting periods.

SC6.8.4 Preparation of an ecological assessment report

An ecological assessment report is a tool used to provide detailed information about the proposal, the potential ecological impacts of the proposal and the measures proposed to avoid or minimise adverse impacts. As a result each ecological assessment report is specific to the individual proposal.

Where a development site is subject to the provisions of this policy, the proponent is strongly encouraged to meet with Council officers prior to lodgement of the application; this will assist in determining and clarifying the relevant items to be addressed in the report. As a general guide the following format and content description indicates the items required to be detailed in the report.

SC6.8.4.1 Ecological assessment report format and content

- (1) Introduction:
 - (a) title and address of proposed development; and
 - (b) qualifications of author:
The ecological assessment report should be prepared by a suitably qualified person. Persons preparing the report must have tertiary qualifications in ecology, conservation biology, environmental planning or other appropriate disciplines. In addition persons undertaking this report must be suitably experienced in the survey, assessment and reporting of the ecosystems, flora, fauna and threatening processes occurring in the Rockhampton region. References and

experience of the author (such as other similar reports prepared by the consultant or consultants) should also be included.

- (2) State interests:

The report should address and reference any applicable legislation (both at federal and state level), state planning policies, local government policies and codes, other relevant plans and associated guidelines.
- (3) Overview:

The aim of the overview is to provide a clear and concise summary of what is discussed in the report, leaving the reader with a clear understanding of the reports, detailed assessment of the proposals potential impacts and measures to minimise the potential adverse impacts. The following may assist in conveying this information:

 - (a) background and scope of proposal — summarise the proposed development including the purpose and objectives, addressing the construction and operation of the project and associated infrastructure developments;
 - (b) existing environment — summarise the features of the physical, biophysical and built environment relating to the proposed development and associated infrastructure;
 - (c) potential impacts of the proposed development — summarise the main potential impacts of the project (direct, indirect and cumulative), both beneficial and detrimental, and any alternatives, on the existing environment;
 - (d) impact monitoring, protection and management procedures;
 - (e) summarise the safeguards, standards and management procedures proposed to protect the environment, including environmental monitoring and the methods proposed to ameliorate or alleviate the potential impacts; and
 - (f) conclusions — summarise the key strategies and measures to the proposal to address any adverse environmental impacts.
- (4) Background and scope of proposal:
 - (a) outline in detail the purpose and objectives of the proposed development;
 - (b) discuss the following to illustrate the background of the proposal:
 - (i) the need for the proposed development or works;
 - (ii) the history of the proposal's formulation;
 - (iii) any alternatives considered and reasons for choosing the preferred option; and
 - (iv) action already taken to minimise potential adverse impacts;
 - (c) provide a description of the project, addressing:
 - (i) the precise nature and scale of works;
 - (ii) the location and site requirements;
 - (iii) the plant and/or building layout, size and design and the development staging program;
 - (iv) the range and quantity of materials to be produced;
 - (v) the production process;
 - (vi) possible waste discharges;
 - (vii) on-site works and operations;
 - (viii) off-site works and operations;
 - (ix) transport systems;
 - (x) infrastructure requirements (water, sewerage, energy, waste disposal);
 - (xi) the workforce;
 - (xii) project life and time scale for completion; and
 - (xiii) the possible future expansion of associated development/works; and
 - (d) resource utilisation:
 - (i) detail the implications of the proposal for the use of natural resources, including the quantity and source of water, raw materials and energy to be used.
- (5) Existing environment:

The existing environment of the site and surrounding areas should be described in sufficient detail to allow the ecological impacts of the proposal to be accurately and adequately assessed, and to provide a baseline against which predicted and future changes can be assessed. This section shall address features such as the physical, biophysical and built environment relating to the proposed development and associated infrastructure. The following provides a comprehensive, but not exhaustive, list of

elements, which may need to be discussed to enable an adequate assessment of potential ecological impacts.

- (a) site and locality;
- (b) physical features including:
 - (i) landform, geology and geomorphology; and
 - (ii) hydrology (surface water and groundwater);
- (c) climate;
- (d) water quality;
- (e) air quality;
- (f) noise environment;
- (g) coastal processes (if applicable);
- (h) waterways, including:
 - (i) details of adjacent waterways;
 - (ii) nature of the waterway (fresh/salt water);
 - (iii) riparian vegetation;
 - (iv) existing disturbances; and
 - (v) plans showing tidal levels or banks;
- (i) ecological status/significance including:
 - (i) types, structure and location of vegetation associations on the site and surrounding areas, including measures of foliage cover, health and natural regeneration;
 - (ii) species of flora and fauna (aquatic and terrestrial, native and introduced), weed and pest species, including the location and abundance of each species, especially the presence of rare or endangered species;
 - (iii) conservation significance — local, regional and national status; and
 - (iv) special ecological values of the site such as refuge habitat, breeding habitat, corridor for wildlife movement and use by migratory species;
- (j) social cultural and economic characteristics;
- (k) indigenous and cultural history, including consultation with the environmental protection agency indigenous sites database and traditional owners regarding potential impacts to cultural heritage values;

Editor's note—Where an information request requires a cultural heritage survey to be submitted for assessment, it is recommended the survey be undertaken in consultation with the relevant indigenous owners and by a cultural heritage practitioner under a permit issued by the Environmental Protection Agency pursuant to the Aboriginal Cultural Heritage Act 2003.

- (l) landscape character and visual amenity; and
- (m) infrastructure, addressing items such as:
 - (i) transport;
 - (ii) water supply;
 - (iii) effluent treatment and disposal;
 - (iv) solid waste;
 - (v) public amenity and access; and
 - (vi) power and communications.
- (6) Potential impacts of the development on the existing environment:
Identify and detail the nature of any potential impacts, including cumulative impacts of the development on the existing environment including joint resolution of conflicts between economic, social and environmental impacts. These may be adverse or beneficial, direct or indirect, short- or long-term or incremental and are to be considered for both the construction and operation phases of the development. Detail any irreversible commitment of resources that would be involved if the proposed development is implemented. Discussion on the potential impacts of the development on the existing environment should include potential impacts on:
 - (a) physical features including:
 - (i) landform, geology and geomorphology; and
 - (ii) hydrology (surface and groundwater);
 - (b) ecological status/significance;
 - (c) air quality;
 - (d) water quality;
 - (e) noise levels;

- (f) coastal processes (if applicable);
 - (g) waterways, including:
 - (i) proposed disturbance to waterways;
 - (ii) reasons for the disturbance; and
 - (iii) disturbance of any marine or riparian vegetation;
 - (h) infrastructure; and
 - (i) safety and risk assessment including:
 - (i) potential events; and
 - (ii) safety program.
- (7) Mitigation strategies:
Prepare proposal plans and management plans detailing the location, extent and nature of all measures designed to prevent, avoid, mitigate and/or manage the identified impacts. Information must clearly demonstrate how the proposed mitigation strategies will enable the proposal to meet the nature conservation obligations as described in the relevant statutory planning mechanisms.
- (8) Biodiversity survey principles:
Observe the following principles when undertaking a biodiversity survey for flora and fauna species and/or vegetation communities:
- (a) any survey program should account for the life histories and habitat requirements of native wildlife known or likely to inhabit the site. A survey program must provide adequate coverage of all habitat types within the subject site, including ecotones, as well as use survey techniques that are suited to the flora and fauna species and vegetation communities being surveyed and to the site characteristics;
 - (b) identify aspects of the survey program that may affect the quality of data collected and adequately address these aspects. This may include the following influencing factors:
 - (i) seasonal and daily variation in fauna breeding, foraging and migration patterns;
 - (ii) prevailing weather conditions on survey days for example temperature, humidity, rainfall or wind;
 - (iii) general weather conditions prior to survey;
 - (iv) habitat coverage;
 - (v) duration of the surveys for example number of trap nights;
 - (vi) timing of the surveys for example diurnal, nocturnal or early morning; and
 - (vii) observer skill and experience;
 - (c) assess and redress the accuracy and validity of survey findings when these aspects are taken into account;
 - (d) ensure data is collected in a consistent format and is transparent and repeatable; and
 - (e) always employ practices that avoid or minimise environmental impacts or disturbances when undertaking any ecological investigation or survey.
- (9) Impact monitoring, protection, risk management and post development management procedures:
An environmental management plan should be prepared for the development to outline measures to maintain or monitor potential impacts of a proposal (refer to section SC6.8.5 of this policy for detail on an environmental management plan).
- (10) Consultation:
The applicant/consultant should consult with relevant interest groups and parties likely to be affected by the proposal, and issues generated should be documented along with any proposed measures to address these issues.
- (11) References:
- (a) list other reference material and literature used;
 - (b) list authorities consulted and contributors to the report; and
 - (c) cross-reference the reference material in the text to allow easier access to information.
- (12) Appendices:
- (a) include detailed technical information collected through the investigation; and
 - (b) include relevant documents or correspondence from Government authorities.

SC6.8.5 Environmental management plans

- (1) An environmental management plan (EMP) seeks to ensure that the potential impacts of development on the environment are adequately controlled. An environmental management plan is a written description of what levels of environmental impact are intended to be achieved or maintained and how it is proposed to achieve or maintain them. This can include the construction, operational and decommissioning stages of a development.
- (2) Environmental management plans will vary for each site or location based on the different characteristics and issues for each proposal. The environmental management plan allows the Council to assess how the issues associated with a proposal on site will be managed to maintain or enhance its environmental values. The range of issues that may be addressed in an environmental management plan include, but are not limited to, the following:
 - (a) acid sulfate soil;
 - (b) air quality;
 - (c) biting insects;
 - (d) buffer area management;
 - (e) building/structure conservation or retention;
 - (f) bushfire risk management;
 - (g) energy efficiency and management;
 - (h) erosion and sediment control;
 - (i) fauna;
 - (j) land stability;
 - (k) loss of topsoil and associated dust problems;
 - (l) management of activities and events, including monitoring and corrective action;
 - (m) management of the impacts of land uses on surrounding sites;
 - (n) natural and cultural heritage preservation/management;
 - (o) noise control;
 - (p) rehabilitation/landscaping;
 - (q) rehabilitation of sites;
 - (r) remnant vegetation;
 - (s) resource and waste management;
 - (t) stormwater management;
 - (u) vegetation management;
 - (v) visual amenity;
 - (w) water quality/waterway health/hydrological change;
 - (x) weed control; and
 - (y) wetlands.
- (3) Essential components of an environmental management plan:
 - (a) identify all aspects of the project that require environmental management;
 - (b) establishment of agreed performance criteria in relation to environmental and social impacts;
 - (c) detailed practical and achievable prevention, minimisation and mitigation strategies (including design standards) for controlling environmental impacts of the proposal at specific sites;
 - (d) details of the proposed monitoring of the effectiveness of remedial measures against the agreed performance criteria based on legislative requirements and government policies. The frequency of monitoring for each parameter and proposed location of monitoring sites should be shown to allow consideration of monitoring in a risk assessment;
 - (e) detail the features of alternatives investigated and the reasons for choosing the preferred option;
 - (f) identify the authority and their responsibility for implementing management measures during both construction and operational stages of a proposal;
 - (g) timing (milestones) of environmental management initiatives;
 - (h) reporting requirements and auditing responsibilities for meeting environmental performance criteria;
 - (i) establish procedures for monitoring and reporting incidents;

- (j) detail courses of action (and responsibility) for responding to incidents or non-compliance and emergency events which may be detailed or arise;
- (k) corrective actions to rectify any deviation from performance standards; and
- (l) provision of accurate maps to support/illustrate any of the above.

SC6.8.5.1 Suggested environmental management plan format

- (1) Introduction:
 - (a) description of the development proposal;
 - (b) the need for the environmental management plan in relation to the development; and
 - (c) structure and scope.
- (2) Aims of the environmental management plan:
 - (a) provide a framework for practically addressing and monitoring the significant environmental impacts of the proposal;
 - (b) ensure compliance with legislative requirements and government policies; and
 - (c) provide evidence that the works and operations are being conducted in an environmentally responsible manner.
- (3) Identification of environmental issues or environmentally impacting activities and associated management actions:
 - (a) for each issue or environmentally impacting activity outline the following:
 - (i) policy for addressing the issue/activity;
 - (ii) performance criteria;
 - (iii) implementation strategy;
 - (iv) monitoring program; and
 - (v) details of how reporting will influence mitigation measures and how reporting is to take place.

SC6.8.6 Rehabilitation plans

A rehabilitation plan must be prepared where rehabilitation of a site(s) is undertaken. A rehabilitation plan must address the following:

- (1) Methodology — describe the process used to develop the plan. Include all field surveys, mapping data and literature used. Provide background information and describe the complexity of the project.
- (2) Environmental values — describe the key environmental values within and adjoining the rehabilitation area. Environmental values may include but not be limited to fauna or flora, vegetation communities, cultural heritage, geological, habitat, environmental corridors or biophysical values.
- (3) Ecosystem threats — describe the current and future threats to ecosystem and environmental values. Threats may include but not be limited to weed infestation, illegal access, erosion, grazing, inappropriate fire or hydrological regimes, inappropriate access, sedimentation or salinity.
- (4) Ecosystem condition — identify the condition of ecosystems within the rehabilitation area. The condition assessment will be used to determine management objectives and activities. The current condition should be accompanied by a series of photographs taken from established reference points.
- (5) Rehabilitation targets — determine appropriate and realistic rehabilitation targets based on assessment of ecosystem threats and condition.
- (6) Overall rehabilitation goals — provide an overarching statement of the desired outcome(s) for the rehabilitation plan.
- (7) Rehabilitation objectives — develop objectives to meet rehabilitation goals. The objectives will form the basis of the rehabilitation plan. Objectives can be used to set milestones and determine rehabilitation progression.
- (8) Rehabilitation activities — identify and describe all activities that are required to meet the objectives. It must be clear what activities will be undertaken during the project and how they will be implemented.
- (9) Performance criteria — performance criteria must be measurable, specific and relate directly to rehabilitation goals, objectives and activities. The performance criteria may include but not be limited to floristic and structural vegetation parameters, weed

abundance, erosion, natural revegetation, recruitment, vegetation condition and fauna populations.

- (10) Management zones — for clarity it is important to identify management zones based on rehabilitation activities. Define which parts of the rehabilitation area will be retained, regenerated and revegetated. The management zones must be provided in a geographical information system spatial layer or a clearly annotated site map/aerial photograph.
- (11) Implementation schedule — determine an appropriate implementation schedule stating what activities will be undertaken during development and what activities need to be continued once transferred to Council. To improve the handover process to Council it is necessary to identify at what stage Council will need to continue with rehabilitation activities.
- (12) Monitoring and reporting — provide a monitoring and reporting schedule that will be implemented over the duration of the project. Work records of all activities including photos of the works must be submitted to Council quarterly for the duration of the project (includes the maintenance period).

SC6.9 Economic impact assessment planning scheme policy

SC6.9.1 Application

This planning scheme policy applies to a development application for a material change of use of premises where an economic impact assessment report is required to demonstrate compliance with the planning scheme for:

- (1) development that is above the gross floor area threshold outlined in the tables of assessment; or
- (2) a significant in-centre or out-of-centre development of a commercial nature; or
- (3) development where there is a potential conflict with the planning scheme; or
- (4) impact assessable development of a commercial nature in any zone.

SC6.9.2 Purpose

The purpose of this planning scheme policy is to:

- (1) protect the economic viability and the intended role and successful functioning of centres;
- (2) provide applicants with direction on how to undertake an economic impact assessment to demonstrate that the development will meet the requirements and intentions expressed in the planning scheme; and
- (3) specify the information requirements expected to be incorporated within an economic impact assessment report.

SC6.9.3 Economic impact assessment report

SC6.9.3.1 Purpose

The purpose of an economic impact assessment report is to:

- (1) demonstrate that there is a community, economic and planning need for the development;
- (2) demonstrate that the development is of an appropriate size;
- (3) identify and address the economic impacts associated with the development and the effects on existing and designated centres; and
- (4) demonstrate there are no other sites available in a designated centre or sequentially closer to a designated centre that could accommodate the proposed development.

SC6.9.3.2 Information required in the report

The economic impact assessment report should contain information to adequately address the requirements listed below and must be prepared by a suitably qualified professional.

SC6.9.3.2.1 Community, economic and planning need

The economic impact assessment report must demonstrate the community, economic and planning need for the development within the next five (5) years and must provide:

- (1) an estimate of the demand, or likely future demand, for floor space in the primary trade area of the centre;
- (2) an estimate of the existing population and demographics of the primary trade area having particular regards to:
 - (a) the existing population;
 - (b) household sizes and structures;
 - (c) the number of approved and vacant serviced lots;
 - (d) the median household income and the projected household expenditure patterns;
 - (e) the land potentially available for residential use and any development that would increase the catchment population; and
 - (f) forecasts of future population and household numbers; and

Editor's note—Assumptions about future population and employment projections are contained within Part 4—Local government infrastructure plan.

- (3) an analysis of the necessary turnover and productivity levels required to support the proposed development. For existing centres the estimated current turnover and productivity levels should be benchmarked against industry averages.

SC6.9.3.2.2 Size

The economic impact assessment report must demonstrate that the development is of an appropriate size and must provide:

- (1) identification of and justification of the primary trade area and the projected secondary trade area of the proposed development and proposed existing centres within the trade areas by:
 - (a) undertaking a shopper survey; and
 - (b) measuring driving times;
- (2) identification of existing retail gross leasable area and designated/approved new retail gross leasable area in the primary trade area of the proposed development;
- (3) for an existing centre, an assessment of the current market share the centre is achieving and for both existing and new developments, an assessment of the market share that the proposed development is likely to achieve;
- (4) details as to the major prospective tenants and their commitments; and
- (5) an assessment of the level of escape expenditure (if any) from trade areas.

SC6.9.3.2.3 Economic impacts

The economic need and impact assessment report must provide:

- (1) an estimate of the total available spending by existing and projected future residents of the primary trade area, taking into consideration the demographic characteristics of the population and potential for real expenditure growth; and
- (2) an estimate of the impact of the development on:
 - (a) the turnover and productivity levels and market share of existing, designated and planned retail uses within and adjacent to the trade areas;
 - (b) the vitality and viability of existing, designated and proposed centres;
 - (c) the extent to which the development would alter the role and function of centres in the centre hierarchy; and
 - (d) changes to the range of shops and services provided by these centres.

SC6.9.3.2.4 Sequential site selection

The economic impact assessment report must provide:

- (1) a sequential site selection analysis that identifies:
 - (a) designated centres within the primary trade areas; and
 - (b) available sites in the centres that are sequentially closer to the centre that could accommodate the proposed development, taking into account potential disaggregation of the proposed uses;
- (2) an analysis of the identified sites' availability, suitability and viability; and
- (3) a comparison and assessment of the identified sites against the proposed development site.

SC6.10 Flood hazard planning scheme policy

SC6.10.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by:

- (1) the Fitzroy River flood overlay map OM-8A; or
- (2) floodplain investigation area overlay map OM-8B; or
- (3) local catchment overlay map OM-8C.

Development within these areas will need to address the flood hazard overlay code and may require a flood hazard risk assessment, flood impact and/or a flood study to be submitted as part of a development application.

SC6.10.2 Purpose

The purpose of this planning scheme policy is to provide information, advice and design criteria to support the outcomes required by the flood hazard overlay code. The policy provides guidance on:

- (1) the process to be followed in carrying out a flood hazard risk assessment to determine the severity of flood risk a site may be exposed to;
- (2) how to minimise flood risk by addressing the items required for either a hydrologic and hydraulic assessment report or a flood study; and
- (3) ensuring that development is compatible with the flood risk inherent on site, and is designed and situated to minimise the risk of flooding to people and property.

SC6.10.3 Flood hazard risk assessment

The safety of people and the susceptibility of development and infrastructure to flood damage are primarily linked to flood behaviour, which varies across the floodplain, watercourse and overland flow paths, between flood events of different sizes, and across different floodplains. Therefore, in order to manage flood risk, it is pertinent to understand the full range of potential flood behaviour within the floodplain to comprehend the vulnerability of the community to flooding.

A flood hazard risk assessment is a formal means of identifying and managing the existing, future and residual risks of flooding. The aim is to ensure that risks, including safety, environmental, social and economic associated with the proposed development are compatible with the flood hazard and level of flood immunity at the site. Council has adopted a risk-based approach to managing flooding and coastal related risks which accords with the international standard AS/NZS ISO 31000:2018. This approach establishes a four (4) step process to risk assessment, as follows:

- (1) Risk identification;
- (2) Risk analysis;
- (3) Risk evaluation; and
- (4) Risk treatment.

Stage one (1) involves the identification of the nature and extent of flood and coastal hazards by undertaking an extensive suite of technical investigations, covering both catchment flooding and storm tide inundation. The entire local government area is captured by these investigations.

Stage two (2) involves the preparation of Risk Management Studies for both riverine/creek flooding and storm tide inundation which have analysed the risk associated with a range of events. In accordance with AS/NZS ISO 31000:2018 risk is defined as the combination of likelihood of occurrence of an event and the consequence if the event occurs. For these studies, likelihood is interpreted as the frequency of the flood or storm tide event, while hydraulic hazard categories were used to define the flood behaviour characteristics, which provide an indicative measure of the consequences of flooding and inundation.

Stage three (3) involves the determination of acceptable, tolerable and intolerable risks, while Stage four (4) involves the implementation of risk treatment measures that will reduce risks from a tolerable or intolerable level down to a level considered acceptable to Council and the community. Council has adopted the following risk categorisation consistent with the State Planning Policy – State Interest Guideline: Natural Hazards Risk and Resilience –

- Acceptable risk – A risk that, following an understanding of the likelihood and consequences, is sufficiently low to require no new treatments or actions to reduce risk further. Individuals and society can live with this risk without feeling the necessity to reduce the risks any further.
- Tolerable risk – A risk that, following an understanding of the likelihood and consequences, is low enough to allow the exposure to continue, and at the same time high enough to require new treatments or actions to reduce risk. Society can live with this risk but believe that as much as is reasonably practical should be done to reduce the risks further.
- Intolerable risk – A risk that, following an understanding of the likelihood and consequences, is so high that it requires actions to avoid or reduce the risk. Individuals and society will not accept this risk and measures must be put in place to reduce risks to at least a tolerable level. For the purpose of this document and alignment with State Government terminology, unacceptable risk is considered to also be intolerable risk.

In accordance with the flood hazard overlay code, site specific flood hazard risk assessment may be required to facilitate assessment of development on flood prone land to ensure the proposal is located on land with the least risk, and where management of the hazard can be lowered to an acceptable risk level.

A flood hazard risk assessment can be achieved in two forms:

- (1) through the preparation of a hydrologic and hydraulic assessment report (where the nature of flooding at a specific site is low or medium risk or uncertain); or
- (2) through the preparation of a flood study (where the flood risk is determined to be medium, high or extreme, or for areas disputed by the applicant as being at risk of flood).

A suitably qualified professional specialising in hydrology, hydraulics, and floodplain management is required to undertake the flood hazard risk assessment in accordance with the framework outlined in Australian Standard/New Zealand Standard AS/NZ ISO 31000:2018 — Risk management — Guidelines. This would be a Registered Professional Engineer of Queensland, specialising in hydrology and hydraulics.

Prior to the preparation of either report or study, the proponent must first identify the flood level (in metres at Australian Height Datum), flood depth, and velocity (if applicable) of the site.

SC6.10.3.1 Council's flood information

A number of recent flood studies have been undertaken throughout the Rockhampton Regional Council local government area. These flood studies and associated mapping have been used to determine the flood hazard classification, depth and the flood velocity of a site, and can be accessed on Council's website. Applicants can obtain detailed information for a particular site by applying to Rockhampton Regional Council for a flood records search. A nominal fee is applicable for the flood search, and applicants receive the requisite information within five (5) business days. Flood models prepared as part of Council's flood studies are also available, and applicants can access these models by paying a nominal fee and entering into a data sharing agreement with Council.

If Council has insufficient site information to determine the flood level, depth, and velocity, then the applicant will need to provide a qualified surveyor's report detailing:

- (1) surface levels for the subject site (including details of the highest and lowest points);

- (2) levels at each property corner; and
- (3) adjacent road surface levels.

All levels are to be in terms of Australian Height Datum and the report or survey plan shall identify the survey reference point(s) used to determine those levels.

This information may be supplemented by anecdotal information relating to the site or the immediate locality, such as extracts from newspapers at the time of previous floods, statutory declarations from persons who were present at the time of such floods, photographs, and records of water marks or debris deposits at peak heights in the area. If this information is considered by the assessment manager to be sufficient to prove that the proposed development is not at risk of flood, and that pre- and post-development flood impacts are at an acceptable level of risk, then no further action is required by the applicant.

SC6.10.3.2 Factors determining flood hazard

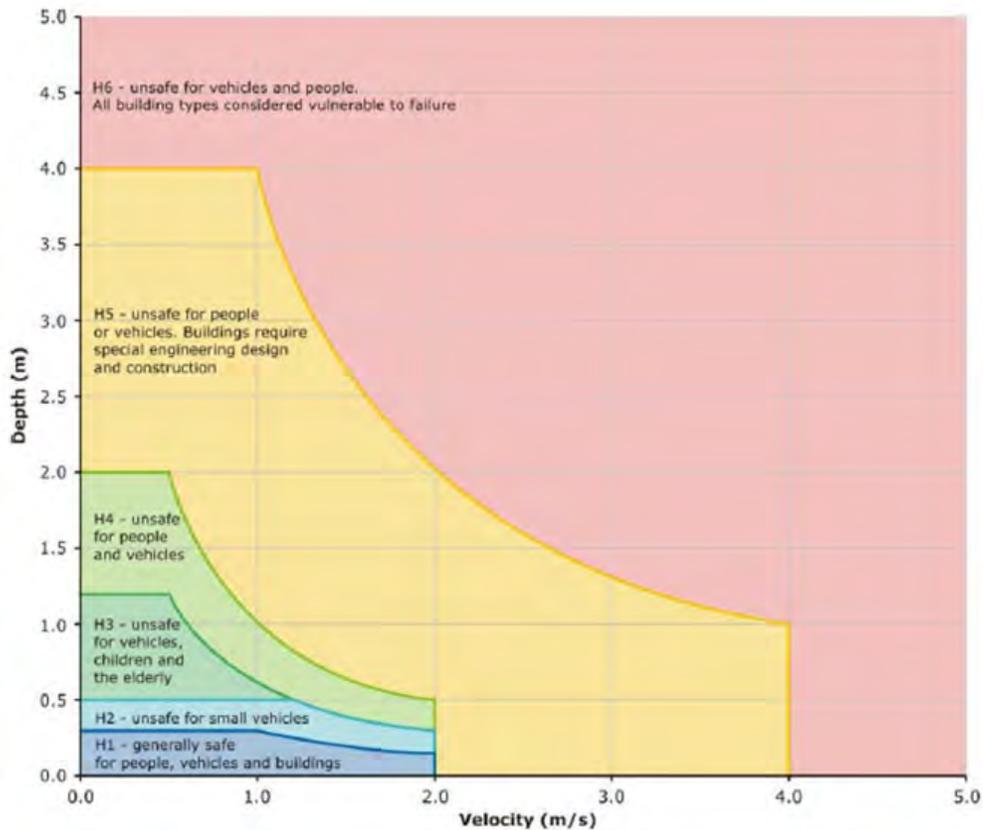
Factors which determine flood hazard include:

- (1) the size and extent of flood;
- (2) depth and velocity of flood waters as determined by the size of the flood and the hydraulic characteristics of the river, local catchments and drainage features located within the floodplain;
- (3) effective warning time and rate of rise of floodwaters, which is influenced by catchment characteristics and the rainfall event(s) which caused the flood;
- (4) duration of flooding, and the length of time people and property are isolated or cut off by floodwaters;
- (5) site topography;
- (6) the presence of obstructions such as buildings, embankments, bridges, built-up lands and fences blocked with debris which may affect the conveyance of floodwater;
- (7) flood awareness in the community, as a high degree of community awareness leads to greater resilience and quicker response times by members of the community when flood warnings are issued;
- (8) flood free or low flood hazard access, by way of trafficable roads to facilitate evacuation or provision of supplies;
- (9) availability of emergency evacuation options including the ability to leave the flood affected land on foot (wading) or by vehicle, distance from flood free ground, and degree of isolation, as these may be affected by depth and velocity of floodwaters; and
- (10) potential for damage, which is influenced by the amount and type of development in a flood prone area.

SC6.10.3.3 Flood hazard mapping methodology

The flood hazard mapping methodology involves determining the peak hazard. Peak flood hazard is the relationship between the velocity depth product and maximum flood depth to define safe and unsafe floodwater conditions with respect to people, vehicles and property.

Peak flood hazard is related to the direct action of floodwaters during the flood event. The peak hazard contours presented on the overlay maps are based upon recommendations outlined in Australian Rainfall and Runoff 2016. Figure SC6.10.3.3.1 and tables SC6.10.3.3.2, and SC6.10.3.3.3 below presents the adopted hazard category relationship.



(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

Figure SC6.10.3.3.1 General flood hazard vulnerability curves

Table SC6.10.3.3.2 Combined hazard curves - vulnerability thresholds

Hazard Vulnerability Classification	Description
H1	Generally safe for vehicles, people and buildings.
H2	Unsafe for small vehicles.
H3	Unsafe for vehicles children and the elderly.
H4	Unsafe for vehicles and people.
H5	Unsafe for vehicles and people. All buildings vulnerable to structural damage. Some less robust buildings subject to failure.
H6	Unsafe for vehicles and people. All building types considered vulnerable to failure.

(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

Table SC6.10.3.3.3 Combined hazard curves - vulnerability thresholds classification limits

Hazard Vulnerability Classification	Classification Limit (D and V in combination) (m ² /s)	Limiting Still Water Depth (D) (m)	Limiting Velocity (V) (m/s)
H1	$D \cdot V \leq 0.3$	0.3	2.0
H2	$D \cdot V \leq 0.6$	0.5	2.0
H3	$D \cdot V \leq 0.6$	1.2	2.0
H4	$D \cdot V \leq 1.0$	2.0	2.0
H5	$D \cdot V \leq 4.0$	4.0	4.0
H6	$D \cdot V > 4.0$	-	-

(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

SC6.10.4 Development within Flood Management Areas

For properties falling within a flood management area, such as the North Rockhampton Flood Management Area (as identified in the Fitzroy Flood Overlay Map OM-8A), a number of mitigation measures designed to improve the flood immunity and provide protection from Fitzroy River flood events up to and including the one (1) per cent annual exceedance probability (AEP) event are being implemented to reduce the impacts of flooding. These measures include:

- (1) a permanent earth and concrete block levee to protect residential properties in Fraser Street and Dowling Street against Fitzroy River flood events up to the one (1) per cent annual exceedance probability. These works will also incorporate backflow prevention devices to prevent flood waters entering a flood management area through the stormwater system;
- (2) a temporary flood barrier system (approximately 377 metres long) that is installed during periods of flooding along Ellis and Rodboro Streets, to prevent flood water from Frenchman's Creek entering properties behind the barrier during Fitzroy River flooding. Backflow prevention devices have also been installed to prevent flood waters entering the flood management area through the stormwater system;
- (3) backflow prevention devices installed on stormwater outlets on the southern side of Lakes Creek Road and the railway line to prevent flood water entering the flood management area through the stormwater system. The elevation of Lakes Creek Road is above the one (1) per cent annual exceedance probability, which allows it to act as levee for the area during Fitzroy River flooding; and
- (4) sealing sewerage access chambers within the flooded area, outside the flood management area and to the south of Lakes Creek Road, to reduce the risk of the backflow of flood water through the sewerage reticulation system.

SC6.10.4.1 Levees

It must be noted that levees are a mitigation measure to protect property, not lives or people's safety. Levees are not an intrinsic solution to flooding of a development and should not be used to justify new development in areas of high flood risk, such as the flood management areas. The presence of the above mitigation measures in the North Rockhampton Flood Management Area does not negate the residual risk.

SC6.10.4.2 Residual risk

Unless a levee has been built to protect the probable maximum flood (PMF), it will overtop at some stage. Levees that overtop in extreme floods can produce a much higher flood hazard to people and structures than if they had not been built in the first place. This can lead to an increase in flood damage, and subsequently greater potential for damage. Levee failure can also occur through other mechanisms, such as piping failure. If or when a levee fails, potentially large numbers of houses could be affected by flooding to significant depths. If the levee breaches, the velocity of the water in the vicinity of the breach can also be substantial. Also, areas protected from riverine and creek flooding can still be subject to stormwater flooding as a result of a large thunderstorm bringing heavy rain beyond the capacity of the local drainage system.

Hence, due to the residual risk of flooding inherent within the North Rockhampton Flood Management Area, the provisions of the Flood Hazard Overlay Code, will still apply. As Council gains greater awareness and understanding of the residual risk, Council may revise aspects of the planning scheme to reflect the capability of flood mitigation measures to manage the residual risks for a site.

SC6.10.5 Technical Reports

The technical reports that are required to be prepared by the assessment benchmarks of the Coastal hazard overlay code, Flood hazard overlay code, and Stormwater Management code are outlined in the following sections.

SC6.10.5.1 Development assessment requirements

The level of detail required to describe proposed works may vary depending on the level of development approval sought, and the flood hazard risk inherent for the site. A suitably qualified Registered Professional Engineer of Queensland (RPEQ) specialising in hydrology and hydraulics should be involved in scoping the requirements to ensure an appropriate assessment of the flooding and overland stormwater flow impacts and proposed works is provided for the development.

SC6.10.5.2 Hydrologic and hydraulic assessment report

Council may require applicants to prepare a hydrologic and hydraulic assessment report for low and medium risk development applications, where the average velocities are low, and flow depths are shallow, and where the primary concern is related to flood immunity.

SC6.10.5.2.1 Purpose

The purpose of the hydrologic and hydraulic report is to provide an assessment of the flood impacts and flood immunity with regard to:

- (1) buildings and ancillary structures on flooding and overland flow;
- (2) any development within a waterway corridor; and
- (3) the effect of filling and excavation on flood storage, flow conveyance, and flood immunity for the development, to ensure no adverse impacts to downstream and adjacent properties.

SC6.10.5.2.2 Hydrologic and Hydraulic assessment report outline

A hydrologic and hydraulic assessment report may contain (where appropriate) the following information:

- (1) an assessment of flood level, flow or velocity with a view to ensuring that no adverse off-site impacts occur;
- (2) an assessment of any impacts of the development upon the uses identified in the flood hazard overlay code of the planning scheme;

- (3) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;
- (4) details of all flood level and flow calculation made in the assessment of the existing site and the proposed development impact;
- (5) details of the methodology (including justification of assumptions used and any limitations) and results;
- (6) tables showing differences between existing and proposed scenarios for water level, velocity and flow discharge;
- (7) cross sections with existing/design levels, design flood level, and energy grade line;
- (8) a plan of ground levels, along with volumetric flood storage calculations for any filling or excavation works, to confirm no loss of flood storage. A separate filling and excavation plan may be requested by Council depending on the extent of proposed earthworks;
- (9) flow calculations to confirm flow velocities, flood immunity, and no worsening to downstream or adjacent properties; and
- (10) hydraulic gradeline analysis of any proposed pipeline and other hydrological calculations.

SC6.10.5.2.3 Supporting information

Council may also request the following as supporting information to accompany the Hydrologic and Hydraulic assessment report:

- (1) Existing site survey plan from a registered surveyor to scale with cadastral boundaries, ground levels, existing structures, trees, fences, kerb and road levels, pipe invert levels and pit surface levels shown.
- (2) Plan and sections of the development proposal clearly showing habitable, non-habitable levels, proposed fill levels and extent and relevant ground levels.
- (3) Catchment plan to scale with hydrological calculations.
- (4) Plan to scale, showing the location of all hydraulic model cross sections.
- (5) Drawings showing the cross sections of any filling or excavation.

A person with acceptable qualifications and experience to prepare the hydrologic and hydraulic assessment report would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.3 Flood study

Where the nature of flooding at a specific site is uncertain, or development is proposed in medium, high or extreme flood hazard areas, Council may request applicants to submit a written assessment of the nature of flooding at the site of the proposed development, as part of an information request under the Development Assessment rules (DA rules). This assessment, known as a flood study, will need to contain details of the assessed flood characteristics at the site, and how the proposed development will address drainage, overland flow and/or flooding and/or a defined flood event (DFE) to determine the potential flood damage caused by the proposal, the potential impact on adjacent property and infrastructure and the impact of the proposal on catchment flows and flood levels. The flood study will also need to provide recommendations outlining how the flood impacts will be reduced or mitigated.

SC6.10.5.3.1 Purpose

The primary purposes of a flood study for development assessment are:

- (1) to reliably assess if there are any off-site impacts of the development on adjacent property and infrastructure;
- (2) to assess the on-site impacts and how the development will manage these (mitigation, resilience etcetera); and
- (3) to assess access associated risks including access and evacuation routes.

In some instances this may be a relatively simple hydrologic and one dimensional hydraulic assessment (for example, for overland flow paths) and in some instances this may be comprehensive two dimensional flood modelling.

SC6.10.5.3.2 Flood study outline

A flood study involves hydrological and hydraulic assessments to estimate catchment flows, flood levels, or to demonstrate that the development or any flood mitigation work would not adversely impact on flooding upstream, downstream or adjacent property or infrastructure. An operational work application for filling or excavation may require the carrying out of a flood study.

A flood study may include following information:

- (1) an assessment of the catchment, as pertaining to the development area, for the full range of design flood events, specifically, the thirty nine (39), twenty (20), ten (10), five (5), two (2) and one (1) per cent annual exceedance probability events (and lower probability flood events, if applicable) to the type of development proposed;
- (2) if falling within the coastal zone, the provisions made for storm surge;
- (3) for developments within the Fitzroy River floodplain, details of the tail water level (five (5), two (2) and one (1) per cent annual exceedance probability flood levels (and lower annual exceedance probability events, if applicable) adopted during the assessment of the catchment;
- (4) details of sensitivity analysis undertaken, assessing the influence of, but not limited to:
 - (a) variation of all Mannings 'n' values by ten (10) per cent to twenty (20) per cent;
 - (b) variation of the tail water level; and
 - (c) blockage considerations as outlined in the Queensland Urban Drainage Manual and Australian Rainfall and Runoff Project 11 Blockage of Hydraulic Structures;
- (5) details of, where possible, calibration of the model to known and recorded flood levels within the catchment or waterway or equivalent;
- (6) an assessment of flood level, flow or velocity with a view to ensuring that no adverse off-site impacts occur;
- (7) an assessment demonstrating that no significant or sudden change in distribution of the defined flood event flow, flood level or velocity shall occur which may result in:
 - (a) the failure of a levee;
 - (b) blockage and/ or breakout;
 - (c) excessive scour;
 - (d) realignment of the waterway;
 - (e) sedimentation;
 - (f) bank instability and collapse;
 - (g) a reduction in flood warning times;
 - (h) extension of the duration of inundation;
 - (i) hindrance to emergency evacuation routes;
 - (j) disruption to critical infrastructure, services, or access routes;
 - (k) exacerbation of risk to people, property and community infrastructure; and
 - (l) general decrease in amenity;
- (8) an assessment of any impacts of the development upon the uses identified in the flood hazard overlay code of the planning scheme;
- (9) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;
- (10) details of all flood level and flow calculations made in the assessment of the existing site and the proposed development impact;
- (11) details of the methodology and input data for any hydraulic or hydrologic modelling undertaken;
- (12) provision of flood maps depicting the following:
 - (a) flood extents for the full range of annual exceedance probability storm events modelled for various scenarios including pre-developed (existing case), developed case and, if applicable, ultimate developed case;
 - (b) velocity-depth profiles;
 - (c) flood hazard mapping;
 - (d) flood velocity range and vectors;

- (e) shear stress;
 - (f) the effects of sensitivity analyses;
 - (g) impact maps portraying effects of various increment levels to demonstrate compliance with the flood hazard overlay code;
 - (h) current natural surface levels (in metres Australian height datum) with respect to the defined flood event;
 - (i) any proposed adjustment to natural surface levels, with respect to the defined flood event; and
 - (j) estimated flood depths and velocity on the site and on adjoining or impacted properties both pre-development and post-development;
- (13) consideration of flood resilient design;
 - (14) details of any hazardous goods, mitigation measures for this, and associated environmental impacts;
 - (15) an evacuation plan;
 - (16) details of flood depths and velocities along evacuation route(s) from the proposed development to high ground;
 - (17) number of people likely to be evacuated;
 - (18) effective flood warning time;
 - (19) source(s) of information;
 - (20) qualifications and experience of the author of the flood impact report/statement; and
 - (21) any other matters which are considered relevant by the assessment manager on behalf of Rockhampton Regional Council.

A person with acceptable qualifications and experience to prepare the flood study would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.3.3 Additional flood study requirements

In certain instances, Council may require the flood study to also include information in addition to the above requirements. These may include (where applicable) some or all of the following:

- (1) site survey plan showing the location of buildings and underground stormwater infrastructure (line and level);
- (2) a catchment plan detailing internal and external drainage catchments and their respective areas;
- (3) the location and details of drainage easements associated with underground drainage, open channel drainage or overland flow paths;
- (4) a scaled drawing showing the hydraulic model layout (cross sections) or digital elevation model (DEM) over a cadastral background, also noting details of relevant structures (hydraulic controls);
- (5) scaled drawings showing a comparison of existing and proposed flood inundation extents;
- (6) flood afflux and Manning's roughness maps, when using two-dimensional modelling techniques;
- (7) assessment of the cumulative impacts of the proposed development on floodplain storage;
- (8) detailed plans for any proposed waterway structures;
- (9) detailed earthwork plans for any channel works or flow path modifications proposed by the development;
- (10) location of waterway corridors and relevant flood hazard areas;
- (11) cross sections of existing or proposed basins, embankments, spillways and any other structures that may act as hydraulic controls; and
- (12) all information used in the preparation of the study, including, but not limited to:
 - (a) source/s of information;
 - (b) methodology;
 - (c) hydrologic and hydraulic models;
 - (d) calibration techniques for mathematical models;
 - (e) model accuracy; and
 - (f) qualifications and experience of the author of the flood study.

As mentioned above, the flood study is to be supervised and certified by a suitably qualified professional with demonstrated expertise in hydrology, hydraulic modelling and stormwater engineering. This would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.4 Structural Engineering Design Report (coastal and flooding hazards)

A Structural Engineering Design Report is a requirement for development which is at a medium, high, or extreme risk of impact from flood or coastal hazards. Specifically, a Structural Engineering Design Report is required to accompany a development application at the building works stage for the following activities:

- (a) development of a new building in a medium, high, or extreme risk area, as defined in the Flood hazard overlay or Coastal hazard overlay;
- (b) redevelopment of a building in the erosion prone area, as defined in the Coastal hazard overlay; and
- (c) minor building works (extensions) in a medium, high, or extreme risk area, as defined in the Flood hazard overlay or Coastal hazard overlay.

The structural engineering design of the proposed new building, redevelopment or extension is to ensure the building or structure is capable of withstanding the nature of the hazards to which it will be subject. In this regard, the Structural Engineering Design Report is to identify and document the following:

- (a) the flood or coastal hazards that can potentially occur at the development site;
- (b) the structural design approach utilised to accommodate the flood or coastal hazards; and
- (c) how the structural design satisfies the relevant overall outcomes and performance outcomes outlined in the Flood hazard overlay code and in the Coastal hazard overlay code.

The consideration of the impact of the flood or coastal hazards on the development is to include, but not be limited to the following:

- (a) hydrostatic loading due to water depth;
- (b) hydrodynamic loading associated with both depth and water velocity;
- (c) potential debris impact loading;
- (d) potential wave impact loading (wind waves, storm wave overtopping);
- (e) erosion and scour around the development; and
- (f) any combination of the above.

The Structural Engineering Design Report is to demonstrate appropriate design of the following:

- (a) structural members to accommodate building loads;
- (b) floor levels relative to design flood conditions as specified in the relevant overlay code;
- (c) footings to maintain foundation requirements including allowance for scour;
- (d) flood resistant building materials;
- (e) integration of utilities; and
- (f) emergency egress from the building.

The design intent is for new development to remain structurally sound for all events up to and including the most extreme events. Reference is made to the following standards and guidelines:

- Australian Building Construction Board standard for *Construction of Buildings in Flood Hazard Areas*;
- Mandatory Part 3.5 of the Queensland Development Code (QDC) *Construction of buildings in flood hazard areas*; and
- Fact Sheet: Water Resilient Products and Building Techniques for Rebuilding After a Flood.

The Structural Engineering Design Report is to be prepared by a Registered Professional Engineer of Queensland (RPEQ) with appropriate expertise in structural engineering and design.

SC6.10.5.5 Site Based Overland Flow Report

A Site Based Overland Flow Report may be required for development that is located in an overland flow path.

The purpose of the Site Based Overland Flow Report is to demonstrate that the development:

- (a) will not result in a material increase in flood level or flood hazard on upstream, downstream or surrounding properties; and
- (b) will provide acceptable management of flood risk with appropriate development levels to ensure the safety of people.

The Site Based Overland Flow Report differs from a flood report in that overland flows are shallow surface flows that discharge to the piped drainage system or a natural waterway. Overland flows are difficult to establish through computer models, given the fine resolution of the flow paths and controlling structures and topographic features. Rather, flow paths are defined based on general landform characteristics, built structures (including fences, retaining walls and landscaping) and the existing stormwater network. In contrast, the site based Hydrologic and Hydraulic Assessment/Flood Report is more targeted at defined watercourses that can have significant increase in water levels in response to catchment rainfall and runoff.

In preparing the Site Based Overland Flow Report, the following considerations are required:

- (a) the proposed development is to take account of existing or created overland flow paths and make due provision in the design of the site stormwater system;
- (b) maximum overland flow velocity should not exceed 2m/s with a depth not exceeding three-hundred (300) millimetres;
- (c) overland flow paths should be located along roads and reserves rather than across private property;
- (d) development of the site should preserve existing overland flow paths as far as practical; and
- (e) design is to be in accordance with the Queensland Urban Drainage Manual.

The Site Based Overland Flow Report may contain (where appropriate) calculations and other necessary evidence to demonstrate the following:

- (a) impacts of the proposed development on localised flooding are mitigated and surrounding properties (upstream and downstream) are not adversely affected;
- (b) habitable floor levels for the development are higher than the one (1) per cent average exceedance probability (AEP) overland flow level plus freeboard requirement;
- (c) relevant overall outcomes and performance outcomes of the Stormwater Management (Overland flow path) code have been achieved.

A Site Based Overland Flow Report may contain (where appropriate) the following information:

- (1) an assessment of existing or created overland flow paths in terms of flood level, flow, or velocity to make due provision in the design of the site stormwater system to confirm that habitable floor levels for the development are higher than the one (1) per cent average exceedance probability (AEP) overland flow level plus freeboard requirement, and ensure that no adverse off-site impacts occur;
- (2) details of the general landform characteristics, built structures (including fences, retaining walls and landscaping), and the existing stormwater network
- (3) an assessment of any impacts of the development upon the uses identified in the Flood hazard overlay and/or Stormwater code of the planning scheme;
- (4) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;

- (5) details of all flood level and flow calculations made in the assessment of the existing site and the proposed development impact;
- (6) details of the methodology (including justification of assumptions used and any limitations) and results;
- (7) tables showing differences between existing and proposed scenarios for water level, velocity and flow discharge;
- (8) cross sections with existing/design levels, design flood level, and energy grade line;
- (9) a plan of ground levels, along with volumetric flood storage calculations for any filling or excavation works, to confirm no loss of flood storage or obstruction of the overland flow path. A separate filling and excavation plan may be requested by Council depending on the extent of proposed earthworks;
- (10) flow calculations to confirm flow velocities, flood immunity, and no worsening to downstream or adjacent properties; and
- (11) hydraulic gradeline analysis of any proposed pipeline and other hydrological calculations.

The following supporting information may accompany the Site Based Overland Flow report:

- (1) Existing site survey plan from a registered surveyor to scale with cadastral boundaries, ground levels, existing structures, trees, fences, kerb and road levels, pipe invert levels and pit surface levels shown.
- (2) Plan and sections of the development proposal clearly showing habitable, non-habitable levels, proposed fill levels and extent and relevant ground levels.
- (3) Catchment plan to scale with hydrological calculations.
- (4) Plan to scale, showing the location of all hydraulic model cross sections.
- (5) Drawings showing the cross sections of any filling or excavation.

The piping of all overland flows as a solution is impractical and generally not permitted, as:

- the provision of an overland flow path to account for larger flows or blockages and the piped network extending downstream to a suitable outlet will be required;
- the proposed design will need to conduct a HGL analysis based on downstream two (2) per cent average exceedance probability (AEP) or one (1) per cent average exceedance probability (AEP) flows (e.g. top of kerb HGL assumption at the next downstream pit);
- surcharging of flows back into an overland flow path is not permissible as it concentrates flow and may result in sedimentation problems in the pipe; and
- capturing surface flows is unlikely without a detention basin as blockage will occur.

The Site Based Overland Flow Report may be a standalone document or accompany a broader flood planning study conducted for the development.

The Site Based Overland Flow Report is to be prepared in accordance with the current industry practice for overland flow impact assessments. The Site Based Overland Flow Report is to be prepared and certified by a Registered Professional Engineer of Queensland (RPEQ) with appropriate expertise such as hydrology, hydraulic modelling and stormwater engineering.

SC6.10.5.6 Environmental harm

In assessing an application to develop on flood prone land, Council will take into consideration whether any adverse environmental impacts may occur as a result of flooding of the development. Council may refuse a development application that produces adverse environmental impacts as a result of flooding and not achieving compliance with the flood hazard overlay code.

SC6.10.5.7 Filling or excavation

In assessing an application involving the filling or excavation of land in the flood prone area, the applicant is required to demonstrate through a filling and excavation plan that any proposed cut and fill works within the floodplain will not:

- (1) adversely affect flood behaviour, including increasing the depth and velocity of overland water flows; or
- (2) interrupt or materially change the surface water drainage from or onto adjoining land; or
- (3) create, in the event of a major flood event, a sudden change in flow distributions, flood level or velocity that could result in:
 - (a) breaking of a levee; or
 - (b) establishment or blockage of a breakout; or
 - (c) excessive scour; or
 - (d) possible channel realignment; or
 - (e) sedimentation; or
 - (f) worsening of emergency access; or
 - (g) increased flood hazard; or
 - (h) any adverse effect on existing structures or buildings in the locality.

SC6.10.5.7.1 Filling and excavation plan

The applicant shall submit to Council a filling and excavation plan containing the following information:

- (1) a plan showing:
 - (a) existing and finished surface level contours (to Australian height datum) of the development site, including survey point density and accuracy in accordance with Council standards;
 - (b) the compensatory free-draining excavation area for any proposed filling within the flood plain;
 - (c) the alignment of the toe of the batter slope which is proposed to retain the fill;
 - (d) the grading of the proposed cut and fill surfaces demonstrating the finished surface is free draining; and
 - (e) level notations that identify the line of the defined flood event and the proposed area of filling and excavation (before and after filling);
- (2) section drawings showing level notations which identify the line of the defined flood event and the proposed area of filling and excavation (before and after filling); and
- (3) details of:
 - (a) the hydraulic design of the development, using topographic data which includes at least one surveyed cross-section of the floodway aligned through the proposed fill area;
 - (b) pre- and post-development finished surface level and the defined flood event level;
 - (c) the flood modelling undertaken;
 - (d) any adverse effects on the behaviour of a flood in excess of the defined flood event;
 - (e) any proposed batter slopes and retaining walls on the premises;
 - (f) the provisions for stormwater run-off from any proposed area of filling and excavation;
 - (g) how the natural drainage of adjacent premises has been catered for;
 - (h) calculations of the cut, fill and balance to confirm compensatory earthworks and loss of floodplain storage;
 - (i) plots of pre- and post-earthworks flood storage against depth;
 - (j) plots of pre- and post-earthworks conveyance against depth; and
 - (k) cross-sections at regular intervals showing the extent of cut and fill works to confirm earthworks and if applicable no loss of floodplain storage.

SC6.10.5.7.2 Works within a Defined Flood Event area of inundation

Works within the area of inundation for the Defined Flood Event do not involve any of the following:

- (a) any physical alteration to a watercourse, floodway, or overland flow path affecting its flow capacity;
- (b) any native vegetation clearing;

- (c) any increase in the rate of release of stormwater runoff from the premises to the area of inundation for the Defined Flood Event;
- (d) altering the existing surface levels to adversely impact flood immunity of surrounding properties;
- (e) filling or excavation below the Defined Flood Event inundation level inclusive of any previous occurrences of filling or excavation on the site that reduces the flood storage volume or increases flow velocities resulting in erosion, except for compensatory earthworks which are permitted to occur within a Defined Flood Event area of inundation but only under limited circumstances; or
- (f) any physical alteration of the watercourse or floodway within thirty (30) metres of its top of bank.

SC6.10.5.7.3 Compensatory earthworks impact within a Defined Flood Event area of inundation

Compensatory earthworks seek to allow for limited cut and fill to occur, at the same incremental level, within the Defined Flood Event and achieving a nil impact on the hydraulic characteristics of the waterway or floodway. Where compensatory earthworks occur within the Defined Flood Event, such earthworks are only acceptable where they do not adversely impact upon the hydraulic characteristics of a waterway or floodway. Adverse impacts can be actual, potential or cumulative, and can result in adverse impacts downstream from where the earthworks occur.

Earthworks which are not compensatory can result in:

- (a) a reduction in the flood-capacity of a waterway or floodway;
- (b) a reduction in flood storage;
- (c) altering of the hydraulic control (flow, velocity and direction) of a watercourse; and
- (d) an increased or new scouring and sedimentation.

Compensatory earthworks are generally acceptable if:

- (a) it can be demonstrated that there is a net balance in the total volume of “cut to fill”, and any filling (including any imported fill) (in m³) does not exceed the volume of cut (in m³);
- (b) any physical alteration of the waterway or floodway occurs no closer than 30m from the top of the bank; and
- (c) the fill area is free draining.

SC6.10.5.8 Numerical modelling requirements

All survey data and modelling used to demonstrate compliance with Council's flood plain management requirements shall be provided to Council on suitable electronic media (CD, external hard drive, etcetera) with the development application. Applicants are to refer to Council's Modelling and Management Standards document to understand Council's modelling information requirements prior to submitting models to Council.

SC6.11 Geotechnical report planning scheme policy

SC6.11.1 Application

This planning scheme policy applies to development involving works which:

- (1) has slopes generally greater than fifteen (15) per cent; or
- (2) is in an area identified on the steep land overlay map OM-11; or
- (3) in Council's opinion, may be subject to land instability.

This policy applies as above unless:

- (4) the Council is satisfied that the development is of a nature that is unlikely to affect land stability; or
- (5) a previous geotechnical report addressing geotechnical aspects for development on the land is available to the Council and is relevant to the proposed development.

The preparation of a geotechnical report provides Council with the relevant information for assessing an application or proposal.

SC6.11.2 Purpose

The purpose of this planning scheme policy is to:

- (1) ensure development on land which is steep (has slopes generally greater than fifteen (15) per cent), erosion prone, or prone to slip properly addresses factors affecting land stability;
- (2) ensure on-site disposal of wastewater can be sustainably managed within the boundaries of the lot; and
- (3) provide guidance on the preparation and assessment of geotechnical reports.

SC6.11.3 Preparation of a geotechnical report

The main aim of a geotechnical report is to ensure development on steep land has had appropriate regards to the geological elements of the site. The report should outline issues such as the sites suitability for the proposal on the chosen site, having regard to its impacts on the environment while highlighting any measures to ensure stability of the site.

- (1) The report is to be prepared by a suitably qualified person:
 - (a) the geotechnical investigation is required to be directed by a professional, qualified in geological and/or geotechnical engineering, and being a registered professional engineer. It is desirable that the person has local experience with steep land, land slip areas and/or erosion prone areas and the mitigation of possible adverse effects;
 - (b) laboratory testing is required to be undertaken by a National Association of Testing Authority (NATA) certificated laboratory; and
 - (c) all investigations, testing and design should be undertaken in accordance with industry standard practice and the provisions of relevant Australian Standards.
- (2) Where a development site is subject to the provisions of this policy, the proponent is strongly encouraged to meet with Council officers prior to lodgement of the application. This will assist in determining and clarifying the relevant items, identified below, to be addressed in the report. As a general guide the following format and contents description indicates the depth of detail required.

SC6.11.4 Geotechnical report template

Table SC6.11.4.1 — Geotechnical report template

Introduction	
(a)	Details of the proposed development, such as site location and description including the real property description;
(b)	Method and scope of investigations; and
(c)	Qualifications of responsible individual(s) and/or company.
Description of existing conditions	
(a)	Existing research material (if any) including: <ul style="list-style-type: none"> (i) aerial photographs; (ii) geological maps; (iii) geological reports; and (iv) site classification;
(b)	Geology (local and regional), including: <ul style="list-style-type: none"> (i) surface and subsurface materials; and (ii) geomorphology (slopes, ground contours, natural features, terrain analysis, landslip features);
(c)	Groundwater, including: <ul style="list-style-type: none"> (i) water table; and (ii) springs and seepage areas in the local area of interest;
(d)	Surface drainage patterns;
(e)	Vegetation cover on and around site; and
(f)	Buildings, other structures, earthworks, etcetera.
Assessment of land stability/suitability	
(a)	Site history: <ul style="list-style-type: none"> (i) location and classification of any existing slips (type, severity and likely mode of failure); (ii) extent and type of any existing occurrences of erosion; and (iii) information on hazards (of rock fall, landslip, etcetera) on land above the site;
(b)	Proposed development components;
(c)	Potential geotechnical effects – from field and/or laboratory testing or assessment, classification of surface and subsurface materials to determine: <ul style="list-style-type: none"> (i) erosion potential; (ii) foundation conditions that could affect structural performance; (iii) suitability for wastewater disposal; and (iv) any other relevant characteristics.
Assessment of development impacts	
(a)	Site layout;
(b)	Roadworks, driveways and other pavements;
(c)	Earthworks (excavation, materials usage);
(d)	Foundations;
(e)	Surface drainage;
(f)	Wastewater (treatment and disposal);
(g)	Detail existing stability of subject land and of geotechnical constraints on building(s) and/or other development works on the site as well as on land above and below the site;
(h)	Overall effect of development on the stability of the land as well as on land above and below the site; and
(i)	Overall effect on any on-site sewerage disposal system on: <ul style="list-style-type: none"> (i) surface and groundwater integrity; (ii) surrounding land uses; and (iii) slope stability due to reduced cohesiveness, increased pore water pressure, increased lubrication of bedding planes, etcetera.
Measures recommended to mitigate impacts	
(a)	Recommendations on appropriate measures required to avoid or minimise risks of instability, or other adverse environmental effects, on the subject site as well as land above or below the site, including:

- (i) preferred locations for buildings, other structures, driveways, etcetera;
- (ii) foundation requirements such as bearing pressures, piling parameters, special techniques for expansive clays, etcetera;
- (iii) pavement types and designs;
- (iv) construction methods to avoid problem areas associated with loose materials and groundwater seepage;
- (v) preferred excavation/retention/stabilisation techniques and suitability of excavated materials for use in on-site earthworks;
- (vi) surface and subsurface drainage requirements;
- (vii) preferred methods of wastewater disposal; and

Editor's note—If addressing the suitability of land for effluent disposal, the geotechnical report is to follow Australian Standard/New Zealand Standard AS/NZS 1547:2012 On-site domestic wastewater management and must comply with the *Plumbing and Drainage Act 2018*.

- (viii) vegetation protection and revegetation requirements.

Summary and conclusions about the overall suitability of the land for the proposed development

Appendix

- (a) Field and laboratory test results, including the location and level of field investigations such as boreholes, trench pits and core penetrometer soundings.

SC6.12 Landscape design and street trees planning scheme policy

SC6.12.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the relevant zone code, works code and landscape code.

SC6.12.2 Purpose

The purpose of this planning scheme policy is to:

- (1) promote the increased use of local provenance Australian native species in landscaping;
- (2) promote the use of appropriate species for the right locations;
- (3) encourage the use of water efficient plants;
- (4) improve the quality of potential wildlife habitats and corridors through the process of landscaping the urban environment;
- (5) improve the visual amenity of the built environment;
- (6) place a high priority on the use of shade trees and screening plants to enhance or even transform the city and town environments;
- (7) promote the retention and enhancement of vegetation within development through proper integration; and
- (8) protect locally significant trees, stands of trees and other vegetation.

SC6.12.3 Minimum planting requirements

- (1) Existing trees and shrubs over four (4) metres in distance from any building work or approved car parking area or access thereto must be retained and included in a landscape plan. Appropriate action must be taken to minimise disturbance to this vegetation during on-site building work.
- (2) Trees are to be planted in planting beds of a minimum of 1.5 metres width and in mulch/planting areas a minimum of six (6) square metres in size.
- (3) All planting requirements must comply with Capricorn Municipal Development Guidelines — C273 Landscaping construction specifications.

SC6.12.4 Parks and landscaping plan specification

A landscape plan outlining specifications must accompany the operational work submission for approval. The specifications are required to reflect best practices and incorporate modifications as required by this policy and the conditions of approval, Council's local laws, policies and codes and the relevant Australian Standard Codes of Practices and applicable authorities (for example, Australian Standards, Department of Transport and Main Roads Landscape Manual).

SC6.12.5 Landscaping softworks

SC6.12.5.1 Topsoil and garden soil

- (1) Topsoils must be retained and improved.
- (2) Natural topsoils may require blending or conditioning to attain required specifications for use in landscaped areas.
- (3) Necessary measures are taken to prevent the importation of fire ants or any stages of the fire ant life cycle to the work site. If fire ants are suspected contact the relevant state government department immediately.
- (4) Imported soil must comply with Australian Standard AS 4419 — Soils for landscaping and garden use and the Capricorn Municipal Development Guidelines – C273 Landscape construction specifications.

SC6.12.5.2 Planting specifications

- (1) Containerised plant stock must be installed in compliance with the following requirements:
 - (a) minor root prune to ensure plant roots are growing laterally immediately prior to planting;
 - (b) minor formative prune where required in accordance with Australian Standard AS 4373 — Pruning of amenity trees;
 - (c) excavate sufficient size planting holes, and backfill with suitable soil, to promote strong establishment growing conditions, whilst allowing for normal long-term root development;
 - (d) position plant to ensure that upon settlement the top of the root ball is level with the final grade;
 - (e) stake plants as specified or where required and allow for stake removal prior to completion of maintenance period;
 - (f) fertilise and maintain so as to promote vigorous growth;
 - (g) nursery stakes, ties and labels are removed immediately after planting; and
 - (h) planting must be positioned to avoid and minimise encroachment of plants onto walkways, roads, car parking areas or similar pedestrian or vehicle circulation areas.
- (2) Street trees must conform to the following specifications at planting:
 - (a) NATSPEC: Specifying Trees or 'FCRC Generic Nursery Stock Standards for the Supply of Container Grown or Bare Rooted Urban and Amenity Trees';
 - (b) minimum separation distance for single trunk clearance — one (1) metre (streets), 1.7 metre (roundabouts);
 - (c) appropriate tree size indices as per NATSPEC to meet these minimum clean stem heights;
 - (d) any pruning is undertaken in accordance with Australian Standard AS 4373— Pruning of amenity trees; and
 - (e) minimum distance of 1,000 millimetres behind the back of any kerb or adjoining pathway.
- (3) Transplanting ex-ground stock must be carried out with the following provisions:
 - (a) plant material is authorised for removal under statutory requirements;
 - (b) root pruning is carried out to eliminate any girdled root systems or faults;
 - (c) specimens will require repeat treatments of rooting hormones and/or anti-evapotranspirant to stabilise plants and stimulate regrowth;
 - (d) root ball is wrapped and adequately protected to prevent disturbance throughout procedure;
 - (e) specimens will require substantial guying to minimise root ball movement through establishment; and
 - (f) standard maintenance program is upgraded to accommodate for careful monitoring throughout establishment.
- (4) Any pruning must be undertaken in accordance with Australian Standard AS 4373 — Pruning of amenity trees.

SC6.12.5.3 Revegetation

- (1) Species, density and relative abundance are consistent with an appropriate regional ecosystem and/or vegetation association for the site. The following densities will be required: Forests: 1.5 to two (2) metre centres, Heathlands: two (2) plants per square metre, Sedgeland communities: as per the south-east Queensland Healthy Waterways Technical Design Guidelines. The revegetation planting is designed to achieve rapid canopy closure and 'site capture' to reduce short-term to medium-term maintenance requirements.
- (2) Revegetation works consider the appropriate limitations to successful revegetation works including but not limited to: soil types, soil contamination and soil amelioration/management, appropriate mulching, pests and disease, hydrology, roughness coefficient and layout when planting within floodplains, weeds, past and present site and adjoining land uses, ecosystem processes, fire regimes and management/maintenance requirements to ensure successful vegetation establishment.
- (3) Direct seeding for rehabilitation of native vegetation preservation areas may be approved where:
 - (a) ground preparation is suitable;
 - (b) sound technical expertise is employed; and
 - (c) required plant species seed is available.

SC6.12.6 Landscaping hardworks

SC6.12.6.1 Edge treatments

- (1) Edge treatments must comply with the following requirements:
 - (a) edge treatments must be a minimum of seventy-five (75) millimetres wide and mountable, for ease of mowing and maintenance;
 - (b) turf or mulch must be twenty-five (25) millimetres below top grade of adjoining edge;
 - (c) a minimum curvature radius at three (3) metres;
 - (d) the minimum access between edges and other treatments must be three (3) metres; and
 - (e) avoid restricting access into narrow corners.
- (2) Materials acceptable for paver (clay or concrete) edge treatments are:
 - (a) minimum sixty (60) millimetres width;
 - (b) minimum 110 millimetres width (230 millimetres preferred);
 - (c) mortar base and exposed edges (20 mega pascals); and
 - (d) no cracking.
- (3) Materials acceptable for timber edge treatments are:
 - (a) minimum 150 millimetres log (winged) or 200 millimetres by eighty (80) millimetres sleeper (bevel edges);
 - (b) suitably treated for in ground use (H4 treated or durability class 1 or 2 hardwood);
 - (c) finish end and joints neatly; and
 - (d) securely pin and fix.
- (4) Materials acceptable for continuous concrete:
 - (a) minimum width 150 millimetres;
 - (b) minimum depth 100 millimetres;
 - (c) minimum twenty (20) mega pascals;
 - (d) may be coloured or patterned;
 - (e) finish ends neatly and flush;
 - (f) bolster cut control joints where required; and
 - (g) no cracking.

SC6.12.6.2 Paving and concreting

- (1) Where a paved or plain or textured concrete surface finishing must be used, appropriate consideration must be given to its long-term skid resistance.
- (2) Construction details must clearly specify, and reference, particulars of paving and concrete works including:
 - (a) colours;
 - (b) patterns;
 - (c) paver material, where applicable;
 - (d) exposed aggregate (size, colour and surface texture);
 - (e) widths, thickness, strength and reinforcement; and
 - (f) base preparation.

SC6.12.6.3 Entry statements

Entry statements to developments must be fully contained within private property and must not revert to Council ownership.

If they are to remain post completion they should be of a form and construction that does not degrade quickly over time, and can persist until the completion of all approved development, and at least three (3) years after all construction has been completed. Council will not be obliged to replace or repair should the entry statement become damaged or is unserviceable.

SC6.12.6.4 Fences and barriers

- (1) Barrier fences, bollards and or landscaping will be required to prevent vehicular trespass into parklands and other public open spaces. Construction drawings must clearly reference and specify all fence treatments, including materials and must comply with Capricorn Municipal Development Guidelines — General drawings.
- (2) Where bollards are required, they must include a service access secured by a lock rail or pole gate, constructed in accordance with Capricorn Municipal Development Guidelines – General drawings – G-13.

SC6.12.6.5 Landscape furniture and playground equipment

- (1) All landscape furniture, playground equipment and associated infrastructure must be in accordance with all relevant statutory requirements and Australian Standards including the following:
 - (a) Australian Standard AS 4685 - Playground equipment and surfacing; and
 - (b) Australian Standard/New Zealand Standard AS/NZS 4422:2016— Playground surfacing — Specification, requirements and test method.
- (2) All fittings to timber work must be of stainless steel.
- (3) All furniture, playground equipment and surrounds must be durable, vandal resistant and low maintenance.
- (4) All furniture and playground equipment will be subject to a successful safety inspection by Council officers prior to acceptance of any infrastructure as a Council asset.
- (5) Any special tools, equipment, keys, spare parts, warranties, instructions and maintenance requirements associated with any equipment must be provided to Council prior to acceptance of any infrastructure.

SC6.12.7 Road corridor landscaping

SC6.12.7.1 General

The provision of landscaped areas within road reserves and traffic calming devices must be reduced to a minimum except in the commercial business areas. Where landscaping must be installed, specific low maintenance designs are required to ensure Council's continuing maintenance liability is kept to a minimum. Landscaping must not increase the risk of travelling on the road corridor.

SC6.12.7.2 Design benchmarks

- (1) Planting to be in scale with the streetscape.
- (2) Street trees must be located such that when mature, they do not impact on the street lighting, future driveway locations or other infrastructure in accordance with Capricorn Municipal Development Guidelines – General Drawings – G-016.
- (3) Street trees and landscaping must not impact on vehicle sight distances in accordance with Australian Standard AS 2890 or unduly restrict visibility to pedestrians and children in verge areas.
- (4) Plants are not to be placed at access points.
- (5) Plants do not obstruct access to services.
- (6) Street trees under power lines must have a mature height no greater than four (4) metres.
- (7) Earthworks are not to be carried out within proximity of existing vegetation.
- (8) All street gardens, including roundabouts and medians, must be provided with an automatic irrigation system (refer irrigation section of this policy).
- (9) Subsoil drainage must be provided between all street gardens and the road pavement.
- (10) Street trees must not impede or obstruct pedestrian traffic along pathways.
- (11) Species with invasive root structure or multi-stemmed habits are not to be used on the road verge.
- (12) Pedestrian access must be maintained around and, where applicable, through all street planting.
- (13) Visibility lines must be checked to ensure that the minimum stopping distance for vehicular traffic is maintained.

SC6.12.7.3 Medians and roundabouts

Landscaping in median and roundabouts must provide for sight distances in accordance with Austroads 'Guide to Road Design' and the Department of Transport and Main Roads 'Road Planning and Design Manual – edition 2'.

Acceptable landscaping treatments include decorative pavements, turf, clear-trunked trees (preferably) or local palms, shrubs and groundcovers (to a maximum height of one (1) metre; taller plantings are acceptable where visibility between carriageways is not critical) or a combination of any of these. Trees must be incorporated where possible. An automatic irrigation system must be provided to all planted medians and a tap connection must be fitted to all roundabouts. Subsoil drainage is required to the standard specified in the subsoil drainage section of this policy. Medians with an area less than five (5) square metres or less than one (1) metre in width must be of concrete or other approved material.

SC6.12.8 Site based landscaping

SC6.12.8.1 Car parks

The landscape design for a car park must meet the following requirements:

- (1) shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:
 - (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and
 - (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks;
- (2) each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres;
- (3) each shade tree has a clean trunk with a minimum height of two (2) metres;
- (4) car park areas include parking bays and access aisle, and exclude driveways that extend beyond the access aisles;

- (5) where landscape areas about a parking bay or access aisle, they include landscaped buffer strips that meet the following requirements:
 - (a) minimum 2.25 square metres per shade tree to allow free circulation of air;
 - (b) water to the tree's root system; and
 - (c) protection from pedestrian and vehicular traffic;
- (6) shade trees are species that have a rounded or spreading form, medium to dense foliage and provide accessible shade for pedestrians and motorists. Local palms may be included in the planting scheme but are not acceptable as shade trees;
- (7) root guards must be used where tree roots will cause damage to surrounding hard surfaces; and
- (8) an automatic irrigation system must be provided to all car park planting areas.

SC6.12.8.2 Parks and open space

Shade trees planted in parks and open spaces must meet the following requirements:

- (1) Shade trees must be planted clear of services and utilities;
- (2) Shade trees must be planted clear of park furniture, embellishments and do not obstruct pedestrian or bicycle traffic;
- (3) Canopy shade trees are sited and planted to provide shade for:
 - (a) playgrounds and recreational areas;
 - (b) pathways; and
 - (c) picnic facilities and seats;
- (4) Shade tree planting must comply with the crime prevention through environmental design principles; and
- (5) Shade trees must meet the following species selection specifications:
 - (a) shade trees must meet requirements outlined in SC6.12.11;
 - (b) more than one species is to be used throughout;
 - (c) for amenity plantings, shade trees are grouped as one single species or a combination of at least three (3) species; and
 - (d) species listed under SC6.12.13 are considered undesirable and must not be used as shade trees.

SC6.12.9 Stormwater and drainage infrastructure

Landscape design and construction must incorporate water sensitive urban design principles and meet Capricorn Municipal Development Guidelines, Water by Design guidelines and Queensland Urban Drainage Manual specifications for vegetated stormwater assets.

SC6.12.9.1 Open drainage swales

- (1) Batten slopes turfed or seeded in accordance with Urban Stormwater Design Manual and Capricorn Municipal Development Guidelines landscape specifications.
- (2) No gardens or hard landscape embellishments to be constructed unless approved by Council.
- (3) Slopes unable to achieve gradients less than one (1) in four (4) or unable to be accessed for maintenance purposes must use alternative treatments to provide scour protection and suppress plant and weed growth such as:
 - (a) concrete or alternative hard treatments;
 - (b) rock armouring; and
 - (c) mulching and dense plantings (access permitting).

SC6.12.9.2 Bio-retention basins

- (1) Bio-retention basin landscape construction and design are required to meet the following specifications:
 - (a) bio-retention basins must be constructed in accordance with Water by Design – Bio-retention Technical Design guidelines;
 - (b) bio-retention basins are constructed with saturation or sealed profile to assist with soil moisture to maintain vegetation. All soils and filter material must meet Australian Standards; and

- (c) bio-retention basin batters are constructed with a gradient of one (1) in six (6) but no greater than one (1) in four (4);
- (2) Species specifications:
 - (a) only species of sedges, grasses and herbaceous forbs included in Water by Design – Bio-retention Technical Design Guidelines will be permitted to be used for bio-retention basins. Native species are preferred unless otherwise approved by Council; and
 - (b) plant density will be:
 - (i) six (6) to eight (8) plants per square metre for tube stock; and
 - (ii) four (4) plants per square metre for semi-established (four inch pots); and
- (3) Access and maintenance:
 - (a) suitable and safe access must be provided to all bio-retention and detention basins in accordance with Queensland Urban Drainage Manual guidelines and Water by Design – Bio-retention Technical Design guidelines;
 - (b) clearance less than 0.5 metres wide or unable to be accessed for maintenance purposes must be treated with hard landscape options or other alternative treatments approved by Council to suppress plant and weed growth; and
 - (c) all bio-retention basins must have an approved maintenance plan to be implemented during a minimum twelve (12) month maintenance period.

SC6.12.10 Irrigation systems

SC6.12.10.1 General

- (1) Automatic irrigation systems must be provided to all garden beds constructed within road reserves, parks, sporting fields and open space as part of development works.
- (2) Recycled water for irrigation purposes must be utilised where available. Recycled water use must comply with 'Australian guidelines for water recycling: managing health and environmental risks 1996'.
- (3) The irrigation systems must comply with the requirements defined below and Australian Standard AS 2698 and Urban Best Management Practise Guidelines.
- (4) The developer will be responsible for the cost of all irrigation water used and irrigation system maintenance costs incurred to establish plants and to maintain the planting during the maintenance period.
- (5) Irrigation systems must be installed in accordance with the manufacturers' specifications.
- (6) All irrigation systems connected to the public water supply must be metered.
- (7) Irrigation plans identifying layout and components are to be submitted to Council for approval. All irrigation maintenance schedules associated with the irrigation system are to be presented to Council at time of handover.

SC6.12.10.2 Layout

- (1) All irrigation systems must be fully automatic pop-up spray, drip emitter or subsurface microporous flexible pipe.
- (2) Spray sprinklers must be located for head to head coverage and minimal over spray onto abutting hard finished surfaces.
- (3) Irrigation layout of parkland grassed areas must include road verges along the parkland frontage with spray emitters located at the back of kerb.
- (4) Appropriate filter screens must be placed within the system adjacent to the connection to the water main.
- (5) All irrigation emitters must deliver sufficient precipitation for maximum soil absorption and water uptake by plants with minimum run-off.
- (6) The design must prioritise deep, less frequent watering.

SC6.12.10.3 Backflow prevention devices

Backflow prevention devices must be installed in accordance with Australian Standard AS 2845.

SC6.12.10.4 Controllers

- (1) The controller must be installed in a metal cabinet that is lockable, dust proof and rust proof.
- (2) It must be constructed so as to minimise the effects of vandalism.
- (3) It must be easily accessible for maintenance and inspection.
- (4) The controller must be connected to 240 volts, a solar system or other approved power supply.

SC6.12.11 Preferred species and specifications

The following section provides details of species for use in landscape plans for the Rockhampton region. As stated previously the emphasis of this policy is on the use of local provenance Australian native species. While the use of some exotics, signature species and hybrid natives is inevitable and even desirable in some instances, better outcomes can be achieved through the increased use of local provenance natives. These outcomes include increased biodiversity, better suitability to local climate and soils and hence greater survival rate, and a natural look to the area. Appropriate species also need to be selected for the right location. There can be significant differences between locations only a short distance from each other.

Rather than provide a set list of recommended landscape species, which can be somewhat limiting and non-exhaustive, the onus is on proponents of proposed developments to consult the following sources to determine appropriate species:

- (1) *Plants of Capricornia* by Melzer, R. and Plumb, J. (2007); or
- (2) *Native Plants for the Fitzroy Basin* by Society for Growing Australian Plants (2003); or
- (3) Capricorn Municipal Development Guidelines – Landscape Specifications – Gladstone Regional Council Plant List; or
- (4) Relevant officers within the Parks and Open Spaces section of Rockhampton Regional Council.
- (5) Rockhampton CBD Redevelopment Framework
- (6) Rockhampton CBD Streetscape Design Manual
- (7) Planting Palette, Rockhampton Regional Council Strategy

SC6.12.12 Locally significant vegetation

- (1) An important consideration in carrying out any development is the retention of vegetation and where possible the enhancement of this vegetation. In particular trees or stands of trees or other vegetation have been identified as being locally significant to the Rockhampton region for the following reasons:
 - (a) aesthetic value; or
 - (b) environmental value; or
 - (c) historic/cultural value; or
 - (d) buffer value.

Locally significant vegetation may be present on both private and public lands. Locally significant vegetation is also generally outside of the protection afforded through the *Vegetation Management Act 1999*, *Nature Conservation Act 1992* and *Environmental Protection and Biodiversity Conservation Act 1999*. Locally significant vegetation has been identified in Table SC6.12.12.1.

- (2) Locally significant vegetation existing on a site shall be retained and integrated with the development. As part of its assessment of development, Council will consider vegetation existing on a site and may condition a development permit for the retention of existing vegetation and/or the enhancement of a site with suitable vegetation or landscaping. Council's assessment of the practicality of retaining trees and other mature vegetation for integration with proposed site development may be influenced by expert advice on the suitability and compatibility of existing vegetation with the proposed development.
- (3) Clearing of locally significant vegetation should be avoided. Where it can be established that it is not practical to retain the locally significant vegetation, clearing can be proposed as part of an application for development. For it not to be practical to retain the locally significant vegetation it would need to be demonstrated that the vegetation:
 - (a) is in poor condition and it is not practical to retain it; or

- (b) is a risk to public safety; or
 - (c) is causing an impediment to necessary infrastructure; or
 - (d) is no longer locally significant.
- (4) An applicant shall provide expert advice to support proposals for the clearing of the locally significant vegetation in concert with details of landscaping proposals for the enhancement of a site where clearing is proposed. Specifically an application for development which involves the clearing of locally significant vegetation shall contain:
- (a) reasons, with appropriate evidence, for clearing of the locally significant vegetation;
 - (b) an accurately drawn site plan and/or other information that identifies the locally significant vegetation to be cleared;
 - (c) details of the method proposed for the processing and disposal of cleared vegetation; and
 - (d) any strategies proposed to mitigate the impacts of clearing the vegetation.
- (5) At no cost to Council, any locally significant vegetation cleared pursuant to a development permit shall be:
- (a) processed by an acceptable method; and
 - (b) removed from a site.
- (6) The acceptable method for disposal of cleared vegetation will be nominated by Council by condition of an approval and may include:
- (a) wood chipping or preparation/use for landscape purposes;
 - (b) preparation/use as firewood; and
 - (c) transportation off site for processing by another lawful process.
- Generally, burning of cleared vegetation is not an acceptable method of disposal.

Table SC6.12.12.1 — Identified significant vegetation in the Rockhampton region

Identified significant vegetation in the Rockhampton region	Location	Reasons for listing
Existing boulevard of <i>Peltophorum pterocarpum</i> trees	Within the Murray Street road reserve carriageway between the Rockhampton railway station and Stanley Street, Depot Hill	Aesthetic values
Remaining trees from old Kanaka town, particularly mangoes, and gardens	Yewdale Park, Lots 15 and 16 RP612559 and Lot 281 LN2168, Frenchville	Historical/cultural
A number of mango trees of different varieties located within the old Muellerville land holdings	Lots bounded by Rockonia Road, Thozet Road, Fitzroy River and Thozet Creek, Koongal	Historical/cultural
	Norris Park, Codd Street Koongal (located on the footpath outside 132 Codd Street)	Historical/cultural
	In the roadway outside 278 Mason Street (near corner Mason Street and Bryant Street, Koongal)	Historical/cultural
	Lakes Creek Road, Berserker, between Little Musgrave Street and Edward Street	Historical/cultural
Remaining <i>Ficus benghalensis</i> (Banyan Fig) from the former site of Cremorne Gardens	Riverside Caravan Park, Reaney Street, Berserker	Historical/cultural
Jubilee tree <i>Ficus benghalensis</i> (Banyan Fig) planted 1887 by Mayor Thomas Kelly	Out the front of Hegvold Stadium, Huish Drive, Wandal	Historical/cultural

Identified significant vegetation in the Rockhampton region	Location	Reasons for listing
Clancholla House Banyan Fig (<i>Ficus benghalensis</i>) (Queensland Heritage Place Register as Place ID 601592)	25 Ward Street, Rockhampton	Historical/cultural
Parrot trees (<i>Schotia brachypetala</i>) located near the Archer Park Rail Museum	Denison Street, Rockhampton City, across from the Archer Park Rail Museum along the fence line of the former 42 nd Battalion	Historical/cultural
Two (2) Moreton Bay Figs (<i>Ficus macrophylla</i>) planted at the opening of the Fitzroy River suspension bridge on New Year Day 1881	Reaney Street, Berserker, near the Fitzroy Bridge	Historical/cultural
White Fig	Goodsall Street, Berserker	Aesthetic values
Indian almond (<i>Terminalia catappa</i>)	Road reserve within Bolsover Street between Cambridge Street and South Street), Rockhampton City	Historical/cultural
Mango trees (<i>Mangifera indica</i>)	Outside St Peter's School on the corner of Henry Street and Spencer Street, Allenstown	Historical/cultural
<i>Ficus</i> spp located at Goldston House	230 George Street, Rockhampton City	Historical/cultural
<i>Ficus</i> Spp	187 Upper Dawson Road, Allenstown	Historical/cultural
Weeping Fig (<i>Ficus benjamina</i>)	188 Upper Dawson Road, Allenstown	Historical/cultural
Parrot trees (<i>Schotia brachypetala</i>)	Bolton Park, Gladstone Road, Allenstown	Historical/cultural
Memorial avenue of <i>Peltophorum pterocarpum</i> trees	Rockhampton – Emu Park Road Lakes Creek	Historical/cultural
Silver leaf ironbark community Norman Gardens (<i>Eucalyptus melanophloia</i>)	Lot 900 on SP267895 Norman Gardens	Environmental – last remaining stands in area
Vegetation corridor fronting Yeppoon Road, with dominant vegetation Narrow Leaf Ironbark (<i>Eucalyptus crebra</i>)	Lot 900 on SP267895 Norman Gardens	Aesthetic, buffer between Yeppoon Road and residential development along Norman Road
Semi-evergreen vine thicket areas	Throughout the Rockhampton region	Environmental

SC6.12.13 Undesirable species of vegetation and plants that are declared pests

The undesirable species of vegetation and declared pests that must be avoided and not used in any circumstance in proposed landscaping, due to the ecological and economic damage they may cause, are as follows:

- (1) Class 1, 2 and 3 declared pests as identified in the *Land Protection (Pests and Stock Route Management) Act 2002*;
- (2) Declared local pests identified in Rockhampton Regional Council Local Law's; and
- (3) Undesirable species listed in Table SC6.12.13.1.

Table SC6.12.13.1 — Undesirable species of vegetation

Scientific name	Common name	Reason
<i>Abrus precatorius</i>	Precatory Bean, Crab's Eyes, Gidee Gidee	Highly toxic seeds
<i>Agave americana</i>	Century Plant, Agave	An environmental weed, threatening rangeland biodiversity
<i>Albizia lebbek</i>	Flee Tree, Indian Sirus, Albizia	An environmental weed naturalised beyond its range
<i>Alternanthera dentata</i>	Purple Joyweed	
<i>Ardisia elliptica</i>	Shoe-button Ardisia	An environmental weed of dense monotypic stands displacing native plants
<i>Ardisia humilis</i>	Coral Berry	
<i>Aristolochia</i> species (excluding the native species)	Dutchman's Pipe, Pelican Flower	Class 3 Declared pest plant <i>A. elegans</i> replaces the native vine <i>Pararistolochia praevenosa</i> which is the sole food of the Richmond birdwing butterfly, a valuable species under Queensland legislation. Its toxins kill the larvae of a number of native butterflies
<i>Asparagus aethiopicus</i> cv <i>Sprengeri</i> (Synonyms: <i>Protoasparagus aethiopicus</i> , <i>Asparagus sprengeri</i>)	Asparagus Fern	Class 1 declared pest plant
<i>Asystasia gangetica</i>	Chinese Violet or Enchanting Bells or Asystasia Enchanting Bells or Browallia White Troll or Browallia Blue Troll	Invasive and out-competes native species
<i>Barleria repans</i>	Red Barleria or Coral Bells or Barleria Coral Bells	
<i>Brugmansia candida</i>	Angels Trumpet	Toxic
<i>Callisia fragrans</i>	Purple Turtle Vine, Basket Plant, Inch Plant	A significant environmental weed
<i>Callisia repens</i>	Creeping Inch Plant	Causes allergies
<i>Cascabela thevetia</i> (Synonym: <i>Thevetia peruviana</i>)	Peruvian Oleander, Captain Cook Tree	Class 3 declared pest plant. A weed and poisonous plant
<i>Catharanthus roseus</i>	Vinca Pink Periwinkle, Bright Eyes	An environmental weed
<i>Celtis sinensis</i>	Chinese Elm, Hackberry	Class 3 declared pest plant, invasive
<i>Cereus hildmannianus</i>	Peruvian Apple Cactus	
<i>Cestrum parqui</i>	Green Cestrum	Invasive and toxic , particularly to livestock
<i>Cinnamomum camphora</i>	Camphor Laurel	Class 3 declared pest plant, poisonous and invasive
<i>Cotoneaster pannosus</i>	Silver-leaf Cotoneaster	A minor or potential environmental weed with poisonous fruit. It is also the

Scientific name	Common name	Reason
		host for bacterial fireblight in orchards
<i>Coreopsis lanceolata</i>	Coreopsis	An environmental weed
<i>Corymbia torelliana</i> (Synonym: <i>Eucalyptus torelliana</i>)	Cadagi	Native to northern Queensland (Atherton Tablelands) rainforests now naturalised beyond its range as a weed. A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native rainforests
<i>Crocasmia x crocosmiiflora</i>	Montbretia	A moderately important invasive environmental weed in Queensland
<i>Cyperus involucreatus</i>	Umbrella Sedge	A non-declared weed
<i>Dalbergia sissoo</i>	Penny Leaf	An environmental weed
<i>Duranta erecta</i>	Prickly Duranta	Non-declared weed with toxic fruit
<i>Duranta repens</i>	Pigeon Berry	A declared local pest in the Rockhampton Region, toxic
<i>Eugenia reinwardtiana</i>	Beach Cherry or Cedar Bay Cherry	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Eugenia uniflora</i>	Brazilian Cherry	A relatively important environmental weed and a member of the Myrtaceae family. It can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Ficus elastica</i>	Rubber Tree, Assam Rubber, Rubber Plant	An environmental weed, and it can damage underground and built structures
<i>Hypoestes phyllostachya</i>	Polka Dot Plant, Freckle Face	An environmental weed
<i>Koelreuteria paniculata</i> and <i>Koelreuteria elegans</i>	Golden Rain Tree	Invasive
<i>Leonotis leonurus</i>	Lion's Tail	Naturalised and displaces native species
<i>Ligustrum</i> species	Privet	Class 3 declared pest plant , invasive, poisonous berries
<i>Melia azedarach</i>	White Cedar, Persian Lilac	Poisonous
<i>Muntinga calabura</i>	Strawberry Tree	An environmental weed
<i>Murraya paniculata</i> (seedlings)	Mock orange	An invasive environmental weed in Queensland
<i>Nephrolepis cordifolia</i>	Fishbone Fern	An environmental weed in Queensland
<i>Nerium oleander</i>	Oleander	An exotic, poisonous and the flower perfume may cause respiratory inflammation
<i>Ochna serrulata</i>	Mickey Mouse Plant	A significant environmental weed
<i>Pennisetum alopecuroides</i>	Fountain Grass	
<i>Phyllostachy aurea</i>	Golden Bamboo	Extremely invasive

Scientific name	Common name	Reason
<i>Phyllostachy pubescens</i>	Moso Bamboo	Invasive
<i>Pinus caribaea</i>	Caribbean Pine, Bahamas Pitch Pine, Southern Pine	A naturalised environmental weed in Central Queensland
<i>Pinus elliotii</i>	Slash Pine, American Pitch Pine, Swamp Pine	An environmental weed
<i>Pinus taeda</i>	Loblolly Pine	
<i>Psidium guajava</i>	Common Guava or Yellow Guava	Widely naturalised and a member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Pyracantha species</i>	Fire Thorn	Invasive
<i>Ravenala madagascariensis</i>	Travellers Palm	
<i>Rhaphiolepis indica</i>	Common Indian Hawthorn	An environmental weed in Queensland
<i>Ruellia simplex</i> (Synonym: <i>Ruellia tweedia</i>)	Mexican Petunia	An environmental weed in Queensland
<i>Sabal palmetto</i>	Sabal Palm	
<i>Salvia coccinea</i>	Red Salvia, Red Sage	Widely naturalised weed
<i>Sansevieria trifasciata</i>	Mother-in-laws Tongue	Non-declared weed
<i>Schefflera actinophylla</i>	Queensland Umbrella Tree	Non-declared weed outside its native range of Tropical Queensland. It has an invasive root system and is not conducive in areas of drainage and for infrastructure function
<i>Schinus molle</i>	Pepper Tree	Berries are poisonous and flowers may cause respiratory irritation, sinus congestion and headache
<i>Senna pendula</i> (Synonym: <i>Cassia pendula</i>)	Easter Cassia	Weed, suppressing and displacing native species
<i>Spathodea campanulata</i>	African Tulip	Class 3 declared pest plant , invasive and flowers are toxic to native stingless bees
<i>Stapelia gigantea</i>	Carrion Plant	
<i>Syagrus romanzoffiana</i> (Synonym: <i>Cocos plumosa</i>)	Cocos Palm, Queen Palm	Non-declared weed, invasive
<i>Syzygium cumini</i>	Java Plum, Black Plum, Damson Plum	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Syzygium jambos</i>	Rose Apple, Malabar Plum, Plum Rose	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Tamarix aphylla</i>	Athel Tamarisk, Athel Pine	Class 3 declared pest plant, extremely invasive. This is an introduced species not native to Australia
<i>Thunbergia alata</i>	Black-eyed Susan	Non-declared weed
<i>Titonia diversifolia</i>	Japanese Sunflower	Non-declared weed
<i>Tradescantia zebrina</i>	Seven Inch Plant	Non-declared weed
<i>Triplaris species</i>	Mulato Tree	A potential weed of forests

Scientific name	Common name	Reason
<i>Ulmis chinensis</i>	Chinese Elm	Invasive
<i>Verbena aristigera</i>	Fine-Leaf Verbena	
<i>Washingtonia robusta</i>	Cotton Palm	
<i>Zantedeschia</i> species	White Arum Lily	Toxic to livestock and humans

Editor's note—Sources of information for Table 6.12.13.1 include:

- Australian Tropical Rainforest Plants
- Common invasive plants of Australia – Australian Government
- Queensland Government – Declared weeds
- Queensland Government – Weeds of Australia, Biosecurity edition
- The IUCN Red List

Editor's note—The use of palms within landscapes throughout the Rockhampton region is an issue that must be considered carefully. Palms may either enhance a landscape design or make it appear completely out of character. Whilst the use of palms is not completely discouraged, a monoculture of palms is inappropriate. Palms have their correct place in landscape design and some species are more appropriate than others. For instance, in tight, narrow garden beds, courtyards and beside walls, the use of palms may be appropriate. Palms may also be attractive planted as a clump, or in small groups amongst other tree types. Palms are to be an emergent, rather than the dominant feature in landscape design, and should be planted to mirror their occurrence in a natural environment. Palms are not suitable to provide adequate shade and they are to be avoided in proximity to overland flowpaths and watercourses.

SC6.12.14 Buffers

Where buffers are required to be created within a development site, the choice of plant species and the location of plants are critical in determining the effectiveness of the buffer. Buffers when required to mitigate the impacts of incompatible land uses are to be designed to meet the following objective:

- (1) That the landscaping creates a dense, mature, vegetated buffer within twelve (12) months of the use commencing with the species used is endemic to the Central Queensland region and able to grow to heights that will ensure they interrupt the visibility of the whole of the development from adjoining properties.

SC6.12.14.1 Buffer layouts

In order that buffers are able to achieve their intended purpose and the objective set out above, buffers are to be planted in accordance with the following layouts dependent on their size and purpose.

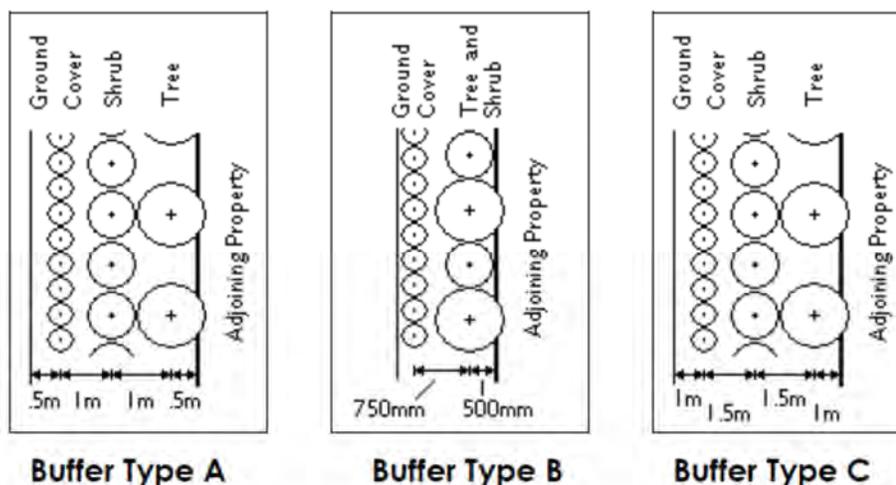


Figure SC6.12.14.1.1 — Suggested planting layouts for buffers

SC6.12.15 Fire management and vegetation

A list of vegetation that could be considered 'fire-retardant' or 'hard to burn' has not been included in this policy as all plants can burn in a high intensity fire. Rather, guidance on the characteristics of vegetation to avoid in development is provided. In addition, basic information on vegetation management to minimise bushfire risk is also provided.

SC6.12.15.1 Vegetation characteristics to avoid in bushfire prone areas

Plants to avoid include those that:

- (1) accumulate and/or create lots of dry, dead debris during the fire season;
- (2) have loose flaky bark or thin bark;
- (3) have masses of very fine leaves;
- (4) have low salt and low moisture content of leaves;
- (5) have high volatile oil content of leaves; and
- (6) have branches low to the ground.

SC6.12.15.2 Management of vegetation on a property to reduce risk in bushfire prone areas

Activities to be undertaken to reduce the risk of vegetation catching fire include:

- (1) using mulch, pebbles or rocks as mulch to keep plants moist after watering. If using mulch, keep it wetted down or covered with soil or sand during the fire season and try to concentrate mulch to small areas, concentrating on individual plants and their roots;
- (2) regularly watering plants and removing weeds;
- (3) regularly mowing, raking or slashing fine fuel loads, such as grasses, around building structures;
- (4) removing accumulated debris such as garden mulch, flaky loose bark, dead branches, leaves or needles from within branches. If possible remove lower branches of trees;
- (5) pruning between the tree top and the ground to break distribution of fuel load; and
- (6) manually removing loose, fibrous or stringy bark, taking care to avoid damaging the tree under the bark.

SC6.13 Local heritage planning scheme policy

SC6.13.1 Application

This planning scheme policy is used to provide guidance for entry of heritage places in a local heritage place register and how to prepare a heritage impact assessment report.

SC6.13.2 Purpose

The purpose of this planning scheme policy is to:

- (1) identify the criteria for entry of heritage places in Rockhampton Regional Council's local heritage place register;
- (2) provide guidance on the process for entering places in Rockhampton Regional Council's local heritage place register;
- (3) outline the information to be included in a heritage impact assessment report for development on a site either on, or adjoining either a local heritage place or adjoining a Queensland heritage place; and
- (4) provide a list of sites located on the local heritage place register.

SC6.13.3 Register of places of local significance

At this stage no places of local significance have been included on the local heritage place register. It is intended that over time places of local significance to Rockhampton region will be added to this register.

Heritage sites entered onto the Queensland Heritage Register under the *Queensland Heritage Act 1992* are not included in the local heritage place register for the Rockhampton Regional Council Local Government Area as these are identified and regulated by the state government and are presented on the heritage place overlay map OM-9.

SC6.13.4 Criteria for entry on the local heritage place register

- (1) A place may be entered onto the register of local heritage places if it satisfies at least one (1) of the following criteria:
 - (a) the place is important in demonstrating the evolution or pattern of the Rockhampton region's history; or
 - (b) the place demonstrates rare, uncommon or endangered aspects of the Rockhampton region's cultural heritage; or
 - (c) the place has potential to yield information that will contribute to an understanding of the Rockhampton region's history; or
 - (d) the place is important in demonstrating the principal characteristics of a particular class of cultural places; or
 - (e) the place is important because of its aesthetic significance; or
 - (f) the place is important in demonstrating a high degree of creative or technical achievement at a particular period; or
 - (g) the place has a strong or special association with a particular community or cultural group for social or spiritual reasons; or
 - (h) the place has a special association with the life or work of a particular person, or organisation with historical significance.

OR

- (2) A place may be entered onto the register of local heritage places if it satisfies at least one (1) of the following Australian natural heritage character criteria:
 - (a) it is of natural significance because of the importance of its ecosystems, biodiversity or geodiversity existence value, or for present or future generations in terms of scientific, social, aesthetic and life support value; or
 - (b) it has biological diversity of significance, that is, a variety of life forms — the different plants, animals and micro-organisms, the genes they contain, and the ecosystems they form; or

- (c) it has geodiversity of significance, that is, a range of earth features including geological, geomorphological, paleontological, soil, hydrological and atmospheric features, systems and earth processes; or
- (d) it has natural integrity, that is, the natural system has retained its condition and natural rate of change in terms of size, biological diversity, geodiversity and habitat.

SC6.13.5 Process for entry into the local heritage place register

A person wishing to enter a place on the local heritage place register is required to make a written submission to Council outlining their request. This submission shall be accompanied by a report, undertaken by a recognised heritage practitioner, detailing the proposed heritage place's compliance with at least one of the criteria for entry. A submission does not necessarily have to be lodged by the owner(s) of the place.

The report is to include:

- (1) a description of the local heritage place;
- (2) a statement of the history of the local heritage place; and
- (3) a statement of the cultural heritage significance of the local heritage place.

Once a submission and report is received by Council for entry in the local heritage place register, if the submission is not lodged by the owner(s), Council will contact the owner(s) in writing and they will have the opportunity to consent to, or not consent to the proposed listing. If the owner(s) do not agree to consent to the proposed listing Council will not undertake an assessment of the report received by the heritage practitioner, thus the site will not continue through the process for entry of a place in the local heritage place register. However, Council will make available the submission and report for viewing for future reference.

In the case where the owner(s) consents to entering their place on Rockhampton Regional Council's local heritage place register, Council will undertake an assessment of the report submitted to ensure the heritage place satisfies the cultural or natural heritage criteria. The assessment process will include a report prepared by Council officers to Council outlining the place's compliance or non-compliance with the criteria for entry in the local heritage register. Council will notify the submitter and/or owner in writing, of the outcome of Council's assessment that is if the place complied with the criteria for entry or if it did not comply with the criteria of entry and the reasons for non-compliance.

In the event a place is determined to not comply with the criteria for entry Council will keep the submission and report available for viewing for future reference. If further detailed research reveals such information that may alter Council's decision, an additional or amended report prepared by a recognised heritage practitioner can be submitted for reassessment.

The process for registering a heritage place in the local heritage place register will be in accordance with the planning scheme policy amendment process outlined in the *Planning Act 2016*.

SC6.13.6 Removal of a place from the local heritage place register

The process for removal of a place from the local heritage place register will be in accordance with the planning scheme policy amendment process outlined in the *Planning Act 2016*.

A place may be removed from the local heritage place register if:

- (1) the place no longer exists; or
- (2) detailed research reveals such information that the place no longer satisfies any of the criteria for entry onto the register.

SC6.13.7 Guidelines for preparing a heritage impact assessment report - general

- (1) An appropriately qualified heritage consultant is required to prepare the heritage impact assessment report.
- (2) The heritage impact assessment report is to take into account existing documentation regarding the site including:
 - (a) the request for consideration of being included in the local heritage register submitted to Council; and
 - (b) any citation or documentation prepared by Council.
- (3) A heritage impact assessment report and its heritage impact statement is to be based on the principles and processes of The Australian ICOMOS Burra Charter, being the accepted standard for conservation analysis in Australia. The cultural significance of the local heritage place is to be determined through an analysis of its documentary and physical evidence. The heritage impact assessment report is to encourage conservation of and retain the cultural significance of the local heritage place or Queensland heritage place.
- (4) If development is on or adjoins a place of cultural significance to indigenous people, the heritage impact assessment is to be undertaken by a suitably qualified person holding a permit under the *Cultural Record (Landscapes Queensland and Queensland Estate) Act 1987*. This heritage impact assessment is to adopt a consultative approach acceptable to the indigenous traditional owners and provide opportunities for indigenous people to undertake the assessment and participate in policy development for protecting places or areas of significance.

SC6.13.8 Guidelines for preparing a heritage impact assessment report for development on a site for a local heritage place

- (1) The heritage impact assessment report is to include a heritage impact statement which examines the impact the development has on the cultural significance, including aesthetic, architectural, historical, scientific and social or technological significance of the local heritage place, to present or future generations, and includes:
 - (a) an analysis of the history and the physical fabric of the local heritage place;
 - (b) an assessment of cultural significance of the local heritage place and what parts of the fabric demonstrate that significance; and
 - (c) a description of the development.
- (2) The heritage impact statement is to include:
 - (a) photographs of the local heritage place;
 - (b) plans or some form of documentation that illustrate the development; and
 - (c) identification regarding where and how the fabric of the local heritage place is to be modified, adapted and conserved.

SC6.13.9 Guidelines for preparing a heritage impact assessment report for development on a site adjoining either a local heritage place or Queensland heritage place

The heritage impact assessment report is to include a heritage impact statement which includes:

- (1) the history and the physical fabric of the local heritage place to determine its cultural significance;
- (2) an assessment of the impact the development will have on this significance;
- (3) the identification of views of the local heritage place and assessment of which are significant and which are impacted;
- (4) the identification of the visual and aesthetic qualities and characteristics of the local heritage place;
- (5) the identification of whether the streetscape is particularly significant and how the development impacts on the qualities of the streetscape;
- (6) an assessment of how the local place and the development relate to one another in terms of scale and height of the new building, choice of building materials, colours, fenestration patterns and setbacks; and

- (7) an assessment of how the new building fits into the streetscape and responds to the prevailing architectural character and built environment of the street.

Table SC6.13.10 — Local heritage place register

Local heritage place	Address	Lot number	Plan number	Date registered

SC6.14 Local parks planning scheme policy

SC6.14.1 Application

- (1) This policy applies to:
 - (a) the reconfiguring a lot for residential, industrial or commercial uses where an additional lot(s) is created; or
 - (b) a material change of use for code or impact assessable residential purposes.

Note—This planning scheme policy does not apply to a dual occupancy development application triggered as code assessable.

- (2) This policy applies only to local parks, which are non-trunk infrastructure.
- (3) District and regional parks will be developed as trunk infrastructure funded through the trunk infrastructure charging regime.

SC6.14.2 Purpose

The purpose of this policy is to:

- (1) ensure sufficient, conveniently located and suitable quality local parkland is provided within the community by setting out the desired standards of service for open space (local parks) as required by the reconfiguring a lot code and residential zone codes; and
- (2) prescribe those circumstances under which a developer can satisfy the assessment benchmarks in relation to the provision of local parks, including where the proposed development does not provide open space as required under the planning scheme.

SC6.14.3 General provisions

- (1) The desired standards of service for local parks are identified in Schedule 1 of this policy.
- (2) To ensure that a developer can satisfy the relevant assessment benchmarks in relation to the provision of local parks, Council may condition a development approval under the *Planning Act 2016* to require:
 - (a) the dedication of an area of land for use as a local park, in accordance with the desired standards of service identified in Schedule 1 of this policy; or
 - (b) the performance of capital works, including the provision of local park embellishments, or the improvement of land for use as a local park; or
 - (c) a combination of (a) and (b) above.
- (3) Such conditions are appropriate where it is necessary to establish local parks to the required standard, where such works are:
 - (a) internal to the development; or
 - (b) to connect the development to external networks; or
 - (c) to maintain and protect the efficiency and safety of the local park network.
- (4) Alternatively, to satisfy the relevant performance criteria in the reconfiguring a lot code, Council may consider entering into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution and/or a works contribution.
- (5) A cash-in-lieu contribution paid pursuant to an infrastructure agreement may be used to purchase land or improve facilities in existing parks as determined by Council.
- (6) When determining whether to impose a condition requiring the applicant to dedicate land or undertake capital works, or alternatively to enter into an infrastructure agreement providing for a cash-in-lieu contribution and/or a works contribution, Council shall have regard to:
 - (a) whether any open space or parks are proposed where the land is within an existing structure or local plan;
 - (b) the size of the area proposed for a local park (for example whether the area of a single park is likely to be less than 5,000 square metres, including any contiguous park that has or is likely to result from the reconfiguration or development of adjoining land);
 - (c) the existing local park provision in the area (for example whether existing parks are considered adequate in size for the demand arising from reconfiguration of

- lots, where local park requirements are best located external to the development site);
 - (d) the possibility of connecting local parks required with existing open space;
 - (e) any previous local park contributions made to Council;
 - (f) the open space or local park provisions contained within any detailed structure or local plan within the planning scheme that may relate to the area in which the development is located; and
 - (g) the purpose of this policy.
- (7) Where a previous contribution has been made in respect of land being developed, the amount of this contribution will be taken into account in calculating the contribution for any further development approval.

SC6.14.4 How local park requirements may be satisfied

SC6.14.4.1 Reconfiguring a lot for residential, commercial or industrial uses

- (1) Where land is proposed to be dedicated for local parks in accordance with this policy, such land shall:
 - (a) comprise ten (10) per cent of the developable land proposed for reconfiguration;
 - (b) comprise land that is suitable for local parks and meets the desired standards of service identified for local parks (see Schedule 1 of this policy – Desired standards of service for open space (local parks));
 - (c) be no less than 5,000 square metres;
 - (d) be fenced (or other suitable barrier) to prevent vehicular access; and
 - (e) be provided with a water supply connection point or points.
- (2) Council may require land to be dedicated for local parks in any reconfiguration, and be located so as to enlarge an adjoining local park or to facilitate the development of a comprehensive open space system for the surrounding area.
- (3) Where land is proposed to be reconfigured in stages, Council may require the total area of land for park to be dedicated as part of the first stage of subdivision.
- (4) Where Council is prepared to enter into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution:
 - (a) the specified rates of contribution are detailed in Schedule 2 of this policy; and
 - (b) the contribution shall be expended by the Council towards:
 - (i) the acquisition of land for local parks; or
 - (ii) the provision of works or recreation facilities for the improvement of existing parks.
- (5) Where capital works, including the provision of local park embellishments, are required, either by condition or by an infrastructure agreement, in accordance with this policy, the value of such works shall in the opinion of the Council, be at least equivalent to the relevant cash-in-lieu contribution that would be payable pursuant to an infrastructure agreement under this policy.

SC6.14.4.2 Material change of use for residential purposes

- (1) If Council enters into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution, the rate of the contribution is set having regard to the cost to Council of purchasing local parks and providing facilities and embellishments in parks or any combination of these.
- (2) The specified rates of contribution are detailed in Schedule 2 of this policy.

SC6.14.5 Schedule 1 — Desired standards of service for open space (local parks)

Table SC6.14.5.1 — Local parks – Planning and design criteria

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Functional network	A network of local parks and open space is established to provide for recreational uses and pursuits.	<ul style="list-style-type: none"> Parks are provided at a local community level Parks address the needs of recreation uses.
Accessibility	Local parks will be located to ensure adequate pedestrian, cycle and vehicle access.	Accessibility standards are identified in Table SC6.14.5.3.
<ul style="list-style-type: none"> Land quality/suitability Area Minimum size Shape of land Minimum desired flood immunity Maximum desired grade Road frontage and visibility 	Local parks will be provided to a standard that supports a diverse range of recreational and health-promoting activities to meet community expectations. This includes ensuring land is of an appropriate size, configuration and slope, and has an acceptable level of flood immunity.	<ul style="list-style-type: none"> The rate of public park provision is identified in Table SC6.14.5.2 The minimum size, shape of land, minimum desired flood immunity, maximum desired grade and road frontage and visibility for public parks is identified in Table SC6.14.5.4.
Facilities/embellishments	Local parks contain a range of embellishments to complement the type and purpose of the park.	Indicative embellishments for local parks are identified in Table SC6.14.5.5.
Parks design/performance standards	Maximise opportunities to collocate local parks in proximity to other community infrastructure, transport hubs and valued environmental and cultural assets.	<ul style="list-style-type: none"> Local government standards in planning scheme and planning scheme policies Australian Standards.

Table SC6.14.5.2 — Local parks – Rate of land provision

Rate of land provision (hectare per 1,000 people)	
Local park	1.2 hectare per 1,000 people

Table SC6.14.5.3 — Local parks – Accessibility standard

Accessibility standard	
Local park	<ul style="list-style-type: none"> 400 metres in urban areas (dwellings will have access to a local park within a 400 metre distance). Not separated by physical barriers (such as heavily trafficked roads) from surrounding areas. Provides for safe and convenient bike and pedestrian access.

Table SC6.14.5.4 — Local parks – Design characteristics

Local parks design characteristics	
Minimum size of local park	5,000 square metres minimum of usable open space.
Shape of local park	The preferred shape for a local park is square to rectangular with the sides no greater than two (2) vertical in one (1) horizontal.

Local parks design characteristics	
Minimum desired flood immunity for local parks	<ul style="list-style-type: none"> At least twenty-five (25) per cent of total area above two (2) per cent annual exceedance probability. Main activity area(s): <ul style="list-style-type: none"> Fitzroy River flooding – one (1) per cent annual exceedance probability; or Local catchments – one (1) per cent annual exceedance probability. <p>Note—Where Fitzroy River flood mapping overlaps local local catchment mapping, trafficable access requirements for Fitzroy River flood hazard areas prevail.</p> <ul style="list-style-type: none"> Land subject to flooding will be considered unsuitable for active park areas, but may be suitable for passive open space.
Maximum desired grade	<ul style="list-style-type: none"> Maximum grade of one (1) vertical in ten (10) horizontal for eighty (80) per cent of the area of the park (that is, a maximum of twenty (20) per cent of the land may have a greater grade than one (1) vertical in ten (10) horizontal. No area of park will have a grade greater than one (1) vertical in six (6) horizontal.
Road frontage and visibility	Fifty (50) per cent local road frontage where possible.
Park suitability	<ul style="list-style-type: none"> Parks have a visual connection to surrounding houses to allow for natural community surveillance. Parks should not act as a buffer to a transport corridor. Parks will not be affected by unreasonable hazards such as power line easements or contaminated land. Land will not be affected by oil or gas supply easements. Comprise land that is a fair average type of the land being developed.

Table SC6.14.5.5 — Local parks – Indicative embellishments

Park element	Local parks
Car parking	On-road only.
Fencing/bollards, lock rail	Yes.
Lighting	Roadside lighting only.
Pedestrian pathway access network	Minimal.
Bench seating	One (1) to two (2) (if no other seating is provided), positioned for supervision of any play area, or for views/appreciation of the surrounding park/area.
Shade structures or trees (over playgrounds)	Yes.
Shelters/gazebo with tables and seating	May be provided as an activity area (for example a scenic viewing area).
Tap/bubbler	Yes.
Rubbish bins	Minimum of one (1), located near activity area, or at key access points on recreation corridors.
Landscaping	Shade trees, landscaping to enhance amenity.
Signage	Park name sign, located at main entrance. Generic 'local park' street signage where entrances are on cul-de-sacs.
Recreation areas	Mix of two (2) or three (3) (for example, toddlers, kick-about, children, active youth space, free to use courts).
Irrigation	Dependant on access to water. Ideally, high use areas are irrigated.
Public artwork	If available.

SC6.14.6 Schedule 2 — Cash-in-lieu contribution rates where Council enters into an infrastructure agreement – Open space (local parks)

Table SC6.14.6.1 — Reconfiguring a lot for residential, commercial and industrial purposes

Applicable area	Contribution rate
Rockhampton planning scheme area	\$1,000.00 per additional lot.

Table SC6.14.6.2 — Material change of use for residential purposes

Applicable area	Contribution rate
Rockhampton planning scheme area	\$750.00 per additional dwelling unit.

Note—These rates will be indexed to the producer price index (PPI) – road and bridge construction index for Queensland on an annual basis from the commencement date of this planning scheme.

SC6.15 Road infrastructure and hierarchy planning scheme policy

SC6.15.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications for:

- (1) Material change of use;
- (2) Reconfiguring a lot; and
- (3) Operational work (involving vehicle access and movement).

SC6.15.2 Purpose

The purpose of this planning scheme policy is to:

- (1) ensure that land use activities which generate vehicular or other traffic movements are located on the appropriate classification of road in accordance with the road hierarchy overlay map OM-19; and
- (2) assist in the identification and preservation of public transport routes.

SC6.15.3 Policy context

The road hierarchy overlay map enables the development of a safe and efficient road network catering for the movement of people and goods, while maintaining the amenity of urban areas.

The road hierarchy is divided into a range of road classifications, ranging from highways (highest order road) to rural access road (lowest order road). Each classification adopts a different function and volume of traffic, providing clarity and differentiation between roads that provide for local and regional traffic movements.

The road hierarchy directs land use activities that generate high numbers of traffic movements to locate and gain access directly from the higher order roads. As a result, traffic management will reflect and protect residential amenity while providing a traffic movement function. It is considered important to reduce the potential for conflict between different road users of the road system.

Public transport relies fundamentally on an individual's ability to access the stations, terminals and stops for its success and viability. Provision for access is often required through developments, subdivision and open space areas. It is desirable to encourage the highest transport demand generating land uses to locate as close as possible to public transport facilities and higher order roads as indicated on the road hierarchy overlay map. The preference is for buses to be routed on roads carrying more than 3,000 vehicles per day. Bus bays and associated facilities are to be provided where appropriate along the route, in particular at signalised intersections that enable pedestrians to cross safely.

SC6.15.3.1 Road classifications

- (1) The type of road classifications used in the hierarchy were compiled taking into consideration the following:
 - (a) The Roads Alliance (2003) classification system; and
 - (b) The Austroads (1989) classification system.
- (2) It must be noted that:
 - (a) in determining the road class, emphasis is placed on the road function description. The description detailed in the comment column is a guide only;
 - (b) traffic figures are a guide only; and
 - (c) for roads that perform multiple functions, the road class is determined by the major road function.

Table SC6.15.3.1.1 describes the road classification, function and guide to maximum traffic volumes, while the road hierarchy overlay map OM-19 illustrates diagrammatically the road hierarchy for the Rockhampton Regional Council local government area. Refer to the

Capricorn Municipal Development Guidelines road cross section drawings for design standards for each road classification.

Table SC6.15.3.1.1 — Road classification

Description and guide to traffic volume	Function description	Comment
Highway	<p>Roads that form the principal avenue of communication between and through major regions of Australia (for example direct connection between capital cities).</p> <p>These roads also perform a local function of:</p> <p>(a) carrying local traffic and freight movements across and in between urban areas; and</p> <p>(b) acting as connections between local arterial and collector roads.</p>	<p>Including national highways. High speed, high volume routes.</p>
State controlled road	<p>Roads whose main function is to form the principal or alternative avenue of communication for movements between:</p> <p>(a) a capital city and adjoining states and their capital cities; or</p> <p>(b) a capital city and key towns or areas of regional economic/social significance; or</p> <p>(c) key towns or areas of regional economic/social significance.</p> <p>These roads also perform a local function of:</p> <p>(a) carrying local traffic and freight movements across and in between urban areas; and</p> <p>(b) acting as connections between local arterial and collector roads.</p>	<p>State strategic roads. Regional roads. District roads. Conveys through traffic.</p>
Urban arterial (Greater than 10,001 average annual daily traffic (AADT))	<p>Those roads whose main function is to perform as the principal arteries for through traffic and freight movements across urban areas. They form the primary local road network and link main districts of the urban area.</p>	<p>Major local government roads. Major arterial roads High volume routes</p>
Urban sub-arterial (6,001 to 10,000 average annual daily traffic (AADT))		
Major urban collector (3,001 – 6,000 average annual daily traffic (AADT))	<p>Those roads whose main function is to:</p> <p>(a) complete the major road network across the urban areas and carry intra-urban traffic; or</p> <p>(b) serve as supplementary public transport corridors; or</p> <p>(c) form part of a regularly spaced road network supplementary to the arterial urban road network.</p>	<p>Significant local government road links in urban areas. Conveys through traffic.</p>
Minor urban collector (751 to 3,000 average annual daily traffic (AADT))	<p>Those roads whose main function is to collect and distribute traffic from local areas to the wider road network (can include access to abutting properties).</p>	<p>Local government collector. Local traffic.</p>

Description and guide to traffic volume	Function description	Comment
Urban access street (251 – 750 average annual daily traffic (AADT))	Those roads whose main function is to: (a)provide access to residences and properties; or (b)provide exclusively for one activity or function.	Access streets, cul-de-sacs — Local traffic.
Urban access place (less than 250 average annual daily traffic (AADT))		
Industrial collector	Those roads whose main function is to: (a)carry industrial traffic through an industrial area; or (b)link industrial areas to the arterial or state controlled road network.	Industrial streets. Industrial traffic.
Industrial access	Those roads whose main function is to provide access to properties with predominantly industrial uses within industrial areas.	Industrial streets and cul-de-sacs. Industrial traffic.
Rural arterial (Greater than 8,000 average annual daily traffic (AADT))	Roads whose main function is to form an avenue of communication for movements between: (a)important rural centres and the arterial or state controlled road network and/or key towns; or (b)important rural centres which have a significant economic, tourism or recreation role.	Major local government roads. Conveys through traffic.
Major rural collector – (1,000 – 7,999 average annual daily traffic (AADT))	Those roads whose main function is to collect and distribute traffic from rural areas to the wider road network.	Local government collector roads. Local traffic.
Minor rural collector – (151 to 999 average annual daily traffic (AADT))		
Rural access (less than 150 average annual daily traffic (AADT))	Those roads whose main function is to: (a)provide access to rural residences and properties; or (b)provide exclusively for one activity or function (for example access to national parks, dam access, mining and forestry roads).	Access roads to residences and property. Access roads to specific facilities. Local traffic.

SC6.16 Scenic amenity planning scheme policy

SC6.16.1 Application

This planning scheme policy may be applied by Council to specific development considered to have scenic landscape features and an amenity that is valued by the community and which is sensitive to the visual impacts of development.

SC6.16.2 Purpose

The purpose of this planning scheme policy is to:

- (1) provide guidance on information that may be required to support a development application over places considered to be sensitive to the visual impacts of development; and
- (2) provide guidance on how to prepare a visual impact assessment to support a development application located in the environmental management and conservation zone.

SC6.16.3 Advice for minimising development impacts on scenic landscape features

The visual impacts of development on a significant scenic landscape feature may potentially be mitigated by incorporating design responses including but not limited to the following:

- (1) retention or rehabilitation of vegetation on ridgelines and prominent slopes;
- (2) retention or rehabilitation of waterways, drainage paths, and riparian vegetation;
- (3) locating buildings so that there is minimal disruption to the skyline, and locating buildings so that roofs are below the canopy height of surrounding trees or ridgelines;
- (4) retention of mature trees and stands of established vegetation;
- (5) use of non-reflective roofing materials and colours;
- (6) use of building materials and colours that are drawn from or complement the natural or rural landscape of the locality;
- (7) avoidance of the use of imported building types and themes that are incompatible with the natural or rural landscape of the locality;
- (8) avoidance of the creation of extended straight lengths of new road or driveways in areas of hilly topography or where inconsistent with the established road pattern of the locality;
- (9) avoidance of fencing, landscaping and lighting treatments that are urban in scale and appearance if the site is in a rural or non-urban setting;
- (10) provision of building setbacks to boundaries and provision of spacing between buildings which are in proportion to the size of lots;
- (11) retention of mature vegetation and planting of new vegetation in building setback areas, particularly the setback areas located within the sight of major public roads and public viewer places;
- (12) location of buildings and other structures so as not to obscure or interrupt any significant views from a public viewer place to an identified significant scenic landscape feature;
- (13) minimising the scarring of the land due to earthworks and the use of large retaining walls at highly visible locations;
- (14) if for a subdivision, the creation of larger lot sizes at highly visible locations, with the lots having sufficient size to accommodate buildings and structures while retaining significant vegetation coverage;
- (15) removing advertising signage along scenic transport routes; and
- (16) if adjoining a scenic transport route or river frontage area:
 - (a) use of vegetation buffers, non-overbearing building heights and stepped building designs where appropriate; and
 - (b) minimising multi-level development, except within in a zone allocation which specifically encourages higher densities and higher maximum building heights.

SC6.16.4 Guidance for the preparation of a visual impact assessment report

Compliance with the relevant performance outcomes of the environmental management and conservation zone code may be demonstrated in part or aided by the submission of a visual impact assessment report prepared by a competent person. For the purpose of this planning scheme policy, a competent person is an appropriately qualified and experienced consultant (that is, an architect, landscape architect, urban designer) with appropriate and demonstrated technical expertise in landscape and visual assessment.

A visual impact assessment report must evaluate and assess the potential visual impacts of development on any significant scenic landscape features at the site and its surrounding area and should at a minimum include the following:

- (1) a review of any existing scenic amenity and landscape studies that have been undertaken in the planning scheme area relevant to the location of the proposed development;
- (2) a description of the development and its visual components;
- (3) any assumptions and limitations associated with the methodology used in the visual impact assessment report;
- (4) an evaluation of the existing scenic landscape features at the site, adjoining the site, and in the surrounding area;
- (5) identification and assessment of the impacts on views from viewer places (sensitive receptors) sensitive to the impacts of development;
- (6) images to illustrate the site and its setting pre-development and post-development, particularly as viewed from impacted public viewer places;
- (7) an assessment of the significance of effects (for example, major, moderate, minor, negligible) on the scenic landscape features at the site, adjoining the site, and in the surrounding area as a direct result of the development, when seen from an identified public viewer place;
- (8) identification and discussion of any proposed mitigation strategies and including how the development minimises its impact on identified scenic landscape features by the use of design means such as siting, vegetation retention, landscaping, and stepping, chamfering or breaking up the visible mass of the building form or roofline, or by other design responses;
- (9) identification and discussion of any residual or cumulative effects likely to result from the development; and
- (10) a report on the findings of the assessment.

SC6.16.5 Advice for unmapped scenic amenity areas

There are numerous places located throughout the planning scheme area that have not been the specific focus of detailed landscape and scenic amenity studies. Some of these places however, contain landscape elements and features that are distinctive, well known, and highly valued by the community for their scenic amenity and their strong contribution to character, identity and sense of place. Consequently it is advised that there may be instances when Council, at its discretion, may call upon the content of SC6.16.4 of this planning scheme policy when assessing development that Council considers could potentially have an adverse effect on the scenic amenity of places including but not limited to places broadly identified in Table SC6.16.5.1 below. This planning scheme policy may be called upon for impact assessable development and for code assessable development for reconfiguring a lot or for material change of use applications where the development does not strictly comply with the stated acceptable solutions of the applicable codes.

Table SC6.16.5.1 — Unmapped scenic amenity areas

Scenic amenity management area	General description
Berserker Range	<ul style="list-style-type: none"> • Highly visible ridges • Highly visible hill slopes
Hinterland mountains, ridges and hills	<ul style="list-style-type: none"> • Highly visible ridges • Highly visible hill slopes
Hinterland green breaks, rivers and coastline	<ul style="list-style-type: none"> • Significant hinterland waterways, wetlands and riparian vegetation areas located between and separating urban settlements and townships

SC6.17 Sewerage infrastructure planning scheme policy

SC6.17.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and water and sewer code.

All applications are to be made in accordance with the *Plumbing and Drainage Act 2018*. Such an approval under this Act is deemed an approval under the *Water Supply (Safety and Reliability) Act 2008*.

SC6.17.2 Purpose

The purpose of this policy is to provide a framework to guide development affecting new and existing sewerage infrastructure throughout the Rockhampton Regional Council planning scheme area.

SC6.17.3 Sewerage connections/disconnections

To apply for a sewerage connection/disconnection please obtain a private works quotation by completing the Water and Sewerage Services Private Works Application and return to Rockhampton Regional Council. Alternatively you can contact Rockhampton Regional Council Customer Service office between 08:00 and 17:00 Monday to Friday on (07) 4932 9000.

SC6.17.3.1 Requirement to connect – Infrastructure policy

The policy provides criteria for managing the construction timing and cost recovery when the extension of sewerage scheme areas is required within the existing urban footprint.

Where either the public health or environmental risk makes individual septic or on-site treatment systems (now or as the population density/numbers increase in an area) unviable, a public sewerage system becomes essential. Where new urban development is undertaken, existing planning and environmental laws and policy are clear to a point. However, there are issues around timing, implementation and cost recovery, but these are manageable with short-term, medium-term and long-term arrangements agreed before a development is approved and are not covered by this policy.

SC6.17.4 Building over/adjacent to local government sewerage infrastructure

Please refer to the Queensland Development Code website (MP1.4) and Council's website to access the building over/adjacent to sewerage infrastructure application form, policy and technical guidelines.

Where Council determines an application can be submitted for a proposal to build over/adjacent to local government sewerage infrastructure refer to the Building Over/Adjacent to Sewerage Infrastructure (BOSI) policy requirements and technical guidelines available on Council's website.

The guidelines deal with:

- (1) Building Classes 2 – 9; or
- (2) Building classes 1 and 10, where the application does not comply with an acceptable solution provided in the Queensland Development Code (MP 1.4 November 2013) MP 1.4 Building Over or Near Relevant Infrastructure.

Council's BOSI policy aims to provide some direction as to what is permissible when seeking to gain consent to construct or erect a building or structure over or adjacent to sewerage infrastructure.

Generally, it is highly undesirable for any building or structure to be constructed or erected over sewerage infrastructure. However, should the applicant be able to demonstrate to the satisfaction of Council that it is uneconomical to avoid building over or in close proximity to the sewerage infrastructure, then approval may be granted at the discretion of Council, subject to specified conditions.

All possible alternatives need to be considered before requesting written consent of Council to build over/adjacent to sewerage infrastructure.

The minimum clearance from sewerage mains up to 225 millimetres in diameter on a standard alignment is 1.5 metres from the face of any building or structure and 1.2 metres from the face of any footing to the centreline of the sewer main with a minimum unobstructed vertical clearance of 2.4 metres.

When the sewerage infrastructure is not on a standard alignment, construction may be permitted over or adjacent to sewerage mains up to 225 millimetres in diameter in accordance to the technical guideline requirements.

An easement boundary or allotment boundary is considered to be a defining limit under the BOSI policy and any existing sewerage infrastructure beyond these boundaries will not be considered in a BOSI application.

For further information on the building over/adjacent to sewerage infrastructure policy and building over/adjacent to sewerage infrastructure technical guidelines, refer to Council's website.

SC6.17.5 Trade waste

For non-residential development compliance with Council's Trade Waste Environmental Management Plan, *Water Supply (Safety and Reliability) Act 2008* and the *Plumbing and Drainage Act 2018* is required.

Discharge of waste containing substances in amounts liable to be toxic or hazardous to the sewerage system, treatment process, personnel or the environment is prohibited. Council may consider the acceptance of trade waste containing toxic or hazardous substances and non-degradable pollutants to sewer only after the waste has been pre-treated by on site "best practicable treatment" to ensure sewer admission limits are not exceeded.

Compliance with the above legislation and obtaining a trade waste permit is required for the discharge of any non-domestic waste into Council's sewerage reticulation.

Please refer to Council's website for the trade waste application form, application guide and environmental management plan.

SC6.17.6 Standard drawings

All standard drawings for sewerage reticulation will be in accordance with the Capricorn Municipal Development Guidelines Standard Drawings for Sewerage Reticulation.

SC6.17.7 Design and construction of sewerage reticulation systems

The Capricorn Municipal Development Guidelines Design and Construction Specifications are to be utilised for the planning, design and construction of sewerage reticulation works.

The Design Guideline sets out requirements for the design of the sewerage reticulation system for a development.

SC6.17.7.1 System

- (1) The guideline contains procedures for the design of the following components of a sewerage system:
 - (a) reticulation; and
 - (b) pumping stations.
- (2) The design of reticulation and pumping stations shall comply with the Department of Natural Resources Guidelines for the Planning and Design of Urban Sewerage Schemes, unless specified otherwise herein. A main will only be classified a trunk main if designated in the Local Government Infrastructure Plan or as determined by a trunk conversion application.
- (3) The Gravity Sewerage Code of Australia WSA 02-2014 with Queensland amendment shall apply except where modified by this specification.
- (4) The following order of priority for interpretation of documents will apply:
 - (a) Capricorn Municipal Development Guidelines Design Specification D12;
 - (b) Capricorn Municipal Development Guidelines Standard Drawings; andGravity Sewerage Code of Australia WSA 02-2014.

SC6.17.7.2 Sewerage network desired standards of service

Development within the sewer planning area is to be connected with the full desired standard of service. The objective of a sewerage system is to transport sewerage from domestic, commercial and industrial properties using gravity flow pipes and where this is uneconomical, by pumping to the treatment plant.

The Desired Standards of Services for the sewerage network are detailed within the local government infrastructure plan.

Editor's note—Council can undertake a network analysis on behalf of the applicant for a fee.

SC6.17.7.3 Additions/modifications to the Capricorn Municipal Development Guidelines

In addition to the Capricorn Municipal Development Guidelines requirements, the following design criteria are to be adopted:

- (1) Lots with zero boundary offset requirements for buildings, the sewerage infrastructure must be located at the front of lot where possible.
- (2) Sewers located in industrial/commercial precincts must be located at the front of the lot where possible.
- (3) Large trees planted in the footpath of a new development must be located a minimum of one (1) metre from the centreline of sewerage infrastructure. Small shrubs and groundcover are acceptable.
- (4) Where development is proposed on sites currently serviced by combined house drainage systems the applicant will be responsible to upgrade the system to current sewerage standards. This responsibility may extend to adjoining properties.

SC6.17.7.4 Maintenance

Maintenance of all sanitary drainage services within a property owner's property is the responsibility of the property owner, with the exception of mains within property easements owned by Council.

Construction of any new plumbing and sanitary drainage works must comply with the provisions of Council's plumbing and drainage policy in addition to:

- (1) Australian Standard/New Zealand Standard AS/NZS 3500.2:2003 (as amended) and in particular clause 3.2;
- (2) *Plumbing and Drainage Act 2018*;
- (3) Standard Plumbing and Drainage Regulation 2019;
- (4) Plumbing Code of Australia (PCA); and
- (5) Rockhampton Regional Council Plumbing and Drainage Policy.

SC6.17.7.5 Development outside the sewer planning area

- (1) On-site sewerage systems — where not within the sewer planning area and the applicant does not intend to connect to reticulated sewerage, the development must have an on-site sewerage system that complies with the Queensland Plumbing and Wastewater Code and the *Plumbing and Drainage Act 2018*. A site evaluation report is to be prepared by a suitably qualified person in accordance with the Queensland Plumbing and Wastewater Code.
- (2) Special sewerage arrangement – a developer may request connection to the reticulated sewerage network although they are located in part or totally outside the sewer planning area. In this event the developer must enter into a special sewerage arrangement with Council. Council will condition the developer to construct or contribute the full cost of the extension of the network or connection to the network to service the development. For the avoidance of doubt the special sewerage arrangement will include an agreement to void any later trunk conversion application associated with the subject infrastructure. Where a special sewerage arrangement allows for just a connection to the network, the infrastructure from the development to the point of connection remains the responsibility of the developer, including all future maintenance and the like.

SC6.17.7.6 Consent of adjoining landowners

Written approval is required from adjoining property owners authorising any operational work on their property. Refer to the Capricorn Municipal Development Guidelines for further details.

SC6.17.7.7 Submission of digital ‘As Constructed’ information for development works

The following information is provided for consultants and developers who contract for subdivisional and developmental works within the Rockhampton Regional Council area, and are required to submit final ‘As Constructed’ plans to Council.

Council has standardised the process in which ‘As Constructed’ information is collected, documented, mapped, submitted and integrated into Council's Geographical Information System and Asset Management System. This process is continually being improved from feedback from consultants, developers and Council staff, and is designed to make the entire process simpler, efficient and accurate and provide long-term benefits for all concerned.

The ‘As Constructed’ process requires the submission of all ‘As Constructed’ documentation in accordance with Council's ‘Guidelines for creation and submission of ADAC XML files’. The manual provides detailed guidance on the following: the documentation required as part of the submission; the survey guidelines, plan layout specifications and specific guidance as to the attribute information required.

To assist consultants and developers to provide Council with the required attribute information, Council has developed a template ‘As Constructed’ Microsoft Excel spreadsheet that aligns with the Manual. A reference guide is also available that is aimed at assisting during the surveys, map production and completing the Microsoft Excel spreadsheet. The common causes of errors that delay Council approval of the submission documentation are identified as well as a summary of key changes from previous versions.

SC6.18 Stormwater management planning scheme policy

SC6.18.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and stormwater management code.

SC6.18.2 Purpose

The purpose of this planning scheme policy is to provide guidance in relation to the provision of stormwater infrastructure for development in order to ensure stormwater infrastructure design and construction satisfies Council's Desired Standard of Service requirements and environmental and safety expectations. The planning and design of stormwater drainage must address the following:

- (a) relevant catchment features;
- (b) incorporate elements and measures to manage stormwater movement;
- (c) flow to maximise outcomes for flood mitigation (water quantity), water quality protection and improvement; and
- (d) maintenance of near-natural hydrological regimes.

The function of the stormwater network is to:

- (a) manage stormwater to ensure that it causes minimal nuisance, damage or danger to people, property or the environment (stormwater quantity infrastructure); and
- (b) minimise the impacts of development on receiving environments through:
 - (i) limiting pollutant loads discharging to receiving waters (stormwater quality infrastructure);
 - (ii) minimising the change in frequency of disturbance to aquatic ecosystems by managing the volume and frequency of surface runoff during small rainfall events (frequent flow management infrastructure); and
 - (iii) controlling bed and bank erosion in waterways (waterway stability infrastructure).

The stormwater drainage system must:

- (a) prevent or minimise adverse social, environmental, and flooding impacts on waterways, overland flow paths and the constructed drainage network;
- (b) ensure that the design of channel works and other stormwater management measures is integrated with natural catchment features and maximises the use of natural channel design principles where possible;
- (c) achieve acceptable levels of stormwater run-off quality by applying water sensitive urban design principles as part of catchment based total water cycle management approach; and
- (d) seek to maintain the catchment hydrograph as close as possible to natural conditions to reduce adverse impacts associated with the reduction of time to peak flows and increased flow volume.

SC6.18.3 Reference standards and guidelines

In addition to this planning scheme policy, urban stormwater drainage systems are planned, designed and constructed in accordance with the current editions of the following documents:

- (1) Capricorn Municipal Development Guideline D5 — Stormwater Drainage Design;
- (2) Capricorn Municipal Development Guideline D7 — Erosion Control and Stormwater Management;
- (3) Queensland Urban Drainage Manual;
- (4) Australian Rainfall and Runoff;
- (5) AustRoads – 'Guide to Road Design Part 5: Drainage design';
- (6) State Planning Policy; and
- (7) Water by Design Guidelines.

SC6.18.4 Design criteria

SC6.18.4.1 General

- (1) All stormwater networks/systems must have appropriate land tenure and lawful point of discharge as defined by the Queensland Urban Drainage Manual.
- (2) Stormwater drainage networks/systems are to be designed for both the minor and major storm conditions/flood management concept.
- (3) The major drainage system is that part of a drainage network/system in a catchment that is designed to convey a specified major design storm flow. This system may comprise open space floodway channels, road reserves, pavement expanses, overland flow paths, natural or constructed waterways, detention/retention basins and other major water bodies.
- (4) The minor drainage system is that part of a drainage system in a catchment that controls flows from the minor design storm such as the thirty-nine (39) per cent average exceedance probability (AEP), eighteen (18) per cent average exceedance probability and ten (10) per cent average exceedance probability. These systems usually comprise kerb and channel, roadside channels, gully inlet pits, underground pipes, manholes and outlets.

SC6.18.4.2 Hydrology

- (1) Design Intensity Frequency Duration (IFD) rainfall data is to be in accordance with the Bureau of Meteorology.
- (2) Design annual exceedance probability shall be in accordance with land use types in accordance with Capricorn Municipal Development Guideline D5.
- (3) Catchment areas, flow paths, level of development, planned trunk infrastructure, priority infrastructure area planning, studies, and planning horizons shall be confirmed with Council prior to submission.
- (4) All calculations shall be certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) specialising in Hydrology and Hydraulics.

SC6.18.4.3 Hydraulics

- (1) All calculations shall be certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) specialising in Hydrology and Hydraulics.
- (2) Provision must be made for the future orderly development of upstream properties with respect to pipe drainage.
- (3) In all cases where there is land identified within the strategic settlement pattern upstream of the site, the development must provide a suitable drainage inlet for future upstream developments and consider these fully developed catchment flows in their design.
- (4) Further cut-off drains and the like must be provided to prevent overland flow from adjacent properties causing problems on the developed land.
- (5) If a drainage connection is provided for upslope development the drainage infrastructure must fully extend to the boundary of the upslope site to ensure that the upslope property owner does not have to undertake works in the down-slope property to connect to this stormwater infrastructure.
- (6) If the effectiveness and efficiency of any existing drainage system on the property will be compromised by proposed additional site improvements, the existing system is to be suitably modified to offset any adverse impacts.

SC6.18.4.4 Inter-allotment drainage

- (1) The inter-allotment drainage shall be designed to Queensland Urban Drainage Manual and Capricorn Municipal Development Guideline D5.
- (2) Filling, retaining walls, buildings, fences, or other obstructions must not block overland flow. Furthermore these obstructions must not cause the overland flow to be diverted to, or concentrated onto, another property.

SC6.18.4.5 Water sensitive urban design in landscape design

Where water sensitive urban design principles are incorporated into landscaping design, this is designed and constructed in accordance with the *Water by Design Technical Design Guidelines*.

SC6.18.4.5.1 Stormwater infrastructure located in a park or open space

Stormwater infrastructure provided in or adjacent to a park, open space or in a designated drainage easement results in an:

- (a) increase in the continuity of greenspace area; and
- (b) improvement in overall amenity of the area.

Editor's note— Stormwater infrastructure located within a park, open space, or drainage reserve shall be designed to:

- reflect the natural character of the land and its surrounds;
- preserve community safety; and
- allow for maintenance activities to be undertaken.

SC6.18.5 Stormwater infrastructure standards

Stormwater infrastructure is provided in accordance with the Capricorn Municipal Development Guideline D5, Queensland Urban Drainage Manual and the Australian Rainfall and Runoff (ARR), except as modified by this section.

A detailed site based stormwater management plan is required for development being a material change of use or a reconfiguring a lot where stormwater quality, frequent flow management or waterway stability infrastructure is being provided.

SC6.18.5.1 Stormwater quality, frequent flow management and waterway stability infrastructure

- (1) Stormwater quality, waterway stability and frequent flow infrastructure is provided to achieve the stormwater management design objectives defined in the State Planning Policy.
- (2) This section does not apply where the development has less than twenty-five (25) per cent impervious area.
- (3) This section does not apply where the development captures and manages the first ten (10) millimetres of runoff per day from all impervious areas using:
 - (a) evaporation of stormwater; or
 - (b) reuse of stormwater (e.g. adequately sized rainwater tank with reuse facilities);
or
 - (c) infiltration to native soils or filtration through an appropriately designed soil and plant stormwater treatment system.
- (4) This section does not apply for waterway stability and frequent flow infrastructure where run-off from or within the site drains to a receiving waterway that is degraded. A waterway is degraded where:
 - (a) the proportion of impervious area within the catchment, prior to the proposed development, is greater than thirty (30) per cent and the waterway stability objective has not been applied to any existing development within the catchment, prior to the proposed development; or
 - (b) the waterway is designed as 'highly disturbed' in Schedule 1 of the Queensland Environmental Protection (Water and Wetland Biodiversity) Policy 2019; or
 - (c) as determined by the local government.

SC6.18.5.1.1 Standards for stormwater quality, frequent flow management and waterway stability infrastructure

- (1) Except as altered by the provisions of this planning scheme policy, stormwater quality, frequent flow management and waterway stability infrastructure is designed and constructed in accordance with the most recent versions of:
 - (a) the *Water by Design Water Sensitive Urban Design Technical Design Guidelines for South East Queensland*;

- (b) the *Construction and Establishment Guidelines: Swales, Bioretention Systems and Wetlands*;
 - (c) *The Concept Design Guidelines for Water Sensitive Urban Design*;
 - (d) Standard Drawings WSUD-001 to WSUD-012 produced by the Queensland Division of the Institute of Public Works Engineering Australia;
 - (e) the Water by Design MUSIC modelling guidelines;
 - (f) the Deemed to *Comply Solutions for Stormwater Management in South East Queensland*;
 - (g) the *Water Sensitive Urban Design Asset Handover Guideline*;
 - (h) State Planning Policy Water Quality Objectives; and
 - (i) Water by Design Asset Maintenance Guidelines.
- (2) All computer modelling undertaken for the design of stormwater quality infrastructure uses the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) software and is in accordance with the most current version of the *Water by Design MUSIC Modelling Guidelines*.
- (3) All runoff routing computer modelling undertaken for the design of waterway stability infrastructure is in accordance with:
- (a) the Queensland Urban Drainage Manual;
 - (b) the Australian Rainfall and Runoff; and
 - (c) the provisions of this section SC6.18.5 – Stormwater infrastructure standards of this planning scheme policy.

SC6.18.5.2 Stormwater quality management design objectives

- (1) The design objective for stormwater quality is to achieve the minimum reductions in total pollutant load, compared with that in untreated stormwater runoff, from the development part of the site as set out in the State Planning Policy.

The design objective for frequent flow management is to:

- (a) protect in-stream ecosystems from the significant effects of increased run-off frequency, by capturing the initial portion of run-off from impervious areas. This approach ensures that the frequency, duration and severity of hydraulic disturbance to in-stream ecosystems in developed catchments is similar to predevelopment conditions for small flow events.

Compliance with this objective may be demonstrated by providing a total stormwater capture volume (m³) calculated as follows:

Capture volume (m³) = Impervious area (m²) x target design run-off capture depth (m)

- (b) manage the captured stormwater. This should include one or more of the following:
 - (i) reuse of stormwater (including collection and use of roof water);
 - (ii) infiltration to native soils (where adverse impacts will not arise);
 - (iii) diversion of surplus flows around sensitive downstream receiving environments; and
 - (iv) evaporation of stormwater.
- (2) The spatial distribution of the required total stormwater capture volume in section SC6.18.5.3.5(2)(a) of this planning scheme policy may be adapted to suit individual site conditions, provided that the required volume from all impervious areas is captured before leaving the site.
- (3) The design objective for frequent flow management requires that the capacity to capture the volume of runoff be available each day. The management system (whether reuse, infiltration or diversion) must therefore be capable of draining the captured stormwater within 24 hours.

Editor's note—Capturing the required volume of runoff reduces pollutant load and simultaneously improve water quality. Therefore, it may eliminate the need for separate additional storage to meet the objective for managing frequent flow.

- (4) The design objective for waterway stability is to limit the post-development peak sixty-three (63) per cent average exceedance probability (AEP) event discharge within the receiving waterway to the pre-development peak sixty-three (63) per cent average exceedance probability (AEP) event discharge.

SC6.18.5.3 Minor drainage system

- (1) A minor drainage system is provided that is designed for a storm event in accordance with Capricorn Municipal Development Guideline D5 and the Queensland Urban Drainage Manual
- (2) The underground drainage systems, together with associated inlets, access chambers, outlets and other such infrastructure are designed to convey the discharge for the design minor storm event.
- (3) A minimum blockage factor of inlets, grates and letter box openings to be considered in designing these components of the minor drainage system is in accordance with Chapter 7 (Urban drainage) of Queensland Urban Drainage Manual.
- (4) Road flows shall be restricted by:
 - (a) the flow spread limitations on the road pavement and the position of kerb inlets as detailed in Table 7.3.5 of the Queensland Urban Drainage Manual; and
 - (b) achieving a $D \cdot V \leq 0.3 \text{ m}^2/\text{s}$ for flow transverse to the road alignment, where there is a potential risk to human safety.

Editor's note—Refer to Australian Rainfall and Runoff Project 10 Report (1) 'Appropriate Safety Criteria for People' and Report (2) 'Appropriate Safety Criteria for Vehicles' for guidance. Refer also to Tables 7.4.3, 7.4.4 and Table 7.4.5 of the Queensland Urban Drainage Manual.

- (5) Where the minor drainage system is conveyed through a park or open space, the total flow for the design minor storm event must be contained within the drainage easement.

SC6.18.5.4 Major drainage system

- (1) A major drainage system is designed to convey the developed, unmitigated one (1) per cent average exceedance probability (AEP) storm event. However, the major drainage system must accommodate a provision for managing flows for the one (1) per cent average exceedance probability (AEP) storm events with adequate freeboard.
- (2) The design of the major drainage system:
 - (a) includes provision for the future development of buildings and earthworks on the land;
 - (b) includes provision for an overland flow path;
 - (c) achieves a freeboard of not less than three-hundred (300) millimetres above the one (1) per cent average exceedance probability (AEP) flood level, and five-hundred (500) millimetres for habitable floor levels;

Editor's note—'In some instances it may be more appropriate to adopt higher freeboard in steeper streams due to roughness variability and sensitivity of Mannings 'n' values.

- (d) achieves a flow depth and velocity product in accordance with Table 7.3.6 of the Queensland Urban Drainage Manual
- (e) does not result in an increase to discharge or velocity rates external to the subject property; and
- (f) makes consideration of blockages within the minor drainage system by adopting an appropriate level of debris blockage to the inlets of the minor drainage system.
- (3) The major drainage system is designed to comply to a maximum permissible flow depth within the road reserve in accordance with Section 7 of Queensland Urban Drainage Manual.
- (4) The total overland flow for the designed major drainage system must be contained entirely within:
 - (a) the road reserve;

- (b) a drainage reserve; and
 - (c) the overland flow path obtained through a park, open space or local government easement.
- (5) Wherever possible, the major drainage system components (e.g., bio-retention and bio-retention detention or bio-retention basin systems (whether for reuse, infiltration or diversion) must be designed to be capable of draining the captured stormwater flows within 72 hours.

SC6.18.5.5 Lawful point of discharge

- (1) All development shall discharge to a lawful point of discharge in accordance with Section 3.9 of Queensland Urban Drainage Manual.
- (2) Where the lawful point of discharge is to a park, the receiving waterway shall be an appropriately designed, naturalised and constructed within an existing channel or waterway. Any works undertaken within the park shall ensure that the park function is not degraded and the written permission of the asset owner is obtained prior to application being submitted to the Council.
- (3) A lawful point of discharge is established for infill (brown field) development where the site slopes downward away from the road reserve and no inter-allotment drainage system exists. If the drainage system passes through a private property, a letter of consent from the owner(s) of downstream property/properties must be submitted as a part of an approval process for the development application. Refer to Capricorn Municipal Development Guideline D5 for further guidance.

SC6.18.5.6 Safety

Stormwater infrastructure is designed to preserve and enhance public safety. This shall be achieved by methods including, but not limited to the following:

- (a) meeting velocity, depth and velocity*depth limitations in accordance with Table 7.3.6 of the Queensland Urban Drainage Manual;
- (b) providing safe egress from detention systems;
- (c) applying the principles of crime prevention through environmental design (CPTED); and
- (d) adequate signage.

SC6.18.5.7 Allotment and inter-allotment drainage systems

- (1) Wherever site topography permits, premises shall drain roof and surface water to the adjoining road reserve or stormwater network (i.e. allotment drainage system).
- (2) Where site topography does not facilitate drainage of roof and surface water in accordance with section SC6.18.5.7 (1) of this planning scheme policy, then an inter-allotment drainage system is required.
- (3) All pipes must have a minimum longitudinal gradient in accordance with the Queensland Urban Drainage Manual.
- (4) Soakage or rubble pits may be permitted in the residential, commercial or industrial areas in exceptional circumstances where no other solution can be implemented, subject to meeting appropriate ground conditions.
- (5) Charged roofwater systems are not permitted except in exceptional circumstances where no other option is available. Any proposal for such a system must be accompanied by a hydraulic report which demonstrates that the system can adequately discharge the roof water.
- (6) Drainage pits or inspection manholes are provided in accordance with the Capricorn Municipal Development Guideline D5 - Stormwater Drainage Design.

SC6.18.5.7.1 Inter-allotment drainage systems

- (1) This section needs to be read in conjunction with section SC6.18.5.7 Allotment and inter-allotment drainage systems of this planning scheme policy. Where there is a conflict between the two sections, this section prevails.

- (2) All inter-allotment drainage with an easement in favour of Council achieves a minimum design standard in accordance with Capricorn Municipal Development Guideline D5 - Stormwater Drainage Design, and the Queensland Urban Drainage Manual.
- (3) Retaining walls are located within an easement in favour of Council, such that the retaining wall is located outside the easement and the zone of influence of the piped network.

SC6.18.5.7.2 Allotment and Inter-allotment drainage systems for non-urban areas

- (1) In the rural residential zone, rural zone and environmental management and conservation zone areas, the design and construction of the drainage system is the responsibility of the owner.
- (2) An overland flow path in the rural residential, rural zone and environmental management and conservation zone areas is preserved or an open channel is constructed:
 - (a) in accordance with the provisions of this planning scheme policy;
 - (b) in accordance with depth*velocity safety provisions of section 7.3.16 of the Queensland Urban Drainage Manual;
 - (c) to achieve a minimum freeboard of five-hundred (500) millimetres to all finished habitable floor levels within the site; and
 - (d) to ensure that batter slopes on any swale are no greater than 1:4 (V:H).
- (3) Where overland flow is conveyed within a road on site:
 - (a) the maximum depth within kerb and channel is two-hundred (200) millimetres; and
 - (b) a minimum freeboard of three-hundred (300) millimetres is provided to all finished floor levels within the site.

SC6.18.5.8 No worsening

- (1) Development must achieve the principle of "no worsening", as per the Queensland Urban Drainage Manual and the provisions of this planning scheme policy.
- (2) In achieving the principle of no worsening, development:
 - (a) does not result in a detrimental impact on the flooding, or flood risk of any area;
 - (b) does not result in adverse impacts of any other property in terms of changes in peak discharge, flood levels, the frequency of flooding, the shape of the hydrograph, flow velocities, water quality, sedimentation or scour effects for the full range of average exceedance probability (AEP) storm events up to and including the defined flood event;
 - (c) does not result in an increase in peak discharge from the development site;
 - (d) ensures that the time of concentration to the peak of the event does not decrease and where it does increase, consideration is given to the impacts upstream, adjacent, and downstream of the property boundary so as to ensure runoff from the site does not bring the hydrograph peak closer to coincidence with the peak flow in adjoining catchments; and
 - (e) undertakes a method of modelling agreed with the Council, upstream and, where appropriate, downstream of the site.

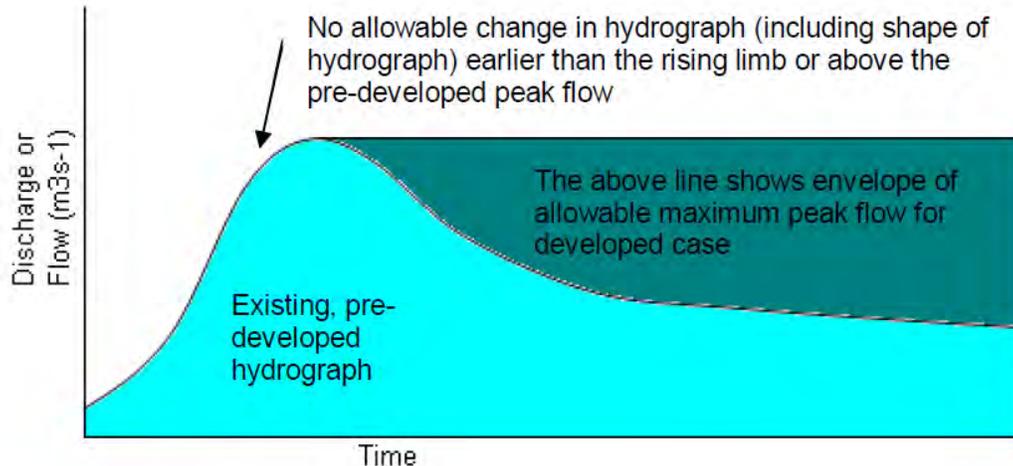


Figure SC6.18.5.8.1—Peak discharge and allowable change

- (3) Infrastructure which may be appropriate to contribute to compliance with the principle of "no worsening" includes:
 - (a) stormwater detention systems;
 - (b) controlled conveyance within the development site of flow which enters the site from upstream or adjacent areas;
 - (c) infiltration areas; and
 - (d) stormwater storage and harvesting subject to availability of storage after a large rainfall event for mitigation of peak discharge; where exceptional circumstance exist such that the existing overland flow path is highly degraded and both ecological and flood risk benefits can be achieved, channel enhancement and other rehabilitation measures.

SC6.18.5.9 Estimation of stormwater runoff

- (1) An estimation of runoff is undertaken as per the methodology outlined in the Capricorn Municipal Development Guidelines and the Queensland Urban Drainage Manual. This may involve the use of rainfall-runoff modelling software (e.g. XP-RAFTS, XP-STORM or RORB, etc.) for instances where:
 - (a) the catchment area is larger than 500 ha (As per Queensland Urban Drainage Manual's requirements for use of the Rational Method); or
 - (b) an analysis of storage capacity (e.g. basin storage/stage discharge relationship) is required for an existing or proposed detention basin.
- (2) The Rational Method can be used for relatively small scale catchment as well as for verifying the rainfall-runoff model.

SC6.18.5.10 Sensitivity analysis

- (1) Sensitivity analysis shall be undertaken for all modelled results;
- (2) The sensitivity of all results shall be assessed with regards to the influence of:
 - (a) an increase in rainfall intensity of ten (10) per cent;
 - (b) a variation of all Mannings 'n' values of ten (10) per cent to twenty (20) per cent depending on the circumstances on the implications/risk profile;
 - (c) a variation of the tail water depth of +/- ten (10) per cent; and
 - (d) blockage considerations as outlined in Queensland Urban Drainage Manual and Australian Rainfall and Runoff Project 11 Blockage of Hydraulic Structures.

SC6.18.5.11 Stormwater infrastructure located in a waterway and wetland buffer area

- (1) A stormwater infrastructure item may only be provided in a waterway and wetland buffer area where the buffer area is degraded to such an extent that the construction of

- the stormwater infrastructure item would result in an enhancement to the condition and ecological function of the buffer area.
- (2) A stormwater infrastructure item may not be located within the waterway and wetland buffer area where the buffer area:
 - (a) contains intact riparian vegetation; or
 - (b) is located below the five (5) per cent average exceedance probability (AEP) flood level; or
 - (c) adjoins a stream order one (1) or two (2) minor waterway; or
 - (d) where a mapped waterway or wetland buffer is less than thirty (30) metres in width, measured from the top bank.
 - (3) Where a stormwater infrastructure item is located within a waterway or wetland buffer area, it shall be located a minimum distance of:
 - (a) ten (10) metre setback from the top of bank for waterways of stream order three (3) or minor wetlands that is retained, restored or rehabilitated; or
 - (b) twenty-five (25) metre extending perpendicularly outwards from the top of bank for waterways of stream order four (4) and five (5) major wetlands or significant wetlands that is retained, restored or rehabilitated.

SC6.18.5.12 Stormwater infrastructure located in a road reserve

- (1) A stormwater quality infrastructure item may only be located within a road reserve where the item is a:
 - (a) approved bio-retention street tree; or
 - (b) approved streetscape bio-retention system.

Editor's note—The street tree must be designed in accordance with the Water by Design Passive Water Guidelines

SC6.18.5.13 Overland flow

SC6.18.5.13.1 Overland flow hydrology

With respect to overland flow hydrology and associated design, overland flow is comprised of both sheet flow and concentrated flow.

The maximum overland sheet flow length is:

- (a) fifty (50) metres in urban areas; or
- (b) two-hundred (200) metres in rural residential areas.

Overland sheet flow travel time is calculated using either:

- (c) Friend's Equation; or
- (d) the Kinematic Wave Equation.

Editor's note—Council's preference is that Friend's Equation (Queensland Urban Drainage Manual Equation 4.5) is used for this purpose.

Concentrated overland flow travel time shall be determined using Manning's equation and fall within the accepted time periods identified in the Queensland Urban Drainage Manual.

SC6.18.5.13.2 Overland flow design standards

Overland flow is to be provided such that:

- (a) the developed one (1) per cent average exceedance probability (AEP) flow is conveyed;
- (b) it is designed in accordance with Section 7 of the Queensland Urban Drainage Manual, ARR and the Brisbane City Council Technical Design Guidelines for Natural Channel Design;
- (c) existing overland flow paths are retained, maintained and protected;
- (d) existing waterway values are protected, enhanced and rehabilitated;
- (e) waterway stream flow lengths are not reduced;
- (f) no worsening of overland flow and potential associated flooding is achieved;

- (g) a minimum three-hundred (300) millimetres freeboard between the overland flow path one (1) per cent average exceedance probability (AEP) flow level and all finished floor levels is achieved; and
- (h) aesthetic amenity is enhanced.

Where modification of the overland flow path is unavoidable or necessary, the new overland flow path design must conform to the principle of no worsening and provide beneficial environmental enhancement.

Where possible and having regard for the type and scale of infrastructure concerned, development should provide interpretive/ educational opportunities.

SC6.18.5.14 Channels

SC6.18.5.14.1 Unlined channel flow velocities

Flow velocities in unlined channels shall be in accordance with Table 9.5.2 of the Queensland Urban Drainage Manual.

Where Table 9.5.2 of the Queensland Urban Drainage Manual does not specify a permissible velocity for a given combination of gradient and vegetation cover, then that combination of gradient and vegetation cover shall be taken to be unacceptable.

SC6.18.5.14.2 Bank slope requirements for constructed channels

The maximum bank slope gradients for constructed channels are 1:4 (V:H).

SC6.18.5.14.3 Allowable channels types

- (1) There are seven types of allowable channel designs that can be constructed, and these are listed in Section 9.2.4 of the Queensland Urban Drainage Manual.
- (2) Development in residential and rural areas shall use channel types C4, C5, C6 and C7.
- (3) Development in commercial and industrial areas shall use channel types C1, C2 and C3.
- (4) Where a proposed channel in a commercial or industrial area is located:
 - (a) adjacent to: parkland; environmental and/or habitat corridors; open space; or
 - (b) where a natural overland flow path exists across or adjacent to the development site, then channel types C4, C5, C6 and C7 shall be used.

SC6.18.6 Stormwater infrastructure documentation

SC6.18.6.1 Site based stormwater management plan

- (1) The site based stormwater management plan is to include all information required to assess development against:
 - (a) the standards for stormwater quantity infrastructure; discussion and
 - (b) the stormwater management design objectives as per the State Planning Policy (SPP) for:
 - (i) stormwater quality which aims to protect receiving water quality by limiting the quantity of key pollutants discharged in stormwater from urban areas;
 - (ii) frequent flow management which aims to protect in-stream ecosystems from the significant effects of increased runoff frequency by capturing the initial portion of runoff from impervious areas. This approach ensures that the frequency of hydraulic disturbance to in-stream ecosystems in developed catchments is similar to pre-development condition; and
 - (iii) waterway stability which aims to prevent exacerbated in-stream erosion downstream of urban areas by controlling and/or reducing the magnitude, intensity, and duration of increased flows associated with higher ratios of impervious surfaces resulting from urban development, and sediment-transporting flows.

SC6.18.6.1.1 Core matters to be included in a site based stormwater management plan

- (1) A conceptual site based stormwater management plan must include:
 - (a) an assessment of the existing site which includes:
 - (i) a description of the existing topography and drainage, upstream and downstream of the development site, including details about the size, location and levels of any existing drainage measures;
 - (ii) a description of the site's soils. The level of investigation depends on the proposed design of the stormwater treatment. A detailed soil evaluation in accordance with AS/NZS 1547:2000 Clause 4.1.3 is required to support any bio-retention system or constructed wetland designed without an impermeable liner or if stormwater infiltration is proposed;
 - (iii) identification of any acid sulphate soils;
 - (iv) a site plan showing:
 - (A) contours;
 - (B) development boundaries;
 - (C) catchment details;
 - (D) flow paths;
 - (E) piped drainage;
 - (F) waterway and drainage invert levels;
 - (G) stormwater detention systems;
 - (H) soil types;
 - (I) culverts;
 - (J) other structures;
 - (K) drainage easements;
 - (L) road drainage;
 - (M) the lawful point of discharge;
 - (N) stormwater quality and frequent flow management infrastructure;
 - (O) easements;
 - (P) existing vegetation;
 - (Q) vegetation to be retained;
 - (R) overland flow path areas; and
 - (S) local and regional flood levels for the ten (10), five (5), two (2) and one (1) per cent average exceedance probability (AEP) flood;
 - (b) details of site configuration in a table form including the total area of:
 - (i) road surfaces;
 - (ii) driveways;
 - (iii) roof surfaces;
 - (iv) landscape areas;
 - (v) stormwater treatment areas;
 - (vi) any other categories specific to the site; and
 - (vii) pavement areas;
 - (c) earthworks and catchment details including:
 - (i) conceptual earthworks;
 - (ii) catchments and sub-catchments;
 - (iii) proposed stormwater networks including conceptual surface and invert levels; and
 - (iv) cross-sections at regular intervals showing the extend of cut and fill works to confirm earthworks and, if applicable, no loss of floodplain storage;
 - (d) development scale plan layout indicating:
 - (i) catchment details;
 - (ii) conceptual drainage network with invert levels;
 - (iii) location of stormwater treatment measures;
 - (iv) location of existing, planned and proposed infrastructure such as sewerage and water; and
 - (v) information on pre and post development flood volumes.

SC6.18.6.1.2 Specific matters to be included in the site based stormwater management plan - design objective for frequent flow management

- (1) A site based stormwater management plan for the purposes of reporting on stormwater quantity and quality management shall provide details which include:
 - (a) the lawful point of discharge;
 - (b) proposed no-worsening measures;
 - (c) the pre-development stormwater quantity characteristics and any potential development impacts assessed;
 - (d) a description of the modelling method and assumptions used in any catchment, hydraulic or hydrologic modelling, and/or in the sizing of infrastructure;
 - (e) a description of all proposed stormwater and overland flow management measures and stormwater infrastructure;
 - (f) future ownership details of stormwater and drainage infrastructure;
 - (g) the total stormwater capture volume in cubic metres (m³), calculated as follows:
 - (i) capture volume (m³) = Impervious area (m²) x target design run-off capture depth (m)
 - (ii) capture volume (m³) equals the impervious area (m²) multiplied by the target design runoff capture depth (mm/day) divided by 1,000;
 - (iii) The spatial distribution of the required capture volume may be adapted to suit individual site conditions, provided that the required volume from all impervious areas is captured before leaving the site;
 - (iv) capturing the required volume of runoff reduces pollutant load and simultaneously improves water quality. Therefore, it may eliminate the need for separate additional storage to meet the objective for frequent flow management; and
 - (h) how the captured stormwater will be managed. This should include one or more of the following:
 - (i) reuse of stormwater (including collection and use of roof water);
 - (ii) infiltration to native soils (where adverse impacts will not arise);
 - (iii) diversion of surplus flows around sensitive downstream receiving environments; and
 - (iv) evaporation of stormwater.

SC6.18.6.1.3 Specific matters to be included in the site based stormwater management plan - design objectives for stormwater quality

For the purposes of reporting on the design objectives for stormwater quality, a site based stormwater management plan shall provide details including:

- (a) descriptions of each treatment train for each sub-catchment ensuring that all types of pollutant (primary, secondary and tertiary) is treated in the appropriate order - primary pollutant treatment measures are located at the beginning of the treatment train and tertiary treatment measures are positioned at the end;
- (b) details of each individual treatment device including total footprint, treatment area, invert levels, coarse sediment management, maintenance access and design flows. Specify whether the stormwater treatment system will be privately maintained or handed over to Council;
- (c) a scale plan and section drawings showing:
 - (i) how stormwater is conveyed to the stormwater treatment devices;
 - (ii) the location of all stormwater treatment devices including filter areas and batters with respect to the development layout;
 - (iii) surrounding ground levels;
 - (iv) conceptual design levels for each treatment device and receiving drainage invert levels;
 - (v) scour protection and coarse sediment management devices;
 - (vi) maintenance access;
 - (vii) likely maintenance intervals;
- (d) section drawings showing:

- (i) conceptual design levels for each treatment device and receiving drainage invert levels;
- (ii) scour protection and coarse sediment management devices;
- (iii) batters, embankments or retaining walls; and
- (e) proof that all modelling and reporting has been undertaken in accordance with the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) and the Water by Design MUSIC Modelling Guidelines.

SC6.18.6.1.4 Specific matters to be included in site based stormwater management plan – design objectives for waterway stability

A site based stormwater management plan for the purposes of reporting on the design objectives for frequent flow management must include:

- (a) detailed design of all stormwater quantity and or quality management methods and infrastructure;
- (b) the location and network connection details;
- (c) a description of the modelling method and methodology used for any hydraulic or hydrologic modelling;
- (d) detailed engineering drawings showing:
 - (i) the areas of earthworks including cross-sections at regular intervals showing the extend of cut and fill works to confirm earthworks and, if applicable, no loss of floodplain storage;
 - (ii) final site contours;
 - (iii) final road layout;
 - (iv) final lot arrangement;
 - (v) location, size and type of proposed stormwater quantity and or quality management measures including all invert levels;
 - (vi) maintenance access; and
 - (vii) location of lawful points of discharge and receiving waters/environs.

Editor's note—For the purposes of demonstrating compliance with the design objective for waterway stability, a site based stormwater management plan shall provide details including the methodology used to achieve the design objective for waterway stability in accordance with Appendix C of Water Sensitive Urban Design: Developing Design Objectives for Urban Development in South East Queensland, Version 2, November 2007, published by the South East Queensland Healthy Waterways Partnership.

SC6.18.6.1.5 Modelling requirements

All modelling files used to demonstrate compliance with the design objectives must be provided to Council on a CD with the development application. If modelling is required, the modelling regime and scope will be agreed between the applicant and the Council, prior to the commencement of the modelling.

SC6.18.6.1.6 Maintenance requirements for Council and private stormwater quality and quantity infrastructure, and detention systems

All stormwater quality and quantity infrastructure, detention, and retention systems must be designed with simple, safe, cost-effective maintenance in mind.

A maintenance plan that documents all the maintenance requirements and responsibilities must be developed and submitted for all development applications for a material change of use applications (excluding dwelling houses). The plan must describe how the design facilitates maintenance requirements and set out how the system is to be maintained by addressing issues such as inspection, likely clean-out frequency, procedures, access and occupational health and safety requirements. Where this is for a Council-owned asset, the maintenance plan must be submitted as part of the on-maintenance documentation and also include the cost estimate for the construction of the proposed system and an estimate of annual maintenance costs.

Editor's note—Guidance on the maintenance of stormwater quality infrastructure can be found in the following guidelines:

- Water by Design Maintaining Vegetated Stormwater Assets

- Water by Design Transferring Ownership of Vegetated Assets
- Water by Design Guide to the cost of Maintaining Bioretention Systems

SC6.18.7 Stormwater offsets

- (1) Development involving stormwater quality infrastructure, frequent flow management measures, or waterway stability infrastructure may include a proposal to incorporate off-site stormwater quality measures (in part or whole) that meet or exceed the stormwater management design objectives mentioned in this planning scheme policy.

Any off-site measures proposed will need to be consistent with applicable planning scheme codes, planning scheme policies and associated guidance material. Where appropriate, provision for stormwater quality offsets can be applicable.

- (2) Should development applications propose an alternative solution to the design objectives for stormwater quality, frequent flow management and/or waterway stability in the conceptual stormwater management plan, assessment will be based on the merits and suitability of the proposed measures to the development and catchment area.

As an interim measure, relevant contemporary water sensitive urban design material will be addressed such as Water Sensitive Urban Design Deemed to Comply Solutions for South East Queensland (2009), the Living Waterways framework and/or any other locally appropriate guidelines.

Editor's note— The Living Waterways framework developed by Healthy Land and Water Ltd may provide an alternative and locally appropriate solution for the post-construction phase of development, where the quantitative assessment of the elements of the structured framework meets the deemed requirements of the stormwater management design objectives.

- (3) Stormwater quality offsets may be applied in accordance with the State Planning Policy, other relevant Queensland Government policies and legislation, and Council policy and guidance in lieu of on-site treatment for development if:
- the design objective for waterway stability and the design objective for frequent flow management do not apply to, or are met by the development; and
 - on-site treatment is determined to be unfeasible, e.g. the proposed development would typically be a smaller scale, or infill development in a predominantly urbanised catchment and on-site treatment would be considered unfeasible due to site constraints; and/or
 - Council has available to it at the time the development application is made, cost-effective stormwater quality infrastructure projects that are able to be implemented to achieve at least the same water quality outcome that is required by the proposed development. Inclusion of a development's stormwater management design objective obligations in such a regional solution will be at the discretion of Council with costs of implementing the offset to be borne solely by the development.
- (4) The cost of a stormwater quality offset for a particular development will be calculated as a proportion of the overall cost to the Council of designing, constructing, and establishing the relevant regional stormwater quality project.

For example, if the pollutant reduction required by the particular development equates to twenty (20) per cent of the pollutant reduction that can be achieved by the regional stormwater quality solution, then the development would contribute twenty (20) per cent of the overall cost of the regional solution.

Establishment includes the initial maintenance of the regional solution until such time as it is deemed to be a low maintenance asset i.e. native vegetation is well-established and the functionality of the treatment system is relatively consistent with 'natural' systems.

SC6.18.8 General requirements for detention and retention basins

- (1) The design of stormwater detention and retention systems is to refer to section 5 of the Queensland Urban Drainage Manual for all design elements including (but not limited to): embankments, spillways, low and high flow outlets, freeboard, basin grade, basin floor design, and scour control.
- (2) Stormwater detention is located offline to existing creeks/flow paths and external catchments.
- (3) Sufficient detention storage must be provided to ensure peak flow rates and/or flood levels at any point within the downstream drainage system do not increase as a result of the development for all events up to and including the one (1) per cent average exceedance probability (AEP) event.

SC6.18.8.1 Acceptable types of detention systems

- (1) A variety of different detention systems are acceptable for use, provided they are suitable for site constraints, development type and intended ownership.
- (2) Detention basins are an acceptable type of detention system in all developments except where attenuated flood peaks from tributaries coincide with the main stem flood wave in a manner that causes or worsens overfloor flooding downstream.
- (3) Where stormwater from any public asset such as a road reserve is directed into a stormwater detention system, these detention systems must be located within public land such as a park or drainage reserve, but not within road reserves. Only above-ground detention storages will be permitted in Council-owned lands. Tanks in public roads will not be accepted.
- (4) Detention basins, incorporating stormwater quality treatment infrastructure items (e.g. bio-retention), are an acceptable type of detention system in all developments, subject to the bio-retention basin's suitability to in-situ soil conditions. Above-ground detention basins should be integrated with water quality treatments by locating the detention storage requirement above the water quality extended detention depth.
- (5) Council will not support the installation of on-site (lot-based) stormwater detention facilities in a residential subdivision on each freehold lot as there is no provision to adequately ensure these facilities are protected or maintained into the future.
- (6) Using stormwater detention tanks in commercial or industrial developments will be permitted where located on lots or within privately owned roads/driveways. Similarly, tanks could be used within roads/driveways owned by community title for residential developments.
- (7) Development may provide underground tanks, but this type of detention system will not be accepted as a Council asset.
- (8) Development may provide above ground tanks where site constraints prohibit the use of all other detention systems. However this type of detention system will not be accepted as a Council asset.
- (9) The Council will not accept the use of rainwater tanks as a detention system except under exceptional circumstances as determined by Council.

SC6.18.8.2 Location of detention basins

- (1) Detention systems are designed and constructed to be at or above:
 - (a) the two (2) per cent average exceedance probability (AEP) local flood level; and
 - (b) the two (2) per cent average exceedance probability (AEP) year ARI regional flood level.
- (2) Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:
 - (a) detention system design does not remove flood plain storage;
 - (b) detention systems continue to operate effectively during a major storm event.
- (3) Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin. In particular, detention basins within residential subdivisions shall be designed, located and constructed on land solely dedicated for stormwater management.
- (4) Off-line detention systems are to receive and detain stormwater prior to it entering:

- (a) a waterway, wetland or overland flow path that originates upstream of the development site; or
- (b) a waterway or wetland as shown in the biodiversity overlay code; or
- (c) any other applicable overland flow path that originates within the development site itself.

SC6.18.8.3 Maintenance

- (1) All detention and retention systems must be designed to allow simple, safe, cost-effective maintenance.
- (2) All detention basins shall be designed and constructed with a suitable heavy vehicle access to the detention basin, or equivalent.
- (3) Maintenance access must be provided for:
 - (a) removal of sediment deposits from within the basin;
 - (b) removal of debris and rubbish after flood events;
 - (c) repair of cracking, erosion and leakage;
 - (d) removal of undesirable tree and vegetation growth;
 - (e) mowing; and
 - (f) reinstatement of basin materials and planting.
- (4) A maintenance plan that documents all the maintenance requirements and responsibilities must be developed. The plan must describe how the design facilitates maintenance requirements and set out how the system is to be maintained by addressing issues such as inspection, likely clean-out frequency, procedures, access and occupational health and safety requirements. Where the basin is to become a Council-owned asset, the maintenance plan must be submitted as part of the site based stormwater management plan documentation and also include the cost estimate for the construction of the detention system and estimate of annual maintenance costs.

Editor's note—Guidance on the maintenance of stormwater quality infrastructure can be found in the following guidelines:

- Water by Design Maintaining Vegetated Stormwater Assets
- Water by Design Transferring Ownership of Vegetated Assets
- Water by Design Guide to the cost of Maintaining Bioretention Systems

SC6.18.8.4 Management of detention systems

- (1) All detention systems, designed and constructed to become a Council asset, other than a detention system identified in a Local government infrastructure plan (LGIP), shall be provided on land dedicated in favour of Council at no cost to Council.
- (2) All private on-site systems shall be maintained and managed by the private property owner. Such systems shall not be established on Council owned land, nor will they be accepted by Council as a Council managed asset.

SC6.18.8.5 Secondary uses for detention systems sites

- (1) Detention systems sites are to be designed and constructed primarily for flood mitigation purposes.
- (2) However detention systems sites can also be designed for a secondary purpose, that include:
 - (a) usable recreational space during dry periods; or
 - (b) car parking and hardstand areas.
- (3) Detention systems sites designed as usable recreational space during dry periods will not be included as park land.
- (4) Detention systems sites designed to provide usable recreation open space during dry periods shall be designed, constructed, landscaped and turfed such that:
 - (a) it drains and dries rapidly after rainfall to prevent water logging or permanent ponding to maximise community benefit from the area;
 - (b) public safety is maintained or enhanced by:
 - (i) providing a batter slope with a maximum grade of not less than 1:6 (V:H);
 - (ii) an inundation depth limit of less than five-hundred (500) millimetres and a flow depth velocity product of less than 0.4m² per second;

- (iii) providing an outlet grate that allows a person to move away from the grate under all operating conditions; and
 - (c) it incorporates the principles of Crime Prevention Through Environmental Design (CPTED);
 - (d) it includes a low flow channel or underground pipe to prevent water logging or permanent ponding to maximise community benefit from the area;
 - (e) it provides pedestrian access to the basin floor to disabled grades;
 - (f) it provides for vehicle access from the nearest public road into the basin for maintenance purposes.
- (5) Carparking space may be configured to provide stormwater detention in private development. Where this occurs, development shall ensure that:
 - (a) it satisfies the requirements for carpark design and stormwater detention system design as outlined in the Queensland Urban Drainage Manual ;
 - (b) safety is maintained or enhanced; and
 - (c) flood free or low flood hazard access for the entry and exit points of the car park are provided.

SC6.19 Structure plan planning scheme policy

SC6.19.1 Application

This policy applies to assessable development if the development:

- (1) involves a preliminary approval to vary the effect of the planning scheme, particularly for a new urban community; or
- (2) involves a significant increase in gross floor area (exceeding the threshold outlined in the applicable zone code or table of assessment); or
- (3) involves a large brownfield or greenfield site; or
- (4) is likely to affect the design and layout of a centre zone; or
- (5) is likely to affect the role and function of a centre identified in the hierarchy of centres of the strategic framework; or
- (6) is nominated by a zone code; or
- (7) is nominated by the reconfiguring a lot code.

Development to which this policy applies will require the preparation of a structure plan which demonstrates how the development will integrate with its surroundings and achieve the purpose of the strategic framework, relevant zone and reconfiguring a lot requirements.

This policy is to be read as a guideline for the structure planning process, acknowledging that there are a number of ways to prepare a structure plan and that the scope and content will vary in accordance with the circumstances of the site. However, Council will use this policy to assess the adequacy and effectiveness of structure plans submitted.

SC6.19.2 Purpose

The purpose of this planning scheme policy is to provide guidance for the planning of new urban development to ensure that:

- (1) land is planned and developed in an orderly and generally sequential fashion;
- (2) development is provided with the necessary infrastructure and services in an efficient and timely manner; and
- (3) development is designed and located to suitably integrate with and minimise impacts between adjoining land use, significant environmental features, and natural hazards.

SC6.19.2.1 Relationship to this planning scheme

This planning scheme policy is to be read in conjunction with the assessment provisions specified in this planning scheme.

SC6.19.3 Planning scheme policy provisions

SC6.19.3.1 Structure plans

In greenfield urban areas and in existing urban areas (for example brownfield and greenfield sites), a structure plan can help coordinate the planning of the preferred use of land, the provision of transport networks, public open space, utility and service networks, urban water management, development standards and community and other infrastructure investment and staging programs. The scope of considerations and content of any structure plan and development scheme will vary depending on the nature of the development proposal, the potential impacts, and the circumstances of the site and surrounding area.

A structure plan for development submitted under this planning scheme may include a report, structure plan map(s), development scheme, and any supporting technical documents and plans to guide development by:

- (1) identifying significant environmental features and development constraints;
- (2) identifying the preferred location, mixture, density and height of future land uses; and
- (3) identifying the preferred location and design requirements of major infrastructure.

SC6.19.3.2 Outcomes of a structure plan

The structure plan must demonstrate to Council that the development of an area can achieve the following broad outcomes:

- (1) an orderly, efficient and coordinated use of land and infrastructure;
- (2) satisfaction of high quality urban design objectives aimed at creating places communities desire;
- (3) integration with existing and proposed development in the immediate area;
- (4) creation of a highly accessible and well serviced pedestrian, cyclist, public transport and private vehicle connections;
- (5) provision of a wide variety of housing designs, housing densities and residential lot sizes if residential land use activities are proposed;
- (6) provision of linkages between any residential areas and public open space, centres and community facilities;
- (7) location of any higher density residential uses in and around centres which are served by high order roads and other transport facilities;
- (8) avoidance or agreed management of the likely impacts of development on ecologically significant areas and other important natural environmental features, heritage features and other valued features of the development site;
- (9) avoidance of areas of medium risk and high risk from natural hazard; and
- (10) environmentally and climate responsive design outcomes.

SC6.19.3.3 Urban design guideline

The New Zealand Urban Design Protocol is suggested as a basis for undertaking structure planning to achieve good urban design outcomes. This protocol identifies that successful urban places share the following attributes:

- (1) competitive places that thrive economically and facilitate creativity and innovation;
- (2) liveable places that provide a choice of housing, work and lifestyle options;
- (3) environmentally responsible places that manage all aspects of the environment sustainably;
- (4) inclusive places that offer opportunities for all citizens;
- (5) distinctive places that have a strong identity and sense of place; and
- (6) well-governed places that have a shared vision and sense of direction.

The protocol identifies the 'Seven Cs' which are considered the essential design qualities that create good urban design:

Context:	means that the area being structure planned, and the features in it, need to be seen to be part of, and relate to, the surrounding environment, town or city.
Character:	the form and style of development that a structure plan promotes should reflect and enhance the distinctive character and culture of the environment. This does not mean preserving a particular character however as character is dynamic and evolving, not static.
Choice:	structure plans should foster diversity and offer people choice in the urban form (such as through a choice of densities, development types, transport options and land use activities).
Connections:	structure plans need to take into account all networks — streets, railways, walking and cycling routes, services, infrastructure, and communication networks — and how they connect. Structure plans need to provide for connections to existing transport networks and provide for different transport modes to operate in an integrated manner. Good connections enhance choice, support social cohesion, make places lively and safe, and facilitate contact among people.
Creativity:	structure plans may need to incorporate innovative and creative solutions to get around issues or provide for quality outcomes, and also allow for creativity to take place in the area being planned. Creativity adds richness and diversity, and turns a functional place into a memorable place. Creativity facilitates new ways of thinking, and

	willingness to think through problems afresh, to experiment and rewrite rules, to harness new technology, and to visualise new futures.
Custodianship:	recognises the lifetime costs of buildings and infrastructure, and aims to hand on places to the next generation in as good or better condition.
Collaboration:	quality urban design requires good communication and coordinated actions from all decision makers: central government, local government, professionals, transport operators, developers and users.

SC6.19.3.4 Structure plans for new or emerging urban communities

There may be instances where Council or other levels of government, in partnership with community stakeholders, undertake structure planning for new or emerging urban communities. Where government initiated structure planning has not been undertaken, a structure plan or a more detailed master plan will more than likely need to be prepared to demonstrate to Council that the strategic outcomes and performance outcomes of this planning scheme and the purposes of this policy can be achieved.

A preliminary approval to vary the effect of a planning scheme will likely be the most common application type to facilitate development within greenfield areas (mainly contained within the emerging community zone and low density residential zone). A preliminary approval to vary the effect of the planning scheme may seek to provide for the development of a range and mixture of new land uses at a site and to modify the categories of development and assessment and assessment benchmarks for such development. In such instances careful consideration of future impacts will be required.

The potential for gaining Council support for a preliminary approval to vary the effect of the planning scheme, particularly if involving a proposed change to the level of assessment for development, will be enhanced if the applicant undertakes and submits to Council a structure plan (or detailed master plan) and development scheme and other supporting documentation for assessment. The structure plan and development scheme should at a minimum include the following:

- (1) a report demonstrating that the development is consistent with the strategic framework and codes of the planning scheme;
- (2) a report demonstrating that provision for major trunk infrastructure has been assessed and has been determined to be able to be provided effectively and efficiently;
- (3) a map identifying the preferred location and mixture of land uses as well as the intended density and height of development;
- (4) a map identifying the location and layout of the required major trunk infrastructure;
- (5) a map identifying any stages and sequence of development;
- (6) if proposing a modification to the tables of assessment for the applicable planning scheme zone or precinct, a modified tables of assessment identifying the proposed categories of development and assessment and assessment benchmarks for development; and
- (7) a code or codes prepared in a manner consistent with the format of the planning scheme, which identify the overall development intent for the site or area as well as performance outcomes and any acceptable outcomes for accepted development subject to requirements and assessable development, so as to enable a comprehensive assessment of future development applications.

SC6.19.3.5 Structure plans for centres and major facilities

A structure plan for centres and major facilities helps provide more concise direction for the integration of development and the facilitation and management of changes in land uses, public places, movement networks, and built form.

Given the high percentage of different land owners and stakeholders in established centres, structure planning will mainly occur over time at the initiative of Council or other levels of government, with input from the community stakeholders. Opportunities for structure plans or more detailed master planning may potentially arise at new centres located in emerging community zones, or in established centres where there are single or multiple sites of sufficient size and in single ownership.

Aside from the general requirements for the development of structure plans, in order to encourage the creation of diverse, vibrant, and viable centres of activity, it will be important that urban design considerations are given particular attention to when planning for the development of centres.

SC6.19.3.6 Urban design principles

SC6.19.3.6.1 Generic centre design principles

The following generic principles should be considered when planning for or undertaking development in centre zones and the specialised centre zone (including within precincts and sub-precincts).

- (1) Provision of active uses on key pedestrian circulation streets and major frontages;
- (2) Creation of a predominant built to street frontage form;
- (3) Provision of a human scale at street level;
- (4) Incorporation of climate responsive design;
- (5) Creation of a mix of uses resulting in day time and night time activity;
- (6) Incorporation of safety and security measures;
- (7) Rationalisation of vehicle crossovers;
- (8) Provision of a high level of pedestrian, cyclist and public transport accessibility;
- (9) Incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;
- (10) Encouragement of pedestrian mobility over vehicle mobility;
- (11) Provision of safe and high quality streetscapes and walkways; and
- (12) Ensure car parking areas and access ways do not dominate major frontages and pedestrian routes (except where indicated on the concept plans located in the zone code).

SC6.20 Waste management planning scheme policy

SC6.20.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and waste management code.

SC6.20.2 Purpose

The purpose of this policy is to provide a framework to guide development in relation to waste management throughout the Rockhampton Regional Council planning scheme area.

SC6.20.3 General requirements

Development must comply with the Environmental Protection (Waste Management) Regulations for storage and collection of solid wastes.

Waste and recycling is collected by Rockhampton Regional Council from all properties with the exception of single titled complexes, office buildings and industrial buildings. Body corporate or building owners may contract out their waste and recycling collection, this may include Rockhampton Regional Council waste services.

The collection of refuse is to be considered during the planning phase of a development or subdivision. Once the aesthetic and physical limitations of dedicated road kerbside collection are exhausted, the development may make allowance for on-site collection.

Council will assess on a case by case basis whether a waste management plan will be required for a development application. This will depend on the complexity of the issues involved. Where a pre-lodgement meeting is arranged for a proposed development, Council can provide comment on this requirement at this meeting.

Refer to the table below for residential minimum waste storage capacity requirements. In general for a proposal greater than eight (8) apartments/units, commercial bins must be considered.

SC6.20.4 Waste and recycling collection services policy and procedure

This policy establishes the principles for the operation of Council's waste and recycling collection services and the procedure supports the policy.

SC6.20.4.1 Residential refuse bin arrangements

Table SC6.20.4.1.1 — Residential minimum waste storage capacity requirements

Category	Minimum waste storage capacity requirements
Dual occupancy	1 x 240 litre wheelie bin general waste per unit/house 1 x 240 litre wheelie bin recyclable waste per unit/house
Multiple dwelling (apartments/units)	1 x 240 litre wheelie bin general waste per unit 1 x 240 litre wheelie bin recyclable waste per unit OR Up to four (4) units — 240 litres general waste per unit 240 litres recyclable waste per unit Over four (4) units — 240 litres general waste per unit 120 to 360 litres recyclable waste per unit or part thereof

Category	Minimum waste storage capacity requirements
	If over ten (10) apartments/units, commercial bins must be sconsidered.

SC6.20.4.2 Non-residential refuse bin arrangements

Table SC6.20.4.2.1 — Non-residential minimum waste storage capacity requirements

Editor's note—A waste management plan may be required to assess the proposed waste and recycling facilities for any or all of the following development types. However, a management plan will be mandatory for shopping centres, short-term accommodation (motels), hotels (pubs), major accommodation and large-scale commercial land uses.

Category	Minimum waste storage capacity requirements
Single shop	Adequate space for two (2) by three (3) cubic metres commercial type waste bins. The storage area is off road on the property with adequate drive in/drive out access. It should also be noted that the collection method for bins is different in that a 120 – 360 litre bin will be collected by a side-loader where as a 0.5 cubic metre up to six (6) cubic metre bin will be collected by a front lift truck.
Shopping centre with two (2) to three (3) shops	One (1) shop — adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins. Two (2) shops — adequate space for four (4) by three (3) cubic metre commercial type waste and recycling bins. Three (3) shops — adequate space for five (5) by three (3) cubic metre commercial type waste and recycling bins.
Shopping centre with three (3) or more shops	Adequate waste and recycling storage facilities and removal services for the waste and recycling generated at the complex.
Office	Minimum facilities appropriate for the waste produced but not less than adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins.
Community facility (for example community services/halls)	Adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins.
Short-term accommodation (for example motel)	Adequate space for one (1) by 240 litre general waste and recycling and one (1) by 240 litre for recycling waste and recycling bin per five (5) units or part thereof. Editor's note—Food and drink outlet (such as restaurants attached to motels) will be assessed separately.
Bars/pubs/hotels	Adequate waste and recycling storage facilities and removal services for the waste and recycling generated at the proposed premises.
Warehouse (for example self-storage units)	Adequate space for two (2) by 240 litre wheelie bins.

SC6.20.5 Storage areas

The waste and recycling bin storage area is to be aesthetically screened from any road frontage or adjoining property and to be setback two (2) metres from any road frontage or property boundary. The waste and recycling storage area is to be integrated into the building design wherever possible, permitting drive in and drive out access so as to ensure that the collection vehicle is able to enter and exit the site in a forward gear.

The waste and recycling bin storage area must be surrounded by at least a 1.8 metre high fence that obstructs from view the contents of the bin from a public place whether from a nearby roadway or adjacent land. The area is kept in a clean, odour free and tidy condition.

Waste storage areas are not to be located directly adjacent to any dwelling units or to adjoining properties. Adequate clearance is to be provided around the waste and recycling storage bins to allow for manoeuvring and washing of the bins, and the storage area. Any run-off water from the cleaning process can not run off property or be permitted to enter any stormwater drain. A trade waste permit will be required for any proposal to discharge to Council's sewerage reticulation.

The waste storage area is to be constructed of impermeable, durable materials so that they can be easily cleaned.

If a waste chute is to be provided, this is to be constructed to allow waste to fall into the centre of the bin and separate chutes are to be provided for general waste and recyclables. Separate bins are to be provided for each waste stream.

Both the customer and service provider can access the waste and recycling bin storage area and collection point conveniently.

The location and design and operation of the waste and recycling bin storage area does not have adverse acoustic, odour or visual impacts on surrounding properties.

SC6.20.6 Drained wash down areas

The requirement for a drained wash down area will be determined on a case by case basis, depending on the number of bins stored together, the size of the bins and the amount and type of waste and recycling generated. However, in general, three (3) or more domestic general waste bins housed together will require a drained wash down area.

For any drained wash down area to accommodate waste and recycling containers, a suitable hosecock (with backflow prevention) and hoses are to be provided at the waste and recycling bin area, and wash down is to be drained to sewer and fitted with an approved stormwater diversion valve arrangement in accordance with a Plumbing and Drainage Permit and Sewerage Trade Waste Permit. Alternatively, a commercial bin cleaning service is acceptable, provided no wastewater is discharged from the site to sewer. All works are to be in accordance with the *Plumbing and Drainage Act 2018, Water Supply (Safety and Reliability) Act 2008* and Council's Trade Waste Management Plan.

SC6.20.7 Access and manoeuvrability

Access for refuse collection vehicles to the designated collection areas must be maintained at all times. Access to the waste storage area must be available at all times and the collection vehicles must be able to enter and exit the site in a forward gear. Turnaround facilities for a refuse collection vehicle are to be provided for no through roads and staged subdivision developments.

Council will assess the accessibility of the site having regard to the number of units/apartments proposed and the safe and acceptable collection of the waste and recycling. It is noted that for a complex where greater than ten (10) units/apartments are proposed, kerbside collection of waste bins is not preferred and on-site collection is recommended. In addition, the waste and/or recycling collection vehicle must be able to enter and exit the site in a forward gear. Council acknowledges that compliance with both these requirements is not reasonable in all instances, and this will be assessed on a case by case basis.

All entry and exit gates are to be of a width and design that allows for sufficient ingress and egress for the waste and recycling collection vehicle. This will require a six (6) metre wide crossover. Any development application with a proposed crossover less than six (6) metres is to include written confirmation from a proposed waste collection contractor and or Council's waste collection service, giving full details of the proposed system, including the bin sizes, number of bins and the frequency of collection and the collection vehicle size.

The minimum vertical clearance required for movement of a waste and recycling collection vehicle in a residential development is 4.5 metres (side lift or rear lift) and 6.5 metres for bulk

bin collection front lift. Any development application proposed with vertical clearances less than those identified above, is to include written confirmation from a proposed waste collection contractor giving full details on the type of collection vehicle proposed, bin sizes, number of bins, and the frequency of collection.

For proposed mobile garbage bins the distance to wheel them must not exceed fifty (50) metres, or for a residential care facility or retirement facility the distance must not exceed twenty-five (25) metres. The mobile bins travel path must be free of steps or other obstructions and have a maximum grade of one (1) in fifteen (15).

SC6.20.8 Collection points

The collection point for residential 240 litre waste and recyclable bins is to be located either on the dedicated road frontage of the site (if less than ten (10) units/apartments), or where appropriate within the site if the waste and recycling collection vehicle can access the site.

The requirements for waste and recycling bins for non-residential development will be assessed on a case by case basis and will be based on the type and amount of waste and recycling generated by the development, which will depend on the operational activities of the development.

SC6.20.9 Specialised waste (medical/chemical)

Medical waste including chemicals and sharps etcetera must be stored and disposed of in accordance with the Environmental Protection (Waste Management) Regulations. Licensed waste containers and approved contractors only are permitted for the collection and disposal of specialised waste.

SC6.21 Water supply infrastructure planning scheme policy

SC6.21.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and water and sewer code.

All applications are to be made in accordance with the *Plumbing and Drainage Act 2018*. Such an approval under this Act is deemed an approval under the *Water Supply (Safety and Reliability) Act 2008*.

SC6.21.2 Purpose

This policy provides a framework to guide development affecting new and existing water infrastructure across the Rockhampton Regional Council planning scheme area and provides guidance about satisfying the applicable assessment benchmarks identified in the works code and water and sewer code.

SC6.21.3 Water connections/disconnections

To apply to have a water meter connected or disconnected the following steps apply:

- (1) Standard twenty (20) millimetre water connection in a new subdivision
Fill out the following forms:
 - (a) Fitzroy River Water's fees and charges form;
 - (b) Form 1 — Application for compliance assessment; and
 - (c) Form 2 — Proposed plumbing, drainage and on-site sewerage work.These forms need to be lodged, along with the appropriate fees, at one of the Rockhampton Regional Council's customer service centres.
- (2) Greater than a twenty (20) millimetre water connection:
 - (a) private works quotation required.
- (3) Water connection twenty (20) millimetre (not in a new subdivision):
 - (a) private works quotation required.
- (4) Water disconnections:
 - (a) private works quotation required.

To apply for a private works quotation, please complete the Private Works Application for Water and Sewerage Services form and return to Rockhampton Regional Council. Alternatively you can contact the Rockhampton Regional Council customer service office between 08:00 and 17:00 Monday to Friday on (07) 4932 9000.

SC6.21.4 Water metering

Fitzroy River Water, as the registered water service provider, will require any premises meeting the below criteria and drawing a water supply from Fitzroy River Water to have sub-meters installed.

- (1) Each lot within a community title scheme, including the common property;
- (2) The sole occupancy unit of a Class 2, 4, 5, 6, 7 and 8 building in a water service provider's area; and
- (3) Each storey of a Class 5 building in a water service provider's area where the building consists of more than one storey and sole occupancy units are not identified at the time of the building's plumbing compliance assessment.

The policy to guide when sub-metres are required and water meter policy can be accessed from Council's website.

SC6.21.5 Standard drawings

All standard drawings for water reticulation will be in accordance with the Capricorn Municipal Development Guidelines Standard Drawings for Water Reticulation.

SC6.21.6 Design and construction of water reticulation systems

The Capricorn Municipal Development Guidelines Design and Construction Specifications are to be utilised for the planning, design and construction of water reticulation works.

The design guideline sets out requirements for the design of the water reticulation system for a development:

- (1) The guideline contains procedures for the design of the following components of a water supply system:
 - (a) reticulation; and
 - (b) pumping stations.
- (2) The design of reticulation and pumping stations shall comply with the Department of Natural Resources Guidelines for the Planning and Design of Urban Water Supply Schemes, unless specified otherwise herein.
- (3) The Water Reticulation Code of Australia WSA 03-1999 with Queensland amendment shall apply except where modified by this specification where the following order of priority for interpretation of documents will apply:
 - (a) Capricorn Municipal Development Guidelines Design Specification D11
 - (b) Capricorn Municipal Development Guidelines Standard Drawings
 - (c) Water Reticulation Code of Australia WSA 03-1999.

Editor's note—Council can undertake a network analysis on behalf of the applicant for a fee.

SC6.21.7 Water supply network desired standards of service

Development within the water supply planning area is to be connected with the full desired standard of service. The objective of a water supply system is to provide to the consumer a reticulated potable water supply to meet the demands imposed upon it by both the consumers and fire fighting requirements.

The Desired Standards of Services for the water supply network are detailed within the local government infrastructure plan.

SC6.21.8 Additions/modifications to Capricorn Municipal Development Guidelines

In addition to the Capricorn Municipal Development Guidelines requirements the following design benchmarks are to be adopted:

- (1) Water meter boxes within trafficable areas must be raised or lowered to suit the finished surface levels and provided with heavy duty trafficable lids.
- (2) Large trees planted in the footpath of a new development must be located a minimum of one (1) metre from the centreline of any water supply infrastructure. Small shrubs and groundcover are acceptable.
- (3) Stop valves are required on each side of all mains crossing rail reserves, main roads, rivers/creeks.

SC6.21.9 New fire services

Where internal hydrants and/or sprinkler systems and fire hose reels are required, a single connection shall be provided with a check valve and metered bypass located adjacent to the property boundary.

Diameters of fire services (including the diameter of metered bypasses for fire hose reels) shall be determined and certified for each project by an approved certifier (as outlined in the Queensland Department of Housing and Local Government Register of Fire Systems Certifiers).

All properties within the declared water area requiring water connections for fire fighting purposes must comply with the provisions of Council's Metering of Fire Lines Policy. The policy is to ensure all new fire lines are metered to identify and eliminate avoidable system leakage and non-fire related water consumption through those services.

SC6.21.10 Maintenance

Maintenance of all water services within a property is the responsibility of the property owner, with the exception of mains within property easements owned by Council.

Construction of any new plumbing and sanitary drainage works must comply with the provisions of Council's plumbing and drainage policy in addition to:

- (1) Australian Standard/New Zealand Standard AS/NZS 3500.2:2015 (as amended) and in particular clause 3.2;
- (2) *Plumbing and Drainage Act 2018*;
- (3) *Standard Plumbing and Drainage Regulation 2019*; and
- (4) Plumbing Code of Australia (PCA).

SC6.21.11 Development outside the water supply planning area

- (1) On-site water supply:
 - (a) to be in accordance with the Plumbing Code of Australia; and
 - (b) the water quality must be in accordance with the recognised standards that safeguards community health. The water supply must meet the NH&MRC standard for drinking water.
- (2) Special water supply arrangement – a developer may request connection to the water reticulation network although they are located in part or totally outside the priority infrastructure area and water service area. In this event the developer must enter into a special water supply arrangement with Council. Council will condition the developer to construct or contribute the full cost of the extension of the network or connection to the network to service the development. For the avoidance of doubt the special water supply arrangement will include an agreement to void any later trunk conversion application associated with the subject infrastructure. Where a special water supply arrangement allows for just a connection to the network, the infrastructure from the development to the point of connection remains the responsibility of the developer, including all future maintenance and the like.

SC6.21.12 Consent of adjoining landowners

Written approval is required from adjoining property owners authorising any operational work on their property.

SC6.21.13 Submission of digital 'As Constructed' information for development works

The following information is provided for consultants and developers who contract for subdivisional and developmental works within the Rockhampton Regional Council area, and are required to submit final 'As Constructed' plans to Council.

Council has standardised the process in which 'As Constructed' information is collected, documented, mapped, submitted and integrated into Council's Geographical Information System and Asset Management System. This process is continually being improved from feedback from consultants, developers and Council staff, and is designed to make the entire process simpler, efficient and accurate and provide long-term benefits for all concerned.

The 'As Constructed' process requires the submission of all 'As Constructed' documentation in accordance with Council's 'Guidelines for creation and submission of ADAC XML files'. The manual provides detailed guidance on the following, the documentation required as part of the submission; the survey guidelines; plan layout specifications and specific guidance as to the attribute information required. To assist consultants and developers to provide Council with

the required attribute information, Council has developed a template 'As Constructed' Microsoft Excel spreadsheet that aligns with the manual. A reference guide is also available that is aimed at assisting during the surveys, map production and completing the Microsoft Excel spreadsheet. The common causes of errors that delay Council approval of the submission documentation are identified as a summary of key changes from previous versions.

END OF PLANNING SCHEME

[Intentionally blank]

Appendix 1 Index and glossary of abbreviations and acronyms

Table AP1.1 – Abbreviations and acronyms

Abbreviation / Acronym	Description
DSS	Desired standard of service
EP	Equivalent person
ERP	Estimated resident population
ET	Equivalent tenement
GFA	Gross floor area
MCU	Material change of use as defined in the Act
Net dev ha	Net developable hectare
NRP	Non-resident population
PFTI	Plans for trunk infrastructure
PIA	Priority infrastructure area
LGIP	Local government infrastructure plan
ROL	Reconfiguring a lot as defined in the Act
the Act	<i>Planning Act 2016</i>
the Regulation	Planning Regulation 2017
the SP Act	<i>Sustainable Planning Act 2009 (repealed)</i>
the SP Regulation	Sustainable Planning Regulation 2009 (repealed)

[Intentionally blank]

Appendix 2 Table of amendments

Table AP2.1 — Table of amendments

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendments
3 July 2017	Version 1.1	Alignment Amendment	<ul style="list-style-type: none"> • Align with new terminology under the <i>Planning Act 2016</i>; • Strategic framework reflected within the relevant codes (zone, development and overlay codes) for code assessment; • Editing, removing of duplication, updating outdated documents and the like; • Provisions related to adult stores inserted into the centres zones / specialised centre zone; and • Removal of the development application requirements planning scheme policy.
25 November 2019	Version 2	Major Amendment	<ul style="list-style-type: none"> • Removal of requirements associated with Table 5.6.1 Building Works; • Amended Table of Assessment for Operational works associated with an advertising device, advertising devices code and advertising devices planning scheme policy to provide greater clarity and to include requirements for digital signage; • Renaming of Neighbourhood Character Overlay to Character Overlay and updated character mapping and character code provisions; • Amended High Density Residential zone table of assessable for retirement facilities to be accepted development; • Inclusion of office use along Quay Lane as accepted development within the Principal Centre zone – Quay Street precinct; • Inclusion of the Kershaw Gardens, Fitzroy River Accommodation and Industry precincts into the tables of assessment and zone codes; • Inclusion of administrative definition for self- contained vehicles; • Removal of the minor demolition administrative definition; • Inclusion of Table SC1.3.1 – index and definitions of advertising devices; • Inclusion of short-term accommodation provisions into the residential tables of assessment and zone codes • Amended zoning; • Flood hazard overlay code, planning scheme policy and mapping to provide greater clarity and to incorporate the North

			<p>Rockhampton floodplain management area;</p> <ul style="list-style-type: none"> • Amended stormwater management code and stormwater management planning scheme policy to include water sensitive urban design principles; and • General administrative and legislative updates.
3 March 2020	Version 2.1	Interim Local Government Infrastructure Plan Amendment	<ul style="list-style-type: none"> • Introduce five catchments - Parkhurst, North Rockhampton, South Rockhampton, Gracemere and Mount Morgan; • Update the Planning Assumptions Model for new population and employment projections; • Update timings for Trunk Infrastructure Projects; • Update costs associated with Trunk Infrastructure Projects; • Modify and add new Trunk Infrastructure Projects; AND • Administrative updates and changes.
14 June 2021	Version 2.2	Minor Amendment	<ul style="list-style-type: none"> • update all superseded legislation and Australian Standards; • update the list of approved 'inconsistent' development applications (Schedule 4); and • update the recently approved Ministerial Designations (Schedule 5).
25 October 2023	Version 3.0	Major Amendment	<ul style="list-style-type: none"> • Update the residential designations based on the anticipated population growth; • Allow home-based business in Industry zones for existing houses; • Provide further clarification to the Industrial use definitions by adding the industry thresholds to the definitions; • Amend subdivision provisions to align with the mandatory state regulations; • Include North Rockhampton Flood Management Area (NRFMA) Stage 2 (temporary flood barriers); • Amend inconsistencies in regard to interpretation of the Planning Scheme; and • Zone and overlay mapping changes.
25 October 2023	Version 4.1	Major Amendment	<p>Changes to the flood hazard overlay mapping for the North Rockhampton local catchment and Fitzroy River 1% AEP flood extent, in particular:</p> <ul style="list-style-type: none"> • Updated Fitzroy River Flood Overlay Map OM-8A; and • Updated North Rockhampton Local Catchment Flood Overlay Map OM-8C.
25 October 2023	Version 4.2	Major Amendment	<p>Changes to the flood hazard overlay mapping for the South Rockhampton local catchment, in particular:</p> <ul style="list-style-type: none"> • Updated South Rockhampton Local Catchment Flood Overlay Map OM-8C.

25 October 2023	Version 4.3	Major Amendment	<p>Changes to the flood hazard overlay mapping for the Gracemere local catchment, in particular:</p> <ul style="list-style-type: none"> Updated Gracemere Local Catchment Flood Overlay Map OM-8C.
25 October 2023	Version 4.4	Major Amendment	<p>Changes to the flood hazard overlay mapping for the Mount Morgan local catchment, in particular:</p> <ul style="list-style-type: none"> Updated Mount Morgan Local Catchment Flood Overlay Map OM-8C.
28 March 2025	Version 5	Major Amendment	<p>Package A</p> <ul style="list-style-type: none"> Change to the flood hazard overlay table of assessment for reconfiguring a lot and flood hazard overlay code. <p>Package B</p> <ul style="list-style-type: none"> Changes to the zoning from low density residential to local centre zone of 78 East Street, Mount Morgan (Lot 1 RP602282, Lot 1 RP605080 and Lot 2 RP608362) to reflect the outcome of a council meeting resolution (16 August 2022); and Changes to the tables of assessment within the Specialised Centre Zone – Yaamba Road Precinct to align with development approval D/77-2022 – 452-488 Yaamba Road, Norman Gardens (Lot 25 on RP610513). <p>Package C</p> <ul style="list-style-type: none"> Changes to the minimum lot size in the reconfiguration of a lot code for low density residential (from 400m² to 300m² standard lot and from 600m² to 300m² rear lot (excluding access)) and low medium density residential zones (from 600m² to 300m² rear lot only (excluding access)); Changes to the level of assessment for multiple dwellings in the low density residential zone from impact assessable to code assessable where located on higher order roads and within 200 metres of a centres zone, park or sport and recreation zone, hospital or university; Reduce the minimum site area required for dual occupancy (from 800m² to 600m²) and multiple dwellings (from 1,200m² to 1,000m²) in the low density residential zone; Increase density of dwellings for dual occupancy (from 1 unit per 400m² to 1 unit per 300m²) and multiple dwelling in the low density residential zone (from 1 unit per 400m² to 1 unit per 250m²); and Reduce the minimum lot size for dual occupancy (from 600m² to 400m²) and multiple dwellings (from 1,000m² to

			800m2) in the low medium density residential zone.
--	--	--	--

[Intentionally blank]

**Rockhampton Region
Planning Scheme**

Growing a Stronger Future

[Intentionally blank]

Citation and commencement

This planning scheme may be cited as Rockhampton Region Planning Scheme.

A notice was published in the Government Gazette No. 92 on 21 August 2015 for the planning scheme for the Rockhampton Regional Council.

The commencement date for the planning scheme was 24 August 2015.

Amendments to the planning scheme are included at Appendix 2.

Community statement

Our ideal community is safe, friendly and well balanced; supporting community values, sustainable living and active recreation.

Editor's note—The community statement is extrinsic material to the planning scheme.

Strategic vision

“Celebrating and consolidating our strengths, planning for growth and a strong future”

Rockhampton and the surrounding areas have a long history as stable and well settled places. Rockhampton was founded on rural industries, notably beef cattle and sheep and as a major port for the gold rush of the late 1850's. It established a clear role as the services capital of Central Queensland, leading the way in the provision of major facilities for education, health and government services generally.

The area offers a wide variety of lifestyles, from the inner city living within Rockhampton to burgeoning suburban growth areas at Parkhurst and Gracemere, to more traditional rural areas and the character of Mount Morgan. A number of townships are the focus of life in rural areas.

Rockhampton city has a sense of stability and the characteristics of a traditional city, with a strong grid pattern and traditional built to the street form in its older areas, complemented by its expanding modern residential areas. Gracemere has boomed more recently, in response to the expansion of the resources industry and housing affordability. It is ideally located to serve both as a residential area and a location for service and logistics industries.

The area is building on its natural and historical strengths and the resources boom to underpin its future prosperity and as a preferred lifestyle choice. The principles among these are its:

- (1) strategic location at the intersection of the Bruce and Capricorn highways;
- (2) traditional retail, services, entertainment and administration centre role for the broader central region;
- (3) expanding role in servicing the mining industry;
- (4) ability to provide a wide range of affordable lifestyle choices at diverse locations;
- (5) tourism potential; and
- (6) secure water supply from the Fitzroy River.

The area is taking its new development opportunities and challenges seriously. There is an emphasis on urban design that responds to changing community needs, while providing for sustainable economic growth. This will deliver all the attributes of successful communities, such as:

- (1) centres which are well defined, concentrated and connected;
- (2) transport options which promote efficient, but still attractive urban areas;
- (3) a variety of housing and lifestyle options and the land to accommodate forecast growth;

- (4) plans that make allowance for those choosing to live here but work elsewhere;
- (5) new development that respects its setting;
- (6) balance between its urban areas and rural areas with well-defined boundaries;
- (7) plenty of room for economic development in defined areas protected from conflicting land uses now and in the future; and
- (8) protection for the food producing potential of its rural areas.

Editor's note—The strategic vision is extrinsic material to the planning scheme.

This is to certify that this is a true, correct and complete copy of the Rockhampton Region Planning Scheme, incorporating amendments up to and including the amendment made in accordance with the provisions of the *Planning Act 2016*, by the Rockhampton Regional Council, by resolution dated 11 March 2025 and having effect on and from 28 March 2025.

Signed

.....
Evan Pardon
Chief Executive Officer
Rockhampton Regional Council

Dated:

Contents

Citation and commencement	(i)
Community statement	(i)
Strategic vision	(i)
Contents	(iii)
Part 1 About the planning scheme	P1-19
1.1 Introduction	P1-1
1.2 Planning scheme components	P1-2
1.3 Interpretation	P1-4
1.4 Categories of development	P1-5
1.5 Hierarchy of assessment benchmarks	P1-5
1.6 Building work regulated under the planning scheme	P1-6
1.7 Local government administrative matters	P1-7
Part 2 State planning provisions	P2-1
2.1 State planning policy	P2-1
2.2 Regional plan	P2-1
2.3 Referral agency delegations	P2-1
2.4 Regulated requirements	P2-1
Part 3 Strategic framework	P3-1
3.1 Preliminary	P3-1
3.2 Strategic intent	P3-1
Strategic framework themes.....	P3-3
3.3 Settlement pattern	P3-3
3.3.1 Strategic outcomes	P3-3
3.3.2 Planning scheme places	P3-4
3.3.3 Element – Nature conservation, open space and natural corridor or link	P3-9
3.3.4 Element – Townships	P3-10
3.3.5 Element – Rural residential	P3-11
3.3.6 Element – Rural	P3-12
3.3.7 Element – Industrial (existing, new and future)	P3-14
3.3.8 Element – Urban and new urban	P3-17
3.3.9 Element – Future urban	P3-21
3.3.10 Element – Urban infill and intensification	P3-22
3.3.11 Element – Centres	P3-24
3.3.12 Element – Specialised centres	P3-29
3.3.13 Element – Specific use	P3-31
3.4 Natural environment and hazards.....	P3-33
3.4.1 Strategic outcomes	P3-33
3.4.2 Element – Areas of environmental significance	P3-34
3.4.3 Element – Natural hazards and climate change	P3-35
3.4.4 Element – Coastal environment	P3-36
3.4.5 Element – Water resources, catchment management and healthy waters	P3-36
3.4.6 Element – Landscape and scenic amenity	P3-37
3.4.7 Element – Air, noise and hazardous materials	P3-37
3.4.8 Element – Waste	P3-38
3.5 Community identity and diversity	P3-39
3.5.1 Strategic outcomes	P3-39

3.5.2	Element – Housing diversity, safe communities and equitable access	P3-40
3.5.3	Element – Community identity	P3-40
3.5.4	Element – Heritage and character	P3-40
3.5.5	Element – Sport and recreation and open space	P3-41
3.5.6	Element – Social, arts and cultural infrastructure	P3-41
3.6	Access and mobility	P3-43
3.6.1	Strategic outcomes	P3-43
3.6.2	Element – Public and active transport	P3-44
3.6.3	Element – Road network	P3-44
3.6.4	Element – Rail network	P3-45
3.6.5	Element – Freight network and key logistics hub	P3-45
3.6.6	Element – Air transport	P3-46
3.6.7	Element – Sea transport	P3-46
3.7	Infrastructure and services	P3-47
3.7.1	Strategic outcomes	P3-47
3.7.2	Element – Inter-regional networks	P3-48
3.7.3	Element – Local area networks	P3-48
3.8	Natural resources and economic development	P3-50
3.8.1	Strategic outcomes	P3-50
3.8.2	Element – Protection of key assets	P3-51
3.8.3	Element – Industrial development	P3-51
3.8.4	Element – Rural land	P3-51
3.8.5	Element – Extractive and mineral resources	P3-52
3.8.6	Element – Forestry	P3-52
3.8.7	Element – Marine resources	P3-53
3.8.8	Element – Tourism	P3-53
Part 4	Local government infrastructure plan	P4-1
4.1	Preliminary	P4-1
4.2	Planning assumptions	P4-2
4.2.1	Population and employment growth	P4-4
4.2.2	Development	P4-5
4.2.3	Infrastructure demand	P4-6
4.3	Priority infrastructure area	P4-7
4.4	Desired standards of service	P4-8
4.4.1	Water supply network desired standards of service	P4-8
4.4.2	Sewerage network desired standards of service	P4-10
4.4.3	Transport network desired standards of service	P4-12
4.4.4	Stormwater network desired standards of service	P4-14
4.4.5	Public parks and land for community facilities network desired standards of service	P4-15
4.5	Plans for trunk infrastructure	P4-21
4.5.1	Plans for trunk infrastructure maps	P4-21
4.5.2	Schedule of works	P4-21
	4.6 Extrinsic material	P4-22
Part 5	Tables of assessment	P5-1
5.1	Preliminary	P5-1
5.2	Reading the tables	P5-1
5.3	Categories of development and assessment	P5-1
5.3.1	Process for determining the category of development and the category of assessment for assessable development	P5-1
5.3.2	Determining the category of development and categories of assessment	P5-2
5.3.3	Determining the requirements for accepted development and assessment benchmarks and other matters for assessable development	P5-3

5.4	Categories of development and assessment — Material change of use	P5-4
5.4.1	Residential zones category	P5-4
5.4.2	Centre zones category	P5-15
5.4.3	Recreation zones category	P5-49
5.4.4	Environmental zones category	P5-57
5.4.5	Industry zones category	P5-58
5.4.6	Other zones category	P5-75
5.5	Categories of development and assessment — Reconfiguring a lot	P5-107
5.6	Categories of development and assessment — Building work	P5-109
5.7	Categories of development and assessment — Operational work	P5-110
5.8	Categories of development and assessment — Local plans	P5-116
5.9	Categories of development and assessment — Overlays	P5-117
Part 6	Zones	P6-1
6.1	Preliminary	P6-1
6.2	Residential zones category	P6-3
6.2.1	Low density residential zone code	P6-3
6.2.2	Low-medium density residential zone code	P6-19
6.2.3	High density residential zone code	P6-34
6.3	Centre zones category	P6-45
6.3.1	Principal centre zone code	P6-45
6.3.2	Major centre zone code	P6-72
6.3.3	District centre zone code	P6-83
6.3.4	Local centre zone code	P6-101
6.3.5	Neighbourhood centre zone code	P6-119
6.3.6	Specialised centre zone code	P6-135
6.4	Recreation zones category	P6-147
6.4.1	Sport and recreation zone code	P6-147
6.4.2	Open space zone code	P6-152
6.5	Environmental zones category	P6-158
6.5.1	Environmental management and conservation zone code	P6-157
6.6	Industry zones category	P6-162
6.6.1	Low impact industry zone code	P6-162
6.6.2	Medium impact industry zone code	P6-170
6.6.3	High impact industry zone code	P6-178
6.6.4	Special industry zone code	P6-187
6.6.5	Waterfront and marine industry zone code	P6-192
6.7	Other zones category	P6-200
6.7.1	Community facilities zone code	P6-200
6.7.2	Emerging community zone code	P6-206
6.7.3	Limited development (constrained land) zone code	P6-213
6.7.4	Rural zone code	P6-216
6.7.5	Rural residential zone code	P6-230
6.7.6	Special purpose zone code	P6-237
6.7.7	Township zone code	P6-246
Part 7	Local plans	P7-1
Part 8	Overlays	P8-1
8.1	Preliminary	P8-1
8.2	Overlay codes	P8-2
8.2.1	Acid sulfate soils overlay code	P8-2
8.2.2	Airport environs overlay code	P8-4
8.2.3	Biodiversity overlay code	P8-10
8.2.4	Bushfire hazard overlay code	P8-16
8.2.5	Character overlay code	P8-22
8.5.6	Coastal protection overlay code	P8-27

8.2.7	Extractive resources overlay code.....	P8-33
8.2.8	Flood hazard overlay code	P8-36
8.2.9	Heritage place overlay code	P8-43
8.2.10	Special management area overlay code	P8-46
8.2.11	Steep land overlay code	P8-48
8.2.12	Water resource catchments overlay code	P8-50
Part 9	Development codes	P9-1
9.1	Preliminary	P9-1
9.2	Use codes	P9-2
9.2.1	Extractive industry code.....	P9-2
9.2.2	Telecommunications facilities and utilities code.....	P9-5
9.3	Other development codes	P9-11
9.3.1	Access, parking and transport code	P9-11
9.3.2	Advertising devices code	P9-26
9.3.3	Filling and excavation code	P9-34
9.3.4	Landscape code	P9-37
9.3.5	Reconfiguring a lot code.....	P9-43
9.3.6	Stormwater management code	P9-58
9.3.7	Waste management code.....	P9-64
9.3.8	Water and sewer code.....	P9-66
9.3.9	Works code	P9-68
Part 10	Other plans	P10-1
10.1	State development areas – <i>State Development and Public Works Organisation Act 1971</i>	P10-1
10.2	Priority development area – <i>Economic Development Act 2012</i> ...	P10-1
10.3	Land use plan – <i>Transport Infrastructure Act 1994</i>	P10-2
Schedule 1	Definitions	SC1-1
SC1.1	Use definitions	SC1-1
SC1.1.1	Defined activity groups	SC1-26
SC1.1.2	Industry thresholds.....	SC1-26
SC1.2	Administrative definitions	SC1-27
Schedule 2	Mapping	SC2-1
SC2.1	Map index	SC2-1
SC2.2	Strategic framework maps	SC2-28
SC2.3	Zone maps	SC2-29
SC2.4	Local plan maps	SC2-30
SC2.5	Overlay maps	SC2-31
Schedule 3	Local government infrastructure plan mapping and tables	SC3-1
SC3.1	Planning assumption tables	SC3-2
SC3.1.1	Existing and projected population.....	SC3-2
SC3.1.2	Existing and projected employees	SC3-10
SC3.1.3	Existing and projected dwellings.....	SC3-17
SC3.1.4	Existing and projected non-residential floor space	SC3-24
SC3.2	Assumed scale of development and planned demand tables	SC3-31
SC3.2.1	Assumed scale of development.....	SC3-31
SC3.2.2	Planned demand.....	SC3-34
SC3.3	Priority infrastructure area.....	SC3-41
SC3.4	Plans for trunk infrastructure maps.....	SC3-42
SC3.5	Schedules of works	SC3-45

Schedule 4	Notations required under the Planning Act 2016	SC4-1
SC4.1	Notation of decisions affecting the planning scheme under section 89 of the Act	SC4-1
SC4.2	Notation of resolution(s) under Chapter 4, Part 2, Division 2 of the Act	SC4-3
SC4.3	Notation of registration for urban encroachment provisions under section 267 of the Act	SC4-3
Schedule 5	Designation of premises for development	SC5-1
Schedule 6	Planning scheme policies	SC6-1
SC6.1	Planning scheme policy index	SC6-1
SC6.2	Advertising devices planning scheme policy	SC6-2
SC6.3	Air, noise and hazard assessments planning scheme policy	SC6-6
SC6.4	Bicycle network planning scheme policy	SC6-10
SC6.5	Bushfire management planning scheme policy	SC6-17
SC6.6	Car parking contributions planning scheme policy	SC6-25
SC6.7	Coastal protection management planning scheme policy	SC6-28
SC6.8	Ecological assessment planning scheme policy	SC6-34
SC6.9	Economic impact assessment planning scheme policy	SC6-43
SC6.10	Flood hazard planning scheme policy	SC6-45
SC6.11	Geotechnical report planning scheme policy	SC6-68
SC6.12	Landscape design and street trees planning scheme policy	SC6-65
SC6.13	Local heritage planning scheme policy	SC6-80
SC6.14	Local parks planning scheme policy	SC6-84
SC6.15	Road infrastructure and hierarchy planning scheme policy	SC6-89
SC6.16	Scenic amenity planning scheme policy	SC6-92
SC6.17	Sewerage infrastructure planning scheme policy	SC6-95
SC6.18	Stormwater management planning scheme policy	SC6-101
SC6.19	Structure plan planning scheme policy	SC6-121
SC6.20	Waste management planning scheme policy	SC6-125
SC6.21	Water supply infrastructure planning scheme policy	SC6-129
	End of the planning scheme	SC6-124
Appendix 1	Index and glossary of abbreviations and acronyms	A1-1
Appendix 2	Table of amendments	A2-1

Tables

About the planning scheme

Table 1.6.1 — Building assessment provisions.....	SC1-6
Table 1.7.1 — Designated bushfire prone area for Australian Standard AS 3959-2018	SC1-7
Table 1.7.2 — Designated flood hazard area for Queensland Development Code MP3.5.....	SC1-7
Table 1.7.3 — Designated transport noise corridor for Queensland Development Code MP4.4	SC1-8

Strategic framework

Table 3.3.2.2 — Strategic map designations and descriptions	P3-5
---	------

Local government infrastructure plan

Planning assumptions:

Table 4.2.1 — Relationship between LGIP development categories, LGIP development types and uses.....	P4-2
Table 4.2.1.1 — Population and employment assumptions summary	P4-4
Table 4.2.2.1 — Residential dwellings and non-residential floor space assumptions summary.....	P4-5

Desired standards of service:

Table 4.4.1.1 — Water supply network design desired standards of service	P4-8
Table 4.4.1.2 — Water supply network design criteria.....	P4-10
Table 4.4.2.1 — Sewerage network desired standards of service.....	P4-10
Table 4.4.2.2 — Sewerage network design criteria.....	P4-11
Table 4.4.3.1 — Transport network desired standards of service.....	P4-12
Table 4.4.3.2 — Level of service (LOS) – Deemed to comply volumes.....	P4-13
Table 4.4.3.3 — Level of service (LOS) criteria for trunk roads using percentage of base free-flow speed and percentage of time spent following.....	P4-13
Table 4.4.3.4 — Level of service (LOS) criteria for road intersections using delay	P4-14
Table 4.4.3.5 — Maximum degree of saturation for road intersections	P4-14
Table 4.4.4.1 — Stormwater network desired standards of service.....	P4-14
Table 4.4.5.1 — Public parks and land for community facilities network desired standards of service	P4-16
Table 4.4.5.2 — Rate of land provision	P4-16
Table 4.4.5.3 — Accessibility standard	P4-17
Table 4.4.5.4 — Public parks and land for community facilities characteristics.....	P4-17
Table 4.4.5.5 — Indicative embellishments for the hierarchy of recreation parks	P4-18
Table 4.4.5.6 — Indicative embellishments for the hierarchy of sport parks.....	P4-19

Extrinsic material:

Table 4.6.1.1 — Extrinsic documents used in the interpretation of the local government infrastructure plan.....	P4-22
--	-------

Tables of assessment

Categories of development and assessment – Material change of use

Residential zones category:

Table 5.4.1.1 — Low density residential zone.....	P5-4
Table 5.4.1.1.1 — Low density residential zone — Fitzroy River accommodation precinct	P5-6
Table 5.4.1.1.2 — Low density residential zone — Residential stables precinct.....	P5-8
Table 5.4.1.2 — Low-medium density residential zone.....	P5-10
Table 5.4.1.3 — High density residential zone	P5-13

Centre zones category:

Table 5.4.2.1.1 — Principal centre zone — Business services precinct.....	P5-15
Table 5.4.2.1.2 — Principal centre zone — Core precinct	P5-18
Table 5.4.2.1.3 — Principal centre zone — Denison Street precinct	P5-20
Table 5.4.2.1.4 — Principal centre zone — Quay Street precinct.....	P5-22
Table 5.4.2.2 — Major centre zone	P5-25

Table 5.4.2.3 — District centre zone	P5-27
Table 5.4.2.4 — Local centre zone.....	P5-30
Table 5.4.2.5 — Neighbourhood centre zone	P5-34
Table 5.4.2.6.1 — Specialised centre zone — Gladstone Road and George Street precinct (including all sub-precincts)	P5-37
Table 5.4.2.6.2 — Specialised centre zone — Musgrave Street precinct (including all sub-precincts)	P5-43
Table 5.4.2.6.3 — Specialised centre zone — Yaamba Road precinct	P5-47
<u>Recreation zones category:</u>	
Table 5.4.3.1 — Sport and recreation zone	P5-50
Table 5.4.3.1.1 — Sport and recreation zone — Rockhampton major sports precinct....	P5-53
Table 5.4.3.2 — Open space zone.....	P5-56
Table 5.4.3.2.1 — Open space zone — Kershaw Gardens precinct	P5-58
<u>Environmental zone category:</u>	
Table 5.4.4.1 — Environmental management and conservation zone	P5-61
<u>Industry zones category:</u>	
Table 5.4.5.1 — Low impact industry zone	P5-62
Table 5.4.5.1.1 — Low impact industry zone — South Rockhampton precinct	P5-64
Table 5.4.5.2 — Medium impact industry zone	P5-65
Table 5.4.5.2.1 — Medium impact industry zone — Gracemere Saleyards precinct	P5-67
Table 5.4.5.3 — High impact industry zone	P5-69
Table 5.4.5.3.1 — High impact industry zone — Lakes Creek and Parkhurst precincts ..	P5-71
Table 5.4.5.4 — Special industry zone.....	P5-73
Table 5.4.5.5 — Waterfront and marine industry zone.....	P5-75
Table 5.4.5.5.1 — Waterfront and marine industry zone — Fitzroy River	P5-77
<u>Other zones category:</u>	
Table 5.4.6.1 — Community facilities zone	P5-79
Table 5.4.6.1.1 — Community facilities zone — Rockhampton health services precinct	P5-81
Table 5.4.6.2 — Emerging community zone	P5-83
Table 5.4.6.3 — Limited development (constrained land) zone (including Mount Morgan mine precinct)	P5-85
Table 5.4.6.4 — Rural zone (including Alton Downs precinct)	P5-87
Table 5.4.6.4.1 — Rural zone — Cropping and intensive horticulture precinct	P5-90
Table 5.4.6.5 — Rural residential zone	P5-93
Table 5.4.6.5.1 — Rural residential zone — Baree and Walterhall precinct	P5-95
Table 5.4.6.6 — Special purpose zone	P5-97
Table 5.4.6.6.1 — Special purpose zone — Depot Hill rail precinct	P5-98
Table 5.4.6.6.2 — Special purpose zone — Rockhampton Airport precinct (including all sub-precincts).....	P5-101
Table 5.4.6.7 — Township zone.....	P5-105
Table 5.4.6.7.1 — Township zone — Kabra and Stanwell precinct.....	P5-108
<u>Categories of development and assessment:</u>	
Table 5.5.1 — Reconfiguring a lot	P5-111
Table 5.7.1 — Operational work (excluding operational work associated with an advertising device).....	P5-114
Table 5.7.2 — Operational work associated with an advertising device	P5-116
<u>Categories of development and assessment — Overlays:</u>	
Table 5.9.1 — Acid sulfate soils overlay.....	P5-121
Table 5.9.2 — Airport environs overlay	P5-122
Table 5.9.3 — Biodiversity overlay	P5-123
Table 5.9.4 — Bushfire hazard overlay	P5-124
Table 5.9.5 — Character overlay.....	P5-126
Table 5.9.6 — Coastal protection overlay . P5-127	Table 5.9.7 — Extractive resources overlay P5-128
Table 5.9.8 — Flood hazard overlay	P5-129
Table 5.9.9 — Heritage place overlay	P5-133
Table 5.9.10 — Special management area overlay	P5-134
Table 5.9.11 — Steep land overlay	P5-135

Table 5.9.12 — Water resource catchments overlay	P5-137
Zone codes	
Residential zones category:	
<u>Low density residential zone code:</u>	
Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-5
Table 6.2.1.3.2 — Development outcomes for assessable development	P6-11
Table 6.2.1.3.3 — Minimum site area requirements	P6-18
<u>Low-medium density residential zone code:</u>	
Table 6.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-20
Table 6.2.2.3.2 — Development outcomes for assessable development	P6-26
Table 6.2.2.3.3 — Minimum site area requirements	P6-33
<u>High density residential zone code:</u>	
Table 6.2.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-35
Table 6.2.3.3.2 — Development outcomes for assessable development	P6-38
Table 6.2.3.3.3 — Minimum building setback from street frontage	P6-43
Table 6.2.3.3.4 — Minimum site area requirements	P6-43
Centre zones category:	
<u>Principal centre zone code:</u>	
Table 6.3.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-48
Table 6.3.1.3.2 — Development outcomes for assessable development	P6-63
<u>Major centre zone code:</u>	
Table 6.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-73
Table 6.3.2.3.2 — Development outcomes for assessable development	P6-77
<u>District centre zone code:</u>	
Table 6.3.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-84
Table 6.3.3.3.2 — Development outcomes for assessable development	P6-91
<u>Local centre zone code:</u>	
Table 6.3.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-103
Table 6.3.4.3.2 — Development outcomes for assessable development	P6-110
<u>Neighbourhood centre zone code:</u>	
Table 6.3.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-121
Table 6.3.5.3.2 — Development outcomes for assessable development	P6-128
<u>Specialised centre zone code:</u>	
Table 6.3.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-138
Table 6.3.6.3.2 — Development outcomes for assessable development	P6-141
Recreation zone code category:	
<u>Sport and recreation zone code:</u>	
Table 6.4.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-148
Table 6.4.1.3.2 — Development outcomes for assessable development	P6-150
<u>Open space zone code:</u>	
Table 6.4.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-153
Table 6.4.2.3.2 — Development outcomes for assessable development	P6-154
Environment zone code category:	
Table 6.5.1.3.1 — Development outcomes for assessable development	P6-157
Industry zone code category:	
<u>Low impact industry zone code:</u>	
Table 6.6.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-163
Table 6.6.1.3.2 — Development outcomes for assessable development	P6-166

Medium impact industry zone code:

Table 6.6.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-170
Table 6.6.2.3.2 — Development outcomes for assessable development.....	P6-174

High impact industry zone code:

Table 6.6.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-178
Table 6.6.3.3.2 — Development outcomes for assessable development.....	P6-181

Special industry zone code:

Table 6.6.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-187
Table 6.6.4.3.2 — Development outcomes for assessable development.....	P6-188

Waterfront and marine industry zone code:

Table 6.6.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-192
Table 6.6.5.3.2 — Development outcomes for assessable development.....	P6-196

Other zones category:

Community facilities zone code:

Table 6.7.1.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-200
Table 6.7.1.3.2 — Development outcomes for assessable development.....	P6-202

Emerging community zone code:

Table 6.7.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-206
Table 6.7.2.3.2 — Development outcomes for assessable development.....	P6-208

Limited development (constrained land) zone code:

Table 6.7.3.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-213
--	--------

Rural zone code:

Table 6.7.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-217
Table 6.7.4.3.2 — Development outcomes for assessable development.....	P6-222

Rural residential zone code:

Table 6.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-230
Table 6.2.5.3.2 — Development outcomes for assessable development.....	P6-234

Special purpose zone code:

Table 6.7.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-238
Table 6.7.6.3.2 — Development outcomes for assessable development.....	P6-242

Township zone code:

Table 6.7.7.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P6-246
Table 6.7.7.3.2 — Development outcomes for assessable development.....	P6-250

Overlay codes

Acid sulfate soils overlay code:

Table 8.2.1.3.1 — Development outcomes for assessable development.....	P8-2
--	------

Airport environs overlay code:

Table 8.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-4
Table 8.2.2.3.2 — Development outcomes for assessable development.....	P8-5
Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards.....	P8-7
Table 8.2.2.3.4 — Desirable indoor design sound levels for building type and activity.....	P8-7
Table 8.2.2.3.5 — Compatible and incompatible land uses within ANEF contours.....	P8-8

Biodiversity overlay code:

Table 8.2.3.3.1 — Development outcomes for assessable development.....	P8-11
--	-------

Bushfire hazard overlay code:

Table 8.2.4.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-16
Table 8.2.4.3.2 — Development outcomes for assessable development.....	P8-19
Table 8.2.4.3.3 — Water storage requirements	P8-21
<u>Character overlay code:</u>	
Table 8.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-23
Table 8.2.5.3.2 — Development outcomes for assessable development.....	P8-25
<u>Coastal protection overlay code:</u>	
Table 8.2.6.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-28
Table 8.2.6.3.2 — Development outcomes for assessable development.....	P8-29
<u>Extractive resources overlay code:</u>	
Table 8.2.7.3.1 — Development outcomes for assessable development.....	P8-33
<u>Flood hazard overlay code:</u>	
Table 8.2.8.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-37
Table 8.2.8.3.2 — Development outcomes for assessable development.....	P8-40
Table 8.2.8.3.3 — Flood event level for community and public uses.....	P8-42
<u>Heritage place overlay code:</u>	
Table 8.2.9.3.1 — Development outcomes for assessable development.....	P8-43
<u>Special management area overlay code:</u>	
Table 8.2.10.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P8-46
Table 8.2.10.3.2 — Development outcomes for assessable development.....	P8-47
<u>Steep land overlay code:</u>	
Table 8.2.11.3.1 — Development outcomes for assessable development.....	P8-48
Table 8.2.11.3.2 — Minimum lot size and road frontage widths for slopes.....	P8-49
<u>Water resource catchments overlay code:</u>	
Table 8.2.12.3.1 — Development outcomes for assessable development.....	P8-50

Development codes

Use codes:

Extractive industry code:

Table 9.2.1.3.1 — Development outcomes for assessable development.....	P9-2
--	------

Telecommunications facilities and utilities code:

Table 9.2.2.3.1 — Development outcomes for assessable development.....	P9-5
--	------

Other development codes:

Access, parking and transport code:

Table 9.3.1.3.1 — Development outcomes for assessable development.....	P9-11
--	-------

Table 9.3.1.3.2 — Parking requirements.....	P9-16
---	-------

Advertising devices code:

Table 9.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P9-26
--	-------

Table 9.3.2.3.2 — Sign requirements.....	P9-28
--	-------

Table 9.3.2.3.3 — Maximum luminance of an advertising device for land use zones	P9-33
---	-------

Table 9.3.3.3.1 — Development outcomes for assessable development.....	P9-34
--	-------

Filling and excavation code:

Table 9.3.3.3.1 — Development outcomes for assessable development.....	P9-34
--	-------

Landscape code:

Table 9.3.4.3.1 — Development outcomes for assessable development.....	P9-37
--	-------

Reconfiguring a lot code:

Table 9.3.5.3.1 — Development outcomes for assessable development.....	P9-44
--	-------

Table 9.3.5.3.2 — Minimum lots sizes and dimensions	P9-54
---	-------

Table 9.3.5.3.3 — Separation distances to electricity transmission line easement	P9-57
--	-------

Stormwater management code:

Table 9.3.6.3.1 — Development outcomes for assessable development.....	P9-58
--	-------

Waste management code:

Table 9.3.7.3.1 — Development outcomes for assessable development.....	P9-64
--	-------

Water and sewer code:

Table 9.3.8.3.1 — Development outcomes for assessable development	P9-66
---	-------

Works code:

Table 9.3.9.3.1 — Development outcomes for assessable development and requirements for accepted development.....	P9-68
--	-------

Schedule 1 Definitions

Use definitions:

Table SC1.1.1 — Index of use definitions	SC1-1
Table SC1.1.2 — Use definitions	SC1-2
Table SC1.1.2.1 — Industry thresholds.....	SC1-26

Administrative definitions:

Table SC1.2.1 — Index of administrative definitions.....	SC1-29
Table SC1.2.2 — Administrative definitions	SC1-29

Advertising Devices definitions:

Table SC1.3.1 — Index and definitions of advertising devices	SC1-38
--	--------

Schedule 2 Mapping

Table SC2.1.1 — Map index	SC2-1
Table SC2.1.2 — List of maps.....	SC2-2

Schedule 3 Local government infrastructure plan mapping and supporting material

Table SC3.1 — Locality area reference index.....	SC3-1
Table SC3.1.1.1 — Existing and projected population.....	SC3-3
Table SC3.1.2.1 — Existing and projected employees	SC3-11
Table SC3.1.3.1 — Existing and projected dwellings.....	SC3-18
Table SC3.1.4.1 — Existing and projected non-residential floor space	SC3-25
Table SC3.2.1.1 — Assumed scale of development for residential uses	SC3-31
Table SC3.2.1.2 — Assumed scale of development for non-residential uses	SC3-32
Table SC3.2.2.1 — Residential zones planned demand.....	SC3-35
Table SC3.2.2.2 — Non-residential zones planned demand	SC3-37
Table SC3.2.2.3 — Residential uses planned demand.....	SC3-40
Table SC3.2.2.4 — Non-residential uses planned demand	SC3-40
Table SC3.3.1 — Priority infrastructure area	SC3-41
Table SC3.4.1 — Plans for trunk infrastructure maps.....	SC3-42
Table SC3.5.1 — Schedule of works – Water supply network.....	SC3-45
Table SC3.5.2 — Schedule of works – Sewerage network.....	SC3-47
Table SC3.5.3 — Schedule of works – Transport network	SC3-54
Table SC3.5.4 — Schedule of works – Stormwater network	SC3-61
Table SC3.5.5 — Schedule of works – Public parks and land for community facilities network.....	SC3-62

Schedule 4 Notations required under the *Planning Act 2016*

Table SC4.1.1 — Notation of decisions affecting the planning scheme under section 89 of the Act.....	SC4-1
Table SC4.2.1 — Notation of resolutions under Chapter 4, Part 2, Division 2 of the Act	SC4-3
Table SC4.3.1 — Notation of registrations made under section 267 of the Act.....	SC4-3

Schedule 5 Designation of premises for development

Table SC5.1 — Designation of premises for development of infrastructure under section 42 of the Act.....	SC5-1
--	-------

Schedule 6 Planning scheme policies

Table SC6.1.1 — Planning scheme policy index	SC6-1
<u>Advertising devices planning scheme policy:</u>	
Table SC6.2.3.2.1 — Basis for calculating total sign face area for a site	SC6-3
<u>Bicycle network planning scheme policy:</u>	
Table 6.4.7.1 — Bicycle parking facilities provisional rates.....	SC6-12
Table 6.4.7.2 — Classification of bicycle facilities	SC6-14

Table 6.4.8.1.1 — Exclusive bicycle land/sealed shoulder	SC6-14
Table 6.4.8.1.2 — Wide kerbside lane	SC6-14
Table 6.4.8.1.3 — With parallel parking	SC6-15
Table 6.4.8.1.5 — With angle parking	SC6-15
Table 6.4.8.2.1 — Shared paths.....	SC6-16
Table 6.4.8.2.2 — Bicycle paths.....	SC6-16
<u>Car parking contributions planning scheme policy:</u>	
Table SC6.6.4.1 — Contribution charge rates	SC6-25
<u>Coastal protection management planning scheme policy:</u>	
Table SC6.7.5.1.1 — Classification of development intensification.....	SC6-28
<u>Flood hazard planning scheme policy:</u>	
Table SC6.10.3.3.2 — Combined hazard curves – vulnerability thresholds.....	SC6-47
Table SC6.10.3.3.3 — Combined hazard curves – vulnerability thresholds classification limits	SC6-48
<u>Geotechnical report planning scheme policy:</u>	
Table SC6.11.4.1 — Geotechnical report template.....	SC6-59
<u>Landscape design and street trees planning scheme policy:</u>	
Table SC6.12.12.1 — Identified significant vegetation in the Rockhampton region	SC6-69
Table SC6.12.13.1 — Undesirable species of vegetation.....	SC6-71
<u>Local heritage planning scheme policy:</u>	
Table SC6.13.10 — Local heritage place register.....	SC6-79
<u>Local parks planning scheme policy:</u>	
Table SC6.14.5.1 — Local parks – Planning and design criteria.....	SC6-82
Table SC6.14.5.2 — Local parks – Rate of land provision.....	SC6-82
Table SC6.14.5.3 — Local parks – Accessibility standard.....	SC6-82
Table SC6.14.5.4 — Local parks – Design characteristics	SC6-82
Table SC6.14.5.5 — Local parks – Indicative embellishments	SC6-83
Table SC6.14.6.1 — Reconfiguring a lot for residential, commercial and industrial purposes	SC6-84
Table SC6.14.6.2 — Material change of use for residential purposes.....	SC6-84
<u>Road infrastructure and hierarchy planning scheme policy:</u>	
Table SC6.15.3.1.1 — Road classification.....	SC6-86
<u>Scenic amenity planning scheme policy:</u>	
Table SC6.16.5.1 — Unmapped scenic amenity areas	SC6-90
<u>Waste management planning scheme policy:</u>	
Table SC6.20.4.1.1 — Residential minimum waste storage capacity requirements ...	SC6-116
Table SC6.20.4.2.1 — Non-residential minimum waste storage capacity requirements	SC6-117
Appendix 1	
Table AP1.1 — Abbreviations and acronyms.....	A1-1
Appendix 2	
Table AP2.1 — Table of amendments	A2-1

Figures

About the planning scheme

Map 1 — Local government planning scheme area and context	P1-1
---	------

Strategic framework

Figure 3.3.2.1 — Planning scheme places.....	P3-4
--	------

Tables of assessment

Figure 5.9.1.1 — Areas and development to which the acid sulfate soils overlay applies	P5-117
--	--------

Zone codes

Residential zones category

Low density residential zone code

Figure 6.2.1.3.1a — Site plans for dual occupancies.....	P6-11
--	-------

Figure 6.2.1.3.2a — Development site plan	P6-18
---	-------

Low-medium density residential zone code

Figure 6.2.2.3.1a — Site plans for dual occupancies.....	P6-25
--	-------

Figure 6.2.2.3.2a — Development site plan	P6-32
---	-------

High density residential zone code

Figure 6.2.3.3.2a — Development site plan	P6-42
---	-------

Figure 6.2.3.3.3a — Front building setbacks.....	P6-43
--	-------

Centre zones category:

Principal centre zone code:

Figure 6.3.1.3.1a — Maximum building heights in the business services precinct.....	P6-50
---	-------

Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements)	P6-51
--	-------

Figure 6.3.1.3.1c — Maximum building heights in the core precinct.....	P6-55
--	-------

Figure 6.3.1.3.1d — Built form in the core precinct	P6-55
---	-------

Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements)	P6-56
---	-------

Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements).....	P6-57
--	-------

Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements).....	P6-59
--	-------

Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements).....	P6-62
---	-------

Figure 6.3.1.3.2a — Built form and streetscape appearance.....	P6-64
--	-------

Figure 6.3.1.3.2b — Development on intersections	P6-65
--	-------

Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements).....	P6-67
---	-------

Figure 6.3.1.3.2d — Core precinct concept plan - East Street (assessable elements) ...	P6-68
--	-------

Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements)	P6-71
---	-------

Major centre zone code:

Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements)	P6-76
--	-------

Figure 6.3.2.3.2a — Development on intersections	P6-80
--	-------

Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).....	P6-81
--	-------

Figure 6.3.2.3.2c — Shopping centre layout and design	P6-82
---	-------

District centre zone code:

Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements).....	P6-89
---	-------

Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements).....	P6-90
--	-------

Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements)	P6-91
--	-------

Figure 6.3.3.3.2a — Development on intersections	P6-96
--	-------

Figure 6.3.3.3.2b — Allenstown District centre concept plan (assessable elements)	P6-97
---	-------

Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements).....	P6-98
---	-------

Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).....	P6-99
Figure 6.3.3.3.2e — Shopping centre layout and design	P6-100
<u>Local centre zone code:</u>	
Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements)	P6-108
Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements) ..	P6-109
Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements) ..	P6-109
Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements).....	P6-110
Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements)	P6-115
Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements).....	P6-116
Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements).....	P6-117
Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements) ..	P6-118
<u>Neighbourhood centre zone code:</u>	
Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-126
Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-127
Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-127
Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)	P6-128
Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements).....	P6-132
Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements).....	P6-133
Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements).....	P6-133
Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements).....	P6-134
Other zones category:	
<u>Emerging community zone code:</u>	
Figure 6.7.2.3.2a — Concept diagram for a urban development	P6-211
Overlays	
Figure 8.2.5.3.1a — Residential character streetscape	P8-25
Development codes	
Figure 9.3.4.3.1a — Height restriction for corner sites.....	P9-40
Figure 9.3.5.3.1a — Subdivision layout.....	P9-53
Schedule 6 Planning scheme policies	
<u>Advertising devices planning scheme policy:</u>	
Figure SC6.2.3.2.2 — Schematic 3-D view of building for calculating total sign face area.....	SC6-3
Figure SC6.2.3.2.3 — Plan view of building for calculating total sign face area.....	SC6-3
Figure SC6.2.3.3.1 — Front view of building for calculating total sign face area.....	SC6-5
<u>Bicycle network planning scheme policy:</u>	
Figure SC6.4.8.1.4 — Typical bicycle/car parking lanes layout – parallel parking	SC6-15
Figure SC6.4.8.1.6 — Typical bicycle/car parking lanes layout – angle parking	SC6-16

<u>Bushfire management planning scheme policy:</u>	
Figure SC6.5.5.1.1 — Bushfire safety based on slope and orientation	SC6-19
Figure SC6.5.5.1.2 — Preferred site layout	SC6-20
Figure SC6.5.5.2.1 — Preferred road layout in and adjoining bushfire hazard areas ...	SC6-21
Figure SC6.5.5.2.2 — Unacceptable road layout in and adjoining bushfire hazard areas	SC6-21
Figure SC6.5.5.5.1 — Creation of buffer zones between buildings and hazardous materials	SC6-23
<u>Coastal protection management planning scheme policy:</u>	
Figure SC6.7.5.1.2 — Example of acceptable mitigation measures for minor intensification in a high coastal hazard area.....	SC6-30
<u>Flood hazard management planning scheme policy:</u>	
Figure SC6.10.3.3.1 — General flood hazard vulnerability curves	SC6-47
<u>Landscape design and street trees planning scheme policy:</u>	
Figure SC6.12.14.1.1 — Suggested planting layouts for buffers	SC6-75
<u>Stormwater management planning scheme policy</u>	
Figure SC6.18.5.8.1 — Peak discharge and allowable change	SC6-102

[Intentionally blank]

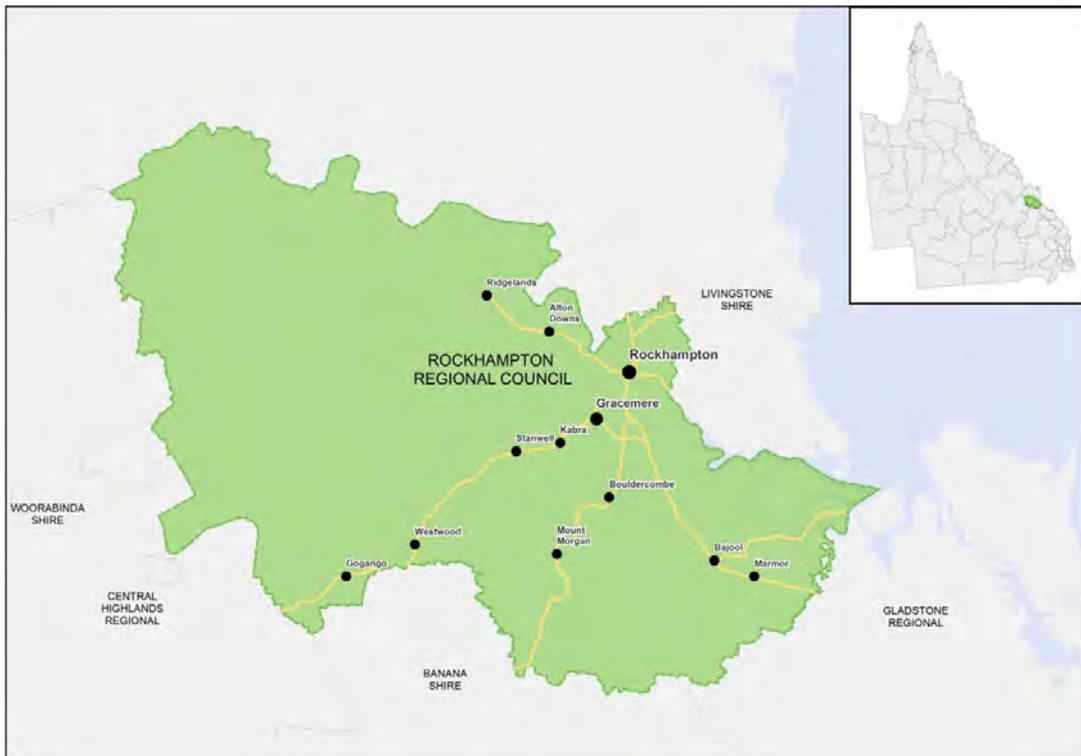
Part 1 About the planning scheme

1.1 Introduction

- (1) The Rockhampton Region Planning Scheme (planning scheme) has been prepared in accordance with the *Sustainable Planning Act 2009* (the SP Act) as a framework for managing development in a way that advances the purpose of the SP Act.
- (2) The planning scheme was amended for alignment with the *Planning Act 2016* (the Act) by the Minister's rules under section 293 of the Act on 3 July 2017.
- (3) In seeking to achieve this purpose, the planning scheme sets out Rockhampton Regional Council's intention for the future development in the planning scheme area, over the next twenty (20) years.
- (4) The planning scheme seeks to advance state and regional policies through more detailed local responses taking into account the local context.
- (5) While the planning scheme has been prepared with a twenty (20) year horizon, it will be reviewed periodically in accordance with the Act to ensure that it responds appropriately to the changes of the community at a local, regional and state level.
- (6) The planning scheme applies to the planning scheme area of Rockhampton Regional Council including all premises, roads, internal waterways and interrelates with the surrounding local government areas illustrated in Map 1.

Editor's note—State legislation may state that the planning scheme does not apply to certain areas, for example strategic port land under the *Transport Infrastructure Act 1994* and priority development areas.

Editor's note—Areas which are not subject to the jurisdiction of the planning scheme are noted in the relevant zone codes and on the planning scheme maps.



Map 1 — Local government planning scheme area and context

1.2 Planning scheme components

- (1) The planning scheme comprises the following components:
- (a) about the planning scheme
 - (b) state planning provisions
 - (c) the strategic framework
 - (d) the local government infrastructure plan
 - (e) tables of assessment
 - (f) the following zones:
 - Residential zones category:**
 - (i) Low density residential zone
 - (A) Fitzroy River accommodation precinct
 - (B) Residential stables precinct
 - (ii) Low-medium density residential zone
 - (iii) High density residential zone
 - Centre zones category:**
 - (i) Principal centre zone
 - (A) Business services precinct
 - (B) Core precinct
 - (C) Denison Street precinct
 - (D) Quay Street precinct
 - (ii) Major centre zone
 - (iii) District centre zone
 - (iv) Local centre zone
 - (v) Neighbourhood centre zone
 - (vi) Specialised centre zone
 - (A) Gladstone Road and George Street precinct
 - a. Outdoor sales and services sub-precinct
 - b. Residential and food services sub-precinct
 - (B) Musgrave Street precinct
 - a. Mixed use sub-precinct
 - b. Outdoor sales and services sub-precinct
 - (C) Yaamba Road precinct
 - Recreation zones category:**
 - (i) Sport and recreation zone
 - (A) Rockhampton major sports precinct
 - (ii) Open space zone
 - (B) Kershaw Gardens precinct
 - Environmental zones category:**
 - (i) Environmental management and conservation zone
 - Industry zones category:**
 - (i) Low impact industry zone
 - (A) South Rockhampton precinct
 - (ii) Medium impact industry zone
 - (A) Gracemere saleyards precinct
 - (iii) High impact industry zone
 - (A) Lakes Creek precinct
 - (B) Parkhurst precinct
 - (iv) Special industry zone
 - (v) Waterfront and marine industry zone
 - (A) Fitzroy River industry precinct
 - Other zones category:**
 - (i) Community facilities zone
 - (A) Rockhampton health services precinct
 - (ii) Emerging community zone
 - (iii) Limited development (constrained land) zone
 - (A) Mount Morgan mine precinct
 - (iv) Rural zone
 - (A) Alton Downs precinct

- (v) (B) Cropping and intensive horticulture precinct
 - (v) Rural residential zone
 - (A) Baree and Waltherhall precinct
 - (vi) Special purpose zone
 - (A) Depot Hill rail precinct
 - (B) Rockhampton Airport precinct
 - a. Airport sub-precinct
 - b. Airport terminal sub-precinct
 - c. Business services sub-precinct
 - d. Airport expansion sub-precinct
 - (vii) Township zone
 - (A) Kabra and Stanwell precinct
 - (g) there are no local plans
 - (h) the following overlays:
 - (i) Acid sulfate soils overlay
 - (ii) Airport environs overlay
 - (iii) Biodiversity overlay
 - (iv) Bushfire hazard overlay
 - (v) Character overlay
 - (vi) Coastal protection overlay
 - (vii) Extractive resources overlay
 - (viii) Flood hazard overlay
 - (ix) Heritage place overlay
 - (x) Special management area overlay
 - (xi) Steep land overlay
 - (xii) Water resource catchments overlay
 - (i) the following development codes:
 - Use codes:**
 - (i) Extractive industry code
 - (ii) Telecommunications facilities and utilities code
 - Other development codes:**
 - (i) Access, parking and transport code
 - (ii) Advertising devices code
 - (iii) Filling and excavation code
 - (iv) Landscape code
 - (v) Reconfiguring a lot code
 - (vi) Stormwater management code
 - (vii) Waste management code
 - (viii) Water and sewer code
 - (ix) Works code
 - (j) The following other plans:
 - (i) Stanwell-Gladstone infrastructure corridor state development area
 - (ii) Central Queensland University (CQU) Priority Development Area
 - (iii) Gladstone Ports Corporation land use plan 2012 – Port Alma
 - (k) schedules and appendices
- (2) The following planning scheme policies support the planning scheme:
- (a) Advertising devices planning scheme policy
 - (b) Air, noise and hazard assessments planning scheme policy
 - (c) Bicycle network planning scheme policy
 - (d) Bushfire management planning scheme policy
 - (e) Car parking contributions planning scheme policy
 - (f) Coastal protection management planning scheme policy
 - (g) Ecological assessment planning scheme policy
 - (h) Economic impact assessment planning scheme policy
 - (i) Flood hazard planning scheme policy
 - (j) Geotechnical report planning scheme policy
 - (k) Landscape design and street trees planning scheme policy
 - (l) Local heritage planning scheme policy
 - (m) Local parks planning scheme policy

- (n) Road infrastructure and hierarchy planning scheme policy
- (o) Scenic amenity planning scheme policy
- (p) Sewerage infrastructure planning scheme policy
- (q) Stormwater management planning scheme policy
- (r) Structure plan planning scheme policy
- (s) Waste management planning scheme policy
- (t) Water supply infrastructure planning scheme policy

1.3 Interpretation

1.3.1 Definitions

- (1) A term used in the planning scheme has the meaning assigned to that term by one of the following:
 - (a) the *Planning Act 2016* (the Act)
 - (b) the *Planning Regulation 2017* (the Regulation), other than the regulated requirements
 - (c) the definitions in Schedule 1 of the planning scheme
 - (d) the *Acts Interpretation Act 1954*
 - (e) the ordinary meaning where that term is not defined in any of the above.
- (2) In the event a term has been assigned a meaning in more than one of the instruments listed in clause 1.3.1(1), the meaning contained in the instrument highest on the list will prevail.
- (3) A reference in the planning scheme to any act includes any regulation or instrument made under it, and where amended or replaced, if the context permits, means the amended or replaced act.
- (4) A reference in the planning scheme to a specific resource document or standard means the latest version of the resource document or standard.
- (5) A reference to a part, section, table or schedule is a reference to a part, section, table or schedule of the planning scheme.

Editor's note—The regulated requirements do not apply to this planning scheme.

1.3.2 Standard drawings, maps, notes, editor's notes and footnotes

- (1) Standard drawings contained in codes or schedules are part of the planning scheme.
- (2) Maps provide information to support the outcomes and are part of the planning scheme.
- (3) Notes are identified by the title "note" and are part of the planning scheme.
- (4) Editor's notes and footnotes are extrinsic material, as per the *Acts Interpretation Act 1954*, and are identified by the title "editor's note" and "footnote" and are provided to assist in the interpretation of the planning scheme; they do not have the force of law.

Note—This is an example of a note.

Editor's note—This is an example of an editor's note.

Footnote¹—See example at bottom of page.

1.3.3 Punctuation

- (1) A word followed by “;” is considered to be “and”
- (2) A word followed by “; or” means either or both options can apply.

1.3.4 Zones for roads, closed roads, waterways and reclaimed land

- (1) The following applies to a road, closed road, waterway or reclaimed land in the planning scheme area:

¹ Footnote—This is an example of a footnote.

- (a) if adjoined on both sides by land in the same zone — the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land
- (b) if adjoined on one side by land in a zone and adjoined on the other side by land in another zone — the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land when measured from a point equidistant from the adjoining boundaries
- (c) if the road, closed road, waterway or reclaimed land is adjoined on one side only by land in a zone — the entire waterway or reclaimed land is in the same zone as the adjoining land
- (d) if the road, closed road, waterway or reclaimed land is covered by a zone then that zone applies.

Editor's note—The boundaries of the local government area are described by the maps referred to in the *Local Government Regulation 2012*.

1.4 Categories of development

- (1) The categories of development under the Act are:
 - (a) accepted development

Editor's note—A development approval is not required for development that is accepted development. Under section 44(6)(a) of the Act, if a categorising instrument does not apply a category of development to a particular development, the development is accepted development. Schedule 6 of the Regulation also prescribes accepted development that a planning scheme can not make assessable.

Editor's note—In this planning scheme, some development is categorised as accepted, subject to meeting certain requirements. These requirements are identified in the tables of assessment and in the relevant codes.

- (b) assessable development
 - (i) code assessment
 - (ii) impact assessment

Editor's note—A development approval is required for assessable development. Schedules 9, 10 and 12 of the Regulation also prescribe assessable development.

- (c) prohibited development.

Editor's note—A development application may not be made for prohibited development. Schedule 10 of the Regulation prescribes prohibited development.

- (2) The planning scheme states the category of development for certain types of development, and specifies the category of assessment for assessable development in the planning scheme area in Part 5.

Editor's note—Section 43 of the Act identifies that a categorising instrument categorises development and specifies categories of assessment and may be a regulation or local categorising instrument. A local categorising instrument includes a planning scheme, a TLPI or a variation approval.

1.5 Hierarchy of assessment benchmarks

- (1) Where there is inconsistency between provisions in the planning scheme, the following rules apply:
 - (a) relevant assessment benchmarks specified in the Regulation prevail over the planning scheme to the extent of any inconsistency
 - (b) the strategic framework prevails over all other components to the extent of the inconsistency for impact assessment
 - (c) overlays prevail over all other components (other than the matters mentioned in (a) and (b) to the extent of the inconsistency
 - (d) local plan codes prevail over zone codes, use codes and other development codes to the extent of the inconsistency
 - (e) zone codes prevail over use codes and other development codes to the extent of the inconsistency
 - (f) provisions of Part 10 may override any of the above.

1.6 Building work regulated under the planning scheme

- (1) Section 17(b) of the Regulation identifies that a local planning instrument must not be inconsistent with the effect of the building assessment provisions stated in the *Building Act 1975*.
- (2) The building assessment provisions are listed in section 30 of the *Building Act 1975*.

Editor's note—The building assessment provisions are stated in section 30 of the *Building Act 1975* and are assessment benchmarks for the carrying out of building assessment work or building work that is accepted development subject to any requirements (see also section 31 of the *Building Act 1975*).

- (3) This planning scheme, through Part 5 (Tables of assessment), regulates building work in accordance with sections 32 and 33 of the *Building Act 1975*.

Editor's note—The *Building Act 1975* permits planning schemes to:

- regulate, for the Building Code of Australia (BCA) or the Queensland Development Code (QDC), matters prescribed under a regulation under the *Building Act 1975* (section 32). These include variations to provisions contained in parts MP1.1, MP1.2 and MP1.3 of the QDC such as heights of buildings related to obstruction and overshadowing, siting and design of buildings to provide visual privacy and adequate sight lines, on-site parking and outdoor living spaces. It may also regulate other matters, such as designating land liable to flooding, designating land as bushfire prone areas and transport noise corridors
- deal with an aspect of, or matter related or incidental to building work prescribed under a regulation under section 32 of the *Building Act 1975*
- specify alternative boundary clearances and site cover provisions for Class 1 and 10 structures under section 33 of the *Building Act 1975*.

Refer to Schedule 9 of the Regulation to determine assessable development, the type of assessment and any referrals applying to the building work.

- (4) The building assessment provisions are specified in Table 1.6.1 (Building assessment provisions) below:

Table 1.6.1 Building assessment provisions

Building assessment provision	Relevant section of planning scheme	<i>Building Act 1975</i> (BA) and <i>Building Regulation</i> (BR)
Bushfire hazard		
Designation of bushfire hazard areas for the BCA or QDC	Refer to Table 1.7.1 – Designated bushfire prone area for Australian Standard AS3959-2018	Section 32(a) BA and section 12 BR
Flood hazard		
Designation of flood hazard areas for the BCA or QDC	Refer to Table 1.7.2 – Designated flood hazard area for Queensland Development Code MP3.5	Section 32(a) BA and section 13 BR
Declaration within the flood hazard area that the finished floor level of habitable rooms exceeds 300 millimetres	Flood hazard overlay code Note –The finished floor level in a flood hazard area for habitable rooms must be a minimum of 500 millimetres above the defined flood level.	Section 32(a) BA and section 13 BR
QDC alternative provisions		
Alternative provisions to the QDC MP1.1 and QDC MP1.2 for a class 1 and 10 building or structure	Low density residential zone code Low-medium density residential zone code Character overlay code	Sections 32(b), 32(c) and 33 BA and section 10 BR

Editor's note—A decision in relation to building work that is assessable development under the planning scheme should only be issued as a preliminary approval. See section 83(b) of the *Building Act 1975*.

Editor's note—In a development application, the applicant may request preliminary approval for building work. The decision on that development application can also be taken to be a referral agency's response under section 56 of the Act, for building work assessable against the *Building Act 1975*. The decision notice must state this.

1.7 Local government administrative matters

- (1) For the purpose of section 32(a) of the *Building Act 1975* and section 12 of the *Building Regulation 2006*, the land identified in Table 1.7.1 is a 'designated bushfire prone area'.

Table 1.7.1 – Designated bushfire prone area for Australian Standard AS 3959-2018

Designated bushfire prone area	<p>Land identified in the following sub-categories on the Bushfire hazard overlay map:</p> <ul style="list-style-type: none"> • Very high hazard area sub-category; • High hazard area sub-category; • Medium hazard area sub-category; and • Buffer hazard area sub-category.
--------------------------------	---

- (2) For the purpose of section 32(a) of the *Building Act 1975*, section 13(a) of the *Building Regulation 2006* and Queensland Development Code MP 3.5 Construction of buildings in flood hazard areas, the land identified in Table 1.7.2 is a 'designated flood hazard area'.

Table 1.7.2 – Designated flood hazard area for Queensland Development Code MP3.5

Designated flood hazard area	<p>Land identified in the following sub-categories:</p> <p>Fitzroy River flood overlay maps:</p> <ul style="list-style-type: none"> • H6 (Extreme hazard area sub-category); • H5 (Extreme hazard area sub-category); • H4 (High hazard area sub-category); • H3 (High hazard area sub-category); • H2 (Medium hazard area sub-category); and • H1 (Low hazard area sub-category). • North Rockhampton flood management area. <p>Local catchment flood overlay map:</p> <ul style="list-style-type: none"> • Planning Area 1 sub-category; and • Planning Area 2 sub-category. <p>Floodplain investigation area overlay map.</p>
------------------------------	---

- (3) For the purpose of section 32(a) of the *Building Act 1975* and Queensland Development Code MP 4.4 Buildings in a transport noise corridor, the land identified in Table 1.7.3 is a 'designated transport noise corridor'.

Table 1.7.3 – Designated transport noise corridor for Queensland Development Code MP4.4

Designated transport noise corridor	Land identified in the following sub-categories on the Transport noise corridor overlay maps: <ul style="list-style-type: none"> • Main Roads sub-category 0; • Main Roads sub-category 1; • Main Roads sub-category 2; • Main Roads sub-category 3; • Main Roads sub-category 4; • Railway noise corridor; and • Railway noise corridor 80 metre buffer.
-------------------------------------	--

Editor's note—For the purposes of the *Building Act 1975* and application of the Queensland Development Code in relation to declaration of transport noise corridors, the planning scheme has not declared such transport noise corridors, except for information purposes only.

Part 2 State planning provisions

2.1 State planning policy

The Minister has identified that the state planning policy is integrated in the planning scheme in the following ways:

State interests in the state planning policy appropriately integrated

- Housing supply and diversity
- Liveable communities
- Agriculture
- Development and construction
- Mining and extractive resources
- Tourism
- Biodiversity
- Coastal environment
- Cultural heritage
- Water quality
- Emissions and hazardous activities
- Natural hazards, risk and resilience
- Energy and water supply
- Infrastructure integration
- Transport infrastructure
- Strategic airports and aviation facilities
- Strategic ports

State interests in the state planning policy not appropriately integrated

Nil

State interests in the state planning policy not relevant to Rockhampton Regional Council

Nil

Editor's note—In accordance with section 8(4)(a) of the Act the State Planning Policy applies to the extent of any inconsistency.

2.2 Regional plan

The Minister has identified that the planning scheme, specifically the strategic framework, appropriately advances the Central Queensland Regional Plan 2013, as it applies in the planning scheme area.

2.3 Referral agency delegations

Schedule 10 of the Regulation identifies referral agencies for certain aspects of development. No referral agencies have delegated referral agency jurisdictions to Rockhampton Regional Council.

2.4 Regulated requirements

The following regulated requirements prescribed in the Planning Regulation 2017 dated 27 October 2017 are appropriately reflected in the planning scheme:

- use terms (schedule 3 of the Regulation)
- administrative terms (schedule 4 of the Regulation)

[Intentionally blank]

Part 3 Strategic framework

3.1 Preliminary

- (1) The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs in the planning scheme area for the life of the planning scheme.
- (2) Mapping for the strategic framework is included in Schedule 2.
- (3) For the purpose of describing the policy direction for the planning scheme, the strategic framework is structured in the following way:
 - (a) the strategic intent;
 - (b) the following six (6) themes that collectively represent the policy intent of the scheme:
 - (i) Settlement pattern;
 - (ii) Natural environment and hazards;
 - (iii) Community identity and diversity;
 - (iv) Access and mobility;
 - (v) Infrastructure and services; and
 - (vi) Natural resources and economic development;
 - (c) the strategic outcome(s) proposed for development in the planning scheme area for each theme;
 - (d) the element(s) that refine and further describe the strategic outcomes;
 - (e) the specific outcomes sought for each, or a number of, elements; and
 - (f) the land use strategies for achieving these outcomes.
- (4) Although each theme has its own section, the strategic framework in its entirety represents the policy intent for the planning scheme.

Note—The life of a planning scheme is ten (10) years from the date of adoption before a review is required; however, the strategic elements of the planning scheme have at least a twenty (20) year planning horizon.

3.2 Strategic intent

The planning scheme area includes the three (3) main urban areas of Rockhampton, Gracemere and Mount Morgan, significant rural areas (including townships), and national parks.

The landscape is diverse. It moves from the Fitzroy River delta in the east through expansive areas of productive pastoral and agricultural land as you move west. The Fitzroy River is a dominant natural feature that provides for both the livelihood of the area and a hard constraint on development in some areas due to regular significant flood events. More importantly, it is foundation for further sustainable economic and residential growth. It is also imperative that planned measures to reduce flooding impacts on important transport infrastructure are completed.

The resident population of the planning scheme area in 2020 was 81,999, mostly located in urban areas. Rockhampton, located approximately forty (40) kilometres inland on the Fitzroy River is the largest centre with 61,595 people. The area is forecast to grow at a rate of 1 per cent per annum to 104,383 by 2036.

Gracemere is the second largest town and is located approximately ten (10) kilometres south west of Rockhampton. It has been a fast growing residential area on the back of more affordable housing and being a preferred location for "drive in drive out" employees servicing the resources sector to the west. Based on demonstrated interest and current approvals, higher growth is planned to continue over the longer term.

Continued growth in the resources sector and industrial growth at Gladstone will support further growth in service and logistics industries in the planning scheme area. This, along with the ongoing strength of existing businesses and traditional and emerging primary industries, will underpin the forecast growth rate.

The changing age demographic and a desire for more affordable and efficient lifestyles will start shifting the preferred dwelling preferences away from suburban dwelling houses towards more compact dwelling styles closer to centres, transport infrastructure and services.

The planning scheme area contains many attractive natural and man-made features which are important to maintaining or enhancing the lifestyles of residents and visitors. It is important these are protected, but also able to be accessed and enjoyed.

Council is particularly concerned with making the principal centre of Rockhampton the focus of inner city living and community and cultural activity in the medium-term.

The planning scheme seeks to provide for the forecast growth in a way that balances the importance of assuring the ability to grow with the need to deliver preferred lifestyle choices and protect places of value.

Strategic framework themes



3.3 Settlement pattern

3.3.1 Strategic outcomes

- (1) The pattern of settlement is reinforced in accordance with the Strategic framework – settlement pattern maps (SFM-1 to SFM-4) and as defined in Table 3.3.2.2 – Strategic map designations and descriptions.
- (2) Residential development within Rockhampton and Gracemere will occur in urban areas, urban infill and intensification areas and new urban areas (greenfield areas). These areas are shown on the strategic framework maps SFM-2 to SFM-3.
- (3) Urban development in Mount Morgan will only occur within the urban area and local centre as shown on strategic framework map SFM-4.
- (4) Residential development is compact, encourages strong neighbourhoods with attractive places for residents, makes efficient use of land and optimises the delivery and use of infrastructure and services. Expansion beyond these identified areas will not occur to ensure a focus on urban infill and intensification areas and to avoid further encroachment on natural assets and ecologically vulnerable areas.
- (5) Sufficient land for employment growth has been identified in industrial areas, new industrial areas and centres (including proposed centres) at locations that can be most efficiently serviced with infrastructure and facilities.

Editor's note—To remove any doubt centres include specialised centres.

- (6) Future urban areas and future industrial areas are the preferred locations for greenfield development beyond 2031.
- (7) The settlement pattern provides for a diverse range of housing to meet changing demographic needs, and creates opportunities for more affordable living close to services and facilities. These housing options will help stimulate centres and community focal points, and assist in making the most efficient use of infrastructure and other public investment.
- (8) Higher density development is focussed around centres and public transport nodes and corridors. Increased residential densities will be encouraged in the urban infill and intensification areas in a range of dwelling types that are located to make public transport, walking and cycling more convenient, safe and viable.
- (9) The design of the built environment (including buildings, streets and public spaces) is consistent with the existing or desired character outlined in the zone. Buildings are oriented to the street and public places enhance the quality of the street, create a human scale at street level and are designed to promote accessibility and walkability.

- (10) Centres provide for employment, retail, accommodation, entertainment and community services that meet the needs of residential communities that are well connected by the public transport network.
- (11) The centres hierarchy is maintained and the role and function of designated centres service the planning scheme area. Centres provide a mix of land uses, including residential development that supports each centres viability and activity.
- (12) Centres are consolidated within designated areas, and expansion does not occur into adjoining residential areas.
- (13) An integrated and high quality public open space network caters for the needs of residents, particularly in and around centres and higher density areas.
- (14) The continuing viability of areas that provide for economic development such as industrial and specific use areas is protected from incompatible land uses.
- (15) Limited rural residential areas provide for semi-rural living; however, these areas do not expand beyond the areas designated.
- (16) The productive capacity of all rural land is protected.
- (17) Rural lands and natural areas are maintained for their rural and landscape values.
- (18) The scenic and environmental values of areas identified as nature conservation or natural corridor or link are protected.
- (19) The cultural heritage of Rockhampton is conserved for present and future communities.
- (20) Development responds to natural hazards (flooding, bushfire, steep land, storm tide inundation and coastal erosion) by avoiding, mitigating, adapting and building resilience to natural hazards in areas mapped as being susceptible.

3.3.2 Planning scheme places

This strategic framework identifies a series of places which generally show a progression through natural and rural hinterlands, then a sequence of human settlements of increasing density and scale. Figure 3.3.2.1 is a diagrammatic representation of how the various types of place evolve. This diagram indicates each place type, the future expected form and layout to be achieved from the outcomes contained within this planning scheme and more specifically, the strategic framework and supporting strategic framework maps (SFM-1 to SFM-4). Each strategic place designation has been further described in Table 3.3.2.2.

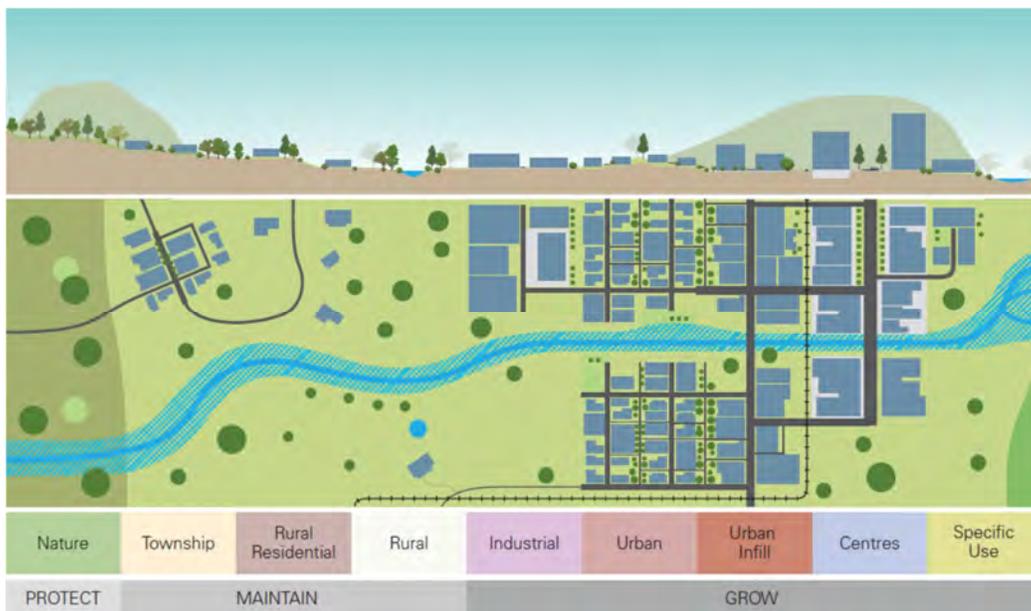


Figure 3.3.2.1 — Planning scheme places

Table 3.3.2.2 — Strategic map designations and descriptions

Place	Designation	Description	Location
Nature	Nature conservation and open space	These areas will remain dominated by the natural environment and are protected from urban development.	<ul style="list-style-type: none"> Bouldercombe Gorge Conservation Park Goosedulla National Park Mount Archer National Park and Berserker foothills Rockhampton Botanical Gardens
	Natural corridor or link	Provide flora and fauna links between nature conservation and open space areas through rural land and urban areas.	<ul style="list-style-type: none"> Rural, nature conservation and open space areas
Township	Township	Provide for the convenience needs of small, discreet rural communities and typically include traditional activities such as a general store, stock and station agent, service station and hotel. Township centres are a strong focus for surrounding rural areas.	<ul style="list-style-type: none"> Bajool Bouldercombe Gogango Kabra Marmor Stanwell Westwood
Rural residential	Rural residential	Provides for residential development on large lots within a rural setting. Rural residential development is limited to infill within the designated areas.	<ul style="list-style-type: none"> Bouldercombe Gracemere (South Gracemere) Lakes Creek Mount Morgan Parkhurst (Belmont Road)
Rural	Rural	The balance of the non-urban area which contains rural production and landscapes. These areas will not accommodate urban development.	<ul style="list-style-type: none"> Balance of the non-urban area
Industrial	Industrial	Existing industrial development or land preferred for industrial uses, which are expected to occur to 2026. These areas are fully serviced to an urban standard.	<ul style="list-style-type: none"> Park Avenue industrial area Parkhurst industrial area South Rockhampton industrial area Gracemere industrial area
	New industrial	Identifies new industrial land, projected to be required before 2031. These areas will be fully serviced and will require more detailed structure planning.	<ul style="list-style-type: none"> Parkhurst industrial area Gracemere industrial area

Place	Designation	Description	Location
	Future industrial	Identifies land to accommodate industrial development beyond 2031, to at least 2041. These areas are protected from fragmentation and development of land uses which could potentially compromise their longer term use for industrial development.	<ul style="list-style-type: none"> • Parkhurst industrial area • Gracemere industrial area
Urban	Urban	Existing urban footprint and areas with development potential which will expect to be developed by 2026. These areas are fully serviced to an urban standard and include current land uses that provide for a localised service function including neighbourhood centres and non-residential uses (community facilities, open space and sport and recreation).	<ul style="list-style-type: none"> • Rockhampton • Gracemere • Mount Morgan
	New urban	Provides for urban development to accommodate the projected population to 2031. These areas will be fully serviced and will require more detailed structure planning.	<ul style="list-style-type: none"> • Parkhurst and Norman Gardens • Gracemere
	Future urban	Accommodates urban development beyond 2031, to approximately 2041. These areas will require further investigation to determine their suitability for urban development and are protected from fragmentation and development of land uses which could potentially compromise their longer term use for urban development.	<ul style="list-style-type: none"> • Parkhurst • Gracemere
Urban infill	Urban infill and intensification	Areas within the urban footprint where increased residential densities are desirable to promote compact neighbourhoods. These areas also provide opportunities for replacement of older housing stock and are located in proximity to service centres and major infrastructure.	<ul style="list-style-type: none"> • Rockhampton City • Allenstown • Berserker (Musgrave Street) • Gracemere

Place	Designation	Description	Location
Centres	Principal centre	The highest order centre comprising the primary administrative, civic, commercial, retail, service, cultural and entertainment functions that align with the primary intent of each precinct and servicing the planning scheme area and beyond. It includes higher density short-term accommodation and long-term residential development where appropriately located. It also offers a range of specialised niche and destination retailing and convenience shopping.	<ul style="list-style-type: none"> Rockhampton
	Major centre	A broad range of activities, including high order retail, residential, community, cultural and entertainment facilities that service the regional catchment area.	<ul style="list-style-type: none"> North Rockhampton
	District centre	A concentration of land uses including retail, residential, small-scale offices, administrative and health services, community, entertainment and recreational facilities capable of servicing a catchment area of 5,000 to 8,000 households.	<ul style="list-style-type: none"> Allenstown Gracemere Parkhurst (Boundary Road)
	Local centre	Provides for the day-to-day convenience needs of the surrounding catchment area of between 3,000 to 5,000 households. The convenience needs include medical and personal services, food and drink outlets, shops and a hotel or other uses that provide a community focal point. Community services that directly support the immediate community and residential development are supported within these centres.	<ul style="list-style-type: none"> Frenchville (Dean Street) Norman Gardens (Farm Street) Norman Gardens (Norman Road) Mount Morgan Parkhurst (William Palfrey Road – Lot 5 on SP238731)

Place	Designation	Description	Location
	Neighbourhood centre	A small mix of land uses contained within the urban area that service a catchment area of around 1,500 households and includes small-scale convenience shopping and community services that directly support the immediate community.	<ul style="list-style-type: none"> • Berserker (Elphinstone Street) • Kawana (Richardson Road) • Park Avenue (Main Street) • South Gracemere (proposed) • Wandal <p>Editor's note—Neighbourhood centres are not depicted on the strategic framework maps (identified by zoning only).</p>
	Specialised centre	Focussed on providing a particular retail function that is highway focussed or convenience shopping that services the immediate neighbourhood area.	<ul style="list-style-type: none"> • Gladstone Road and George Street • Musgrave Street • Yaamba Road
Specific use	Specific use	Large single use/focus places that do not fit into other place types.	<ul style="list-style-type: none"> • Major social infrastructure (CQUniversity, Mount Morgan Hospital, Rockhampton Base Hospital and Mater Hospital) • Major sport and recreation (Wandal, Parkhurst and The Common) • Mount Morgan mine • Port Alma • Railway yards (Depot Hill) • Rockhampton Airport • Tourism or ecotourism development (Mount Morgan Railway Museum, Rockhampton Botanical Gardens and Quay Street)



3.3.3 Element – Nature conservation, open space and natural corridor or link

3.3.3.1 Specific outcomes

- (1) Nature conservation and open space areas contain national parks, public open space, environmentally significant areas (including corridors) as shown on strategic framework maps (SFM-1 to SFM-4) and other important ecological and landscape values. These areas are protected from urban development.
- (2) Nature conservation and open space areas do not accommodate development other than activities which allow access for recreation and maintenance. Other forms of development may be suitable when designed to accommodate, integrate with and where possible rehabilitate the natural environment (this may include some low-scale ecotourism development).
- (3) Urban development that encroaches into undeveloped natural places will not occur. Environmentally significant natural features (including wetlands, waterways, threatened flora species and hill slopes) will continue to be protected from urban encroachment.
- (4) Development is designed to assist with the achievement of energy efficiency outcomes, is sensitive to adjoining natural features and is undertaken in a way that ensures the protection of the ecological and scenic values.
- (5) On privately owned land, rural or other activities do not intrude on the ecological values of these places.

Rockhampton

- (6) Urban development that further encroaches on the undeveloped Berserker foothills will not occur. The steep and environmentally significant land within the Berserker Range (including the foothills and Mount Archer National Park) are protected to ensure the scenic and natural backdrop to Rockhampton is maintained.



3.3.4 Element – Townships

3.3.4.1 Specific outcomes

- (1) Townships are compact, walkable, provide for mixed uses and the convenience needs of small rural communities and the surrounding rural areas. Townships are supported by local community facilities and services but rely on larger centres for higher order uses such as employment, major retail and shopping, health services, education and cultural facilities.
- (2) Buildings are of a low-scale, as townships are located in a rural setting. Future development within these areas will be based on the traditional grid street pattern.
- (3) Townships will not expand beyond their boundaries (with the possible exception of Bouldercombe).

Bouldercombe

- (4) Expansion beyond the existing township zone is limited and infill development is the preferred means of accommodating additional growth. Any expansion will not result in further rural residential development beyond areas already identified.

Kabra and Stanwell townships

- (5) No expansion or infill residential development beyond a single dwelling house on a single existing lot within the Kabra and Stanwell townships is to occur due to conflicts with existing and potential future land uses (such as the Gracemere Industrial Area) and the impact of flooding.



3.3.5 Element – Rural residential

3.3.5.1 Specific outcomes

- (1) Rural residential development occurs only within the identified rural residential designated areas as shown on the strategic framework maps (SFM-1 to SFM-4). No further expansion of rural residential areas is supported.
- (2) Rural residential development is limited to existing designated areas for the following reasons:
 - (a) protect existing agricultural land, natural resources and the natural environment;
 - (b) protect natural and scenic landscapes;
 - (c) maximise the use of existing available infrastructure;
 - (d) encourage urban development into defined urban areas and new urban areas as identified on the strategic framework maps (SFM-1 to SFM-4); and
 - (e) avoid impeding the efficient expansion of the urban footprint.
- (3) Home based businesses involving heavy vehicles may establish within rural residential areas, where no significant impact occurs on adjoining sensitive land uses. However, larger scale transport and freight uses (which do not fall within the definition of a home based business) must be located within the designated industrial areas or areas specifically identified elsewhere within this strategic framework, rather than in rural residential areas.
- (4) Small-scale rural uses (such as animal keeping or cropping) are supported provided that they are in accordance with the rural residential zone code.
- (5) New subdivisions within rural residential areas must be serviced to an urban standard (including constructed roads and stormwater drainage).

Editor's note—Rural residential land will continue to be reviewed to reduce the extent within areas that are suitable for rural activities.

Mount Morgan – Baree and Walterhall

- (6) To provide for adequate water and sewer services on-site, rural residential development in the Baree and Walterhall precinct will be required to be on an allotment of 4,000 square metres or greater, which may require the amalgamation of land.



3.3.6 Element – Rural

3.3.6.1 Specific outcomes

- (1) Rural land has important economic, environmental and scenic values and provides for uses including primary production, mining and tourism.
- (2) Rural land is not used for urban development and is to be protected for its productive, landscape and natural resource values.
- (3) Sensitive land uses in rural areas will not occur when in proximity to incompatible development (for example industrial uses). The special management area overlay provides a separation distance between industry (such as the Lakes Creek meatworks, Bajool explosives reserve, Marmor limeworks, landfill sites and the Gracemere industrial area) and new sensitive land uses. Within this overlay no further subdivision or the establishment of new sensitive land uses is supported.
- (4) Development will not alienate or impact on the productive agricultural capacity of rural areas.
- (5) Separation areas from existing and future planned residential land uses are provided to maximise, preserve and protect agricultural production capacity and amenity values.
- (6) Subdivision of rural land will be regulated by minimum lot sizes established to maintain the productive potential of the land. The amalgamation of existing smaller lots into larger proportions is encouraged.
- (7) Subdivision of rural land into rural residential lots will not occur, including areas adjoining land designated for rural residential development.
- (8) Dwellings are not established and further subdivision does not occur in historic subdivisions.

Editor's note—Historic subdivisions throughout the region have been zoned limited development.

- (9) Intensive rural uses that will have a negative impact on the water quality in mapped wetlands and waterways, in particular the Fitzroy River and Dam 7 at Mount Morgan will not occur.
- (10) The cropping and intensive horticulture precinct identifies areas where the productive capacity of the land is maximised and land use and development is primarily associated with cropping and intensive horticulture.
- (11) Intensive animal industry (particularly feedlots), is a potential growth industry but will be required to be located away from sensitive land uses, existing and future planned urban areas, townships, areas subject to natural hazards and areas of environmental significance. These uses will also need to consider the impact and location with respect to the local transport network.
- (12) The establishment of farm-stays and ecotourism will be supported to capitalise on the natural and scenic attractiveness of the area.
- (13) Value-adding cottage industries in proximity to horticultural areas that could lead to strengthening of the local economy and promotion of co-located like uses will be

supported. However, they should not detract from the productive capacity of the land and environmental and scenic values.

- (14) Other uses that are required to coexist with rural uses will be accommodated where they do not:
 - (a) diminish the productivity of agricultural land;
 - (b) impact on adjoining or nearby uses;
 - (c) impact on the capacity and safety of state controlled roads; and
 - (d) result in fragmentation of rural land.
- (15) Transport and freight uses (which do not fall within the definition of a home based business) must be located within designated industrial areas or areas specifically identified elsewhere within this strategic framework rather than in rural areas.
- (16) Renewable energy technology uses will be supported where there are no adverse impacts on adjoining and nearby uses, including impacts associated with noise, light, emissions, infrastructure requirements or transport movements on transport networks.
- (17) Sustainable forestry and processing of forestry products will be encouraged, however are not located within the cropping and intensive horticulture precinct.
- (18) The ongoing use of the Benedict Road, Peak Hill and Pink Lily key resource areas will be protected from the encroachment of incompatible uses by appropriate separation distances. Expansion of extractive operations in key resource areas and new extractive operations is supported, but will be required to minimise potential conflicts with nearby land uses, the natural environment and naturally occurring hazards. They must maintain a suitable standard of infrastructure services.

Editor's note—The extractive resources overlay identifies key resource areas and separation distances where incompatible land uses must not be located.

Alton Downs

- (19) Development within the Alton Downs precinct reflects the desired character of the area, being smaller rural lots for lifestyle purposes. A suitable provision for infrastructure is required for new development including adequate water supply, sewage treatment and disposal and access to a sealed road.



3.3.7 Element – Industrial (existing, new and future)

3.3.7.1 Specific outcomes

- (1) Industrial development will be consolidated within the industrial areas designated on the strategic framework maps (SFM-1 to SFM-3). These areas have sufficient land to accommodate growth beyond 2036 and provide for a full range of industrial use types. These areas are located to reduce land use conflicts in the medium- to long-term, and to allow for the most efficient infrastructure delivery.
- (2) Industrial areas have been planned in accordance with the following principles:
 - (a) the consolidation of industrial uses on planned industrial land;
 - (b) good access to key transport networks;
 - (c) the timely and most efficient delivery of appropriate infrastructure services; and
 - (d) the minimisation of land use conflicts.
- (3) On larger sites a structure plan will be required in accordance with the relevant zone code and planning scheme policies. These areas are well planned and demonstrate the following:
 - (a) subdivision occurs in a sequenced manner in coordination with future planned infrastructure and services;
 - (b) the land does not have significant environmental or ecological values, including but not limited to, areas of environmental significance, wildlife and environmental corridors and waterways and wetlands;
 - (c) new development does not expand into areas affected by natural hazards;
 - (d) development minimises amenity impacts when located adjoining urban areas and zones intended to accommodate sensitive land use(s);
 - (e) development maintains the balance of land or future stages in large parcels, to assist in future development options;
 - (f) development of land within the industrial and new industrial areas occurs prior to future industrial areas; and
 - (g) development is consistent with the strategic framework maps (SFM-1 to SFM-3).
- (4) The fragmentation of land that prevents or impedes the efficient and properly coordinated development of identified industrial land will not occur. The consolidation of smaller properties into larger land holdings will be encouraged.
- (5) Sufficient land is identified to support the need for low impact and service industries in local communities where growth is forecast.
- (6) The integrity of all industrial areas is maintained and not compromised by the establishment of sensitive land uses within or adjoining these areas.

Editor's note—The special management area overlay identifies the areas whereby the intensification or the establishment of new sensitive land use(s) will not occur.

- (7) The functional needs of the industrial use prevail over the built form except where adjoining visually sensitive areas, including residential areas and major road corridors. Ancillary office and sales areas are to be sited and orientated towards the primary street frontage.
- (8) Development provides for vegetated buffers where sites adjoin major road corridors (including state controlled roads) into Gracemere and Rockhampton to ensure there are no adverse visual impacts and to maintain and enhance the entry points into these areas.
- (9) Sufficient off-street parking is provided to ensure the function and safety of industrial roads is protected. Customer and employee parking must not hinder heavy vehicle access necessary for successful operation of the intended level of industry.

Rockhampton

- (10) To eliminate land use conflicts within and bordering onto urban areas, it is preferred that historically located, medium impact, high impact and special industries at Lakes Creek, Depot Hill and Port Curtis are relocated to the Gracemere industrial area. In the interim, lawful uses on their current sites can continue to operate; however, increased production or any diversification must address impacts on adjoining sensitive land uses (including environmental nuisances) and maintain appropriate separation distances.
- (11) The Parkhurst and Lakes Creek precincts will continue to accommodate existing high impact industries (acknowledged by establishing precincts within the high impact industry zone). The future expansion of existing industries within these two (2) precincts must be controlled and environmental nuisances such as noise, dust, light and odour are contained onsite to ensure surrounding residential communities (including future residential communities) are not impacted upon.
- (12) The Parkhurst and Park Avenue industrial areas (excluding areas zoned high impact industry) will accommodate primarily low and medium impact industries due to their proximity to residential communities.
- (13) The industrial area off Alexandra Street (between Main Street and Richardson Road) is surrounded by low density residential development. The current use of the site for service industry and low impact industry can continue; however, the redevelopment of the entire site for residential or community/recreational related uses would be considered appropriate.
- (14) The South Rockhampton industrial area will continue to provide for predominantly service and low impact industries. Development within the South Rockhampton precinct will be limited due to the impact from flooding.
- (15) The Waterfront and marine industry zone and Fitzroy River industry precinct facilitates marine industry related uses. These areas will provide for boat storage, maintenance and marine servicing facilities.

Gracemere

- (16) The Gracemere industrial area (including the Stanwell Power Station) will be developed as a major regional industrial area by accommodating a range of industrial uses. Sufficient land has been identified to accommodate at least thirty (30) years of projected industrial growth. The continued expansion of infrastructure (including the grade-separated overpass) will provide a significant trigger for further development in accordance with the industrial, new industrial and future industrial designated areas as shown on strategic framework map SFM-3.
- (17) To achieve effective separation from adjoining sensitive land uses, new large-scale and intensive industrial uses (particularly high impact industry and special industry land uses) will be encouraged to establish in the Gracemere industrial area.
- (18) Large-scale development including the subdivision of land will be undertaken in accordance with an approved structure plan which will identify (inter alia) future infrastructure corridors, the preferred location of land uses and associated buffer areas.

- (19) The Gracemere saleyards is a significant regional facility (acknowledged by the Gracemere saleyards precinct) which is to be protected from incompatible land uses. The area situated along Hall Road, adjacent to the Gracemere saleyards precinct, which is unaffected by flooding, may be suitable for future service and low impact industrial uses. This will only occur if the development of a suitable standard road access and other trunk infrastructure can be viably established and a clear need can be demonstrated.

Regional area

- (20) Significant regional facilities such as the Bajool explosives reserve are to be buffered from sensitive land use(s). Future expansion of these industries, while supported due to the contribution to the local economy, must minimise impacts upon nearby or adjoining sensitive land use(s).



3.3.8 Element – Urban and new urban

3.3.8.1 Specific outcomes

- (1) Urban and new urban areas are characterised by walkability between housing and activity nodes, such as a park, shop or bus stop. They offer a choice of housing types, including dwelling houses, semi-detached or dual occupancy housing, row or terrace houses, some multiple dwellings (in accordance with specific outcome (6) below) and small scale live/work buildings (i.e. home based businesses). While dwelling houses are the most common use, many dwelling houses are on a range of smaller lots.
- (2) Urban and new urban areas allow for adaptable dwellings that provide intergenerational housing options catering to young people, families and support for ageing in place.
- (3) Urban and new urban areas have a feel of openness at the street level. Streets are characterised by street trees that provide shade and character, footpaths for walking trips, and streets shared by cars and bikes. New streets are laid out on a grid-based pattern in order to provide good connectivity and legibility and to reduce the need to drive.
- (4) The planning scheme has identified sufficient land supply for future greenfield development up to 2031. No further residential development is to occur beyond the areas designated as urban and new urban as shown on the strategic framework maps (SFM-1 to SFM-4) before 2031. Future urban areas will only be considered for future residential development when addressing the outcomes identified under section 3.3.9.

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

Editor's note—Future urban areas have been generally identified by the emerging community zone.

- (5) Urban development is contained within the urban and new urban areas to achieve the following outcomes:
 - (a) the impacts from natural hazards are avoided, including the potential future impacts resulting from climate change;
 - (b) environmental values and green breaks are maintained;
 - (c) rural, natural asset, landscape and environmental values are protected;
 - (d) a coordinated sequence that ensures the efficient delivery of infrastructure and services;
 - (e) safe and efficient access to retail goods and services, community and recreational facilities and employment opportunities;
 - (f) a range of housing and lifestyle options consistent with the forecast changing demographic characteristics and expectations;
 - (g) the opportunity for increasingly sustainable and healthy lifestyles, including a reduced dependence on motor vehicles by providing convenient access to public transport, walking and cycling; and

- (h) infill and intensification is focused around centres and transport facilities.
- (6) Housing other than dwelling houses are located on lots with particular attributes, like corner lots, lots with rear lane access, and lots located on higher order roads and with convenient walking distance to centres, parks and major community facilities or public transport .
- (7) A variety of residential lot sizes and designs is provided to cater for diverse and changing housing needs within the community. The scale of buildings is appropriate to the size of the lot and to the character of the neighbourhood.

Editor's note—A variety of lot sizes is achieved through implementing the provisions of the reconfiguring a lot code.

- (8) Urban and new urban areas (excluding neighbourhood centres) contain existing land uses that provide for a localised service function such as small-scale food and drink outlets, community uses and services. These land uses can continue; however, the expansion of these uses or the establishment of new uses must function to service the needs of the immediate local residential community, not conflict with sensitive land uses, not compromise the role and function of designated centres and be consistent with the relevant zone code.
- (9) No expansion of existing centres or industrial areas will occur into residential zoned areas (unless otherwise identified within the planning scheme). This will:
 - (a) maintain the viability and sustainability of existing centres and industrial areas;
 - (b) provide certainty to the owners and occupants;
 - (c) encourage the reinvestment and redevelopment of existing centres and industrial areas; and
 - (d) prevent the spread of 'ribbon' development along state controlled roads and major roads.
- (10) Neighbourhood centres do not expand to service a wider local centre catchment.
- (11) Greenfield urban and new urban areas in Rockhampton and Gracemere will provide at least fifteen (15) dwellings per hectare of land (net developable area). On larger sites, a structure plan must be provided in accordance with the relevant zone code and planning scheme policies.

Editor's note—The term "greenfield" refers to development areas that have not previously been used for urban purposes.

Editor's note—Residential growth is contained within urban and new urban areas through the low density residential zone and low-medium density residential zone.

- (12) These new communities are well planned and demonstrate the following:
 - (a) subdivision occurs in a sequenced manner and coordinated with surrounding land;
 - (b) development creates attractive streets that are well-connected to parks, community facilities and centres to support sustainable lifestyles including pedestrian and cycle transport;
 - (c) the land retains significant environmental or ecological values, including but not limited to areas of environmental significance, wildlife and environmental corridors and waterways and wetlands;
 - (d) the physical characteristics of the land are suitable for development. New development does not expand into land that is subject to adverse impacts from natural hazards;
 - (e) development will protect significant landscape features and areas of high scenic value;
 - (f) future social and economic needs and characteristics are catered for;
 - (g) development does not cause or exacerbate existing land use conflicts with respect to major industrial uses (including the Gracemere and Parkhurst industrial areas) or other land uses such as existing intensive rural land uses or extractive industry;
 - (h) development provides for a variety of residential lot sizes and designs;
 - (i) the balance of land or future stages of large greenfield sites are retained in large parcels;

- (j) development is sequenced and coordinated in a way that provides for the most efficient connection and maintenance of existing and future infrastructure and services; and
- (k) development is consistent with the strategic framework maps (SFM-1 to SFM-4).

Editor's note—The biodiversity overlay identifies areas of environmental value and new development may be required to submit an environmental report demonstrating that no environmental values exist or impacts are minimised, avoidance is not feasible and an environmental offset is provided.

Editor's note—A variety of lot sizes and the preferred subdivision design is achieved through implementing the provisions of the reconfiguring a lot code.

- (13) Greenfield urban and new urban areas may provide higher residential densities (generally in accordance with the urban infill and intensification section) when adjoining a new centre that is designated within this strategic framework.
- (14) Until planned and developed, urban and new urban areas are maintained in large parcels to prevent fragmentation which will compromise the future coordination of urban development.

Rockhampton

- (15) Future greenfield development in Rockhampton is directed to Norman Gardens and Parkhurst to avoid areas affected by flooding to the south and west and steep land/environmental constraints to the east.
- (16) The planned Central Queensland University (CQU) priority development area is a significant greenfield development site within the urban area which will provide additional opportunities to accommodate residential growth.
- (17) The residential stables precinct will continue to be a suitable location for the stabling of horses within proximity to Callaghan Park, provided that impacts upon surrounding sensitive land uses are mitigated.
- (18) No additional local centres or higher order centres are required within greenfield areas with the exception of a local centre in North Parkhurst (along William Palfrey Road on Lot 5 SP238731) that develops commensurate with the population of the immediate catchment.
- (19) The Fitzroy River accommodation precinct provides for short-term accommodation in the form of the re-use of an existing dwelling and small scale non-residential uses directly associated with boating activities (for example bait and tackle shops, food and drink outlets), provided they do not adversely affect residential amenity.

Gracemere

- (20) Gracemere will continue to grow as a major urban area and will accommodate additional residential growth within the planning horizon. New residential development will occur within the urban and new urban areas located on the southern and eastern boundaries of Gracemere in accordance with a structure plan.
- (21) Provision of additional open spaces and community facilities in the southern and eastern parts of Gracemere will be facilitated and pedestrian and bicycle linkages to these facilities improved.
- (22) The subdivision of land for residential purposes on the northern side of the Capricorn Highway will not occur.
- (23) Residential development will not occur to the west of Gracemere due to the conflicts generated by the current and future development of the Gracemere industrial area.
- (24) No additional centres are required within greenfield areas with the exception a neighbourhood centre in the southern part of Gracemere commensurate with the population of the immediate catchment.

Mount Morgan

- (25) Mount Morgan currently provides an affordable housing option; however, there will be no expansion of the current urban areas due to insufficient infrastructure and local employment opportunities. Challenges include providing a reliable water supply, sewerage treatment capacity and safe commuter road access to other centres.

3.3.8.2 Land use strategies

Rockhampton

The construction of a levee bank and associated infrastructure to provide greater flood immunity to the flood prone areas of South Rockhampton is being investigated. In the event construction proceeds, a review of possible land uses in the area and an amendment to the planning scheme may become necessary.

3.3.9 Element – Future urban

3.3.9.1 Specific outcomes

- (1) Future urban areas identify the preferred direction of growth beyond urban and new urban areas. Rural uses which do not compromise future urban development can continue within future urban areas.

Editor's note—Future urban areas have been generally identified through the emerging community zone.

- (2) No urban development is expected to occur within future urban areas before 2031. Future urban areas will only be considered for urban development before this date when:
 - (a) a demonstrated need is established through actual population growth rates being higher (over a three (3) to five (5) year period) than the planning assumptions used for this planning scheme and land identified for development prior to 2031 is inadequate to accommodate the additional demand;
 - (b) no further land or suitable land remains for urban development within the urban and new urban areas;
 - (c) development is consistent with the pattern of growth as outlined in strategic framework maps (SFM-1 to SFM-4);
 - (d) a structure plan is provided in accordance with the applicable zone and planning scheme policies; and
 - (e) development pays for any infrastructure costs which are not planned for in the local government infrastructure plan in the manner permitted under the relevant legislation.

Note—Provisions regarding the development of greenfield areas under urban and new urban areas would also need to be met.

3.3.9.2 Land use strategies

Gracemere

The area immediately adjacent to the landfill site in Lucas Street may be suitable for urban development in the long-term after the landfill function of the facility ceases.



3.3.10 Element – Urban infill and intensification

Editor's note—Infill refers to development within existing urban areas that generally involves higher density forms of housing.

3.3.10.1 Specific outcomes

- (1) Urban infill and intensification areas are designated for higher density and walkable neighbourhoods that accommodate a wide range of different dwelling choice. These areas include older suburbs in proximity to centres located at Gracemere and Rockhampton, as shown on the strategic framework maps (SFM-1 to SFM-3).
- (2) Urban infill and intensification areas are characterised by residential uses, providing ready access to a range of shopping, community and other local services and facilities. Long-term and short-term residential land uses are within easy walking and cycling distance to non-residential uses and public transport.
- (3) Urban infill and intensification areas provide for low-medium and high density developments that are consistent with the low-medium and high density residential zone codes. These neighbourhoods have a sense of enclosure at the street level provided by small building setbacks, with the built environment part of its character usually dominant. Streets are characterised by street trees which provide shade and character, footpaths for walking trips, and through pavements shared by cars and bikes. These streets are usually grid-based and well connected, reducing the need to drive.
- (4) The expansion of industrial areas and centres (including specialised centres) into the urban infill and intensification area will not occur.
- (5) Development provides for land uses consistent with the zone outcomes, densities and urban form which supports walkable, self-contained communities that:
 - (a) provide choice of housing types and contributes to “affordable living” by including smaller and inexpensive options close to centres;
 - (b) reduce vehicle-based trip making and travel costs;
 - (c) provide access to employment, retail and commercial services, recreational opportunities and community facilities; and
 - (d) protect residential amenity commensurate with its location.

Rockhampton

- (6) Victoria Parade, Bolsover Street and Alma Street (identified by the high density residential zone) will be the primary focus for high density residential development. Non-residential uses are appropriate at ground level and focused on the consumptive and entertainment needs of surrounding residents including land uses such as small-scale food and drink outlets, shops and community related activities. Urban infill and intensification areas located outside of this area will provide for low-medium density residential development.
- (7) No further expansion of commercial, retail or industrial uses along High Street, and east and west of Musgrave Street (outside of the specialised centre) will occur.

Gracemere

- (8) Low-medium density residential development has been designated for areas around the Gracemere district centre to provide for an alternative housing choice in Gracemere with access to employment, retail and commercial services, recreational opportunities and community facilities.



3.3.11 Element – Centres

3.3.11.1 Specific outcomes

- (1) The settlement pattern is supported by a hierarchy of centres (refer to Table 3.3.2.2) that:
 - (a) have a range of employment, goods and services, with principal, major and district centres offering a greater scale and diversity and local and neighbourhood centres servicing local needs only;
 - (b) provide a destination and a focus for various activities, including commerce, meeting, entertainment, recreation, health, education, transport and sport;
 - (c) provide for short-term accommodation and long-term residential development unless otherwise limited for a specific centre elsewhere;
 - (d) promote the creation of lively, pedestrian-friendly environments which provide safe, comfortable and universally accessible links between important public spaces and activities;
 - (e) are contained in well-defined areas, preventing the expansion of commercial and retail uses into adjoining residential zones; and
 - (f) support the redevelopment of existing sites and reuse of buildings within centres.

Editor's note—Long-term residential development refers to dual occupancy, multiple dwelling, retirement facility uses and the like.

- (2) The centres hierarchy is maintained to ensure a concentration of employment and business activity that services the planning scheme area. This concentration of activities will ensure:
 - (a) efficient use of existing infrastructure provided by both the public and private sectors;
 - (b) efficient means of undertaking activities within the one area, reducing the need for multiple trips;
 - (c) co-location of activities to promote choice for users and competition between businesses;
 - (d) public transport networks, based around a concentration of critical mass of activities and people, are supported;
 - (e) business activity is maintained and vacancies and low levels of amenity are reduced; and
 - (f) increased confidence in investment decisions.
- (3) Large-scale administrative and professional offices, including regional offices of government and private sector head-offices are located within the core precinct of the principal centre to support its primacy in the centres hierarchy.

Editor's note—All office proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on the principal centre.

- (4) Large-scale retail developments are to be located within the principal centre (in accordance with the designated precincts) and major centre (including a major department store and additional discount department stores).

Editor's note—All retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on higher order centres.

Editor's note—Retail generally refers to food and drink outlet, service industry, shop, shopping centre, showroom and the like.

- (5) Lower order centres in the hierarchy do not detract from the role and function of the principal, major or district centres.
- (6) The expansion of an existing centre or the establishment of retail and office activities outside of the identified centres will not occur, except where specifically intended in a particular zone, precinct or sub-precinct. Showrooms and retail-based hardware stores are to be located within designated centres.
- (7) Emerging centres in greenfield locations (including Gracemere and North Parkhurst) are not intended to accommodate full line supermarkets.
- (8) Residential development (including short-term or permanent residential uses) is supported in all centres (except in the Denison Street precinct in the principal centre) to enhance the viability and convenience of the centre and to maximise public transport use. Residential development is to be located above ground floor level or behind active uses such as commercial, retail and community uses and the like.
- (9) Development within centres is outwardly focussed at the ground level. Buildings are built to the street frontage and public places have awnings that create a safe and shaded pedestrian environment with uses that generate activity such as shops and food and drink outlets (cafes and restaurants). Car parking areas do not dominate the street frontage and are predominantly located behind buildings.
- (10) New developments must address key corners, be responsive to the regions climate and create a pedestrian friendly environment.
- (11) All centres are connected by efficient, reliable and safe passenger and freight transport networks to a standard necessary to support planned population and economic growth.
- (12) A development involving a significant increase in gross floor area (exceeding the threshold outlined in the applicable zone code) is accompanied by a master plan which demonstrates how an appropriate level of integration, connectivity and quality in the public realm is achieved with the balance of the centre and with the surrounding urban areas.

Rockhampton principal centre

- (13) The principal centre is the highest order centre and serves the planning scheme area and beyond. The centre is laid out in a grid pattern, and at the centre of transport networks, for public transport, cycling and pedestrians. The principal centre provides for high order retail and commerce, cultural and entertainment uses in accordance with the principal centre zone and the business, core, Denison Street and Quay Street precincts.
- (14) The principal centre is a meeting place, with squares and urban parks. Its large-scale and intensity provides vitality and interest unlike any other part of the planning scheme area. The level of activity in the principal centre increases in line with population growth. Vacancy rates are kept low by avoiding unnecessary expansion of lower order centres to reinforce the role of the principal centre and to reduce the threat of leakage from the principal centre core.
- (15) The core precinct is the preferred location for retail, entertainment, professional services, government services, civic, commercial development and high density residential development (including permanent occupancy and a range of short-term accommodation choices). Large-scale administrative and professional offices, including regional offices of government and private sector head-offices are located in the core precinct and not within any other centre or precinct.
- (16) Development that has the potential to consolidate and strengthen the core precinct, such as the relocation, or establishment of new state or federal government offices, educational institutions (such as universities/TAFE) or a major department store is encouraged.

- (17) The core precinct will accommodate the tallest commercial buildings in the planning scheme area, which dominate the tree lined streets that have constructed footpaths and on-street parking. To reinforce the significance of the core precinct building height is consistent with or greater than surrounding buildings (including a minimum building height of two (2) storeys). Ground level development is outwardly focussed, built to the street frontage with continuous awnings, and creates a safe and shaded pedestrian environment.
- (18) The business services precinct provides for supporting services to the core precinct such as large format retail, business to business operations, outdoor sales, hardware and trade supplies and garden centres and the like.
- (19) Large-scale offices are not located within the business services, Denison Street or Quay Street precincts as these are preferred in the core precinct. This will support a concentration of employment and business activity with flow-on benefits for other tenants and facilities. It also promotes a centralised public transport network based on a concentrated critical mass of activities and people and to achieve the desired built form outcomes.
- (20) The Denison Street precinct will accommodate service and low impact industry uses that service the core precinct and business services precinct. Long-term residential development (with the exception of caretaker's accommodation) in this precinct will not occur due to the surrounding land use conflicts. The removal of the north/south rail corridor in this precinct would provide the opportunity for streetscape improvements (including pedestrian and bicycle infrastructure).
- (21) The Quay Street precinct will accommodate retail, tourism, markets, short-term and permanent accommodation. This precinct will provide a focal point for active frontages by accommodating food and drink outlets (cafe and restaurants) and entertainment facilities, taking advantage of being located close to the riverbank and access to the Fitzroy River. Uses that do not support an active frontage such as offices at the ground floor level are not preferred in this precinct. However, small scale offices may face Quay Lane where they create fine grained facades and provide for extensive overlooking of the street.
- (22) The Quay Street precinct and other areas of the principal centre with valuable heritage and commercial character buildings are encouraged to redevelop through reduced requirements for the reuse of an existing building. New development along Quay Street or adjoining an existing historic building is to be in keeping with the streetscape in relation to height, form and materials used.
- (23) New development in the principal centre will ensure that the following is retained, utilised and enhanced:
 - (a) views from major public viewer places to Mount Archer and the Berserker Range, which provide an attractive setting and backdrop to the north of Rockhampton;
 - (b) the structured grid pattern layout of streets and lanes which creates maximum street frontage, pedestrian access (including designated pedestrian links) and efficient transport movements;
 - (c) the wide streets and wide footpaths, which provide opportunities for the incorporation of well-designed on-street car parking, landscaping and shade trees, dedicated on-street off-street bikeways, footpath dining and furniture, art and public meeting space along the footpaths;
 - (d) the visual amenity of the Fitzroy River and recreation space along its banks, which provide opportunities for informal and formal recreation, temporary entertainment uses, and a focal point for footpath dining on Quay Street and Victoria Parade;
 - (e) the large number of heritage and commercial character buildings located throughout the centre;
 - (f) the facade and parapet built form, with a minimum of two (2) storeys in the Rockhampton principal centre core for new development; and
 - (g) public spaces (and opportunities for additional public spaces provided by the wide road reserves) as places for street art.

- (24) The principal centre provides the opportunity for significant redevelopment as there is a large stock of under-utilised land. Within the business services, core and Quay Street precincts, these sites provide an opportunity for higher density residential living for short-term and long-term residents. The increase in residential dwelling density and associated increased activity will improve the viability of commercial and retail uses and the attractiveness of inner city living. It will also improve personal security within the principal centre and along the banks of the Fitzroy River.
- (25) Post 2021, the principal centre may require a second full-line supermarket to service the population growth that is predicted to occur in South Rockhampton.

North Rockhampton major centre

- (26) The major centre provides for higher order shopping needs, entertainment and community facilities including supermarkets, department stores, variety stores and specialist retailing to service a regional catchment.
- (27) Commercial uses involving large-scale offices are not located in the major centre, as they will detract from and undermine the role of the principal centre.
- (28) Residential development is supported to enhance the viability and convenience of the centre and maximise public transport options.
- (29) The major centre is to be well serviced by public and active transport networks and offer active, pedestrian-focussed street level environments by addressing street frontages.

Allenstown, Gracemere and Parkhurst district centres

- (30) District centres provide for household's major weekly or fortnightly shopping, and therefore are the intended location for a full-line supermarket. New full-line supermarkets are to be located in the Gracemere district centre (not the Allenstown district centre) and Parkhurst (Boundary Road) district centre (limited to one (1) full-line supermarket to service the Parkhurst catchment) or higher order centres and not in lower order centres or out of centre locations, unless specifically provided for elsewhere.
- (31) District centres are a focus for surrounding communities and a hub for public transport, pedestrians and cyclists and are surrounded by, and connected to, residential areas. These centres have a strong sense of enclosure at the street level, with little or no building setback to the street. Buildings are punctuated by squares and quality urban parks. These centres include a mix of uses, high levels of activity and offer high quality urban lifestyles. Streets are lined with street trees, have constructed footpaths and provide on- and off-street parking.
- (32) The Allenstown district centre will continue to service Allenstown and surrounding localities with a concentration of land uses including retail, residential, offices (limited in size), and services. With the expansion of the Gracemere district centre, it is not envisioned that Allenstown will require an additional supermarket.

Local and neighbourhood centres

- (33) Local and neighbourhood centres will consolidate and continue to accommodate a mixture of commercial and retail services that are focussed on servicing the local catchment. Regional scale commercial, office and retail services which are located in local and neighbourhood centres are to relocate to the principal centre overtime.
- (34) The expansion of commercial and retail uses into adjoining residential areas will be avoided.
- (35) Local and neighbourhood centres have a strong sense of enclosure at the street level, with little or no building setback to the street. Buildings are punctuated by squares and quality urban parks. These centres include a mix of uses, high levels of activity and support high quality urban lifestyles. Streets are lined with street trees, have constructed footpaths and provide on- and off-street parking.

- (36) No additional local centres (beyond those that are zoned) are required within the existing urban areas. Existing neighbourhood centres are not to expand beyond serving a wider local centre catchment. Greenfield areas may accommodate new centres with a local centre in North Parkhurst (along William Palfrey Road on Lot 5 SP238731) being required where commensurate with the growth of the immediate catchment and that does not detract from the Parkhurst (Boundary Road) district centre. Gracemere may also require a neighbourhood centre in the southern growth area to service the predicted population growth. It is not expected that local or neighbourhood centres will accommodate a full-line supermarket.
- (37) The Mount Morgan local centre will accommodate a mix of uses including future retail, commercial and service industry to service the local community. The expansion of these uses into the adjoining low density residential zone will be avoided.

3.3.12 Element – Specialised centres

3.3.12.1 Specific outcomes

- (1) Specialised centres provide a retail function that is limited to showrooms or outdoor sales with food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre as well as convenience shopping for the immediate neighbourhood and local customers (in this regard having a similar function to a neighbourhood centre).
- (2) To protect the vitality, role and function of higher order centres, specialised centres do not accommodate large-scale offices, department stores, discount department stores or large-scale shopping centres, unless specifically provided for elsewhere.

Editor's note—All office and retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on higher order centres.

- (3) Specialised centres are protected from encroachment by incompatible development.
- (4) Further expansion of these centres into adjacent residential zones and outside the designated centre areas (including ribbon development along roads) will not occur. This is to ensure the redevelopment of existing buildings and vacant land within these centres occurs and to mitigate against impacts where adjoining residential areas.
- (5) New development provides for active frontages and built design elements such as awnings that are orientated towards the primary street frontage.
- (6) A development involving a significant increase in gross floor area (exceeding 3,000 square metres) is accompanied by a master plan which demonstrates how an appropriate level of integration, connectivity and quality in the public realm is achieved with the balance of the centre and with the surrounding urban areas.

Gladstone Road and George Street

- (7) The Gladstone Road and George Street precinct provides for highway orientated uses including short-term accommodation, service stations, service industries, food and drink outlets and showrooms when consistent with the specialised centre zone code.
- (8) This area is not intended to accommodate large-scale office activities and shopping centres. In addition, large-scale shops such as a full-line supermarket will not occur (with the exception of Lot 1 SP161848 and Lot 1 SP191827 when involving the reuse of the existing building onsite). This will ensure that this centre does not compromise and undermine the role and function of higher order centres.
- (9) The outdoor sales and service sub-precinct provides for showrooms and outdoor sales, while the residential and food services sub-precinct is to transition to primarily residential uses (including short-term accommodation) and small-scale uses supporting travellers such as food and drink outlets, visitor information facilities and service stations.

Musgrave Street

- (10) The Musgrave Street precinct will continue to accommodate retail outlets, food and drink outlets and hotels. Small-scale shops providing for convenience shopping for the immediate community are supported, when having a similar function to a neighbourhood centre.
- (11) Residential development is supported in the mixed use sub-precinct; however, long-term permanent residential uses such as multiple dwellings are located above the ground floor level or behind ground storey commercial, retail or community uses.
- (12) Low impact industries, outdoor sales, warehousing and service industries are supported within the outdoor sales and services sub-precinct provided that the use does not compromise the amenity of the urban infill and intensification area.
- (13) Office activities (greater than 200 square metres in gross floor area) and shops such as full-line supermarkets are not located in this centre to avoid undermining the role and function of higher order centres.

- (14) Existing government and regional scale offices located along Musgrave Street relocate to the principal centre over time.
- (15) New development is built towards Musgrave Street, Queen Elizabeth Drive and Bridge Street with the continuation of awnings along the street frontage. Car parking areas do not dominate the street frontage and are predominantly located behind buildings.

Yaamba Road

- (16) The Yaamba Road precinct provides for large-scale bulk sales and display areas such as showrooms, which may include eating and dining facilities for customers.
- (17) Large-scale office activities and shops such as supermarkets (with the exception of Lot 25 on RP610513 for a shop) are not intended in this centre to avoid undermining the function of other centres.



3.3.13 Element – Specific use

3.3.13.1 Specific outcomes

- (1) Specific use places are large single use or single focus places which do not fit into other place types. These places are shown on the strategic framework maps (SFM-1 to SFM-4) and include the following:
 - (a) major social infrastructure (Rockhampton Base Hospital, Mater Hospital, CQUniversity and Mount Morgan Hospital);
 - (b) major sport and recreation areas (Wandal, Parkhurst and The Common);
 - (c) Mount Morgan mine;
 - (d) Port Alma;
 - (e) railway yards (Depot Hill);
 - (f) Rockhampton Airport; and
 - (g) tourism or ecotourism development (Mount Morgan Railway Museum, Rockhampton Botanical Gardens and Quay Street).
- (2) These places will continue to provide significant employment and services to the planning scheme area.
- (3) The further development of these places is supported, provided that amenity impacts upon nearby sensitive land use(s) can be avoided.
- (4) Future development of major social infrastructure and major sport and recreation areas must demonstrate how the expansion integrates with the surrounding urban area and identify linkages with centres and where appropriate open space networks.
- (5) Development within specific use areas does not detract from the role and viability of centres.

Editor's note—All office and retail proposals exceeding the threshold outlined in the applicable zone table of assessment may be required to provide an economic impact assessment on the short- and long-term economic impacts on centres.

Rockhampton

- (6) Development within the Rockhampton Airport area (identified by the Rockhampton airport precinct) provides for airport related activities and supporting services. Supporting services includes commercial, retail, low impact industry and short-term accommodation that primarily serve the commuting passenger and military activities. Future expansion of commercial uses servicing the airport is supported south of Hunter Street within the airport precinct. All development must be in accordance with the intent of the designated sub-precincts and must not detract from the orderly development of existing centres. New development will be required to mitigate against known flood impacts, through appropriate design and siting, to ensure prompt recovery after flood events.

- (7) Rockhampton Base Hospital and Rockhampton Mater Hospital and associated uses will continue to develop as the regional health services centre. Development that assists the amenity and functionality of this centre for patients and their families, including some short-term accommodation and car parking will be supported provided that the development of these uses does not detract from the role, function and vitality of Rockhampton's principal centre and other nearby centres.
- (8) CQUniversity will remain the focus of tertiary education and vocational training. Expansion of the university facilities is supported. Opportunities exist for the future redevelopment of the CQUniversity site on Canning Street for either community or residential related land uses.

Editor's note—It is important to acknowledge that part of the CQUniversity site has been identified as a priority development area (PDA) and is subject to development requirements outside the jurisdiction of this planning scheme.

- (9) The railway yards located in Depot Hill will continue to accommodate activities associated with passenger transport, railway workshops, depots, warehousing and rail freight centre in accordance with the special purposes zone code.
- (10) The Rockhampton major sports precinct is a suitable location for a regional scale sports stadium and associated facilities. The expansion of residential accommodation in adjacent areas is supported, particularly in the event that a major sports stadium is constructed at Wandal.

Editor's note—Alternative sites for such facilities may also be suitable pending further investigation.

- (11) The major sport and recreation area identified in Parkhurst (Olive Street) must provide linkages and connectivity with existing and future planned residential developments, planned or existing pedestrian infrastructure, open space and corridor networks and community facilities.

Mount Morgan

- (12) The Mount Morgan mine will continue to provide for tourist related uses. Further expansion of these uses is supported, provided that natural and environmental constraints posed by the site can be avoided. The reuse of the site for mining and processing is supported provided that impacts on the surrounding community, scenic amenity and the environment are properly managed.

3.3.13.2 Land use strategies

Rockhampton

The Rockhampton Airport is a major transport hub associated with time sensitive freight, defence operations and training, and the mining industry. It is the regional air travel connection to most major urban centres in Australia. The airport has strategic significance for defence due to its central location and capacity to accept larger aircraft. Planned future growth of the airport will be protected from conflicting developments. New development mitigates against flood impacts by including flood resilient design and siting techniques,

The railway yards and supporting activities located in Depot Hill provide an opportunity for redevelopment in the future. In the event that the impacts of flooding on this land can be reduced through mitigation measures such as levees further investigations and collaboration will be carried out to establish the best long-term use for the land.



3.4 Natural environment and hazards

3.4.1 Strategic outcomes

- (1) The natural environment and landscape are highly valued by the community for their contribution to the planning scheme area's biodiversity, economic prosperity, culture, character and sense of place. These areas are to be protected from incompatible development.
- (2) Development does not create unsustainable impacts on:
 - (a) the natural functioning of floodplains;
 - (b) environmentally significant areas, including areas of state and locally significant vegetation, which provide fauna habitat and support biodiversity; and
 - (c) the quality of water entering waterways, wetlands and local catchments.
- (3) Development does not increase the risk to human life and property in areas that are affected, or potentially affected, by storm-surge, erosion, sea-level rise or other coastal processes, flooding, bushfire, or landslide. This occurs through the avoidance of natural hazards in new development areas.
- (4) Strategic and iconic scenic and landscape values are protected from potential adverse impacts of development.

3.4.2 Element – Areas of environmental significance

3.4.2.1 Specific outcomes

- (1) A network of environmental areas and linking natural corridors of environmental significance are identified within the planning scheme area (as shown on strategic framework maps SFM-5 to SFM-8) for protection and enhancement. These areas and corridors include:
 - (a) places of national, state and local environmental significance;
 - (b) regulated vegetation;
 - (c) flora and fauna habitats;
 - (d) wetlands and watercourses, in particular, wetlands of high environmental significance in Great Barrier Reef catchments;
 - (e) coastal areas;
 - (f) undeveloped hill slopes;
 - (g) areas of high environmental significance; and
 - (h) natural corridors ensuring the ecological sustainability of flora and fauna.

Editor's note—Regulated vegetation is defined by mapping associated with the *Vegetation Management Act 1999*.

- (2) Environmentally significant natural corridors are maintained and where appropriate, rehabilitated and expanded to support:
 - (a) the natural movement and proliferation of native species;
 - (b) ecological responses to climate change;
 - (c) the maintenance of large-scale migratory lifecycle processes; and
 - (d) connectivity between significant habitat areas and patches of regulated vegetation.
- (3) Areas of environmental significance are protected and development avoids significant environmental impacts. Where this cannot be reasonably achieved, impacts are minimised and residual impacts are offset locally.
- (4) Natural corridors, wildlife habitat areas, waterways and wetlands provide for:
 - (a) movement of native fauna;
 - (b) viable habitat areas;
 - (c) maintenance of the hydrological functions of waterways or wetlands; and
 - (d) appropriate access for sustainable recreation.
- (5) Existing habitat areas are retained and protected from fragmentation, particularly where it impacts on the future health of populations of native fauna and flora species.
- (6) Decisions regarding the location of major infrastructure corridors and land management practices make the protection of areas of environmental significance a priority.

3.4.3 Element – Natural hazards and climate change

3.4.3.1 Specific outcomes

- (1) Development in areas subject to natural hazards (including flood, bushfire, steep land, erosion and storm tide) avoids an unacceptable risk associated with the extent or severity of the natural hazard, and the safety of people is maintained and damage to property is not increased.
- (2) Urban and rural residential areas do not expand into areas of natural hazard and the risks in existing built up areas is not increased.
- (3) Significant areas of the Rockhampton region are already established within the Fitzroy River floodplain and local catchment areas. Within these areas, the flood risk will be managed by avoiding the intensification of development in high or extreme hazard areas and planning area 1.
- (4) The creation of new lots within all Fitzroy River flood hazard areas, North Rockhampton flood management area and local catchment planning areas will be avoided.
- (5) Development does not occur where the risk of release of hazardous materials as a result of a natural hazard event can not be avoided.
- (6) Development ensures the natural processes and the protective function of landforms and vegetation is maintained in natural hazard areas.
- (7) Land identified for future hazard mitigation works is protected from development that compromises these projects.

3.4.3.2 Land use strategies

Rockhampton and Gracemere

Rockhampton and Gracemere are subject to major flood events from the Fitzroy River as well as flash flooding of creeks that feed the Fitzroy River system including Moores Creek, Limestone Creek, Splitters Creek, Gavial Creek, Ramsay Creek, Frenchmans Creek, Thozet Creek, Gracemere Creek, Middle Creek and Washpool Creek. Development must mitigate flood impacts and avoid areas required for future flood mitigation projects intended to increase flood resilience to an acceptable level, particularly road and rail alignments identified in the Fitzroy River Floodplain and Road Planning Study.

Further flood mitigation options for areas heavily impacted by flooding from the Fitzroy River will continue to be investigated. In the event that new flood mitigation measures such as a levee are implemented for areas such as Depot Hill and Port Curtis, the planning assumptions and associated development provisions for these areas may be amended.

The city has also experienced severe bushfires in recent years and the risks to existing and future development will be mitigated by minimising new development in areas particularly at risk. Development in areas that may be impacted upon by bushfire must mitigate against the possible impacts. Development beyond the existing urban areas into the Berserker ranges will be avoided.

3.4.4 Element – Coastal environment

3.4.4.1 Specific outcomes

- (1) Coastal environments are protected and enhanced and impacts on natural physical coastal processes are avoided by development.
- (2) Opportunities for sustainable coastal dependent development are protected and undertaken in a manner that minimises impacts on coastal resources.
- (3) Coastal areas that are fragile, important to the stability of the foreshore, and necessary to ensure the scenic, environmental and recreational values are maintained in their natural state and protected from incompatible development.
- (4) Environmentally sustainable public access is provided to coastal areas, national parks, areas of cultural significance and waterways so that the community can enjoy them in a safe and environmentally sustainable way.

3.4.5 Element – Water resources, catchment management and healthy waters

3.4.5.1 Specific outcomes

- (1) The Fitzroy River and other waterways and floodplains in the planning scheme area, are recognised for their multiple values, including hydrologic functioning, ecological processes, nature conservation and outdoor recreation. They continue to be maintained for the quality and quantity of water available for both natural processes and consumptive uses.
- (2) New development occurs in accordance with the identified settlement pattern (SFM-1 to SFM-4) in order to ensure efficient water treatment and distribution.
- (3) Development within urban, new urban and future urban areas (SFM-1 to SFM-4) minimises the disturbance to natural drainage and flow rates, impact on groundwater levels and landscape features. Development does not increase the risk of erosion.
- (4) Water quality and the health of associated ecosystems is achieved by:
 - (a) protecting water resource catchments, in particular the Fitzroy River including all feeder systems up stream of the barrage and Dam 7 at Mount Morgan from development;
 - (b) necessary regulation and continued monitoring and controls on the quality of water entering the Fitzroy River from western tributaries, in particular control of the quality and timing of water discharging from industry and mining;
 - (c) incorporating total water cycle management, water sensitive urban design and wastewater quality management measures; and
 - (d) efficient water use and improved demand management.
- (5) The release of acid sulfate soils and associated metal contaminants into the environment is avoided.
- (6) Land development enables sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.
- (7) Natural waterways and nutrient hazard areas are not disturbed or diminished by development unless there is an overriding community benefit for the development and the impacts are mitigated.
- (8) Public access and use of the state coastal land, watercourses and water bodies is maintained, but does not diminish environmental values, water supply reliability and recreational benefits for future generations.

3.4.6 Element – Landscape and scenic amenity

3.4.6.1 Specific outcomes

- (1) Areas having regionally and locally significant landscape values are protected from the adverse impacts of development.

Editor's note—Development within these areas may be required to undertake a visual impact assessment in accordance with SC6.16 — Scenic amenity planning scheme policy.

- (2) Views from significant public lookouts and viewing points (listed below) are protected from:
 - (a) development which would significantly interrupt an existing natural skyline;
 - (b) development which would result in the removal of vegetation which is not replaced with appropriate landscaping as part of the development; and
 - (c) development which would result in permanent scarring on natural landscapes by way of road cuttings, pathways, pipelines, transmission lines and the like.

Note—Public lookouts and viewing points include:

- (1) the top of Mount Archer and other developed public lookouts;
 - (2) coastal areas and Fitzroy Riverbank walkways; and
 - (3) 'Gateway' views created by the crests of ridges or the turning of significant corners which open up long vistas along intraregional roads including Bruce Highway (including Gladstone Road, George Street, Moores Creek Road, Norman Road and Yaamba Road) and entry points to Rockhampton, Gracemere and Mount Morgan.
- (3) Open spaces, rural and natural areas defining the limits of urban areas are protected from development, to ensure a natural separation between urban areas.
 - (4) Within urban areas, development takes into account and is sensitive to the characteristics of the natural land, to ensure any impacts on the environment, topography and landscape are minimised.

Rockhampton

- (5) Areas that have a significant landscape value in and proximate to Rockhampton including the Berserker Range (including Mount Archer National Park and foothills), the Fitzroy River and creek banks (Moores Creek, Ramsay Creek, Thozet Creek, Lion Creek and Limestone Creek) and identified open space network and reserves are protected from urban encroachment and development.

Mount Morgan

- (6) Mount Morgan Range provides a significant backdrop to Mount Morgan and development encroaching into more elevated areas will not occur if the development results in a significant visual disturbance.

3.4.7 Element – Air, noise and hazardous materials

3.4.7.1 Specific outcomes

- (1) The health, well-being, amenity and safety of communities and individuals are protected from the impacts of air, noise and odour emissions, and hazardous materials.
- (2) The interface between land zoned for industry and zones that contain or planned to contain future sensitive land uses is planned to protect the amenity and well-being of residents and to support and protect industrial uses in areas identified in the settlement pattern for industrial development. In particular, the planning of the Gracemere industrial area provides for the long-term separation of higher order industries from the future development of sensitive land uses.
- (3) Development is avoided on land which is already contaminated unless rehabilitated.
- (4) Development involving the storage and handling of hazardous materials is appropriately located, designed and constructed to minimise health and safety risks to communities and adverse impacts on the environment.

3.4.8 Element – Waste

3.4.8.1 Specific outcomes

- (1) Development minimises the generation of solid and liquid waste and the impacts of waste on the natural environment.
- (2) Waste facilities are located to minimise the impact on the local and state controlled road network and are protected from encroachment by sensitive land uses.

Editor's note—The special management area overlay identifies the areas whereby the intensification or the establishment of sensitive land use(s) will not occur.

- (3) Waste treatment facilities not within the urban service area must be able to demonstrate that their operations are consistent with best and current practice environmental standards.
- (4) Existing landfill sites will continue to service the community. Incompatible development adjacent to these sites, such as sensitive land use(s) are not supported while they remain operational.



3.5 Community identity and diversity

3.5.1 Strategic outcomes

- (1) The quality of life of residents is enhanced through equitable access to social infrastructure, community services and facilities necessary to support community health and well-being.
- (2) The community is self-sufficient and does not rely on services and facilities located in other regions. Development contributes to the provision of new social infrastructure, including land.
- (3) Cultural heritage is conserved and the character and identity of communities in urban and rural areas is enhanced.
- (4) Public places are safe, functional, characterised by good urban design, and include a range of facilities to encourage healthy and active lifestyles.

3.5.2 Element – Housing diversity, safe communities and equitable access

3.5.2.1 Specific outcomes

- (1) Development contributes to and enhances housing choice, affordability and access to services and meets the needs of a diverse population with changing needs.
- (2) Residential development provides for a range of housing types that recognise a range of income levels, the changing household demographic and physical needs of residents during their lifetime. This is achieved by providing:
 - (a) dwellings in a range of sizes to maximise choice and affordability across the community;
 - (b) adaptable accommodation to suit the needs of residents throughout their lifetime without the need for major adaptation or specialised design; and
 - (c) a dwelling mix that allows residents to remain living in their preferred community as they age (ageing in place).
- (3) Development contributes to the creation of safe residential environments that do not contribute to greater social isolation, particularly for young people, the elderly and the disabled.
- (4) Development creates safe environments that discourage antisocial behaviour by providing:
 - (a) a range of complementary land uses that encourage a public presence and activity at different times of the day and night;
 - (b) passive surveillance, clear boundaries between public and private areas and strong sight lines;
 - (c) limited opportunities for vandalism and nuisance;
 - (d) efficient and effective lighting; and
 - (e) safe pedestrian entries and pathways.

3.5.3 Element – Community identity

3.5.3.1 Specific outcomes

- (5) Development contributes to:
 - (a) the identification and enhancement of public and civic spaces, which provide a focus for a strong community connection, high usage and create a sense of civic pride for these spaces; and
 - (b) well designed and engaging centres, buildings, spaces and outdoor areas that are inviting and encourage greater use by residents as meeting places, for recreation and accessing services and facilities.

3.5.4 Element – Heritage and character

3.5.4.1 Specific outcomes

- (1) Development is compatible with heritage values, including indigenous cultural heritage values, places, buildings, features and landscapes reflecting the history and identity of the planning scheme area.
- (2) Development contributes to and enhances the character and identity of existing and new communities in both urban and rural areas.

The cultural values of the heritage place or area that are potentially associated with the landscape features of a site and its surroundings, including coastal features, wetlands and relics of past activities found during development of the site, are respected and are not subject to changes that would significantly impact on the values or features.
- (3) Rockhampton and Mount Morgan possess specific areas of residential and commercial character. These areas are maintained by retaining specific buildings and ensuring sensitive redevelopment and demolition controls to preserve the streetscapes and built form.

- (4) The Rockhampton Principal Centre (particularly Quay Street) contains many heritage listed and commercial character buildings. New development within this centre is in keeping with the surrounding built form and streetscape and the reuse and upkeep of existing buildings is supported.

3.5.5 Element – Sport and recreation and open space

3.5.5.1 Specific outcomes

- (1) Communities have access to open space and public spaces such as parks, reserves and recreation facilities that contribute to health, active lifestyles, well-being and residential amenity.
- (2) Sport, recreation and community facilities are planned, developed and maintained to encourage co-location that meets the needs of the community and makes efficient use of infrastructure in accordance with the desired standards of service, as contained in the local government infrastructure plan, for these facilities.
Regionally and locally significant sport and recreation facilities, particularly those within the Rockhampton major sports precinct (Wandal), continue to meet community needs and are protected from encroachment by inappropriate development.
- (3) Further development of regional level sporting facilities located at the Rockhampton major sports precinct (Wandal) is encouraged by co-locating community, entertainment, sporting and recreational uses, within current and new multi-use facilities. This will strengthen the region's capability of holding major sporting and entertainment events, within proximity to existing commercial centres, accommodation, infrastructure services and community assets.
- (4) Development contributes to the provision of public open spaces and sport and recreation facilities, including land in greenfield areas in accordance with the desired standards of service as contained in the local government infrastructure plan and SC6.14 — Local parks planning scheme policy.
- (5) Recreation uses are encouraged within areas of environmental significance when not impacting or jeopardising the intrinsic environmental values of these areas or the enjoyment of future generations.
- (6) The open space network is effectively linked by a safe pedestrian and cycle path network that takes in areas of environmental and cultural value to the extent that is reasonable and affordable.

3.5.6 Element – Social, arts and cultural infrastructure

3.5.6.1 Specific outcomes

- (1) Social and community infrastructure is:
 - (a) Co-located in or near centres where possible and easily accessed by public transport;
 - (b) adaptable and responds to diverse and changing community needs;
 - (c) appropriately separated from incompatible development; and
 - (d) appropriately located to function effectively during and after natural hazard events.
- (2) New social infrastructure, services and facilities:
 - (a) are planned and delivered in coordination with service providers, including the State and Commonwealth governments, to support the needs and expectations of existing and new communities within urban and new urban areas;
 - (b) are generally located in centres, ensuring higher order services and facilities are located in higher order centres; and
 - (c) are located and designed to maximise accessibility for all residents who have a need to access the service and a reasonable expectation to benefit from the social infrastructure or facilities.
- (3) Development is encouraged to contribute to the provision of arts, social and community infrastructure to assist with meeting community needs.
- (4) The principal centre is the focus of regional scale entertainment and cultural facilities.

- (5) New arts and cultural facilities within the planning scheme area make for more attractive and interesting public places. New development contributes to these facilities creatively and in their delivery. This is particularly important in the principal and major centres, in areas of infill and intensification and in major tourism locations.



3.6 Access and mobility

3.6.1 Strategic outcomes

- (1) Connectivity is achieved between residential uses, employment centres and services through the provision of active transport infrastructure integrated with efficient public transport services.
- (2) The trunk transport network (as shown on the strategic framework maps SFM-9 to SFM-12 and in plans for trunk infrastructure in the local government infrastructure plan) supports the settlement pattern and the local economy by facilitating the efficient and safe movement of people and goods both within the planning scheme area (especially between the main urban centres of Rockhampton and Gracemere), and to and from other locations.
- (3) The transport network encourages and supports active living in centres by providing for integrated walking, cycling, and public transport infrastructure to support a progressive reduction in car dependency.
- (4) The safety and efficiency of transport infrastructure, including the Bruce and Capricorn Highways and other state and local roads, rail, airport and seaports, are not compromised by development.

3.6.2 Element – Public and active transport

3.6.2.1 Specific outcomes

- (1) The location, density and scale of development do not adversely affect access to the transport network for residents, workers and visitors. Development does not reduce the current level of service from each network for all residents over the long-term.
- (2) The transport network (including the location and design of future links) is designed to minimise impacts on existing and future communities, natural environments and scenic amenity.
- (3) Development contributes to the establishment and extension of safe, comfortable and convenient transport networks catering for pedestrians, cyclists, mobility scooters and the like. The networks link residential areas with centres, employment areas, community facilities, recreation and tourism areas, including the link between the principal centre and the major centre.
- (4) Development in and around centres:
 - (a) contributes to a high quality pedestrian environment, including shade/weather protection, seating, street trees, and safe parking for bicycles; and
 - (b) promotes safe cycling.
- (5) The transport network supports a progressive reduction in car dependency and the increasing use of public and active transport by the community. In particular, the safety and well-being of people who choose public and active transport will be a critical design criterion.
- (6) Residential uses such as multiple dwellings and the like are located in or near centres to encourage increased public transport use.
- (7) Centres are designed and developed to include safe and convenient public transport stops and interchanges which meet the needs of those with limited mobility.
- (8) Recognition of and continued provision for public transport with access to other higher order centres, specific use locations and activity nodes.

3.6.3 Element – Road network

3.6.3.1 Specific outcomes

- (1) The local road network and connections to state roads are safe, efficient and legible for all road users. In particular, work on the local network to facilitate the Gracemere industrial area and north and south Yeppen floodplain upgrades will be prioritised.
- (2) The road network achieves a high level of flood resilience through the timely implementation of the projects identified by the Fitzroy River Floodplain and Road Planning Study.
- (3) Development contributes to or provides local roads to support the state road network, to the extent provided for by the local government infrastructure plan.
- (4) Development recognises the identified function of roads within the network, and provides an acceptable level of access to, and impact on, each road. In particular:
 - (a) the interregional functions of the Bruce, Burnett, and Capricorn Highways for freight and all passenger vehicles, are protected through limited access and, where possible, appropriate separation distances between development and the road corridor;
 - (b) the intraregional functions of major roads that provide access for freight, all vehicles, cyclists and pedestrians between centres and industrial and employment areas are protected through limited access and, where necessary, separation or buffering between development and the road corridor; and
 - (c) the local road network provides safe connections for cyclists, pedestrians, and all vehicles between residential and rural areas to higher order roads.
- (5) The safety, efficiency and effectiveness of all existing and future road networks are protected from incompatible land uses and impacts of development.
- (6) The future road alignments designated on strategic framework maps SFM-9 to SFM-12 are not compromised by development.

- (7) The road network accommodates and prioritises a variety of transport needs, including:
 - (a) freight;
 - (b) public transport; and
 - (c) pedestrian and cycle paths.
- (8) The Gracemere and Parkhurst industrial areas are well linked to the road network, which includes a grade-separated access to the Gracemere industrial area.
- (9) New development provides safe access during hazard events on land identified by a relevant hazard overlay.

3.6.4 Element – Rail network

3.6.4.1 Specific outcomes

- (1) A coordinated approach to achieving a high level of flood resilience will be progressed through the timely implementation of the projects identified by the Fitzroy River Floodplain and Road Planning Study. This supports improved access and mobility to major industrial areas including Parkhurst and Gracemere, major mining areas further west and safer and more efficient road and rail travel generally.
- (2) The safety, efficiency and effectiveness of rail networks in the planning scheme area are protected from incompatible land uses and impacts of development.
- (3) Rockhampton and the industrial areas at Gracemere and Parkhurst are linked to the rail network by flood-free rail links.
- (4) The rail network is separated from both the road network and the pedestrian and cycle network to maximise community safety and maintain the efficiency of each network.
- (5) Development mitigates the possible flood impacts on critical access to rail corridors.

3.6.5 Element – Freight network and key logistics hub

3.6.5.1 Specific outcomes

- (1) The location of Rockhampton and Gracemere at the junction of the Bruce and Capricorn Highways and accessible air, sea, road and rail links supports their role as key logistics hubs in Central Queensland. Fully developed, these hubs will ensure the planning scheme area is well connected to other areas of Queensland, interstate and internationally. Land necessary to facilitate these developments is protected, including the provision of separation distances from sensitive land uses.
- (2) The safety, efficiency and effectiveness of the freight network is protected from incompatible land uses.
- (3) Freight networks are located to ensure that the amenity of existing communities and designated growth areas is conserved. In particular, where operations permanently or frequently span a full twenty-four (24) hour day they will be located in areas that will minimise negative impacts on sensitive land uses.
- (4) The freight network includes strategically located multi-modal freight hubs, including:
 - (a) Gracemere industrial area – rail and road freight;
 - (b) Parkhurst industrial area – rail and road freight;
 - (c) Port Alma (strategic port land) – sea and road freight with good links to the railway siding at Bajool; and
 - (d) Rockhampton Airport – air and road freight.
- (5) The strategic freight network has an improved level of flood resilience that is mitigated, where possible, or at least not diminished by development.
- (6) The major rail freight network is relocated from the centre of Rockhampton.

3.6.6 Element – Air transport

3.6.6.1 Specific outcomes

- (1) Rockhampton Airport, as the 'gateway to the region', provides connections to inter-regional and intraregional air, bus, rail and road networks and promotes the economic growth of the region. The safe and efficient development of the airport is not impacted by development which would limit the achievement of its highest strategic potential.
- (2) Air traffic and key access routes associated with the Rockhampton Airport are protected from development that may compromise its safe efficient operation and continued development.
- (3) Ancillary retail and office development at the airport serves the local needs of the airport, but does not detract from the role and function of centres.
- (4) Improved flood resilience of the Rockhampton Airport is an objective in the design of future road and rail networks to the west of the airport.
- (5) The Rockhampton airport and associated aviation facilities ensure that impacts are minimised on surrounding development.

3.6.7 Element – Sea transport

3.6.7.1 Specific outcomes

- (1) Access to Port Alma (strategic port land) for the shipping of goods is protected. It remains isolated from built-up areas to maintain the long-term viability of the port and its continued potential to transfer explosives. It is well linked to state road and rail networks.
- (2) Development does not compromise the current uses or planned future development of Port Alma by the Gladstone Ports Corporation.
- (3) Additional boat launching and retrieval facilities on the Fitzroy River will be supported, which:
 - (a) can be efficiently serviced by infrastructure;
 - (b) minimise the loss of environmental values;
 - (c) provide for safe all tide access to the public; and
 - (d) minimise impacts on existing sensitive land uses.



3.7 Infrastructure and services

3.7.1 Strategic outcomes

- (4) Infrastructure and services are planned and delivered in a logical and cost efficient manner in support of the planned settlement pattern. It is fit for purpose and is sensitive to cultural and environmental values. In particular:
 - (a) efficient, affordable, reliable, timely and lasting infrastructure makes best use of public resources;
 - (b) the long-term needs of the community, industry and business are met; and
 - (c) the desired standards of service in Part 4 — Local government infrastructure plan are achieved.

3.7.2 Element – Inter-regional networks

3.7.2.1 Specific outcomes

- (1) Key sites and corridors for current and future infrastructure and services are identified, preserved and protected (for example through the use of separation areas). These sites and corridors include those shown on the strategic framework maps (SFM-9 to SFM-12).
- (2) Federal, state and approved private infrastructure networks are delivered in an integrated and coordinated way that support the settlement pattern.
- (3) Telecommunications infrastructure meets the needs of the community, industry and business by ensuring reliable connection to national and international services.
- (4) Utility installations and infrastructure services and their corridors including bulk water supply and networks, gas pipelines and electricity transmission and distribution lines, are protected from encroachment and impacts of development. The location of these installations will be considerate of the amenity and safety of sensitive land uses (as shown on the strategic framework maps SFM-9 to SFM-12).
- (5) Development provides for the safe and efficient provision of energy infrastructure adequate to satisfy the community's needs and where possible accommodate sustainable/alternative energy options such as solar.
- (6) Development in urban expansion areas provides adequate suitable land for electricity infrastructure, including land for substations and transmission lines, required to service or traverse the area.

3.7.3 Element – Local area networks

3.7.3.1 Specific outcomes

- (1) The local function component of state and federal infrastructure networks is recognised as a legitimate and integral function of these networks.
- (2) Local areas are supplied with infrastructure meeting specified desired standards of service which meet the needs of residents and other users, in a timely way and in accordance with the local government infrastructure plan.

Editor's note—Desired standards of service are identified for each infrastructure network, within Part 4 — Local government infrastructure plan.

- (3) Urban development is serviced by or connected to:
 - (a) a reliable supply of potable water;
 - (b) a reliable sewerage network;
 - (c) effective stormwater drainage and treatment;
 - (d) an effective and safe transport network;
 - (e) a reliable and safe electricity network; and
 - (f) communication networks (including the National Broadband Network).
- (4) Waste is safely and efficiently managed to meet relevant environmental standards at the optimal cost.
- (5) Opportunities for renewable and alternative energy generation are supported where there is no significant impact upon the local environment and community.
- (6) The design and location of infrastructure maximises the use and benefits of existing infrastructure and minimises the need for additional infrastructure and services.
- (7) Development contributes to the delivery of necessary infrastructure to the extent provided for by the local government infrastructure plan and formal Council infrastructure charging and conditioning arrangements.

3.7.3.2 Land use strategies

Rockhampton

Greater residential and employment density will be dependent on aligning growth with infrastructure renewal and capacity increases. It is intended that new development will contribute to the provision of necessary trunk infrastructure specified in the local government infrastructure plan. New infrastructure will be considerate of the need for improved energy efficiency. The increased density in and around centres and better located pedestrian and bicycle paths will gradually decrease community dependence on motor vehicles.

The critical main north/south road and rail corridor and the airport require greater flood resilience as a matter of priority. A western ring road around the city centre with increased flood immunity is required to ensure the interregional role of the Bruce Highway remains intact and Rockhampton and areas to the north are not isolated during the defined flood event. Major adjustments to the local road network will be required to accommodate infrastructure of this scale. In particular the proposed corridor connecting the existing Bruce Highway to the proposed third bridge west of the city will need to be planned and protected. The alignments specified in the Fitzroy River Floodplain and Road Planning Study will be protected from further incompatible development.

Gracemere

Continued residential and industrial growth at Gracemere will require planning and funding by all levels of government to construct the necessary supporting infrastructure and to ensure a reasonable level of residential amenity.

Mount Morgan

Future growth at Mount Morgan is currently constrained by a lack of water, sewerage and road infrastructure. New development within Mount Morgan will be required to address these infrastructure constraints.



3.8 Natural resources and economic development

3.8.1 Strategic outcomes

- (1) The economy of the planning scheme area continues to grow and provides the community with diverse and new employment opportunities. Rockhampton continues to strengthen as the retail, service, cultural and administrative centre for both the planning scheme area and the wider Central Queensland region.
- (2) The strategic importance of Rockhampton for transport and logistics industries is fostered, given its central location at the junction of the Bruce Highway, the Capricorn Highway (through to the Landsborough Highway) and the Burnett Highway (through to the Leichhardt Highway).
- (3) The local community continues to value its traditional economic assets and natural resources and protects and conserves them and the contribution they make to maintaining and growing the region's economic prosperity, culture, character and sense of place. The region's traditional economic sectors of tourism and agriculture (including the iconic beef industry) continue to strengthen.
- (4) Development protects and, where possible, leverages the intrinsic economic value of the region's natural resources, including productive grazing, agricultural and forestry land, extractive and mineral resources, marine and coastal resources, and existing and planned water resources, including watercourses, water bodies and groundwater.
- (5) Natural assets identified by this planning scheme are protected as they underpin current and emerging tourism opportunities and important lifestyle values for residents.

3.8.2 Element – Protection of key assets

3.8.2.1 Specific outcomes

- (6) Key economic assets are protected from encroachment of incompatible development and supported to continue and grow their primary function. These assets include but are not limited to:
 - (a) major energy and transport infrastructure such as the Rockhampton Airport, Stanwell Power Station, the Bruce and Capricorn Highways and major rail freight corridors;
 - (b) major infrastructure corridors;
 - (c) port infrastructure at Port Alma Strategic Port Land;
 - (d) established industries of regional economic significance, including the Lakes Creek meatworks, Queensland Magnesium (Parkhurst industrial area), Hastings Deering (Port Curtis) and salt works near Bajool;
 - (e) major industrial areas at Gracemere, Parkhurst and Bajool;
 - (f) Bajool explosives reserve;
 - (g) Rockhampton Base Hospital, the Rockhampton Mater Hospital and associated medical facilities; and
 - (h) CQUniversity.

3.8.3 Element – Industrial development

3.8.3.1 Specific outcomes

- (1) Existing lawful industrial uses which are located outside of designated industrial areas may continue to operate. The increased production or diversification of these uses may only occur if the adverse impacts on nearby sensitive land uses are mitigated and existing separation distances maintained. Relocation of these industries to designated industrial areas is supported and encouraged.
- (2) The integrity of identified industrial areas is protected from fragmentation by commercial uses which can be established elsewhere, and encroachment from other uses which would limit their operation and expansion.
- (3) Separation buffers and other effective mitigation measures within industrial areas will be used to manage the impact on nearby sensitive land uses and assist in ensuring the ongoing viability of these uses.
- (4) Future growth of the existing explosives reserve at Bajool is supported subject to effective management of risks to nearby sensitive land uses and the Bruce Highway.

Editor's note—The special management area overlay identifies the appropriate separation distances for sensitive land uses from the Bajool explosives reserve.

- (5) Higher order industrial uses locate principally within the Gracemere industrial area.
- (6) The Gracemere industrial area is ideally located at the junction of the north, south and western road and rail corridors to function as a significant regional and interregional logistics hub.

3.8.4 Element – Rural land

3.8.4.1 Specific outcomes

- (1) Land with productive capacity including land identified on the Agricultural Land Classification (ALC) overlay maps and land suitable for intensive horticulture or any emerging productive rural use is protected.
- (2) The loss of productive rural land is minimised by limiting urban development to the areas as shown on the strategic framework maps (SFM-1 to SFM-4).
- (3) No further fragmentation of rural land for rural residential or rural lifestyle development is supported, other than land already designated for that purpose.

- (4) Productive rural land, which is not identified for future urban development is protected from development that would alienate, fragment or otherwise limit its potential for productive rural uses.
- (5) Intensive horticulture is encouraged to establish or expand in the identified rural precinct which has a reliable water supply, including areas along the Fitzroy River upstream of the barrage.
- (6) Additional water storage on the Fitzroy River once constructed will underpin growth in the aquaculture sector. Development that can viably and sustainably leverage this opportunity will be supported.
- (7) Industries which add value to existing rural production are encouraged where:
 - (a) they can access appropriate infrastructure;
 - (b) their impacts are managed; and
 - (c) they do not unreasonably impact on environmental values, scenic amenity, other rural industries or lifestyles.
- (8) Intensive animal industry uses are encouraged in areas which:
 - (a) are not identified on the Agricultural Land Classification (ALC) overlay maps;
 - (b) do not have environmental significance or scenic amenity values;
 - (c) are well separated from sensitive land uses; and
 - (d) are serviced by appropriate infrastructure (particularly transport).

3.8.5 Element – Extractive and mineral resources

3.8.5.1 Specific outcomes

- (9) State, regional and locally significant extractive resources and existing mining operations are identified and protected from development that prevents or constrains extraction and transportation of the resource.
- (10) Extraction of sand and other materials from the Fitzroy River and other waterways does not detract from the water quality of the waterway.
- (11) Development is serviced by appropriate infrastructure (particularly suitable transport network).
- (12) The reuse of the Mount Morgan mine tailings is supported provided that sensitive land uses within Mount Morgan, scenic amenity and environmental values are not impacted upon.
- (13) Sensitive land uses should not encroach upon:
 - (a) known mineral and extractive resource reserves, transport routes and separation areas (namely Benedict Road, Peak Hill and Pink Lily); and
 - (b) the extraction of the material from mineral or extractive resource reserves, including processing and haulage.

3.8.6 Element – Forestry

3.8.6.1 Specific outcomes

- (1) Development does not adversely impact on existing forest industries.
- (2) Forestry development that is environmentally sustainable is supported and encouraged to expand.
- (3) Where public safety can be protected, forestry operations are encouraged to provide for public access for recreation purposes.
- (4) Development is serviced by and contributes to appropriate infrastructure (particularly a suitable transport network).

3.8.7 Element – Marine resources

3.8.7.1 Specific outcomes

- (1) Marine resources of the planning scheme area are recognised for their role in supporting economic development, and the impacts of development do not adversely affect coastal and estuarine fish habitats.
- (2) Declared fish habitat areas including the Fitzroy River, are protected from physical disturbance or other impacts of development. Access to these areas for recreational purposes is maintained at a sustainable level.
- (3) Aquaculture will be supported where it can be demonstrated there will be no adverse impacts on amenity, water quality, ecological values and existing fish habitats.

3.8.8 Element – Tourism

3.8.8.1 Specific outcomes

- (1) Tourism is encouraged, strengthened and expanded based on the sustainable use of natural, cultural and other assets and the orderly provision of infrastructure services and facilities to those assets.
- (2) Tourist development opportunities including farm stay facilities, are encouraged as an emerging economic opportunity, taking advantage of the region's climate and environmental advantages, and building on its existing industries (for example cattle production and horticulture), history, culture and lifestyle characteristics.
- (3) Low impact, nature-orientated tourism attractions and facilities may be appropriate in or in proximity to areas of environmental significance and protected areas where the development is undertaken in a way that ensures the protection of the ecological, cultural and visual values.
- (4) Tourist operations involving short-term accommodation are supported in urban and rural areas, where there are no detrimental impacts on existing or planned nearby land uses.
- (5) Tourist development that leverages the natural assets of the Fitzroy River without compromising environmental or water quality values will be supported.
- (6) The considerable history and heritage values at Mount Morgan reinforce the tourism and economic development potential. Any new development will reflect and protect the unique character and heritage.

[Intentionally blank]

Local government infrastructure plan

4.1 Preliminary

1. This local government infrastructure plan has been prepared in accordance with the requirements of the *Planning Act 2016*.
2. The purpose of the local government infrastructure plan is to:
 - a) integrate infrastructure planning with the land-use planning identified in the planning scheme
 - b) provide transparency regarding a local government's intentions for the provision of trunk infrastructure
 - c) enable a local government to estimate the cost of infrastructure provision to assist its long-term financial planning
 - d) ensure that trunk infrastructure is planned and provided in an efficient and orderly manner
 - e) provide a basis for the imposition of conditions about infrastructure on development approvals.
3. The local government infrastructure plan:
 - a) states in section 2 (planning assumptions) the assumptions about future growth and urban development including the assumptions of demand for each trunk infrastructure network
 - b) identifies in section 3 (priority infrastructure area) the prioritised area to accommodate urban growth up to 2036
 - c) states in section 4 (desired standards of service), for each trunk infrastructure network, the desired standard of performance
 - d) identifies in section 5 (plans for trunk infrastructure) the existing and future trunk infrastructure for the following networks:
 - i. water supply
 - ii. sewerage
 - iii. stormwater
 - iv. transport
 - v. parks and land for community facilities.
 - e) provides a list of supporting documents that assists in the interpretation of the local government infrastructure plan in the Editor's note – Extrinsic material.

4.2 Planning assumptions

1. The planning assumptions state the assumptions about:
 - a) population and employment growth;
 - b) the type, scale, location and timing of development, including the demand for each trunk infrastructure network.
2. The planning assumptions, together with the desired standards of service, form the basis for the planning of the trunk infrastructure networks and the determination of the priority infrastructure area.

3. The planning assumptions have been prepared for:
- a) the base date 2017 and the following projection years:
 - i. mid 2021;
 - ii. mid 2026
 - iii. mid 2031;
 - iv. mid 2036; and
 - v. ultimate development.
 - b) the LGIP development types in column 2 that include the uses in column 3 of Table 4.2.1 - Relationship between LGIP development categories, LGIP development types and uses.
 - c) the projection areas identified on Local Government Infrastructure Plan Map PIA-1 to PIA-4 in schedule 3—Local government infrastructure plan mapping and tables.

Table 4.2.1: Relationship between LGIP development categories, LGIP development types and uses

Column 1 LGIP development category	Column 2 LGIP development type	Column 3 Planning Scheme Land Uses
Residential development	Dwelling house	Dwelling house
	Dual occupancy	Dual occupancy
	Multiple dwelling	Dwelling unit, multiple dwelling, retirement facility, residential care facility
	Other dwelling	Caretaker's accommodation, community residence, hospital, hotel, non-resident workforce accommodation, relocatable home park, resort complex, rooming accommodation, short-term accommodation, tourist park
Non-residential development	Retail	Adult store, agricultural supplies store, bar, car wash, food and drink outlet, function facility, garden centre, hardware and trade supplies, hotel, market, nightclub entertainment facility, outdoor sales, roadside stall, service station, shop, shopping centre, showroom, theatre, tourist attraction, veterinary services
	Commercial	Funeral parlour, home-based business, office, sales office
	Industrial	Brothel, bulk landscape supplies, extractive industry, high impact industry, landing, low impact industry, marine industry, medium impact industry, port services, research and technology

		industry, service industry, special industry, transport depot, warehouse, winery
	Community purposes	Air services, cemetery, child care centre, club, community care centre, community use, crematorium, detention facility, educational establishment, emergency services, health care services, hospital, indoor sport and recreation, major sport, recreation and entertainment facility, motor sport facility, outdoor sport and recreation, park, place of worship, residential care facility
	Other	Animal husbandry, animal keeping, aquaculture, cropping, environment facility, intensive animal industry, intensive horticulture, major electricity infrastructure, nature-based tourism, outstation, parking station, permanent plantation, renewable energy facility, rural industry, rural workers' accommodation, substation, telecommunications facility, utility installation, wholesale nursery

*These uses are the remaining un-modelled planning scheme uses and are not presented in the planning assumptions.

4. Details of the methodology used to prepare the planning assumptions are stated in the extrinsic material.

4.2.1 Population and employment growth

1. A summary of the assumptions about population and employment growth for the planning scheme area is stated in **Table 4.2.1.1 – Population and employment assumptions summary**.

Table 4.2.1.1 – Population and employment assumptions summary

Column 1 Description	Column 2 Assumptions					
	Base date 2017	2021	2026	2031	2036	Ultimate development
Population	87,193	90,631	94,986	100,312	104,383	152,404
Employment	37,786	40,976	43,504	45,313	47,760	219,822

Editor's note—The population figures includes both the resident and non-resident population.

2. Detailed assumptions about growth for each projection area and LGIP development type category are identified in the following tables in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) for population, **Table SC3.1.1.1 — Existing and projected population;**
 - b) for employment, **Table SC3.1.2.1 — Existing and projected employees.**

4.2.2. Development

1. The developable area is represented by zones relating to urban uses not affected by the constraints (to the extent stated), identified by Council in Table 5 of the Planning Assumptions Report
2. The planned density for future development is stated in **Table SC3.1.5.1 — Residential planned density and demand generation rate for a trunk infrastructure network**, and **Table SC3.1.5.2 — Non-residential planned density and demand generation rate for a trunk infrastructure network** in **Schedule 3—Local government infrastructure plan mapping and tables.**
3. A summary of the assumptions about future residential and non-residential development for the planning scheme area is stated in **Table 4.2.2.1– Residential dwellings and non-residential floor space assumptions summary.**

Table 4.2.2.1 – Residential dwellings and non-residential floor space assumptions summary

Description	Assumptions					
	Base date 2017	2021	2026	2031	2036	Ultimate development
Residential dwellings	39,536	41,026	43,247	45,727	47,495	78,511

Description	Assumptions					
Non-residential floor space (m ² GFA)	2,261,787	2,432,738	2,553,425	2,652,695	2,794,462	14,736,987

4. Detailed assumptions about future development for each projection area and LGIP development type are identified in the following tables in Schedule 3 Local government infrastructure plan mapping and tables:
 - a) for residential development, **Table SC3.1.3.1 — Existing and projected dwellings**
 - b) for non-residential development, **Table SC3.1.4.1 — Existing and projected non-residential floor space.**

4.2.3 Infrastructure demand

- 1) The demand generation rate for a trunk infrastructure network is stated in:
 - a) for residential zones, **Table SC3.1.5.1 — Residential planned density and demand generation rate for a trunk infrastructure network**; and
 - b) for non-residential zones, **Table SC3.1.5.2 – Non-residential planned density and demand generation rate for a trunk infrastructure network**.
- 2) A summary of the projected infrastructure demand for each service catchment is stated in:
 - a) for the water supply network, **Table SC3.1.5.3**
 - b) for the sewerage network **Table SC3.1.5.4**
 - c) for the stormwater network, **Table SC3.1.5.5**
 - d) for the transport network, **Table SC3.1.5.6**
 - e) for the parks and land for community facilities network, **Table SC3.1.5.7**

4.3 Priority infrastructure area

1. The priority infrastructure area identifies the area prioritised for the provision of trunk infrastructure to service the existing and assumed future urban development up 2036.
2. The priority infrastructure area is identified on Local Government Infrastructure Plan map PIA-1 to PIA-4 located in **Schedule 3 — Local government infrastructure plan mapping and tables** of the Rockhampton Regional Planning Scheme.

4.4 Desired standards of service (DSS)

1. This section states the key standards of performance for a trunk infrastructure network.
2. The desired standards of service are supported by the more detailed network design standards included in planning scheme policies, legislation, statutory guidelines and other relevant controlled documents about design standards identified below.

4.4.1 Water supply network

1. The desired standards of service for the water supply network are detailed in **Table 4.4.1.1 - Water supply network design desired standards of service**.
2. Council aims to provide reticulated potable water supply to meet the demands of consumers and fire fighting requirements.
3. It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, water supply trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.1.1 Water supply network design desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Reliability/continuity of supply	The water supply system has been designed to provide water twenty-four (24) hours a day seven (7) days a week.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Section 3 and Table 3.1 FRW Strategic Asset Management Plan 22/11/2012. • <i>Water Supply (Safety and Reliability) Act 2008</i>. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • Fitzroy River Water Drought Management Plan. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.

<p>Adequacy of supply</p>	<p>The objective of the water supply system is to provide a reticulated potable water supply to meet the demands imposed upon it by both the consumer and fire fighting requirements.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • <i>Water Supply (Safety and Reliability) Act 2008</i>. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • Fitzroy River Water Drought Management Plan. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.
<p>Quality of supply</p>	<p>Water quality is in accordance with recognised standards and regulatory standards that safeguard community health.</p>	<ul style="list-style-type: none"> • Australian Drinking Water Guidelines issued by the National Health and Medical Research Council. • Section 3 Table 3.2 FRW Strategic Asset Management Plan 22/11/2012. • Council's Drinking Water Quality Management Plan.

Environmental impacts	The environmental impacts of the water supply network are minimised in accordance with regulatory requirements and community expectations.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • <i>Water Supply (Safety and Reliability) Act 2008</i>.
Pressure and leakage management	The water supply network is monitored and managed to maintain the reliability and adequacy of supply and to minimise environmental impacts.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the System Leakage Management Plan for the Rockhampton Region. • <i>Water Supply (Safety and Reliability) Act 2008</i>.

<p>Infrastructure design/planning standards</p>	<p>Design of the water supply network will comply with established guidelines, codes and standards.</p>	<ul style="list-style-type: none">• Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies.• Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings.• Design criteria in Table 4.4.1.2 below.• Water Supply Code of Australia WSA 03-2011.• State Planning Guidelines for Water Supply and Sewerage April 2010.
---	---	---

Table 4.4.1.2 Water supply network design criteria

Design criteria	Measure
Average Day (AD) Demand	500 litres per Equivalent Person per day (L/EP/Day)
Maximum Day (MD) Demand	1.9 x Average Day (AD)
Maximum Hour (MH) Demand	1/12 x Maximum Day (MD)
One (1) Equivalent Tenement (ET)	2.7 Equivalent Persons (EP)
Minimum service pressure	22 metres head at the centroid of the residential lot during normal diurnal flow
Maximum service pressure	80 metres head
Fire fighting network pressure	12 metres minimum in the water supply network
Fire flow for residential area	15 litres per second for a duration of two (2) hours at minimum pressure of 120 kilopascals (kPa)
Fire flow for industrial/commercial area	30 litres per second for a duration of four (4) hours at minimum pressure of 120 kilopascals (kPa)
Pipeline design maximum velocity	Two (2) metres per second
Reservoir emergency capacity	One (1) maximum day for the supply zone

4.4.2 Sewerage network

1. The desired standards of service for the sewerage network are detailed in **Table 4.4.2.1** below.
2. Council aims to provide reticulated sewerage to meet the demands of consumers and the Environmental Protection Agency.
3. The objective of the sewerage system is to transport sewage from domestic, commercial and industrial properties using gravity flow pipes and where this is uneconomical, by pumping to the treatment plant.
4. It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, sewerage trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.2.1 Sewerage network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Reliability	Provide effective sewerage services and ensure the sewerage system operates adequately and with minimal disruption.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • In accordance with Council's Drinking Water Quality Management Plan.
Quality of treatment	<p>Operate the sewerage system efficiently and effectively, ensuring the highest value for effluent is received for all sewerage treatment plants.</p> <p>The quality of treatment ensures the health of the community, the safe and appropriate level of treatment and proper disposal of treated effluent.</p>	<ul style="list-style-type: none"> • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Tables 2.15 to 2.18 Fitzroy River Water Strategic Asset Management Plan 22/11/2012. • Compliance with the requirement of the Environmental Authority for each treatment plant.

<p>Environmental impacts</p>	<p>Operate the sewerage system efficiently and effectively and minimise sewage overflows and interruptions. The sewerage system operates in accordance with environmental and regulatory requirements and community expectations.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Compliance with the requirement of the Environmental Authority for each treatment plant.
<p>Effluent reuse</p>	<p>Effluent is reused wherever practical and feasible and in accordance with regulatory requirements and community expectations.</p>	<ul style="list-style-type: none"> • Compliance with the requirements of the <i>Environmental Protection Act 1994</i>. • Queensland Water Recycling Guidelines – December 2005. • <i>Water Supply (Safety and Reliability) Act 2008</i>.

Infrastructure design/planning standards	Design of the sewerage network will comply with the established guidelines, codes and standards.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Design criteria in Table 4.4.2.2 below. • Sewerage Code of Australia WSA 02-2002. • <i>Water Supply (Safety and Reliability) Act 2008.</i>
--	--	--

Table 4.4.2.2 Sewerage network design criteria

Design criteria	Measure
One (1) Equivalent Person (EP)	200 litres per Equivalent Person per day (L/EP/day)
One (1) Equivalent Tenement (ET)	2.7 Equivalent Person (EP)
Average Dry Weather Flow (ADWF)	540 litres per Equivalent Tenement per day (L/ET/day)
Peak Dry Weather Flow (PDWF)	2.5 x Average Dry Weather Flow (ADWF)
Wet Weather Flow (WWF)	Five (5) x Average Dry Weather Flow (ADWF)
Sewage pump station emergency storage	Four (4) hours minimum
Total sewage pump station capacity	Five (5) x Average Dry Weather Flow (ADWF) minimum
Gravity Main Minimum velocity at Peak Dry Weather Flow (PDWF)	0.75 metres per second

Gravity Main Maximum velocity at Wet Weather Flow (WWF)	Two (2) metres per second
Rising main minimum scouring velocity	0.75 metres per second
Rising main maximum velocity	Two (2) metres per second

4.4.3 Stormwater network

The function of Council's stormwater drainage systems are to collect and convey stormwater through respective catchment areas while:

1. causing minimal nuisance, danger and damage to people and property; and
2. maintaining a water quality that protects and enhances environmental values.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, stormwater trunk infrastructure aims to meet the standards to the greatest degree practicable.

The Defined Flood Event (DFE) and Defined Flood Level (DFL) are defined in the Rockhampton Region Planning Scheme.

Table 4.4.3.1 outlines the planning and design criteria for the stormwater network within the Rockhampton Regional Council area.

Table 4.4.3.1 Stormwater network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Quantity	Collect and convey stormwater in natural and engineered channels, piped drainage network and overland flow paths to a lawful point of discharge, in a safe manner that protects life and property.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Queensland Urban Drainage Manual.

Quality	The water quality of urban catchments and waterways is managed to protect and enhance environmental values and pose no health risk to the community.	<ul style="list-style-type: none"> • Local water quality guidelines prepared in accordance with the State Planning Policy Guideline State Interest — Water Quality (2016). • Queensland Water Quality Guidelines 2009. • State Planning Policy Guideline State Interest — Water Quality (2016).
Environmental impacts	Where appropriate, adopt water-sensitive urban design principles and on-site water quality management to achieve the water quality objectives set out in the Environmental Protection Act 1994.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Environmental Protection (Water and Wetland Biodiversity) Policy 2019.

Infrastructure design/planning standards	Design of the stormwater network will comply with established codes and standards.	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Queensland Urban Drainage Manual. • Australian Rainfall and Runoff (ARR). • Brisbane City Council - Natural Channel Design Guidelines.
--	--	--

4.4.4 Transport network

The transport network contains three integrated systems of:

1. Roads
 - a. the desired standards of service for roads are largely dependent on the road hierarchy classification, lanes, traffic loading, traffic pattern and level of service (LOS); and
 - b. the desired standards of service apply to all trunk infrastructure roads within the Rockhampton Regional Council area in accordance with **Table 4.4.4.1**.
2. Public transport
 - a. bus facilities to include bus stopping treatments and shelters in accordance with **Table 4.4.4.1**.
3. Pedestrian and cycle network
 - a. desired standards of service for cycleways and pedestrian pathways concern geometric design considerations required for the construction of trunk infrastructure as defined by on-road and off-road facilities identified in the Capricorn Municipal Development Guidelines, and summarised in **Table 4.4.4.1** below.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, transport trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.4.1 Transport network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Road network design/planning standards	<p>The road network provides a functional urban and rural hierarchy that supports settlement patterns, commercial and economic activities and freight movement.</p> <p>Design of the road system aims to meet minimum Level of Service (LOS) C at the Planning Horizon Peak Hour Pattern for the particular site.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • The Queensland Department of Transport and Main Roads Road Planning and Design Manual. • Australian Standards. • Austroads guides. • Road Link Mid-Block Level of Service (LOS) - Deemed to Comply Volumes identified in Table 4.4.3.2; or Level of Service C identified in Table 4.4.3.3. • Intersection Level of Service (LOS) - Level of Service C identified in Table 4.4.3.4 and Table 4.4.3.5.

<p>Public Transport design/planning standards</p>	<p>Ensure development accommodates the access to and integration of public transport services.</p> <p>Provide bus stops including bus bays, shelters, seating and bus information systems in accordance with Council's adopted standards identified in the planning scheme.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Design accords with the performance criteria set by Department of Transport and Main Roads. • Queensland Government TransLink Transit Authority's Public Transport Infrastructure Manual. • Austroads Guides for road-based public transport and high-occupancy vehicles.
---	---	---

<p>Cycleway and pathway design/planning standards</p>	<p>Cycleways and pathways provide a safe and convenient network that encourages walking and cycling as acceptable travel alternatives. The cycleway and pathway network is kept continuous to avoid isolated sections of the network.</p> <p>Design of the network will comply with Council's adopted standards identified in the planning scheme.</p>	<ul style="list-style-type: none"> • Rockhampton Region Planning Scheme - section 3.7 — Infrastructure and services, Part 9 — Development codes and Schedule 6 — Planning scheme policies. • Capricorn Municipal Development Guidelines – Design Specifications and Standard Drawings. • Australian Standards. • Austroads Guides. • Complete Streets.
---	--	---

Table 4.4.4.2 Level of service (LOS) - Deemed to comply volumes

Road classification	Traffic volume (AADT)
Major rural collector	1,000 - 8,000
Rural arterial	>8,000
Industrial collector	5,000 - 8,500
Major urban collector	3,001 - 6,000
Urban sub-arterial	6,001 - 10,000
Urban arterial	> 10,000

Table 4.4.4.3 Level of service (LOS) criteria for trunk roads using percentage of base free-flow speed and percentage of time spent following

Level of service	Description	Percentage of base free flow speed	Percentage of time spent following
A	Free flow	> 85%	≤ 40%
B	Reasonable free flow	68% - 85%	41% - 55%
C	Stable flow	51% - 67%	56% - 70%
D	Approaching unstable flow	41% - 50%	71% - 85%
E	Unstable flow	31% - 40%	86% - 99%
F	Forced or breakdown flow	≤ 30%	100%

Table 4.4.4.4 Level of service (LOS) criteria for road intersections using delay

Level of service	Average delay per vehicle (d) in seconds		
	Signalised intersections	Roundabouts	Unsignalised intersections
A	$d \leq 10$	$d \leq 10$	$d \leq 10$
B	$10 < d \leq 20$	$10 < d \leq 20$	$10 < d \leq 15$
C	$20 < d \leq 35$	$20 < d \leq 35$	$15 < d \leq 25$
D	$35 < d \leq 55$	$35 < d \leq 50$	$25 < d \leq 35$
E	$55 < d \leq 80$	$50 < d \leq 70$	$35 < d \leq 50$
F	$80 < d$	$70 < d$	$50 < d$

Table 4.4.4.5 Maximum degree of saturation for road intersections

Road network item	Maximum degree of saturation
Signalised intersections	0.9
Roundabouts	0.85
Unsignalised intersections	0.8
Signalised intersections (State-controlled)	0.9

4.4.5 Public parks and land for community facilities network

The desired standards of service for the public parks and land for community facilities trunk infrastructure are shown in **Tables 4.4.5.1 to 4.4.5.6 – desired standards of service – public parks and land for community facilities** and should be read in conjunction with Councils adopted technical standards – Capricorn Municipal Development Guidelines.

It is acknowledged that in some cases, due to local circumstances, the desired standards of service may not be met. In these situations, public parks and land for community facilities trunk infrastructure aims to meet the standards to the greatest degree practicable.

Table 4.4.5.1 Public parks and land for community facilities network desired standards of service

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Functional network	A network of parks and community land is established to provide for the full range of recreational and sporting activities and pursuits.	<ul style="list-style-type: none"> • Parks and community land are provided at a local, district and local government area wide level. • Parks and community land address the needs of both recreation and sport.

<p>Accessibility</p>	<p>Public parks and land for community facilities will be located to ensure adequate pedestrian, cycle and vehicle access.</p> <p>Collocate land for multi-purpose community facilities with parks and recreation land and commercial/retail centres.</p>	<ul style="list-style-type: none"> • 2,000 square metres of land for community facilities is to be provided when such land is collocated with a district and regional park. • Accessibility standards are identified in Table 4.4.5.3.
<p>Suitability of land</p>	<p>Public parks and land for community facilities will be provided to a standard that supports a diverse range of recreational, sporting, community and health-promoting activities to meet community expectations. This includes ensuring land is of an appropriate size, configuration and slope, and has an acceptable level of flood immunity.</p>	<ul style="list-style-type: none"> • The rate of land provision is identified in Table 4.4.5.2. • The minimum size, shape of land, minimum desired flood immunity, maximum desired grade and road frontage and visibility for land is identified in Table 4.4.5.4.
<p>Facilities/embellishments</p>	<p>Public parks and land for community facilities contain a range of embellishments to complement the type and purpose of the park.</p>	<p>Indicative embellishments for each type of park, land for community facilities and sports grounds are identified in Tables 4.4.5.5 and 4.4.5.6.</p>
<p>Infrastructure design/performance standards</p>	<p>Maximise opportunities to collocate recreational parks and land for community facilities in proximity to other community infrastructure, transport hubs and valued environmental and cultural assets.</p>	<ul style="list-style-type: none"> • Local government standards in the planning scheme and planning scheme policies. • Australian Standards.

Table 4.4.5.2 Rate of land provision

Infrastructure type	Rate of provision (hectare per 1,000 people)	
	District	Local government wide
Recreation park	0.8	0.5
Sports ground	2.5	2.5
Land for community facilities	<p>Rate of provision to be determined by minimum land sizes and at least one (1) regional facility per the following planning sectors:</p> <ul style="list-style-type: none"> • North Rockhampton • South Rockhampton • Gracemere 	<p>Rate of provision to be determined by minimum land sizes and at least one (1) regional facility per the following planning sectors:</p> <ul style="list-style-type: none"> • North Rockhampton • South Rockhampton

Table 4.4.5.3 Accessibility standard

Infrastructure type	Accessibility standard (kilometres)	
	District	Local government wide
Recreation park	2.5 kilometres in urban areas and within 500 metres of a public transport pick up/drop off point	Local government area and within 500 metres of a public transport pick up/drop off point

Sports ground	2.5 kilometres in urban areas and within 500 metres of a public transport pick up/drop off point	Local government area and within 500 metres of a public transport pick up/drop off point
Land for community facilities	Within 800 metres of a public transport pick up/drop off point	Within 500 metres of a public transport pick up/drop off point

Table 4.4.5.4 Public parks and land for community facilities characteristics

Characteristic	Recreation parks and land for community facilities		Sports grounds	
	District	Regional	District	Regional
Minimum size of open space (hectares)	Two (2) hectares of usable space for parkland One (1) hectare of usable space for land for community facilities	Six (6) hectares of usable space for parkland 1.5 hectares of usable space for land for community facilities	A minimum of three (3) hectares, sufficient to boast two (2) fields per one (1) oval collocating and room for ancillary facilities (club house, toilets, car parking)	A minimum of four (4) hectares, sufficient to boast three (3) fields per two (2) ovals collocating and room for ancillary facilities (club house, toilets, car parking)
Shape of land	The preferred shape for a park/land for community facilities is square to rectangular with the sides no greater than 2:1		To maximise the area available for playing fields, a square or rectangular shape is considered most efficient	
Minimum desired flood immunity for parks	At least twenty-five (25) per cent of total area above 2% AEP with main activity area/s above 1% AEP	At least fifty (50) per cent of total area above 2% AEP with main activity area/s above 1% AEP and free of hazards	Free of hazards. Ninety per cent of land above 5% AEP. Fields/courts above 2% AEP. Built facilities above 1% AEP	

Maximum desired grade	<p>Recreation parks — average grade of 1:14 for eighty (80) per cent of the area of the park to facilitate wheelchair access to parks. Variable topography is satisfactory for the remaining area</p> <p>No area of the park will have a grade greater than 1:6</p> <p>Community facilities — a maximum grade of no more than six (6) per cent for the entirety of the site – or ten (10) per cent for the footprint of the community facility</p>	<p>Recreation parks — average grade of 1:20 for main use areas, 1:50 for kick about area, and variable topography for remainder</p> <p>No area of the park will have a grade greater than 1:6</p> <p>Community facilities — a maximum grade of no more than six (6) per cent for the entirety of the site – or ten (10) per cent for the footprint of the community facility</p>	Laser levelling to a maximum gradient of playing surface 1:100
Road frontage and visibility	Twenty-five (25) per cent of park perimeter to have direct road frontage, preferably on a collector road	Fifty (50) per cent of park perimeter to have direct road frontage, preferably on a collector road	Approximately twenty-five (25) per cent of the ground perimeter to have direct road frontage

Table 4.4.5.5 Indicative embellishments for the hierarchy of recreation parks

Park element	District	Local government wide
Internal roads	None	As required to service car parking and access requirements
Car parking	Forty (40) sealed car parks	Minimum of 120 sealed car parks
Fencing/bollards, lock rail	Fencing/bollards along road frontages and including a lock rail	Fencing/bollards along road frontages and including a lock rail
Lighting	Lighting to all roadways, parking, picnic nodes and primary pedestrian paths	Lighting to all roadways, parking, picnic nodes and primary pedestrian paths
Toilets/public amenities	One (1) toilet	Two (2) toilets
Pedestrian pathway access network	2.2 metre wide concrete shared pedestrian and cycle path through and around park connecting to adjacent pathways	Entrance and access paths. Concrete shared pedestrian and cycle path (minimum 2.2 metre wide generally and minimum 3.5 metre wide in key, high use areas) connecting to adjacent pathways
Bench seating	Minimum of four (4), located for supervision of any play area (if not otherwise serviced by sheltered tables), and/or along recreation corridors/pedestrian pathways to provide rest stops	Located for: <ul style="list-style-type: none"> • supervision of any play area (if not otherwise serviced by sheltered tables); • along recreation corridors/pedestrian pathways to provide rest stops; and/or • enjoyment of views/amenity
Shade structures or trees (over playgrounds)	Yes	Yes
Shelters/gazebo with tables and seating and bins	Minimum of six (6) shaded tables, seating and bins	Minimum of fifteen (15) shaded tables, seating and bins

Tap/bubbler	Three (3) drinking fountain/bubbler and taps	Ten (10) drinking fountain/bubbler and taps
Barbeques	Three (3) barbeques	Ten (10) barbeques - provision may consist of multiple double barbecues located to service picnic nodes for individuals, families and large groups)
Rubbish bins	As required to service activity areas, picnic nodes, key access/egress areas and pathway systems	As required to service activity areas, picnic nodes, key access/egress areas and pathway systems
Landscaping and turfing	Shade trees, landscaping and turfing to enhance amenity	Shade trees, landscaping and turfing to enhance amenity
Signage	Park identification and way finding signage, located at key entrances. Optional — interpretive signage (for nature appreciation areas) or trail signage (for example distance markers on recreation corridors)	Park identification and way finding signage, located at key entrances. Optional — interpretive signage and/or trail signage (for example distance markers on recreation corridors). Signage theme reflecting key features of the park
Recreation activity areas	Mix of ten (10) recreation activity areas, clustered in two or more nodes (for example mix of toddlers, children, youth, picnic and barbecue area, dog off-leash, skate park, meeting area, older adults, pathway systems)	Mix of fifteen (15) recreation activity areas dispersed across well-defined nodes of activity focus (for example a mix of toddlers, children, youth, older adults, major picnic and barbecue area, dog off-leash, skate park, meeting areas, trail network, event area, nature appreciation area)
Irrigation	In identified high use areas	In identified high use areas
Bike racks	Three (3) bike racks for a minimum of fifteen (15) bikes	Bike racks for a minimum of thirty (30) bikes
Bus pull-through	No	Yes
Bus parking	No	Yes

Table 4.4.5.6 Indicative embellishments for the hierarchy of sport parks

Park element	District	Local government wide
Courts/fields	As a minimum, two (2) rectangular fields and capacity for additional facilities/courts Sports grounds and facilities meet accepted standards including dimensions, playing surface and subsurface drainage	As a minimum, three (3) rectangular fields and capacity for additional facilities/courts Sports grounds and facilities meet accepted standards including dimensions, playing surface and subsurface drainage
Goal posts	According to accepted standards	According to accepted standards
Irrigation	Main field as a minimum	Two (2) main fields as a minimum
Field/court lighting	Lighting for night sports	Lighting for night sports
Spectator seating	100 seats and earth mounds	150 seats and earth mounds
Tap/bubbler	Four (4) drink bubblers and taps located near activity areas and canteen/clubhouse area	Eight (8) drink bubblers and taps located near activity areas and canteen/clubhouse area
Landscaping and turfing	Trees/shade provision for spectators, landscaping of boundaries to buffer noise/light spill to any surrounding properties	Trees/shade provision for spectators, landscaping of boundaries to buffer noise/light spill to any surrounding properties
Feature paving/concrete stencilling	Located at key entry areas or high use zones	Located at key entry areas or high use zones
Internal roads	Yes	Yes
Bus pull-through	Yes	Yes
Bus parking	Yes	Yes

Car parking	Minimum of sixty (60) sealed spaces for a two (2) field complex or twelve (12) per court	Minimum of 100 sealed spaces for a three (3) field complex or twelve (12) per court
Bike racks	Bike racks for a minimum of thirty (30) bikes	Bike racks for a minimum of fifty (50) bikes
Fencing/bollards, lock rail	Fencing/bollards along road frontages and including a lock rail	Fencing/bollards along road frontages and including a lock rail
Security lighting	Security lighting to all roadways, parking, picnic nodes and primary pedestrian paths	Security lighting to all roadways, parking, picnic nodes and primary pedestrian paths
Pedestrian pathway access network	Entrance and access paths, walking/cycling network. Minimum 2.2 metre wide concrete shared pedestrian and cycle path	Entrance and access paths, walking/cycling network. Minimum 2.2 metre wide concrete shared pedestrian and cycle path
Signage	Park identification and way finding signage, located at key entrances.	Park identification and way finding signage, located at key entrances.
Recreation activity areas (for example play spaces, fitness circuits, hit up walls)	Mix of three (3) recreation activity areas (for example play spaces, fitness circuits, half courts, free to use courts)	Mix of five (5) recreation activity areas (for example play spaces, fitness circuits, half courts, free to use courts)

4.5 Plans for trunk infrastructure

1. The plans for trunk infrastructure identify the trunk infrastructure networks intended to service the existing and assumed future urban development at the desired standard of service.

4.5.1 Plans for trunk infrastructure maps

1. The existing and future trunk infrastructure networks are identified on the following maps in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) Local Government Infrastructure Plan Map – 1-0 to 1-29 – Plan for trunk water supply infrastructure;
 - b) Local Government Infrastructure Plan Map – 2-0 to 2-18 – Plan for trunk sewerage supply infrastructure;
 - c) Local Government Infrastructure Plan Map – 3-0 to 3-14 – Plan for trunk transport supply infrastructure;
 - d) Local Government Infrastructure Plan Map – 4-0 to 4-17 – Plan for trunk stormwater supply infrastructure;
 - e) Local Government Infrastructure Plan Map – 5-0 to 5-22 – Plan for trunk parks and land for community facilities supply infrastructure.
2. The state infrastructure forming part of transport trunk infrastructure network has been identified using information provided by the relevant state infrastructure supplier.

4.5.2 Schedules of works

1. Details relating to the existing and future trunk infrastructure networks are identified in the electronic Excel schedule of works model.
2. The future trunk infrastructure, derived from the SOW model, is summarised in the following tables in schedule 3 – Local government infrastructure plan mapping and tables:
 - a) for the water supply network, **Table SC3.5.1 — Schedule of works – Water supply network**
 - b) for the sewerage network, **Table SC3.5.2 — Schedule of works – Sewerage network;**
 - c) for the transport network, **Table SC3.5.3 — Schedule of works – Transport network;**
 - d) for the stormwater network, **Table SC3.5.4 — Schedule of works – Stormwater network;**
 - e) for the parks and land for community facilities network, **Table SC3.5.5 — Schedule of works – Public parks and land for community facilities network.**

4.5.3 Editor’s note – Extrinsic material

The table below identifies the documents that assist in the interpretation of the local government infrastructure plan and are extrinsic material under the *Statutory Instruments Act 1992*.

Table 4.5.3.1 List of extrinsic material

Title of document	Date	Author
Rockhampton Regional Council Planning Assumptions Report Version 3	May 2019	Rockhampton Regional Council
Washpool Road Preliminary Design of Stormwater Infrastructure	November 2019	Water Modelling Solutions
Gracemere Regional Detention Basin Preliminary Design Report	June 2017	AECOM

Parkhurst Preliminary Design of Stormwater Infrastructure	December 2019	Rockhampton Regional Council
Inner Rockhampton Mesoscopic Transport Model Future Year Model Report	December 2019	AECOM
Johnson Road Corridor Investigation	December 2019	Rockhampton Regional Council
Water and Sewer PFTI Briefs	July 2019	Rockhampton Regional Council

Part 5 Tables of assessment

5.1 Preliminary

The tables in this part identify the category of development, and the category of assessment and assessment benchmarks for assessable development within the planning scheme area.

5.2 Reading the tables

The tables identify the following:

- (1) The category of development:
 - (a) prohibited,
 - (b) accepted, including accepted with requirements; and
 - (c) assessable development, that requires either code or impact assessment;
- (2) The category of assessment code or impact for assessable development in:
 - (a) a zone and, where used, a precinct or sub-precinct of a zone;
 - (b) a local plan where used and, where used, a precinct of a local plan; and
 - (c) an overlay where used;
- (3) The assessment benchmarks for assessable development, including:
 - (a) whether a zone code or specific provisions in the zone code apply (shown in the “assessment benchmarks” column);
 - (b) if there is a local plan, whether a local plan code or specific provisions in the local plan code apply (shown in the “assessment benchmarks” column);
 - (c) if there is an overlay:
 - (i) whether an overlay code applies (shown in section 5.9); or
 - (ii) whether the assessment benchmarks as shown on the overlay map (noted in the “assessment benchmarks” column) applies; and
 - (d) any other applicable code(s) (shown in the “assessment benchmarks” column); and
- (4) Any variation to the category of development and assessment (shown as an “if” in the “categories of development and assessment” column) that applies to the development.

Note—Development will only be taken to be prohibited development under the planning scheme if it is identified as prohibited development in Schedule 10 of the Regulation.

Editor’s note—Examples of matters that can vary the category of assessment are gross floor area, height, numbers of people or precinct provisions.

5.3 Categories of development and assessment

5.3.1 Process for determining the category of development and the category of assessment for assessable development

The process for determining a category of development and category of assessment is:

- (1) For a material change of use, establish the use by reference to the use definitions in Schedule 1;
- (2) For all development, identify the following:
 - (a) the zone, zone precinct or zone sub-precinct that applies to the premises, by reference to the zone map in Schedule 2;
 - (b) if a local plan or local plan precinct applies to the premises, by reference to the local plan map in Schedule 2; and
 - (c) if an overlay applies to the premises, by reference to the overlay map in Schedule 2;
- (3) Determine if the development is accepted development under Schedules 6 and 7 of the Regulation, or is assessable or prohibited development under Schedule 10 of the Regulation;

Editor’s note—Schedule 6 of the Regulation prescribes development that a planning scheme can not categorise as assessable development where the matters identified in the schedule are met. Schedule 7 of the Regulation identifies development the State makes accepted development. Some development in Schedule 7 may still be made assessable under this planning scheme.

- (4) Otherwise, determine the initial category of assessment by reference to the tables in:
 - (i) section 5.4—Categories of development and assessment — Material change of use
 - (ii) section 5.5—Categories of development and assessment — Reconfiguring a lot
 - (iii) section 5.6—Categories of development and assessment — Building work
 - (iv) section 5.7—Categories of development and assessment — Operational work;
- (5) A precinct or sub-precinct of a zone may change the categories of development or assessment and this will be shown in either a separate table or the “category of assessment” column of the tables in sections 5.4, 5.5, 5.6 and 5.7;

Editor’s note—To remove any doubt, the precinct table of assessment overrides the zone table of assessment. The sub-precinct table of assessment overrides both the zone table of assessment and the precinct table of assessment.

- (6) If a local plan applies refer to the table(s) in section 5.8—Categories of development and assessment — Local plans, to determine if the local plan changes the category of development or assessment for the zone;
- (7) If a precinct of a local plan changes the category of development or assessment this will be shown in the “category of development and assessment” column of the table(s) in section 5.8; and
- (8) If an overlay applies refer to section 5.9—Categories of development and assessment — Overlays, to determine if the overlay further changes the category of development or assessment.

5.3.2 Determining the category of development and categories of assessment

- (1) A material change of use is assessable development requiring impact assessment:
 - (a) unless the table of assessment states otherwise; or
 - (b) if a use is not listed or defined; or
 - (c) unless otherwise prescribed within the Act or the Regulation;
- (2) Reconfiguring a lot is assessable development requiring code assessment unless the tables of assessment state otherwise or unless otherwise prescribed within the Act or the Regulation;
- (3) Building work and operational work are accepted development, unless the tables of assessment state otherwise or unless otherwise prescribed within the Act or the Regulation;
- (4) Where an aspect of development is proposed on premises included in more than one zone, local plan or overlay, the category of development or assessment for that aspect is the highest category under each of the applicable zones, local plans or overlays;
- (5) Where development is proposed on premises partly affected by an overlay, the category of development or assessment for the overlay only relates to the part of the premises affected by the overlay;
- (6) For the purposes of Schedule 6, Part 2 Material change of use section (2)(2)(d)(i) or (ii) of the Regulation, an overlay does not apply to the premises if the development meets the acceptable outcomes that form the requirements for accepted development in the relevant overlay code;
- (7) If development is identified as having a different category of development or category of assessment under a zone than under a local plan or an overlay, the highest category of development or assessment applies as follows:
 - (a) accepted development subject to requirements prevails over accepted development;
 - (b) code assessment prevails over accepted development subject to requirements and accepted development; and
 - (c) impact assessment prevails over code assessment, accepted development subject to requirements and accepted development;
- (8) Provisions of Part 10 may override any of the above;
- (9) The category of development prescribed under Schedule 6 of the Regulation overrides all other categories of development or assessment for that development under the planning scheme to the extent of any inconsistency; and

Editor’s note—Schedule 7 of the Regulation also identifies development that the State makes accepted development. Some development in that schedule may still be made assessable under this planning scheme.

- (10) Despite all of the above, if development is listed as prohibited development under Schedule 10 of the Regulation, a development application can not be made.

Note—Development is to be taken to be prohibited development under the planning scheme only if it is identified in Schedule 10 of the Regulation.

5.3.3 Determining the requirements for accepted development and assessment benchmarks and other matters for assessable development

- (1) Accepted development does not require a development approval and is not subject to assessment benchmarks. However, certain requirements may apply to some types of development for it to be accepted development. Where nominated in the tables of assessment, accepted development must comply with the requirements identified as acceptable outcomes in the relevant parts of the applicable code(s);
- (2) Accepted development that does not comply with one or more of the nominated acceptable outcomes in the relevant parts of the applicable code(s) becomes code assessable development, unless otherwise specified;
- (3) Code assessable development:
- (a) is to be assessed against all the assessment benchmarks identified in the assessment benchmarks column;
 - (b) that occurs as a result of development becoming code assessable pursuant to sub-section 5.3.3(2), must:
 - (i) be assessed against the assessment benchmarks for the development application, limited to the subject matter of the required acceptable outcomes that were not complied with or were not capable of being complied with under sub-section 5.3.3(2); and
 - (ii) comply with all required acceptable outcomes identified in sub-section 5.3.3(1), other than those mentioned in sub-section 5.3.3(2);
 - (c) that complies with:
 - (i) the purpose and overall outcomes of the code complies with the code; and
 - (ii) the performance or acceptable outcomes complies with the purpose and overall outcomes of the code; and
 - (d) is to be assessed against any assessment benchmarks for the development identified in section 26 of the Regulation.

Editor's note—Section 27 of the Regulation also identifies the matters that code assessment must have regard to.

- (4) Impact assessable development:
- (a) is to be assessed against the identified assessment benchmarks in the “assessment benchmarks” column;

Note—The assessment benchmark for impact assessable development in this planning scheme is the whole of the planning scheme.

- (b) is to be assessed against any assessment benchmarks for the development identified in section 30 of the Regulation.

Note—The first row of each table of assessment is to be checked to confirm if there are assessment benchmarks that commonly apply to general scenarios in the zone, local plan or overlay.

Editor's note—Section 31 of the Regulation identifies the matters that impact assessment must have regard to.

5.4 Categories of development and assessment — Material change of use

The following tables identify the categories of development and assessment for development in a zone, precinct or sub-precinct for making a material change of use.

5.4.1 Residential zones category

Table 5.4.1.1 — Low density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted	Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted	Not applicable
	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected	
<ul style="list-style-type: none"> • Substation 	Accepted	Not applicable
	If: <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
<ul style="list-style-type: none"> • Home-based business • Sales office 	Accepted subject to requirements	<u>Zone code:</u> Low density residential zone code
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	Accepted subject to requirements	<u>Zone code:</u> Low density residential zone code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		<u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Multiple Dwelling 	<p>Code assessment</p> <p>If:</p> <p>(a) located within 200 metres of the following:</p> <p>(i) any centre zone, open space zone or sport and recreation zone; or</p> <p>(ii) a major hospital or CQ University (South or North Campus); and</p> <p>(b) located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.1.1 — Low density residential zone — Fitzroy River accommodation precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this level of assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) the reuse of existing building(s) or structure(s); and (b) the gross floor area of the use is less than or equal to 150 square metres 	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Outdoor sales 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) sales and hiring of goods associated with boating and fishing; and</p> <p>(b) The total use area is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s); and</p> <p>(b) the gross floor area of the use is less than or equal to 150 square metres; and</p> <p>(c) selling goods associated with Fitzroy River boating activities</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Community use Emergency services Outdoor sport and recreation 	<p>Code assessment</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.1.2 — Low density residential zone — Residential stables precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Home-based business • Sales office 	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted subject to requirements		<u>Zone code:</u> Low density residential zone code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.2 — Low-medium density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing dwelling(s)</p> <hr/> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Multiple dwelling • Relocatable home park • Residential care facility • Retirement facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services • Rooming accommodation • Tourist park 	<p>Code assessment</p> <p>If located on a road classified minor urban collector or higher</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Office 	<p>Code assessment</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Low-medium density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.1.3 — High density residential zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> High density residential zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Multiple dwelling • Residential care facility • Retirement facility • Rooming accommodation • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Child care centre • Community care centre • Community use • Emergency services 	<p>Code assessment</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet • Shop 	<p>Code assessment</p> <p>If:</p> <p>(a) gross floor area of the use is less than or equal to 250 square metres; and</p> <p>(b) located on the ground floor level</p>	<p><u>Zone code:</u> High density residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.2 Centre zones category

Table 5.4.2.1.1 — Principal centre zone — Business services precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Bar • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Health care services • Hotel 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Indoor sport and recreation • Market • Multiple dwelling • Outdoor sales • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Educational establishment • Garden centre • Hardware and trade supplies • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.2 — Principal centre zone — Core precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Food and drink outlet • Office • Shop • Showroom 	<p>Accepted</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Accepted subject to requirements</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling unit • Educational establishment • Emergency services • Function facility • Health care services • Hotel • Indoor sport and recreation • Market • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Shopping centre • Short-term accommodation • Veterinary service 	<p style="text-align: center;">Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Funeral parlour • Nightclub entertainment facility • Theatre 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.3 — Principal centre zone — Denison Street precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Educational establishment • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Garden centre • Hardware and trade supplies • Health care services 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Hotel • Indoor sport and recreation • Low impact industry • Market • Place of worship • Sales office • Service industry • Service station • Shop • Shopping centre • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	<p>Impact assessment</p>	
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.1.4 — Principal centre zone — Quay Street precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted		Not applicable
	Code assessment		<p>Otherwise</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Function facility • Health care services • Hotel • Indoor sport and recreation • Market • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Shop • Shopping centre • Short-term accommodation • Showroom • Theatre 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) not located at ground floor level when having a frontage to Quay Street; or</p> <p>(c) the gross floor area of the use is less than or equal to 150 square metres when having a frontage to Quay Lane.</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Nightclub entertainment facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Principal centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.2 — Major centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Food and drink outlet • Function facility • Funeral parlour • Health care services • Indoor sport and recreation • Multiple dwelling 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Veterinary service 		
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Bar • Hotel • Parking station • Theatre 	<p>Code assessment</p>	<p><u>Zone code:</u> Major centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	<p>Impact assessment</p>	
<ul style="list-style-type: none"> • Any other use not listed in this table. 	<p>The planning scheme</p>	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.3 — District centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Food and drink outlet • Garden centre • Hardware and trade supplies • Health care services • Market • Service industry • Shop • Shopping centre • Showroom 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 3,000 square metres 	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Car wash • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Function facility • Funeral parlour • Indoor sport and recreation • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Short-term accommodation • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 250 square metres</p> <p>Code assessment</p> <p>If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Bar • Hotel • Parking station • Service station 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> District centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.4 — Local centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Hardware and trade supplies • Health care services • Service industry • Shop • Shopping centre • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 1,000 square metres 	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) not involving a drive through facility</p> <p>Code assessment</p> <p>If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 1,000 square metres</p>	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dual occupancy • Dwelling unit • Educational establishment • Emergency services • Garden centre • Indoor sport and recreation • Multiple dwelling • Place of worship • Residential care facility • Retirement facility • Rooming accommodation • Sales office • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Local centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
	Accepted subject to requirements	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office 	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 250 square metres	<u>Zone code:</u> Local centre zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 250 square metres	<u>Zone code:</u> Local centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Bar • Car wash • Function facility • Hotel • Service Station 	Code assessment	
		<u>Zone code:</u> Local centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.5 — Neighbourhood centre zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Sales office • Service industry • Shop • Shopping centre • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 500 square metres 	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) not involving a drive through facility</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Child care centre • Community care centre • Community use • Dual occupancy • Dwelling unit • Emergency services • Health care services • Multiple dwelling • Residential care facility • Retirement facility • Rooming accommodation • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Educational establishment • Indoor sport and recreation • Service station 	<p>Code assessment</p>	<p><u>Zone code:</u> Neighbourhood centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.6.1 — Specialised centre zone — Gladstone Road and George Street precinct (including all sub-precincts)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Child care centre • Community care centre • Community use • Dwelling unit • Educational establishment • Emergency services • Food and drink outlet • Indoor sport and recreation • Place of worship • Rooming accommodation • Sales office • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Car wash • Garden centre • Hardware and trade supplies • Outdoor sales • Service industry • Veterinary service 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Dual occupancy • Multiple dwelling • Residential care facility • Retirement facility 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Showroom 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>OR</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	
Code assessment		
	<p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct.</p> <p>OR</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(a) located in the residential and food services sub-precinct; and (b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (c) the gross floor area of the use is less than or equal to 300 square metres	
Code assessment		
	If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct; and (c) the gross floor area of the use is less than or equal to 500 square metres OR If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct; and (c) located on Lot 1 on SP161848 and Lot 1 on SP191827 OR If: (a) not accepted subject to requirements; and (b) located in the residential and food services sub-precinct; and (c) the gross floor area of the use is less than or equal to 300 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Shopping centre 	Accepted subject to requirements If: (a) located in the outdoor sales and services sub-precinct; and	<u>Zone code:</u> Specialised centre zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p> <p>(a) located in the residential and food services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	
Code assessment		
	<p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the outdoor sales and services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 500 square metres</p> <p>OR</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the residential and food services sub-precinct; and</p> <p>(c) the gross floor area of the use is less than or equal to 300 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u></p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	than minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	Works code
Code assessment		
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Parking station • Service station 	Code assessment	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

**Table 5.4.2.6.2 — Specialised centre zone — Musgrave Street precinct
(including all sub-precincts)**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Bar • Caretaker's accommodation • Child care centre • Club • Community care centre • Community use • Dwelling unit • Educational establishment • Emergency services • Indoor sport and recreation • Place of worship • Sales office • Showroom 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet • Shop • Shopping centre 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Dual occupancy • Multiple dwelling • Residential care facility • Retirement facility • Rooming accommodation • Short-term accommodation 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the mixed use sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not involving more than minor building work</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) located in the mixed use sub-precinct</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Funeral parlour • Garden centre • Hardware and trade supplies • Low impact industry 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) located in the outdoor sales and services sub-precinct; and</p> <p>(b) the reuse of existing building(s) or structure(s) and not</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Outdoor sales • Service industry • Veterinary service • Warehouse 	involving more than minor building work	
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) located in the outdoor sales and services sub-precinct	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Office 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Hotel • Parking station • Service station 	Code assessment	
		<u>Zone code:</u> Specialised centre zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.2.6.3 — Specialised centre zone — Yaamba Road precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Home-based business • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Adult store • Caretaker's accommodation • Dwelling unit • Emergency services • Garden centre • Hardware and trade supplies • Outdoor sales • Sales office • Service industry • Short-term accommodation • Showroom • Veterinary service 	<p>Accepted subject to requirements</p> <p>If the reuse of existing building(s) or structure(s) with no extension exceeding minor building work</p> <hr/> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <hr/> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Food and drink outlet • Shop • Shopping centre 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres; or</p> <p>(c) located on Lot 25 on RP610513.</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Office 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Parking station • Service station 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Specialised centre zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.3 Recreation zones category

Table 5.4.3.1 — Sport and recreation zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Indoor sport and recreation Outdoor sport and recreation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Community care centre • Educational establishment 	<p>Code assessment</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
<ul style="list-style-type: none"> • Club • Food and drink outlet • Function facility 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.1.1 — Sport and recreation zone — Rockhampton major sports precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Indoor sport and recreation Outdoor sport and recreation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Community care centre • Educational establishment • Function facility • Major sport, recreation and entertainment facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Club • Food and drink outlet • Shop 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Sport and recreation zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.2 — Open space zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> Park Permanent plantation 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Substation Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Caretaker's accommodation • Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Community use • Outdoor sport and recreation 	<p>Accepted subject to requirements</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Community care centre • 	<p>Code assessment</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.3.2.1 — Kershaw Gardens precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park • Permanent plantation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Emergency services 	Accepted		Not applicable
	Code assessment		<p>Otherwise</p> <p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Substation • Utility installation 	Accepted		Not applicable
	Code assessment		<p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Caretaker's accommodation Market 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Tourist park 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) being undertaken by the local government; and (b) on land in the ownership or control of the local government 	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Community use Outdoor sport and recreation 	<p>Accepted subject to requirements</p> <p>If being undertaken by a public sector entity</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development code:</u> Works code</p>
	<p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Community care centre 	<p>Code assessment</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Club Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Open space zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.4 Environmental zones category

Table 5.4.4.1 — Environmental management and conservation zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park 		
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p>	
<ul style="list-style-type: none"> Utility installation 	<p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Animal keeping 	<p>Accepted</p>	
<p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>If an apiary or wildlife refuge</p>	<p>Not applicable</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.5 Industry zones category

Table 5.4.5.1 — Low impact industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> Park Major electricity infrastructure 	Accepted	Not applicable
	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected	
<ul style="list-style-type: none"> Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment	<p>Otherwise</p> <p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Substation Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
	Code assessment	<p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Sales office • Service industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low impact industry zone code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If the gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Car wash • Crematorium • Funeral parlour • Garden centre • Indoor sport and recreation • Outdoor sales • Research and technology industry • Service station 	<p>Code assessment</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. 		The planning scheme

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.1.1 — Low impact industry zone — South Rockhampton precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Home-based business 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Low impact industry zone code</p>
<ul style="list-style-type: none"> Warehouse 	<p>Code assessment</p> <p>If the reuse of existing buildings(s) or structure(s) and not involving more than minor building work</p>	<p><u>Zone code:</u> Low impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 	<p>The planning scheme</p>	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
•	Any other undefined use.	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.2 — Medium impact industry zone

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted		Not applicable
<ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Emergency services 	If undertaken by a public sector entity	Not applicable	
	Code assessment		
	Otherwise	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code	
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	If undertaken by a public sector entity	Not applicable	
<ul style="list-style-type: none"> • Telecommunications facility 	Code assessment		
<ul style="list-style-type: none"> • Utility installation 	Otherwise	<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code	
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		
<ul style="list-style-type: none"> • Low impact industry 	If:	<u>Zone code:</u> Medium impact industry zone code	
<ul style="list-style-type: none"> • Medium impact industry 	(a) the reuse of existing building(s) or structure(s) with no extension		
<ul style="list-style-type: none"> • Research and technology industry 	exceeding minor building work; or	<u>Other development code:</u> Works code	
<ul style="list-style-type: none"> • Sales office 	(b) the gross floor area of the use is less than or equal to 1,000 square metres		
<ul style="list-style-type: none"> • Service industry 	Code assessment		
<ul style="list-style-type: none"> • Warehouse 	Otherwise	<u>Zone code:</u>	

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Home-based business 	Accepted subject to requirements	<u>Zone code:</u> Medium impact industry zone code
<ul style="list-style-type: none"> Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> Medium impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> Agricultural supplies store Brothel Bulk landscape supplies Car wash Crematorium Indoor sport and recreation Renewable energy facility Rural industry Service station Transport depot 	Code assessment	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.2.1 — Medium impact industry zone — Gracemere Saleyards precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Park • Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Medium impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Animal keeping • Caretaker's accommodation • Low impact industry • Medium impact industry • Research and technology industry • Rural industry • Sales office • Service industry • Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 1,000 square metres</p>	<p><u>Zone code:</u> Medium impact industry zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment	
	Otherwise	<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements	
	If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> Medium impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Function facility • Indoor sport and recreation • Service station • Transport depot • Veterinary service 	Code assessment	
		<u>Zone code:</u> Medium impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.3 — High impact industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment Otherwise	<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Caretaker's accommodation • Medium impact industry • Research and technology industry • Sales office • Warehouse 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or (b) the gross floor area of the use is less than or equal to 1,000 square metres	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment Otherwise	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • High impact industry • Renewable energy facility • Service station • Transport depot 	Code assessment	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.3.1 — High impact industry zone — Lakes Creek and Parkhurst precincts

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment	<p>Otherwise</p> <p><u>Zone code:</u> High impact industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	Not applicable
	Code assessment	<p>Otherwise</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Medium impact industry • Research and technology industry • Sales office • Warehouse 	Accepted subject to requirements	<p><u>Zone code:</u> High impact industry zone code</p> <p><u>Other development code:</u> Works code</p>
	If the reuse of existing building(s) or structure(s) with not extension exceeding minor building work	
	Code assessment	<p>Otherwise</p> <p><u>Zone code:</u> High impact industry zone code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code.
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements If the gross floor area of the use is less than or equal to 150 square metres	<u>Zone code:</u> High impact industry zone code <u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Renewable energy facility • Service station • Transport depot 	Code assessment	<u>Zone code:</u> High impact industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.4 — Special industry zone

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted		Not applicable
<ul style="list-style-type: none"> • Park • Emergency services 	Accepted		Not applicable
	If undertaken by a public sector entity		
	Code assessment		<u>Zone code:</u> Special industry zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Otherwise			
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Telecommunications facility • Utility installation 	Accepted		Not applicable
	If undertaken by a public sector entity		
	Code assessment		<u>Use code:</u> Telecommunications facilities and utilities code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Otherwise			
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		<u>Zone code:</u> Special industry zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • High impact industry • Renewable energy facility • Research and technology industry • Service station • Special industry • Transport depot 	<p style="text-align: center;">Code assessment</p>	<p><u>Zone code:</u> Special industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		<p>The planning scheme</p>

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.5 — Waterfront and marine industry zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Marine industry • Sales office • Service industry 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) with no extension exceeding minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 1,000 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If the gross floor area of the use is less than or equal to 150 square metres</p>	<p><u>Zone code:</u> Waterfront and marine industry zone code</p> <p><u>Other development code:</u> Works code</p>
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.5.1 — Waterfront and marine industry zone — Fitzroy River industry precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	Accepted	Not applicable
<ul style="list-style-type: none"> • Park • Major electricity infrastructure 	Accepted	Not applicable
	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected	
<ul style="list-style-type: none"> • Substation 	Accepted	Not applicable
	If: <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted	Not applicable
	If involving only aerial cabling for broadband purposes	
<ul style="list-style-type: none"> • Utility installation 	Accepted	Not applicable
	If undertaken by a public sector entity	
<ul style="list-style-type: none"> • Home-based business • Sales office 	Accepted subject to requirements	Not applicable
	If the reuse of existing building(s) or structure(s)	<u>Zone code:</u> Waterfront and marine industry zone
<ul style="list-style-type: none"> • Outdoor sport and recreation 	Accepted subject to requirements	<u>Zone code:</u> Waterfront and marine industry zone
		<u>Other development code:</u> Works code
<ul style="list-style-type: none"> • Caretaker's accommodation • Low impact industry • Marine industry • Service industry • Warehouse 	Accepted subject to requirements	<u>Zone code:</u> Waterfront and marine industry zone
	If the reuse of existing building(s) or structure(s)	<u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) the reuse of existing building(s) or structure(s); and (b) the gross floor area of the use is less than or equal to 150 square metres; and (c) does not include a drive-through facility 	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Outdoor sales 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) the reuse of existing building(s) or structure(s); and (b) sales and hiring of goods associated with boating and fishing 	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Shop 	<p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) the reuse of existing building(s) or structure(s); and (b) the gross floor area of the use is less than or equal to 150 square metres; and (c) selling goods associated with Fitzroy River boating activities <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.</p>	<p><u>Zone code:</u> Waterfront and marine industry zone</p> <p><u>Other development code:</u> Works code</p>
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.4.6 Other zones category

Table 5.4.6.1 — Community facilities zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Community care centre • Community use 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Cemetery • Child care centre • Educational establishment • Health care services • Indoor sport and recreation • Market • Outdoor sport and recreation • Place of worship • Residential care facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 	<p>The planning scheme</p>	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.1.1 — Community facilities zone — Rockhampton health services precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Community care centre • Community use 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Child-care centre • Educational establishment • Health care services • Hospital • Market • Multiple dwelling • Residential care facility • Retirement facility 	<p>Code assessment</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Club • Food and drink outlet • Office • Shop 	<p>Code assessment</p> <p>If gross floor area of the use is less than or equal to 250 square metres</p>	<p><u>Zone code:</u> Community facilities zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. • Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.2 — Emerging community zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Cropping • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>Accepted</p> <p>If not involving kennels or catteries</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Emergency services • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Emerging community zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dwelling house • Dwelling unit 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Emerging community zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.3 — Limited development (constrained land) zone (including Mount Morgan mine precinct)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Cropping • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park • Permanent plantation 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>Accepted</p> <p>If not involving kennels or catteries</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Outdoor sport and recreation 	<p>Code assessment</p>	<p><u>Zone code:</u> Limited development (constrained land) zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.4 — Rural zone (including Alton Downs precinct)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park • Permanent plantation 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Cropping 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Community use • Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Water and sewer code
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted	
	If not involving kennels or catteries	Not applicable
	Code assessment	
	Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Roadside stall 	Accepted subject to requirements	
		<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Home-based business 	Accepted subject to requirements	
	If involving no more than two (2) heavy vehicles and two (2) heavy trailers stored on site at any one time	<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Rural workers' accommodation 	Accepted subject to requirements	
	If not exceeding twelve (12) workers being accommodated onsite	<u>Zone code:</u> Rural zone code
<ul style="list-style-type: none"> Aquaculture 	Accepted subject to requirements	
	If using ponds or tanks that are less than or equal to ten (10) hectares in water surface area	<u>Zone code:</u> Rural zone code
	Code assessment	
	Otherwise	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> Bulk landscape supplies Intensive horticulture Outdoor sport and recreation Rural industry Wholesale nursery 	Code assessment	
		<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Winery 		Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.4.1 — Rural zone — Cropping and intensive horticultural precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Animal husbandry Editor's note—Council's local laws also establish requirements regarding the keeping of animals. • Landing Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code. • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Cropping 	<p>Accepted If not involving forestry for wood production</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Community use • Emergency services 	<p>Accepted If undertaken by a public sector entity</p> <p>Code assessment Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Major electricity infrastructure • Substation • Utility installation 	<p>Accepted If undertaken by a public sector entity</p> <p>Code assessment If: (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	<p>Accepted</p> <p>If not involving kennels or catteries</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Intensive horticulture 	<p>Accepted</p> <p>If not a mushroom farm</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Roadside stall 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Rural zone code</p>
<ul style="list-style-type: none"> Home-based business 	<p>Accepted subject to requirements</p> <p>If involving no more than two (2) heavy vehicles and two (2) heavy trailers stored on site at any one time</p>	<p><u>Zone code:</u> Rural zone code</p>
<ul style="list-style-type: none"> Aquaculture 	<p>Accepted subject to requirements</p> <p>If using ponds or tanks that are less than or equal to ten (10) hectares in water surface area</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Rural zone code</p> <p><u>Zone code:</u> Rural zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Rural industry • Rural workers' accommodation • Wholesale nursery • Winery 	Code assessment	<u>Zone code:</u> Rural zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.5 — Rural residential zone

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house • Dwelling unit <p>Note—The category of development and assessment for a dwelling house may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected		Not applicable
<ul style="list-style-type: none"> • Emergency services • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Caretaker's accommodation • Roadside stall • Sales office 	Accepted subject to requirements		Zone code: Rural residential zone code
<ul style="list-style-type: none"> • Home-based business 	Accepted subject to requirements		Zone code: Rural residential zone code
<ul style="list-style-type: none"> • Animal keeping <p>Editor's note—Council's local laws also establish requirements regarding the keeping of animals.</p>	Accepted subject to requirements		Zone code: Rural residential zone code
	Accepted subject to requirements		

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Cropping 	If not involving the mechanical spraying of any pesticide or herbicide	<u>Zone code:</u> Rural residential zone code
Impact assessment		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.5.1 — Rural residential zone — Baree and Walterhall precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Home based business Roadside stall 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Animal keeping 	<p>Accepted subject to requirements</p> <p>If not involving kennels or catteries</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Cropping 	<p>Accepted subject to requirements</p> <p>If not involving the mechanical spraying of any pesticide or herbicide</p>	<p><u>Zone code:</u> Rural residential zone code</p>
<ul style="list-style-type: none"> Caretaker's accommodation Dwelling house Dwelling unit Sales office 	<p>Code assessment</p>	<p><u>Zone code:</u> Rural residential zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation

Table 5.4.6.6 — Special purpose zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Major electricity infrastructure Substation Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<p>Impact assessment</p>		
<ul style="list-style-type: none"> Any other use not listed in this table. Any use listed in this table and not meeting the description listed in the "Categories of development and assessment" column. Any other undefined use. 		<p>The planning scheme</p>

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.6.1 — Special purpose zone — Depot Hill rail precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise:</p>	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <p>(a) not undertaken by a public sector entity;</p> <p>(b) not a water supply or treatment plant;</p> <p>(c) not a sewerage treatment plant;</p> <p>(d) not a waste transfer station; and</p> <p>(e) not a land fill</p>	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> Low impact industry Warehouse 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; or</p> <p>(b) the gross floor area of the use is less than or equal to 500 square metres</p> <p>Code assessment</p> <p>Otherwise</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Transport depot 	<p>Code assessment</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 	The planning scheme	

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

**Table 5.4.6.2 — Special purpose zone — Rockhampton Airport precinct
(including all sub-precincts)**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p>	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Park Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Substation 	<p>Accepted</p> <p>If:</p> <p>(a) involving only augmentation of an existing substation; and</p> <p>(b) there is no material increase in height or proportion of the site utilised</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> Emergency services 	<p>Accepted</p> <p>If undertaken by a public sector entity</p> <p>Code assessment</p> <p>Otherwise</p>	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not undertaken by a public sector entity; (b) not a water supply or treatment plant; (c) not a sewerage treatment plant; (d) not a waste transfer station; and (e) not a land fill 	<p><u>Use code:</u> Telecommunications facilities and utilities code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Air service 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving aviation facilities; and (b) located in <ul style="list-style-type: none"> (i) the airport sub-precinct; or (ii) the airport terminal sub-precinct <p>Accepted subject to requirements</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving activities other than aviation facilities; and (b) located in <ul style="list-style-type: none"> (i) the airport sub-precinct; or (ii) located in the airport terminal sub-precinct 	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Food and drink outlet • Office • Shop 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) located in airport terminal sub-precinct; (b) the reuse of existing building(s) or structure(s) and not involving more than minor building works; and (c) the gross floor area of the use is less than or equal to 250 square metres <p>Code assessment</p> <p>If:</p> <ul style="list-style-type: none"> (a) not accepted; (b) located in airport terminal sub-precinct; and (c) the gross floor area of the use is less than or equal to 250 square metres 	<p>Not applicable</p> <p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Caretaker's accommodation 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development code:</u> Works code</p>
<ul style="list-style-type: none"> • Parking station • Service industry • Service station 	<p>Code assessment</p> <p>If: (a) located in airport terminal sub-precinct; or (b) located in business services sub-precinct</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Short-term accommodation 	<p>Code assessment</p> <p>If: (a) located in airport terminal sub-precinct; or (b) located in business services sub-precinct; or (c) associated with the St Aubins Historical Village (Lots 5-6 on RP603199); and (d) for a guest house, cabins or bed and breakfast accommodation</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Outdoor sales 	<p>Code assessment</p> <p>If: (a) located in business services sub-precinct; and (b) involving the hire of goods only</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Transport depot • Warehouse 	<p>Code assessment</p> <p>If located in business services sub-precinct</p>	<p><u>Zone code:</u> Special purpose zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
		Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.7 — Township zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	<p>Accepted</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Major electricity infrastructure 	<p>Accepted</p> <p>If involving only installation or erection of a new transmission line within an existing easement in which a transmission line has already been erected</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Substation 	<p>Accepted</p> <p>If:</p> <ul style="list-style-type: none"> (a) involving only augmentation of an existing substation; and (b) there is no material increase in height or proportion of the site utilised 	<p>Not applicable</p>
<ul style="list-style-type: none"> • Telecommunications facility 	<p>Accepted</p> <p>If involving only aerial cabling for broadband purposes</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Emergency services • Utility installation 	<p>Accepted</p> <p>If undertaken by a public sector entity</p>	<p>Not applicable</p>
<ul style="list-style-type: none"> • Home-based business • Market • Roadside stall • Sales office 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p>
<ul style="list-style-type: none"> • Caretaker's accommodation • Dual occupancy • Dwelling unit 	<p>Accepted subject to requirements</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office • Service industry • Shop • Shopping centre • Showroom 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Food and drink outlet 	<p>Accepted subject to requirements</p> <p>If:</p> <p>(a) the reuse of existing building(s) or structure(s) and not involving more than minor building work;</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres; and</p> <p>(c) not involving a drive through facility</p> <p>Code assessment</p> <p>If:</p> <p>(a) not accepted subject to requirements; and</p> <p>(b) the gross floor area of the use is less than or equal to 200 square metres</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development code:</u> Works code</p> <p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code</p>
<ul style="list-style-type: none"> • Agricultural supplies store • Community care centre • Community use • Educational establishment 	<p>Code assessment</p>	<p><u>Zone code:</u> Township zone code</p> <p><u>Other development codes:</u> Access, parking and transport code</p>

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Garden centre • Hardware and trade supplies • Health care services • Indoor sport and recreation • Outdoor sales • Outdoor sport and recreation • Tourist park • Veterinary service • Wholesale nursery 		Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor’s note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.4.6.7.1 — Township zone — Kabra and Stanwell precinct

Use	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Dwelling house <p>Note—For dwellings, this category of development and assessment may be altered by an overlay. Refer to section 5.9.</p> <ul style="list-style-type: none"> • Landing <p>Editor's note—Work associated with a landing is regulated separately under the Prescribed Tidal Work Code.</p> <ul style="list-style-type: none"> • Park 	Accepted		Not applicable
<ul style="list-style-type: none"> • Major electricity infrastructure 	Accepted		Not applicable
<ul style="list-style-type: none"> • Substation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Telecommunications facility 	Accepted		Not applicable
<ul style="list-style-type: none"> • Emergency services • Utility installation 	Accepted		Not applicable
<ul style="list-style-type: none"> • Home-based business • Market • Roadside stall • Sales office 	Accepted subject to requirements		<u>Zone code:</u> Township zone code
<ul style="list-style-type: none"> • Caretaker's accommodation 	Accepted subject to requirements		<u>Zone code:</u> Township zone code <u>Other development code:</u> Works code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Office • Service industry • Shop • Shopping centre • Showroom 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Township zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> • Food and drink outlet 	Accepted subject to requirements	
	If: (a) the reuse of existing building(s) or structure(s) and not involving more than minor building work; (b) the gross floor area of the use is less than or equal to 200 square metres; and (c) not involving a drive through facility	<u>Zone code:</u> Township zone code <u>Other development code:</u> Works code
	Code assessment	
	If: (a) not accepted subject to requirements; and (b) the gross floor area of the use is less than or equal to 200 square metres;	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Agricultural supplies store • Bulk landscape supplies • Community use • Garden centre • Hardware and trade supplies • Indoor sport and recreation • Outdoor sales • Outdoor sport and recreation • Veterinary service • Wholesale nursery 	Code assessment	<u>Zone code:</u> Township zone code <u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
Impact assessment		
<ul style="list-style-type: none"> • Any other use not listed in this table. • Any use listed in this table and not meeting the description listed in the “Categories of development and assessment” column. • Any other undefined use. 		The planning scheme

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.5 Categories of development and assessment — Reconfiguring a lot

The following table identifies the categories of development and assessment for reconfiguring a lot.

Table 5.5.1 — Reconfiguring a lot

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Emerging community 	Code assessment	<p><u>Zone code:</u> Emerging community zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>
	Impact assessment	
	If the size of any new lot created is less than ten (10) hectares	The planning scheme
<ul style="list-style-type: none"> • Environmental management and conservation 	Impact assessment	
	All	The planning scheme
<ul style="list-style-type: none"> • Low density residential • Low-medium density residential • High density residential • Principal centre • Major centre • District centre • Local centre • Neighbourhood centre • Specialised centre • Sport and recreation • Open space • Low impact industry • Medium impact industry • High impact industry • Special industry • Waterfront and marine industry • Community facilities • Rural residential • Special purpose 	Code assessment	<p><u>Zone code:</u> Relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> Township 		
<ul style="list-style-type: none"> Limited development (constrained land) 	<p>Code assessment</p> <p>If the reconfiguring involves only a boundary realignment</p>	<p><u>Zone code:</u> Relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>
	<p>Impact assessment</p> <p>If creating an additional lot(s)</p>	<p>The planning scheme</p>
<ul style="list-style-type: none"> Rural 	<p>Code assessment</p> <p>If:</p> <p>(a) the size of any new lot created is equal to or greater than the minimum lot size nominated in the reconfiguring a lot code; or</p> <p>(b) the reconfiguring involves only a boundary realignment</p>	<p><u>Zone code:</u> Relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>
	<p>Impact assessment</p> <p>If the size of any new lot created is less than the minimum lot size nominated in the reconfiguring a lot code</p>	<p>The planning scheme</p>
<p>Code assessment</p>		
<ul style="list-style-type: none"> Any other reconfiguring a lot not listed in this table. Any reconfiguring a lot not listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 		<p><u>Zone code:</u> The relevant zone code</p> <p><u>Other development codes:</u> Access, parking and transport code Filling and excavation code Landscape code Reconfiguring a lot code Stormwater management code Water and sewer code</p>

Note—The planning scheme also regulates reconfiguring a lot associated with an overlay through the tables of assessment under section 5.9.

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.6 Categories of development and assessment — Building work

Not applicable.

Note—The planning scheme also regulates building work associated with an overlay through the tables of assessment under section 5.9.

5.7 Categories of development and assessment — Operational work

The following table identifies the categories of development and assessment for operational work.

Table 5.7.1 — Operational work (excluding operational work associated with an advertising device)

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Rural Zone Editor's note—A Works in Road Reserve Permit is required for any works within Council's road reserve not associated with a material change of use or reconfiguring a lot. 	<p>Accepted subject to requirements</p> <p>If filling or excavation: (a) that is: (i) within 10 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or less; or (b) that is: (i) located greater than 10 metres from lot boundary; and (ii) of a height or depth of one (1) metre or less; or (iii) of a volume of five hundred (500) cubic metres or less</p>	<p><u>Other development codes:</u> Works code</p>
	<p>If work: (a) for an access driveway to a dwelling house or dual occupancy; and (b) in a location which has kerb and channelling</p>	<p><u>Other development code:</u> Works code</p>
	<p>If: (a) for a water supply or sewerage connection; and (b) the work will be undertaken by the water supply or sewerage utility service provider</p>	<p><u>Other development code:</u> Works code</p>
	Code assessment	
	<p>If filling or excavation: (c) that is: (i) within 10 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or greater; or (d) that is: (i) of a height or depth of one (1) metre or greater; or</p>	<p>Filling and excavation code Stormwater management code</p>

	(ii) of a volume of five hundred (500) cubic metres or greater	
	If not accepted subject to requirements and associated with any assessable material change of use (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
	If not accepted subject to requirements and associated with any assessable reconfiguring a lot (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscaping code Reconfiguring a lot code Stormwater management code Waste management code Water and sewer code
<ul style="list-style-type: none"> All other zones <p>Editor's note—A Works in Road Reserve Permit is required for any works within Council's road reserve not associated with a material change of use or reconfiguring a lot.</p>	Accepted subject to requirements	
	If work: (a) for an access driveway to a dwelling house or dual occupancy; and (b) in a location which has kerb and channelling	<u>Other development code:</u> Works code
	If: (a) for a water supply or sewerage connection; and (b) the work will be undertaken by the water supply or sewerage utility service provider	<u>Other development code:</u> Works code
	Code assessment	
	If not accepted subject to requirements and associated with any assessable material change of use (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscape code Stormwater management code Waste management code Water and sewer code
	If not accepted subject to requirements and associated with any assessable reconfiguring a lot (excluding filling or excavation)	<u>Other development codes:</u> Access, parking and transport code Landscaping code Reconfiguring a lot code Stormwater management code Waste management code Water and sewer code
	If filling or excavation: (a) that is: (i) within 1.5 metres of a lot boundary; and (ii) of a height or depth of 300 millimetres or greater; or (b) that is:	<u>Other development codes:</u> Filling and excavation code Stormwater management code

	(i) of a height or depth of one (1) metre or greater; or (ii) of a volume of one hundred (100) cubic metres or greater	
Accepted		
<ul style="list-style-type: none"> • Any other operational work not listed in this table. • Any operational work listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 	Not applicable	

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

Table 5.7.2 — Operational work associated with an advertising device

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<ul style="list-style-type: none"> • Principal centre • Major centre • District centre • Specialised centre • Medium impact industry • High impact industry • Special industry 	<p>Accepted</p> <p>If:</p> <p>(a) an advertising device that is:</p> <ul style="list-style-type: none"> (i) located internally within a building; and (ii) not visible from outside; or <p>(b) an advertising device that is:</p> <ul style="list-style-type: none"> (i) a blind sign; or (ii) a business name plate sign or home-based business sign; or (iii) a canopy sign; or (iv) a flag sign that is no higher than six (6) metres from ground level; or (v) a hamper sign; or (vi) a park sign; or (vii) a sporting field fence sign; or (viii) a stall board sign; or (ix) a window sign 	<p>Not applicable</p>
	<p>Accepted subject to requirements</p> <p>If for the following advertising devices:</p> <ul style="list-style-type: none"> (a) awning fascia sign or return fascia sign; or (b) creative awning sign; or (c) fence sign; or (d) flag sign; or (e) three-dimensional sign; or (f) under awning sign; or (g) wall sign (where ten (10) square metres or less in total area) 	<p><u>Other development code:</u> Advertising devices code</p>
	<p>Code assessment</p> <p>If not accepted or accepted subject to requirements</p>	<p><u>Other development code:</u> Advertising devices code</p>
	<ul style="list-style-type: none"> • Local centre • Neighbourhood centre • Low impact industry • Waterfront and marine industry 	<p>Accepted</p> <p>If:</p> <p>(a) an advertising device that is:</p> <ul style="list-style-type: none"> (i) located internally within a building; and (ii) not visible from outside; or <p>(b) an advertising device that is:</p>

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(i) a blind sign; or (ii) a business name plate sign or home-based business sign; or (iii) a canopy sign; or (iv) a flag sign that is no higher than six (6) metres from ground level; or (v) a hamper sign; or (vi) a park sign; or (vii) a sporting field fence sign; or (viii) a stall board sign; or (ix) a window sign	
Accepted subject to requirements		
	If for the following advertising devices: (a) awning fascia sign or return fascia sign; or (b) creative awning sign; or (c) fence sign; or (d) flag sign; or (e) three-dimensional sign; or (f) under awning sign; or (g) wall sign (where ten (10) square metres or less in total area)	<u>Other development code:</u> Advertising devices code
Code assessment		
	If not accepted or accepted subject to requirements and not a freestanding sign	<u>Other development code:</u> Advertising devices code
Impact assessment		
	If for a freestanding sign	The planning scheme
<ul style="list-style-type: none"> Sport and recreation 	Accepted If an advertising device that is: (a) part of a major sport, recreation and entertainment facility use, being a sports stadium or motor sport facility and: (i) not a freestanding sign; or (b) part of a club, food and drink outlet, function facility, indoor sport and recreation, outdoor sport and recreation or shop and: (i) is a blind sign; or (ii) is a canopy sign; or (iii) is a flag sign; or	Not applicable

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	(iv) is a hamper sign; or (v) is a stall board sign; or (vi) is an under awning sign; or (vii) is a window sign; or (c) a sporting field fence sign	
	Accepted subject to requirements	
	If part of a club, food and drink outlet, function facility, indoor sport and recreation, outdoor sport and recreation or shop for the following signs: (a) an awning fascia sign or return fascia sign; or (b) a wall sign (where four (4) square metres or less in total area)	<u>Other development code:</u> Advertising devices code
	Code assessment	
	If not accepted or accepted subject to requirements and not a freestanding sign	<u>Other development code:</u> Advertising devices code
	Impact assessment	
	If for a freestanding sign	The planning scheme
<ul style="list-style-type: none"> Rural 	Accepted	
	If for a park sign	Not applicable
	Accepted subject to requirements	
	If for: (a) an awning fascia sign or return fascia sign for a shop or food and drink outlet; or (b) a fence sign or a wall sign for a home-based business	<u>Other development code:</u> Advertising devices code
	Code assessment	
	If not accepted or accepted subject to requirements	<u>Other development code:</u> Advertising devices code
<ul style="list-style-type: none"> All other zones 	Accepted	
	If for an advertising device that is: (a) located internally within a building; and (b) not visible from outside	Not applicable
	Accepted subject to requirements	
	If for: (a) an awning fascia sign or return fascia sign for a shop or food and drink outlet; or (b) a business name plate sign or home-based business sign	<u>Other development code:</u> Advertising devices code

Zone	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Code assessment	
	If not accepted or accepted subject to requirements and not a freestanding sign	Other development code: Advertising devices code
	Impact assessment	
	If for a freestanding sign	The planning scheme
Accepted		
<ul style="list-style-type: none"> • Any other operational work not listed in this table. • Any operational work listed in this table and not meeting the description listed in the “Categories of development and assessment” column. 	Not applicable	

Note—When determining the categories of development and assessment for a precinct or sub-precinct the relevant zone applies.

Editor's note—The above categories of development and assessment apply unless otherwise prescribed within the Regulation.

5.8 Categories of development and assessment — Local plans

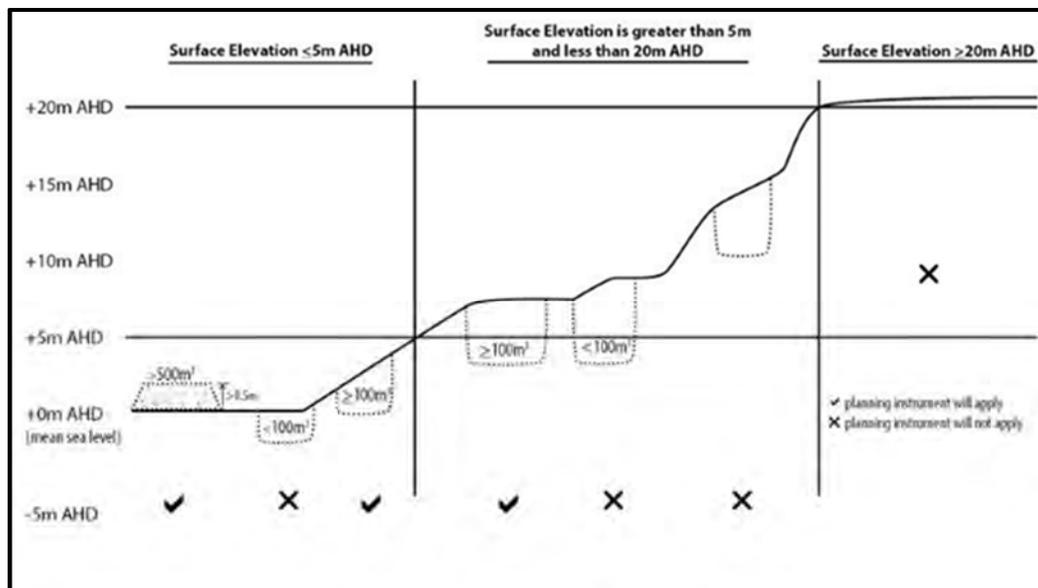
There are no local plans in the planning scheme.

5.9 Categories of development and assessment — Overlays

The following table identifies where an overlay changes the category of development and assessment from that stated in a zone and the relevant assessment benchmarks.

Table 5.9.1 — Acid sulfate soils overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use, reconfiguring a lot or operational work if on land below twenty (20) metres Australian Height Datum and:</p> <p>(a) involving excavating or otherwise removing 100 cubic metres or more of soil or sediment below five (5) metres Australian Height Datum; or</p> <p>(b) filling of land involving 500 cubic metres or more of material with an average depth of 0.5 metres or greater below (5) metres Australian Height Datum</p>	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone, reconfiguring a lot and operational work</p>	<p>Acid sulfate soils overlay code</p> <p>Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.</p>



Source — State Planning Policy (Emissions and Hazardous Materials).

Figure 5.9.1.1 — Areas and development to which the acid sulfate soils overlay applies

Table 5.9.2 — Airport environs overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use if accepted in any zone if involving a new building or expansion to an existing building that exceeds the building height limits shown on the airport obstacle limitation surface OM-2A</p>	<p>Accepted subject to requirements</p>	<p>Airport environs overlay code</p>
<p>Any other material change of use if exceeding the building height limits shown on the airport obstacle limitation surface OM-2A</p>	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone</p>	<p>Airport environs overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements.</p>
<p>Material change of use or Reconfiguring a lot if located within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contour as shown on the airport Australian noise exposure forecast (ANEF) contour OM-2B</p>	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone and reconfiguring a lot</p>	<p>Airport environs overlay code</p>
<p>Material change of use if accepted or accepted subject to requirements in any zone within eight (8) kilometres of the airport as shown on the airport wildlife hazard buffer area OM-2C for:</p> <ul style="list-style-type: none"> (a) animal keeping (for the purposes of wildlife or bird sanctuary only); or (b) cropping (for the purposes of turf or fruit tree farming only); or (c) aquaculture; or (d) low impact industry (for the purpose of food processing plant only); or (e) utility installation (for the purposes of food or organic or putrescible waste facility only) 	<p>Code assessment</p>	<p>Airport environs overlay code</p>
<p>Material change of use, reconfiguring a lot or operational work within:</p> <ul style="list-style-type: none"> (a) the aviation facilities building restricted area OM-2D – zone A; or (b) the airport public safety area OM-2E; or (c) the airport light restriction zone OM-2F 	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone, reconfiguring a lot and operational work</p>	<p>Airport environs overlay code</p>

Table 5.9.3 — Biodiversity overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Biodiversity overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Biodiversity overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Biodiversity overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.4 — Bushfire hazard overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Buffer and medium hazard		
Material change of use	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	<p>Bushfire hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	<p>No change to categories of development and assessment under the tables of assessment for reconfiguring a lot</p>	Bushfire hazard overlay code
High and very high hazard		
<p>Material change of use if accepted development in any zone for:</p> <p>(a) dwelling house; or</p> <p>(b) dwelling unit.</p>	<p>Accepted subject to requirements</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	Bushfire hazard overlay code
<p>Material change of use for:</p> <p>(a) child care centre; or</p> <p>(b) detention facility; or</p> <p>(c) educational establishment; or</p> <p>(d) emergency services; or</p> <p>(e) hospital; or</p> <p>(f) industry use involving manufacture or storage of hazardous materials; or</p> <p>(g) multiple dwelling; or</p> <p>(h) relocatable home park; or</p> <p>(i) residential care facility; or</p> <p>(j) retirement facility; or</p> <p>(k) rooming accommodation; or</p> <p>(l) shopping centre; or</p> <p>(m) short-term accommodation; or</p> <p>(n) telecommunications facility; or</p> <p>(o) tourist attraction; or</p> <p>(p) tourist park; or</p> <p>(q) transport depot; or</p> <p>(r) utility installation</p>	<p>Impact assessable</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	The planning scheme

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Any other material change of use	<p>No change to categories of development and assessment under the tables of assessment for the relevant zone</p> <p>Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	<p>Bushfire hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	<p>No change to categories of development and assessment under the tables of assessment for reconfiguring a lot</p>	<p>Bushfire hazard overlay code</p>

Table 5.9.5 — Character overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Residential character design control area		
Material change of use if accepted development in any zone for a dwelling house	Accepted subject to requirements	Character overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Character overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.
Building work if involving: (a) extensions; or (b) external alterations; or (c) minor building work Note—Extensions and external alterations (such as the enclosure of a verandah) do not include internal building works.	Accepted subject to requirements	Character overlay code
Residential character demolition control area		
Building work if involving partial demolition of the front façade of a dwelling house.	Code assessable	Character overlay code
Building work if involving the total demolition, relocation on the same site or relocation of a dwelling house offsite	Impact assessable	Character overlay code
Commercial character demolition control area		
Building work if involving minor partial demolition of the front façade of a building.	Code assessable	Character overlay code
Building work if involving the total demolition, relocation on the same site or relocation of a building offsite	Impact assessable	Character overlay code

Table 5.9.6 — Coastal protection overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Coastal erosion prone area (overlay map OM-6A) or Coastal hazard – medium or high hazard (overlay map OM-6B)		
Material change of use if accepted development in any zone for: (a) caretaker's accommodation; or (b) dwelling house; or (c) dwelling unit	Accepted subject to requirements	Coastal protection overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Coastal protection overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Coastal protection overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Coastal protection overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.7 — Extractive resources overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use if accepted or accepted subject to requirements development in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; or (c) caretaker's accommodation; or (d) home-based business; or (e) rural workers' accommodation 	Code assessable	Extractive resources overlay code
<p>Any other Material change of use</p>	No change to categories of development and assessment under the tables of assessment for the relevant zone	<p>Extractive resources overlay code</p> <p>Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.</p>
<p>Reconfiguring a lot</p>	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Extractive resources overlay code

Table 5.9.8 — Flood hazard overlay

Note—Where flood mapping overlaps the highest category of hazard prevails.

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Fitzroy River flood area – H1 (low hazard area) or H2 (medium hazard area) or North Rockhampton Flood Management Area (overlay map OM-8A) or Local catchment flood – planning area 2 (overlay map OM-8C)		
Material change of use if accepted or accepted subject to requirements in any zone for: (a) dwelling house; or (b) dwelling unit	Accepted subject to requirements	Flood hazard overlay code
Material change of use if accepted or accepted subject to requirements in any zone for: (a) emergency services; or (b) major electricity infrastructure; or (c) substation; or (d) telecommunications facility; or (e) utility installation	Code assessable	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.	Flood hazard overlay code Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.
Reconfiguring a lot if no new lots are created	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Flood hazard overlay code
Reconfiguring a lot if new lots are created	Impact assessable	The planning scheme
Building work	Accepted subject to requirements Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme. Minimum finished floor level requirements still apply.	Flood hazard overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Operational work if filling exceeds a height of 100 millimetres above ground level	Code assessable	Flood hazard overlay code
All other operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code
Fitzroy River flood area – H3-H4 (high hazard area) or H5-H6 (extreme hazard area) (overlay map OM-8A) or Local catchment flood – planning area 1 (overlay map OM-8C)		
Material change of use if accepted development in any zone for: (a) dwelling house; or (b) dwelling unit	Accepted subject to requirements	Flood hazard overlay code
Material change of use if accepted subject to requirements or code assessable in any zone for: (a) caretaker's accommodation; or (b) community residence; or (c) dual occupancy; or (d) dwelling house; or (e) dwelling unit; or (f) multiple dwelling; or (g) non-residential workforce accommodation; or (h) relocatable home park; or (i) residential care facility; or (j) retirement facility; or (k) rooming accommodation; or (l) rural workers' accommodation; or (m) tourist park	Impact assessable	The planning scheme
Material change of use if accepted or accepted subject to requirements in any zone for: (a) emergency services; or (b) major electricity infrastructure; or (c) substation; or (d) telecommunications facility; or (e) utility installation	Code assessable	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables	Flood hazard overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	<p>of assessment for the relevant zone</p> <p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	<p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot if no new lots are created	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Flood hazard overlay code
Reconfiguring a lot if new lots are created	Impact assessable	The planning scheme
Building work	<p>Accepted subject to requirements</p> <p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme. Minimum finished floor level requirements still apply</p>	Flood hazard overlay code
Operational work if filling exceeds a height of 100 millimetres above ground level	Code assessable	Flood hazard overlay code
All other operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code
Floodplain investigation area (overlay map OM-8B)		
<p>Material change of use if accepted development in any zone for:</p> <p>(a) dwelling house; or</p> <p>(b) dwelling unit; or</p> <p>(c) emergency services; or</p> <p>(d) utility installation</p>	<p>Accepted subject to requirements</p> <p>Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.</p>	Flood hazard overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	<p>Flood hazard overlay code</p> <p>Editor's note—This overlay code is applicable to development that is accepted subject to requirements and assessable development.</p>
Reconfiguring a lot	No change to categories of development and assessment under the tables	Flood hazard overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
	of assessment for reconfiguring a lot	
Building work	Accepted subject to requirements	Flood hazard overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Flood hazard overlay code

Table 5.9.9 — Heritage place overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Local heritage place register		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Heritage place overlay code
Building work , including minor building work, if involving: (a) extensions to a local heritage place; or (b) erecting a new or separate building on a local heritage place site; or (c) the partial demolition of a local heritage place	Code assessable	Heritage place overlay code
Building work if involving the total demolition or relocation of a local heritage place	Impact assessable	The planning scheme
Operational work if involving a change to landscaping, fencing or natural features of land referred to in the citation for a local heritage place	No change to categories of development and assessment under the tables of assessment for operational work	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Adjoining a heritage place or adjoining a local heritage place		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Heritage place overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Heritage place overlay code

Table 5.9.10 — Special management area overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
<p>Material change of use if accepted or accepted subject to requirements in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; <p>where involving:</p> <ul style="list-style-type: none"> (i) replacement; or (ii) alterations; or (iii) extensions 	Accepted subject to requirements	Special management area overlay code
<p>Material change of use if accepted, accepted subject to requirements or code assessable in any zone for:</p> <ul style="list-style-type: none"> (a) dwelling house; or (b) dwelling unit; <p>where not involving:</p> <ul style="list-style-type: none"> (i) replacement; or (ii) alterations; or (iii) extensions 	Impact assessable	The planning scheme
<p>Material change of use if accepted, accepted subject to requirements or code assessable in any zone for:</p> <ul style="list-style-type: none"> (a) child care centre; or (b) community care centre; or (c) community residence; or (d) dual occupancy; or (e) educational establishment; or (f) health care services; or (g) hospital; or (h) multiple dwelling; or (i) outstation; or (j) relocatable home park; or (k) residential care facility; or (l) retirement facility; or (m) rooming accommodation; or (n) short-term accommodation; or (o) tourist park 	Impact assessable	The planning scheme
<p>Reconfiguring a lot if no new lots are created</p>	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Special management area overlay code
<p>Reconfiguring a lot if new lots are created</p>	Impact assessable	The planning scheme

Table 5.9.11 — Steep land overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Slope twenty-five (25) per cent or greater		
Material change of use if accepted development or accepted subject to requirements in any zone for: (a) caretaker's accommodation; or (b) dual occupancy; or (c) dwelling house; or (d) dwelling unit	Code assessable Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code
Any other material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Steep land overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Slope equal to or greater than fifteen (15) per cent and less than twenty-five (25) per cent		
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone Note—The steep land overlay code provisions do not apply to an approved building envelope established in response to potential landslide hazard and secured by a valid development approval given under this or a previous planning scheme.	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Steep land overlay code

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Steep land overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements.

Table 5.9.12 — Water resource catchments overlay

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Material change of use	No change to categories of development and assessment under the tables of assessment for the relevant zone	Water resource catchments overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements
Reconfiguring a lot	No change to categories of development and assessment under the tables of assessment for reconfiguring a lot	Water resource catchments overlay code
Operational work	No change to categories of development and assessment under the tables of assessment for operational work	Water resource catchments overlay code Editor's note—This overlay code is not applicable to development that is accepted subject to requirements

Note—Some overlays may only be included for information purposes. This should not change the category of development or assessment or assessment benchmarks in the planning scheme.

Part 6 Zones

6.1 Preliminary

- (1) Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
- (2) Zones are mapped and included in Schedule 2.
- (3) The categories of development and assessment for development in a zone are in Part 5.
- (4) Assessment benchmarks for zones are contained in a zone code.
- (5) A precinct may be identified for part of a zone.
- (6) A sub-precinct may be identified for part of a precinct.
- (7) Precinct and sub-precinct provisions are contained in the zone code.
- (8) Each zone code identifies the following:
 - (a) the purpose of the code;
 - (b) the overall outcomes that achieve the purpose of the code;
 - (c) the performance outcomes that achieve the overall outcomes and the purpose of the code;
 - (d) the acceptable outcomes that achieve the performance and overall outcomes and the purpose of the code;
 - (e) the performance and acceptable outcomes for the precinct; and
 - (f) the performance and acceptable outcomes for the sub-precinct.
- (9) The following are the zone codes for the planning scheme:
 - (a) Residential zones category
 - (i) Low density residential zone code
 - (A) Fitzroy River accommodation precinct
 - (B) Residential stables precinct
 - (ii) Low-medium density residential zone code
 - (iii) High density residential zone code
 - (b) Centre zones category
 - (i) Principal centre zone code
 - (A) Business services precinct
 - (B) Core precinct
 - (C) Denison Street precinct
 - (D) Quay Street precinct
 - (ii) Major centre zone code
 - (iii) District centre zone code
 - (iv) Local centre zone code
 - (v) Neighbourhood centre zone code
 - (vi) Specialised centre zone code
 - (A) Gladstone Road and George Street precinct
 - a. Outdoor sales and services sub-precinct
 - b. Residential and food services sub-precinct
 - (B) Musgrave Street precinct
 - a. Mixed use sub-precinct
 - b. Outdoor sales and services sub-precinct
 - (C) Yaamba Road precinct
 - (c) Recreation zones category
 - (i) Sport and recreation zone code
 - (A) Rockhampton major sports precinct
 - (ii) Open space zone code
 - (B) Kershaw Gardens precinct
 - (d) Environmental zones category
 - (i) Environmental management and conservation zone code
 - (e) Industry zones category
 - (i) Low impact industry zone code
 - (A) South Rockhampton precinct
 - (ii) Medium impact industry zone code
 - (A) Gracemere saleyards precinct code

- (iii) High impact industry zone code
 - (A) Lakes Creek precinct
 - (B) Parkhurst precinct
- (iv) Special industry zone code
- (v) Waterfront and marine industry zone code
 - (A) Fitzroy River industry precinct
- (f) Other zones category
 - (i) Community facilities zone code
 - (A) Rockhampton health services precinct
 - (ii) Emerging community zone code
 - (iii) Limited development (constrained land) zone code
 - (A) Mount Morgan mine precinct
 - (iv) Rural zone code
 - (A) Alton Downs precinct
 - (B) Cropping and intensive horticulture precinct
 - (v) Rural residential zone code
 - (A) Barea and Waltherhall precinct
 - (vi) Special purpose zone code
 - (A) Depot Hill rail precinct
 - (B) Rockhampton Airport precinct
 - a. Airport sub-precinct
 - b. Airport terminal sub-precinct
 - c. Business services sub-precinct
 - d. Airport expansion sub-precinct
 - (vii) Township zone code
 - (A) Kabra and Stanwell precinct.

6.2 Residential zones category

6.2.1 Low density residential zone code

6.2.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.1.2 Purpose

- (1) The purpose of the low density residential zone code is to:
 - (a) provide locations where residential uses, predominantly in the form and type of single detached one (1) storey and two (2) storey dwelling houses on individual lots are preferred to develop;
 - (b) provide for the development of a mixture of other residential land use types that provide for long-term residency, where they are sited and designed to maintain the existing urban form (low rise and low density) and amenity of the surrounding area;
 - (c) minimise land use conflict and ensure that community and recreation facilities develop only where they are consistent with amenity and characteristics of the surrounding area; and
 - (d) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for predominantly single detached dwelling houses on individual lots of varying sizes and dual occupancies, maintaining a generally a low-rise, 1-2 storey built form and low density character with small scale, detached buildings;
 - (b) residential development within the zone is of a type which primarily provides for the long-term accommodation of residents and not for short-term accommodation, except in the circumstances stated in (d);
 - (c) low-rise multiple dwellings, relocatable home parks, residential care facilities and retirement facilities develop in the zone when they are situated in proximity (convenient walking distance) to parks, centres, major community facilities (hospital, university, etcetera) and have access to higher order roads (minor urban collector or higher) or public transport;
 - (d) short-term accommodation only occurs where it:
 - (i) is established in an existing dwelling;
 - (ii) does not adversely impact on the amenity of the surrounding residential area;
 - (iii) maintains the appearance of an ordinary dwelling that is consistent with the intentions of the zone; and
 - (iv) is limited in scale and duration;

Note—Use of a dwelling for short-term accommodation in this context may take the form of short term stay, rental or similar accommodation. Purpose built commercially run short-term accommodation facilities are not intended. Short-term accommodation does not include a party house, which is separately defined.

- (e) non-residential uses only occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres;
 - (v) do not result in the expansion of a centre zone; and

- (vi) have direct access to higher order roads (minor urban collector or higher) and are in proximity to public transport;
- (f) no expansion of existing centres or industrial areas will occur into the low density residential zone. In addition, no additional local centres or higher order centres are required within the low density residential zone;
- (g) neighbourhood centres do not expand to service a wider local centre catchment. South Gracemere is to accommodate a neighbourhood centre commensurate with the population of the immediate catchment;
- (h) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;

Editor's note—To remove any doubt specialised centres are a centre zones category.

- (i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
- (k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses and major community facilities without separation distances, landscaping and screening that minimise impacts on amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;
- (l) new residential developments are located and integrated with existing neighbourhoods;
- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints;
- (n) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;
- (o) development is serviced by infrastructure that is commensurate with the needs of the use; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Fitzroy River accommodation precinct; and
 - (ii) Residential stables precinct.

Fitzroy River accommodation precinct

- (3) The following overall outcomes of the Fitzroy River accommodation precinct are additional to those of the low density residential zone and take precedence in the event of a conflict:
 - (a) due to extreme flood constraints, no new or further intensification of residential uses occur, (except for the reuse of an existing dwelling for short-term accommodation);

Note—Short-term accommodation is intended as set out under (2)(d) above.

- (b) development does not result in a density of more than one (1) dwelling per lot; and
- (c) small scale non-residential uses directly associated with boating activities (for example bait and tackle shops, food and drink outlets) may be established provided they do not adversely affect the character and amenity of the precinct.

Residential stables precinct

- (4) The following overall outcomes of the residential stables precinct are additional to those of the low density residential zone and take precedence in the event of a conflict:
 - (a) development within the precinct predominantly consists of dwelling houses or animal keeping for the purposes of stabling horses;

- (b) development for animal keeping (stables only) develops at sites having sufficient area and dimensions to allow for the design and layout of stables in a manner that minimises the impact on the residential amenity of the area and where suitable environmental standards can be achieved;
- (c) development for veterinary services and service industry (being for saddle repairs or similar), develop in the precinct where they support the horse racing industry conducted at Callaghan Park, and where they are sited and designed at a small-scale so as not to adversely affect the character and amenity of the precinct;
- (d) the intensification of residential development in the form of subdivision of lots less than 800 square metres, or via the development of residential accommodation types resulting in a density of more than one (1) dwelling per lot does not occur;
- (e) the residential amenity on and adjoining the site of stables development is maintained; and
- (f) development for animal keeping (stables only), does not expand outside the precinct boundary.

6.2.1.3 Specific benchmarks for assessment

Table 6.2.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding low density residential area and significant scenic landscape features, having regard to the scale and height of buildings and site cover.</p>	<p>AO1.1 The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that: (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents;</p>	<p>AO3.1 The number of dwellings does not exceed one (1) unit per 300 square metres total site area.</p> <p>AND</p> <p>AO3.2 Each dwelling is provided with a private open space area which:</p>

Performance outcomes	Acceptable outcomes
<p>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents;</p> <p>(d) has access to open space; and</p> <p>(e) does not compromise the character and amenity of the surrounding area.</p> <p>Editor's note—Figure 6.2.1.3.1a — Site plans for dual occupancies provides guidance.</p>	<p>(a) is directly accessible from a habitable room; and</p> <p>(b) if located:</p> <p>(i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or</p> <p>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO3.3 Minimum setbacks are in accordance with the following:</p> <p>(a) carports and garages are set back a minimum of six (6) metres from all road frontages;</p> <p>(b) building walls are set back a minimum of three (3) metres from all road frontages;</p> <p>(c) verandahs are set back a minimum of one (1) metre from all road frontages;</p> <p>(d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level;</p> <p>(e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p> <p>AND</p> <p>AO3.5 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.6</p>

Performance outcomes	Acceptable outcomes
	A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.
<p>PO4 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use. 	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p> <p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO5.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO5.6</p>

Performance outcomes	Acceptable outcomes
	<p>The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home based business where for bed and breakfast accommodation:</p> <p>(a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and</p> <p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Short-term accommodation	
<p>PO7 Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.</p>	<p>AO7.1 Short-term accommodation uses are carried out within an existing dwelling.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.2 There is no external signage.</p>
<p>PO8 Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.</p>	<p>AO8.1 The combined total number of persons does not exceed five (5) at any one time.</p> <p>AND</p> <p>AO8.2 Guests stay a maximum of fourteen (14) consecutive nights.</p>
<p>PO9 Development for short-term accommodation does not cause nuisance or otherwise adversely impact on the amenity of the neighbourhood.</p>	<p>AO9.1 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, schedule 1 as updated from time to time.</p> <p>AND</p> <p>AO9.2 Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.</p>
<p>Where in the residential stables precinct when involving an animal keeping (stables only) use</p>	
<p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO10 On any lot that accommodates a stable:</p> <ul style="list-style-type: none"> (a) the amenity of the precinct is maintained to a reasonable level especially in regards to issues such as noise, odour, light and dust; (b) the stable does not adversely affect the streetscape within the precinct; (c) a sufficient number of stalls are provided within a stable to prevent the overcrowding of horses; and (d) a sufficient number of day yards are provided to allow the proper spelling, exercise or training of horses. 	<p>AO10.1 The number of non-racehorses kept on the lot at any one time does not exceed the density of one (1) non-racehorse per 800 square metres of lot area.</p> <p>AND</p> <p>AO10.2 Stables are designed so that all doors and windows are orientated away from any house on an adjoining lot to reduce the potential for creating a noise or odour nuisance.</p> <p>AND</p> <p>AO10.3 Stalls and day yards as part of an animal keeping (stables only) use have a minimum area of nine (9) square metres.</p> <p>AND</p> <p>AO10.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>

Performance outcomes	Acceptable outcomes
<p>PO11 Stables and day yards are designed to minimise the negative environmental impacts as a result of solid and liquid waste.</p>	<p>AO11.1 AO11.1.1 All liquid waste is drained into the reticulated sewerage system.</p> <p>OR</p> <p>AO11.1.2 Where the development involves the stabling of less than six (6) horses at any one time, stables are constructed in a manner whereby the stalls and any other area hosed out frequently:</p> <ul style="list-style-type: none"> (a) opens directly onto a grassed area that measures three (3) metres in width perpendicular to the area being hosed out; or (b) drains directly to a concrete spoon drain of a sufficient size able to move all water and other matter (including waste) to an area of turf measuring no less than three (3) metres by three (3) metres.
<p>PO12 Stables are designed in a safe manner and do not create traffic or parking impacts on the immediate area or normal vehicle movements.</p>	<p>AO12.1 Stables are designed to provide an area on site at least thirty (30) square metres with dimensions of at least three (3) metres by ten (10) metres, where horses can be loaded or unloaded to or from a vehicle.</p> <p>AND</p> <p>AO12.2 A horse float is provided on the site that measures at least three (3) metres by five (5) metres, which is directly accessible to a street frontage.</p>

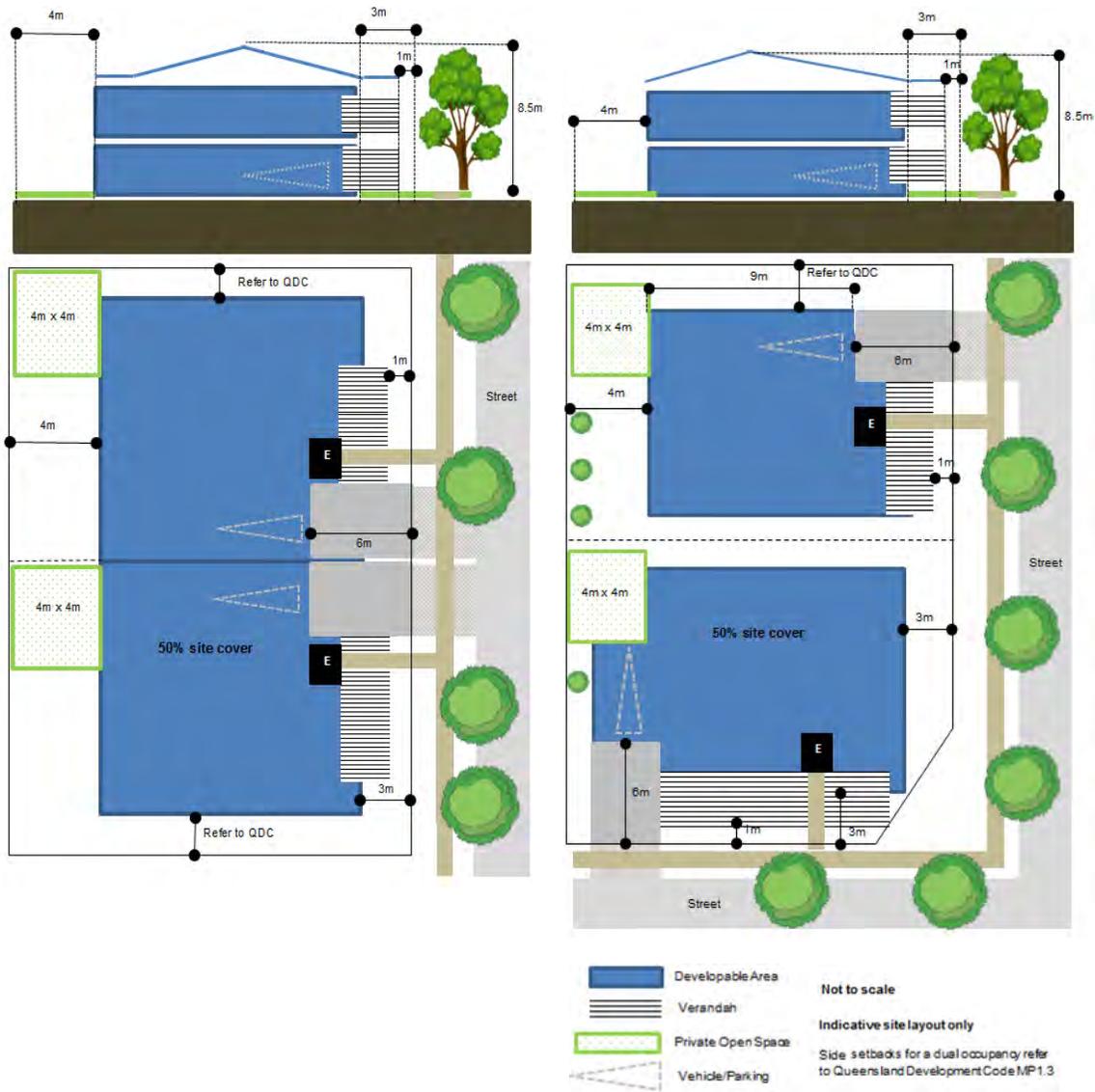


Figure 6.2.1.3.1a — Site plans for dual occupancies

Table 6.2.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO13 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. 	<p>AO13.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of six (6) metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 4.5 metres high; or (ii) two (2) metres for a wall up to 7.5 metres high; or

Performance outcomes	Acceptable outcomes
<p>Editor's note—Figure 6.2.1.3.2a — Development site plan provides guidance.</p>	<p>(iii) 2.5 metres for any part of a wall over 7.5 metres;</p> <p>(e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres.</p> <p>AND</p> <p>AO13.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO13.3 The maximum length of any exterior wall is twelve (12) metres.</p> <p>AND</p> <p>AO13.4 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO13.5 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street and adjoining properties.</p>
<p>PO14 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO14.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO15 Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <p>(a) mass and proportion;</p> <p>(b) use of materials, patterns, textures, colours and decorative elements;</p> <p>(c) reflective glass material is not used as the principle construction material;</p> <p>(d) roof shapes include pitches and gables to break up the repetitiveness of buildings;</p> <p>(e) buildings incorporate articulation through the use of windows, sun-</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance;</p> <p>(f) roof structures are designed to screen any mechanical plant;</p> <p>(g) facade articulation, detailing and window and door proportions;</p> <p>(h) provision made for balconies, verandahs, eaves and parapets;</p> <p>(i) driveway crossovers, fence style and alignment;</p> <p>(j) emphasis on entry points; and</p> <p>(k) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage.</p> <p>Note—Where a conflict exists PO15 (k) takes precedence.</p>	
Land use	
Non-residential development	
<p>PO16</p> <p>Non-residential development may locate in the low density residential zone when the use can demonstrate the following:</p> <p>(a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood;</p> <p>(b) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(c) is small in scale;</p> <p>(d) is consistent with the surrounding built form and streetscape;</p> <p>(e) the use provides only a convenience function and does not compromise the role and function of existing centres;</p> <p>(f) does not adjoin an existing centre zone;</p> <p>(g) located in proximity to public transport facilities and public transport routes; and</p> <p>(h) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO17</p> <p>The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO17.1</p> <p>Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>

Performance outcomes	Acceptable outcomes
Multiple dwelling, relocatable home park, residential care facility or retirement facility	
<p>PO18 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is located at highly accessible sites:</p> <ul style="list-style-type: none"> (a) that provide for the safety and convenience of people using the premises; (b) in proximity to centres of activity containing shopping, community facilities, and recreation and entertainment areas; (c) in proximity to public transport facilities and public transport routes; and (d) that can minimise impacts on local amenity and the local street network. 	<p>AO18.1 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility is within 200 metres of the following:</p> <ul style="list-style-type: none"> (a) a neighbourhood centre zone, local centre zone, district centre zone, major centre zone, principal centre zone or specialised centre zone; or (b) open space zone or sport and recreation zone; or (c) a major hospital or CQ University (South or North Campus). <p>AND</p> <p>AO18.2 Development for a multiple dwelling, relocatable home park, residential care facility or retirement facility has direct access to a minor urban collector road or higher order road.</p>
<p>PO19 Residential development is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and (d) does not compromise the character and amenity of the surrounding area. 	<p>AO19.1 The number of dwellings does not exceed one (1) unit per 250 square metres total site area.</p> <p>AND</p> <p>AO19.2 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwellings; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least thirty (30) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO19.3 A minimum of one (1) habitable room overlooks the primary street frontage.</p> <p>AND</p> <p>AO19.4 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.1.3.3.</p>
<p>PO20 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO20.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Effects of development	
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land uses and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>
<p>PO22 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO23 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO24 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; 	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and (f) allow shading for pedestrian comfort. 	<p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <ul style="list-style-type: none"> (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and (b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of six (6) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street trees planning scheme policy.</p>
Structure planning for urban development	
<p>PO26 New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, bicycle, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>

Performance outcomes	Acceptable outcomes
(h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space.	
Where in the Fitzroy River accommodation precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO27 Non-residential uses are directly associated with boating activities on the Fitzroy River and are small in scale.	AO27.1 Food and drink outlet(s) and shop(s) are limited to 150 square metres gross floor area. AND AO27.2 Retail uses primarily sell goods associated with boating activities. AND AO28.3 Outdoor sales or other outdoor activities are limited to 200 square metres total use area. Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat seats/pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.
PO28 The use is not for the purposes of a stand-alone office, shopping centre, showroom or hardware and trade supplies.	No acceptable outcome is nominated.
PO29 Outdoor sales activities are limited to the hiring and leasing of boats and associated equipment and does not involve the sale of products.	No acceptable outcome is nominated.
Where in the residential stables precinct when involving an animal keeping (stables only) use	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO30 Development for animal keeping (stables only) is consolidated within and does not expand beyond the boundaries of the residential stables precinct.	No acceptable outcome is nominated.



Figure 6.2.1.3.2a — Development site plan

Table 6.2.1.3.3 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Animal keeping (stables only) Note—When located in the residential stables precinct only.	800 square metres	Twenty (20) metres
Dual occupancy	600 square metres	Twenty (20) metres
Multiple dwelling	1,000 square metres	Twenty (20) metres
Relocatable home park	2,000 square metres	Forty (40) metres
Residential care facility	4,000 square metres	Forty (40) metres
Retirement facility	2,000 square metres	Forty (40) metres

6.2.2 Low-medium density residential zone code

6.2.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low-medium density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.2.2 Purpose

- (1) The purpose of the low-medium density residential zone code is to:
 - (a) provide locations preferred for the consolidation of a range and mix of dwelling types developed at low-medium densities in the planning scheme area;
 - (b) minimise land use conflict and ensure that uses supporting low-medium density development predominantly develop in the zone; and
 - (c) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for dwellings, dual occupancies and multiple dwellings being generally a low to medium-rise built form (up to three (3) storeys in building height) and low-medium density;
 - (b) infill development and greenfield areas are developed in a manner that makes efficient use of land and can provide for the development of a range and mix of accommodation and residential types;
 - (c) non-residential uses only occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres;
 - (v) do not result in the expansion of a centre zone;
 - (vi) have direct access to higher order roads (minor urban collector or higher); and

Editor's note—To remove any doubt a centre zone includes specialised centres

- (vii) provide for uses along Albert Street that can demonstrate a dependence on having a highway passing trade;
- (d) development for an office is limited in scale (200 square metres gross floor area) to ensure the primacy of the principal centre and involves the reuse of an existing building to promote renewal;
- (e) new proposed centres within greenfield areas are not intended to accommodate full-line supermarkets;
- (f) with the exception of a local centre at North Parkhurst (along William Palfrey Road on Lot 5 SP238731), no other neighbourhood or local centres are required within the low-medium density residential zone;
- (g) short-term accommodation, rooming accommodation and tourist parks occur where there is access to public transport and higher order roads (minor urban collector or higher);
- (h) development has a built form that creates an attractive and pedestrian oriented streetscape and is integrated with nearby centres, community facilities, open space and recreation facilities via pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use;
- (i) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (j) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;

- (k) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industry uses and major community facilities without separation distances, buffering, landscaping and screening that minimise a loss of amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;
- (l) new residential developments are located and integrated with existing neighbourhoods and in proximity to existing community infrastructure;
- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints; and
- (n) development is serviced by infrastructure that is commensurate with the needs of the use.

6.2.2.3 Specific benchmarks for assessment

Table 6.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding low-medium density residential area and significant scenic landscape features, having regard to the scale and height of buildings, site cover and density.</p>	<p>AO1.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed sixty-five (65) per cent of the total site area.</p> <p>AND</p> <p>AO1.3 The development has a plot ratio of no greater than one (1) to one (1) (1:1).</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; (d) has access to open space; and (e) does not compromise the character and amenity of the surrounding area. 	<p>AO3.1 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; and (b) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck,

Performance outcomes	Acceptable outcomes
<p>Editor's note—Figure 6.2.2.3.1a — Site plans for dual occupancies provides guidance.</p>	<p>having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO3.2 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of 4.5 metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and (e) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p> <p>AND</p> <p>AO3.4 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.5 A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p>
<p>PO4 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) privacy and noise attenuation; (b) integration with the streetscape and built form; and (c) separation from an adjoining industrial zone or industrial use. 	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home-based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO5.1 The home-based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO5.2 The home-based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home-based child care).</p> <p>AND</p> <p>AO5.4 The home-based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home-based business.</p> <p>AND</p> <p>AO5.6 The home-based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home-based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and

Performance outcomes	Acceptable outcomes
	<p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home-based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Short-term accommodation	
<p>PO7 Development for short-term accommodation is established only in existing dwellings which maintain the appearance of an ordinary dwelling in the zone.</p>	<p>AO7.1 Short-term accommodation uses are carried out within an existing dwelling.</p> <p>AND</p> <p>AO7.2 There is no external signage.</p>
<p>PO8 Development for short-term accommodation is of a small, domestic scale, accommodating a small number of people for very short periods.</p>	<p>AO8.1 The combined total number of persons does not exceed five (5) at any one time.</p> <p>AND</p> <p>AO8.2 Guests stay a maximum of fourteen (14) consecutive nights.</p>

Performance outcomes	Acceptable outcomes
<p>PO9 Development for short-term accommodation does not cause nuisance or otherwise adversely impact on the amenity of the neighbourhood.</p>	<p>AO9.1 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, schedule 1 as updated from time to time.</p> <p>AND</p> <p>AO9.2 Domestic waste bins are provided in a screened area and maintained in a tidy state at all times.</p>

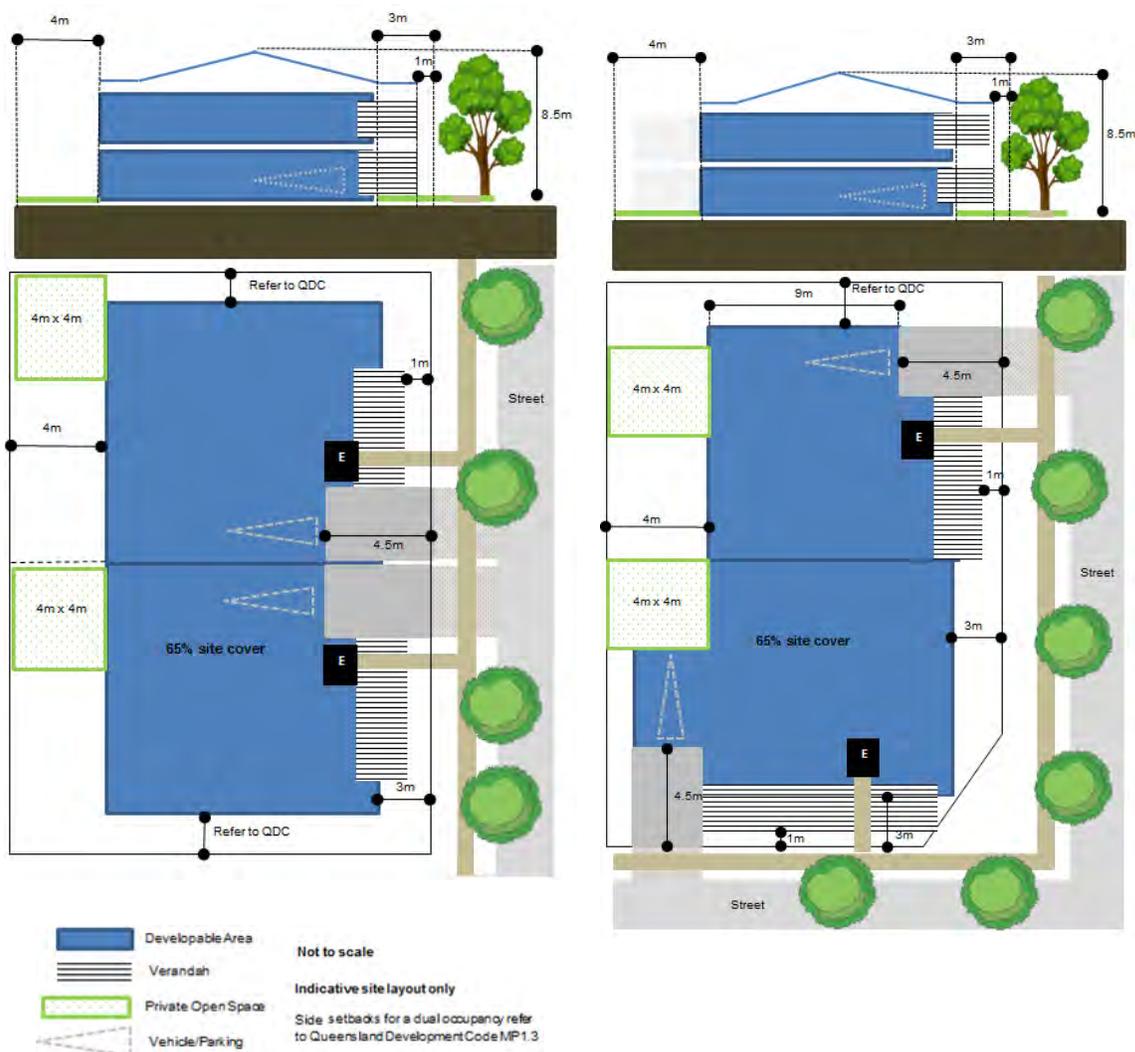


Figure 6.2.2.3.1a — Site plans for dual occupancies

Table 6.2.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form — additional provisions	
<p>PO10 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. <p>Editor's note—Figure 6.2.2.3.2a — Development site plan provides guidance.</p>	<p>AO10.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) carports and garages are set back a minimum of 4.5 metres from all road frontages; (b) building walls are set back a minimum of three (3) metres from all road frontages; (c) verandahs are set back a minimum of one (1) metre from all road frontages; (d) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 4.5 metres high; (ii) two (2) metres for a wall up to 7.5 metres high; and (iii) 2.5 metres for any part of a wall over 7.5 metres; (e) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and (f) garages and open car ports built along the side boundary do not exceed a length of nine (9) metres. <p>AND</p> <p>AO10.2 The development is orientated to the street with a pedestrian entry and door that is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO10.3 The maximum length of any exterior wall is fifteen (15) metres.</p> <p>AND</p> <p>AO10.4 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency. <p>AND</p> <p>AO10.5 New building plant or air conditioning equipment is located within, underneath or</p>

Performance outcomes	Acceptable outcomes
	central to the building and screened from view of the street and adjoining properties.
<p>PO11 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO11.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO12 Buildings and structures are designed to enhance existing attractive built form by addressing the following:</p> <ul style="list-style-type: none"> (a) mass and proportion; (b) use of materials, patterns, textures, colours and decorative elements; (c) reflective glass material is not used as the principle construction material; (d) podium height and design; (e) roof shapes include pitches and gables to break up the repetitiveness of buildings; (f) buildings incorporate articulation via use of windows, sun-protection devices, balconies, verandahs, terraces or wall offsets to avoid a plain and monolithic appearance; (g) roof structures are designed to screen any mechanical plant; (h) facade articulation, detailing, and window and door proportions; (i) provision made for balconies, verandahs, eaves and parapets; (j) driveway crossovers, fence style and alignment; (k) emphasis on entry points; and (l) development for community or small-scale commercial uses include an awning over the footpath for the full length of the building's road frontage. <p>Note—Where a conflict exists PO12 (l) takes precedence.</p>	<p>No acceptable outcome is nominated.</p>
Land use	
Non-residential development	
<p>PO13 Non-residential development may locate in the low-medium density residential zone when the use can demonstrate the following:</p> <ul style="list-style-type: none"> (a) it services the day-to-day needs of residents of the local neighbourhood or is a community or emergency facility that primarily services the needs of the local neighbourhood; or (b) where located on Albert Street and can demonstrate a dependence on having highway passing trade. Therefore limited to: <ul style="list-style-type: none"> (i) products predominantly displayed outside of any enclosed building and are 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>demonstrably dependent on high visibility for attracting customers or businesses and typically include outdoor sales; or</p> <p>(ii) products predominantly displayed inside a building, consistent with the showroom definition with gross floor area of no more than 500 square metres and is demonstrably dependent on high visibility for attracting customers or business; and</p> <p>(iii) other uses which service and support the broad range of needs of highway users and include a food and drink outlet, service station, car wash and the like;</p> <p>(c) it does not compromise the residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour;</p> <p>(d) is small in scale;</p> <p>(e) is consistent with the surrounding built form and streetscape;</p> <p>(f) the use does not compromise the role and function of existing centres;</p> <p>(g) does not adjoin an existing centre zone;</p> <p>(h) located in proximity to public transport facilities and public transport routes; and</p> <p>(i) minimises impacts on local amenity and the local street network.</p> <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	
<p>PO14 The transport network is functional and has sufficient capacity to accommodate the level of traffic generated by the development.</p>	<p>AO14.1 Development for a non-residential use is located only on a road classified minor urban collector or higher, and access to the development is not from an urban access road or a rural access road.</p>
Multiple dwelling, relocatable home park, residential care facility or retirement facility	
<p>PO15 Residential development is designed and sited in a manner that:</p> <p>(a) is of an appropriate scale and size that reflects the purpose of the zone;</p> <p>(b) is attractive in appearance, climate responsive and functional in design, and safe for residents;</p> <p>(c) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents; and</p>	<p>AO15.1 Each dwelling is provided with a private open space area which:</p> <p>(a) is directly accessible from a habitable room;</p> <p>(b) is located or screened from main living areas or private open space of adjoining dwellings; and</p> <p>(c) if located:</p> <p>(i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least</p>

Performance outcomes	Acceptable outcomes
(d) does not compromise the character and amenity of the surrounding area.	<p>sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or</p> <p>(ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.</p> <p>AND</p> <p>AO15.2 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p>
<p>PO16 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO16.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Rooming accommodation or short-term accommodation	
<p>PO17 Residential development is designed and sited in a manner that:</p> <p>(a) is of an appropriate scale and size that reflects the purpose of the zone; and</p> <p>(b) does not compromise the character and amenity of the surrounding area.</p>	<p>AO17.1 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p>
<p>PO18 Development for rooming accommodation and short-term accommodation occurs in locations where:</p> <p>(a) having convenient access to public transport;</p> <p>(b) has access to a higher order road (minor collector or higher);</p> <p>(c) does not impact upon the surrounding residential amenity; and</p> <p>(d) there is access to a road network that can accommodate traffic generated by the use.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO19 Communal open space is provided for occupants to allow for a range of activities.</p>	<p>AO19.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Tourist park	
<p>PO20 Development for a tourist park is designed and sited in a manner that:</p>	<p>AO20.1 The development contains on-site amenity buildings equipped with ablution, toilet, and laundry facilities, which are of a size and</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, functional in design, and safe for residents; (c) has regard to streetscape and street function, privacy, passive recreation and living space needs for residents; (d) does not compromise the character and amenity of the surrounding area; and (e) can minimise impacts on local amenity and the local street network. 	<p>number sufficient for the expected number of residents at full occupancy.</p> <p>AND</p> <p>AO20.2 A minimum area of ten (10) per cent of the total site area is provided as communal open space which:</p> <ul style="list-style-type: none"> (a) is provided in addition to landscape buffer areas; (b) is clear of obstacles, including clothes hoists, access ways, parking spaces and garbage receptacles; (c) has a minimum dimension of fifteen (15) metres by fifteen (15) metres; (d) has a 1.8 metre high solid screen fence when adjoining a sensitive land use; and (e) has a fenced children’s playground with safe and good quality play equipment. <p>Editor’s note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p> <p>AND</p> <p>AO20.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.2.3.3.</p> <p>AND</p> <p>AO20.4 Development for a tourist park has direct access to a minor urban collector road or higher order road.</p>
Effects of development	
<p>PO21 The development minimises adverse impacts on the amenity of adjoining land use and the surrounding area.</p>	<p>AO21.1 Non-residential land uses operate between the hours of 07:00 and 22:00.</p> <p>AND</p> <p>AO21.2 For non-residential uses a 1.8 metre high solid screen fence is provided along side and rear property boundaries.</p>
<p>PO22 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO22.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO23</p>	

Performance outcomes	Acceptable outcomes
<p>Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO24 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) or from the street; (e) separate and screen residential uses from industrial zoned land or a lawfully operating industrial use; and (f) allow shading for pedestrian comfort. 	<p>AO24.1 Non-residential development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO24.2 Where adjoining a non-residential zone, landscaping provides:</p> <ul style="list-style-type: none"> (a) a planting area a minimum of one (1) metre in width for the full length of all common side boundaries; and (b) a planting area a minimum of three (3) metres in width for the full length of a common rear boundary. <p>AND</p> <p>AO24.3 Residential uses are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p> <p>Note—Where a conflict exists in relation to rear and side setback requirements AO24.3 prevails.</p>
<p>PO25 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.</p>	<p>AO25.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by the SC6.12 — Landscape design and street trees planning scheme policy.</p>
Structure planning for urban development	
<p>PO26</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>New development within greenfield areas for urban purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves fifteen (15) to thirty (30) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; (h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space. 	<p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.</p>



Figure 6.2.2.3.2a — Development site plan

Table 6.2.2.3.3 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Dual occupancy	400 square metres	Fifteen (15) metres
Rooming accommodation	1,000 square metres	Twenty (20) metres
Multiple dwelling	800 square metres	Twenty (20) metres
Relocatable home park	2,000 square metres	Forty (40) metres
Residential care facilities	2,000 square metres	Forty (40) metres
Retirement facilities	2,000 square metres	Forty (40) metres
Short-term accommodation	1,000 square metres	Twenty (20) metres
Tourist park	2,000 square metres	Forty (40) metres

6.2.3 High density residential zone code

6.2.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the high density residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.3.2 Purpose

- (1) The purpose of the high density residential zone code is to:
 - (a) provide locations preferred for the consolidation of multiple dwellings developed at the highest densities in the planning scheme area; and
 - (b) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) development provides for long-term residential development (such as multiple dwellings and the like) and short-term accommodation, being generally a high-rise built form (up to twelve (12) storeys in height) at a higher density than the low and low-medium density zones;
 - (b) mixed-use development locates non-residential uses at ground level and the non-residential uses are focused towards supporting the convenience needs of the community including uses such as food and drink outlets and shops (limited in scale);
 - (c) non-residential uses occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres; and
 - (v) do not result in the expansion of a centre zone;

Editor's note—To remove any doubt a centre zone includes specialised centres.

- (d) development has a built form that creates an attractive and pedestrian oriented streetscape and is integrated with nearby centres of activity, community facilities, open space and recreation facilities;
- (e) development maximises opportunities for surveillance, activation of street fronts, integration with surrounding streetscapes, and presents an attractive appearance to the street with variations in built form, shape and colour;
- (f) buildings reflect high density residential living in terms of height and scale;
- (g) continued focus on the establishment of food and drink outlets (restaurants and cafes) at the ground floor level within a high quality streetscape;
- (h) development along Victoria Parade is designed to address parklands along the Fitzroy River;
- (i) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting and other locally specific impacts;
- (j) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation and public/active transport use), local heritage features, natural landscape features and environmental constraints (including but not limited to topography, bushfire and flooding);
- (k) development provides connection to pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use; and
- (l) development is serviced by infrastructure that is commensurate with the needs of the use.

6.2.3.3 Specific benchmarks for assessment

Table 6.2.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the urban form of the surrounding high density residential area and significant scenic landscape features, having regard to the scale and height of buildings, site cover and density.</p>	<p>AO1.1 The height of buildings and structures does not exceed twelve (12) storeys and forty-five (45) metres above the ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed eighty (80) per cent.</p> <p>AND</p> <p>AO1.3 The development has a plot ratio of no greater than five (5) to one (1) (5:1).</p>
Land use	
Caretaker's accommodation	
<p>PO2 The development does not compromise the productivity of the use.</p>	<p>AO2.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Dual occupancy	
<p>PO3 The dual occupancy is designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is of an appropriate scale and size that reflects the purpose of the zone; (b) is attractive in appearance, climate responsive and functional in design and safe for residents; (c) has regard to streetscape and street function and privacy, passive recreation and living space needs of residents; (d) has access to open space; and (e) does not compromise the character and amenity of the surrounding area. 	<p>AO3.1 Each dwelling is provided with a private open space area which:</p> <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwellings; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandahs, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or (ii) above ground level, has a balcony, a verandah or a deck, having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres. <p>AND</p> <p>AO3.2 Minimum setbacks are in accordance with the following:</p>

Performance outcomes	Acceptable outcomes
	<p>(a) buildings are set back from the street frontage in accordance with Table 6.2.3.3.3;</p> <p>(b) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level; and</p> <p>(c) vehicle parking structures (garages and car ports) are located:</p> <p>(i) behind the front building setback; or</p> <p>(ii) below the front building.</p> <p>Editor's note—Side setbacks for a dual occupancy is regulated by the Queensland Development Code MP1.3 unless adjoining an industrial zone or a lawfully operating industrial use – refer to AO4.2.</p> <p>AND</p> <p>AO3.3 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.3.3.4.</p> <p>AND</p> <p>AO3.4 A minimum of one (1) habitable room that fronts the primary street frontage.</p> <p>AND</p> <p>AO3.5 A pedestrian entry and door is visible and accessible from the primary street frontage. The pedestrian entrance is not accessed through a garage or carport.</p>
<p>PO4 Development is located and designed so that buildings and structures make provision for:</p> <p>(a) privacy and noise attenuation;</p> <p>(b) integration with the streetscape and built form; and</p> <p>(c) separation from an adjoining industrial zone or industrial use.</p>	<p>AO4.1 Fencing along the primary street frontage is:</p> <p>(a) a maximum height of 1.2 metres; or</p> <p>(b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO4.2 Dwellings are separated from adjoining industrial zoned land or a lawfully operating industrial use by a minimum of four (4) metres landscaped buffer and screened by 1.8 metre high solid screen fence along the side and rear property boundaries.</p>
Home-based business	
<p>PO5 Development for a home-based business is operated, designed and sited in a manner that:</p> <p>(a) is small in scale and intensity;</p>	<p>AO5.1 The home-based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home-based child care).</p>

Performance outcomes	Acceptable outcomes
<p>(b) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(c) does not adversely affect the streetscape and street function; and</p> <p>(d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AND</p> <p>AO5.2 The home-based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO5.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home-based child care).</p> <p>AND</p> <p>AO5.4 The home-based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO5.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home-based business.</p> <p>AND</p> <p>AO5.6 The home-based business contains visitor parking within the site.</p> <p>AND</p> <p>AO5.7 The home-based business where for bed and breakfast accommodation: (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO5.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO5.9</p>

Performance outcomes	Acceptable outcomes
	<p>No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.10 The home-based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO5.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO6 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO6.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>

Table 6.2.3.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form — additional provisions	
<p>PO7 The development is located and designed so that buildings and structures make provision for:</p> <ul style="list-style-type: none"> (a) an appropriate scale and size that reflects the purpose of the zone; (b) access to natural light and ventilation; (c) landscaping; (d) privacy and noise attenuation; (e) screening of materials when stored outside buildings; (f) integration with the streetscape and built form; (g) orientated to the street frontage; (h) landscape features of the site; and (i) access to open space. <p>Editor's note—Figure 6.2.3.3.2a — Development site plan provides guidance.</p>	<p>AO7.1 Minimum setbacks are in accordance with the following:</p> <ul style="list-style-type: none"> (a) buildings are set back from the street frontage in accordance with Table 6.2.3.3.3; (b) the side boundary setback is a minimum of: <ul style="list-style-type: none"> (i) 1.5 metres for a wall up to 8.5 metres high; (ii) 2.5 metres for a wall up to twelve (12) metres high; and (iii) 3.5 metres for any part of a wall over twenty (20) metres high; and (c) the rear boundary setback is four (4) metres unless to a laneway being one (1) metre at ground storey and 0.5 metres above ground level. <p>AND</p> <p>AO7.2 Development complies with the minimum site area and road frontage requirements identified in Table 6.2.3.3.4.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO7.3 The development is orientated to the primary street frontage with a pedestrian entry and door that is visible and accessible from the street. The pedestrian entrance is not accessed through a garage or carport.</p> <p>AND</p> <p>AO7.4 Except where a wall is built directly against another wall, all exterior walls are articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO7.5 Fencing along the primary street frontage is: (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.</p> <p>AND</p> <p>AO7.6 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street or adjoining properties.</p>
<p>PO8 Vehicle parking facilities are located and concealed to ensure an attractive streetscape and built form.</p>	<p>AO8.1 Vehicle parking structures are located: (a) behind the front building setback; or (b) below the front building.</p>
<p>PO9 The development is designed to incorporate design elements such as:</p> <ul style="list-style-type: none"> (a) pedestrian entry points that are accentuated by any of the following architectural features and design elements: <ul style="list-style-type: none"> (i) porte-cochere; or (ii) colonnades; or (iii) portico; (b) a layered facade effect, where the planes containing the most windows are recessed behind penetrated planes, structural framing, balustrades, friezes, grilles or sun shading devices; (c) building materials, patterns, textures, colours and decorative elements; (d) variation in roof form (pitch and gables); (e) balconies, verandahs, eaves and parapets; 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(f) use of variations in plan shape, such as curves, recesses, projections or splays; and (g) use of variations in vertical profile, with steps or slopes at different levels.	
PO10 The development minimises overshadowing of habitable rooms, adjoining useable private open space or public spaces and incorporates vegetation plantings at any or all levels, particularly on podiums or low level roof decks.	No acceptable outcome is nominated.
Land use	
Non-residential development	
PO11 Non-residential development is a use type that: <ul style="list-style-type: none"> (a) services the day-to-day needs of residents of the local neighbourhood and accommodation guests or is a community or emergency facility that primarily services the needs of the local neighbourhood; (b) does not compromise the residential character and existing amenity of the surrounding area; (c) is consistent with the surrounding urban form; (d) is predominantly at ground floor level; (e) does not result in the expansion of a centre zone; (f) does not compromise the function and viability of nearby centres; and (g) where development is for a shop or food and drink outlet, the use is: <ul style="list-style-type: none"> (i) collocated with a residential use on the same site; and (ii) is located predominantly at ground level. <p>Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	No acceptable outcome is nominated.
Multiple dwelling, residential care facility or retirement facility	
PO12 Residential development is designed and sited in a manner that: <ul style="list-style-type: none"> (a) is attractive in appearance, climate responsive and functional in design, and safe for residents; and (b) has regard to streetscape and street function, privacy, passive recreation and living space needs of residents. 	AO12.1 Each dwelling is provided with a private open space area which: <ul style="list-style-type: none"> (a) is directly accessible from a habitable room; (b) is located or screened from main living areas or private open space of adjoining dwelling; and (c) if located: <ul style="list-style-type: none"> (i) at ground level, has a minimum area (inclusive of verandas, patios and terraces) of at least sixteen (16) square metres in total, and having minimum dimensions of four (4) metres by four (4) metres; or

Performance outcomes	Acceptable outcomes
	(ii) above ground level, has a balcony, a veranda or a deck having a minimum area of ten (10) square metres and minimum dimensions of three (3) metres by three (3) metres.
<p>PO13 Communal open space is provided for residents to allow for a range of activities.</p>	<p>AO13.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Rooming accommodation or short-term accommodation	
<p>PO14 Communal open space is provided for occupants to allow for a range of activities.</p>	<p>AO14.1 A minimum of ten (10) per cent of the total site area is provided for open space with a minimum dimension of three (3) metres by three (3) metres.</p> <p>Editor's note—Communal open space can be provided on rooftops, on podiums, or at ground level.</p>
Effects of development	
<p>PO15 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO15.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>PO16 Development is located and designed to respond to the on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO17 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) and from the street; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(e) allow shading for pedestrian comfort.	

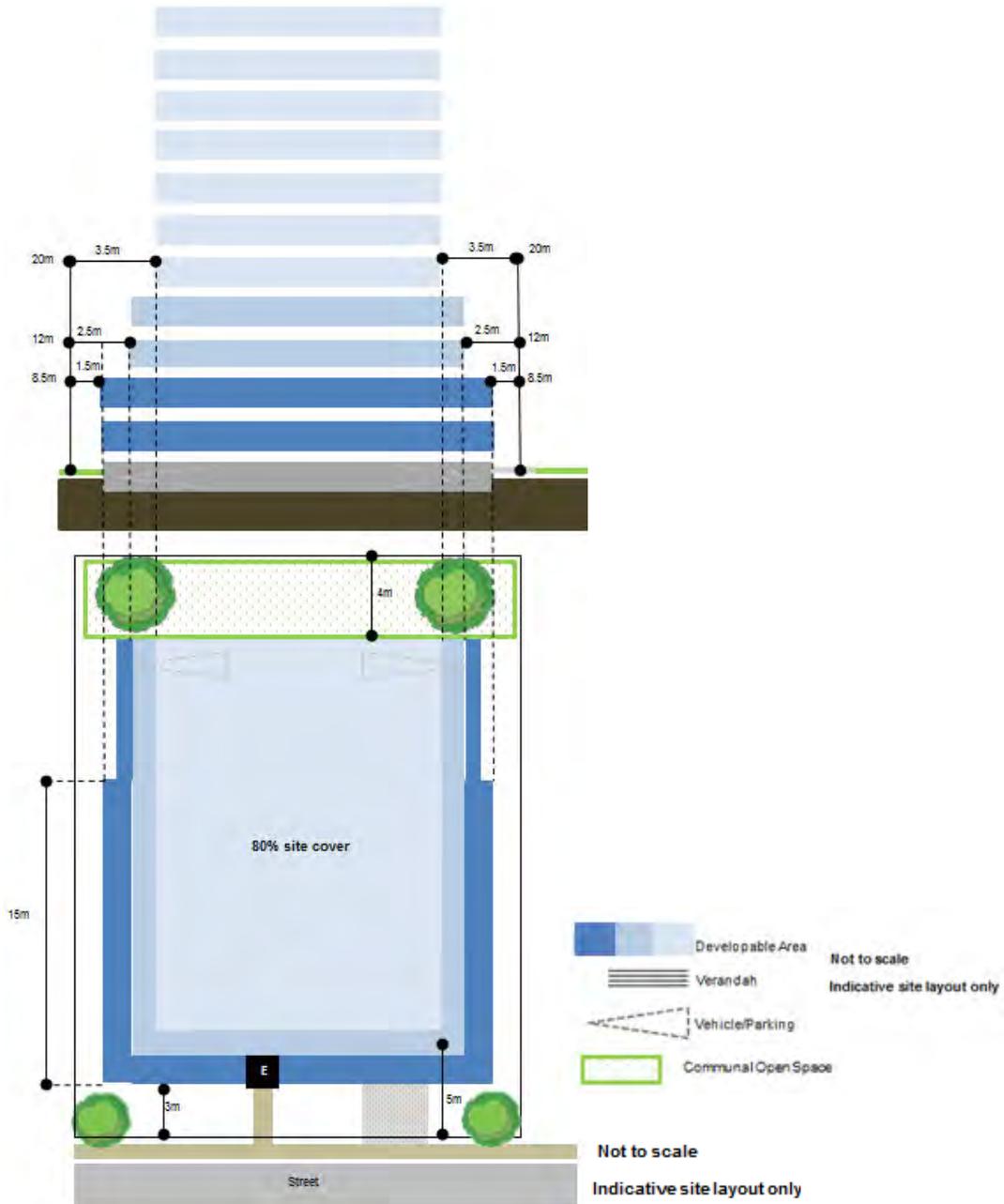


Figure 6.2.3.3.2a — Development site plan

Table 6.2.3.3.3 — Minimum building setback from street frontage

Building height	Front setback – building	Front setback – balconies
Basement	0 metres	N/A
Storeys 1 – 3.	Within twenty (20) per cent of the average front setback of adjoining buildings;	1.5 metres
	OR	

	Where there are no adjoining buildings — three (3) metres. Editor's note—Figure 6.2.3.3.3a provides guidance.	
Four (4) storeys and above.	Five (5) metres.	3 metres

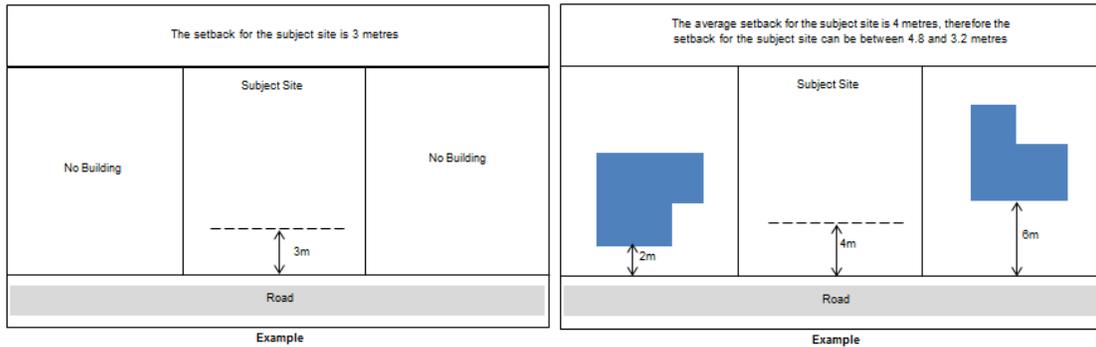


Figure 6.2.3.3.3a — Front building setbacks

Table 6.2.3.3.4 — Minimum site area requirements

Land use	Minimum site area	Minimum road frontage
Dual occupancy	600 square metres	Fifteen (15) metres
Rooming accommodation	1,000 square metres	Twenty (20) metres
Multiple dwelling	1,000 square metres	Twenty (20) metres
Residential care facility	2,000 square metres	Twenty (20) metres
Retirement facility	2,000 square metres	Twenty (20) metres
Short-term accommodation	1,000 square metres	Twenty (20) metres

[Intentionally blank]

6.3 Centre zones category

6.3.1 Principal centre zone code

6.3.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the principal centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.1.2 Purpose

- (1) The purpose of the principal centre zone code is to:
 - (a) facilitate the development of the principal centre which:
 - (i) is the primary business centre for the wider region with the highest concentration of commercial, retail, entertainment and cultural uses;
 - (ii) is developed with high density residential development (above ground floor level or behind ground story retail, commercial or community related activities), tourist and short-term accommodation (except within the Denison Street precinct);
 - (iii) includes on and off-street parking, continuous commercial facades, shaded footpaths, street trees and other pedestrian facilities;
 - (iv) is the primary destination and interchange hub for all modes of road and local area public transport;
 - (v) is well designed, safe and highly accessible;
 - (vi) is well served with all urban infrastructure; and
 - (vii) retains important character and heritage values.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the height and scale of buildings reinforce the principal role of the centre with the tallest buildings being in the core precinct;
 - (b) building layout and form is suitable to accommodate a range of compatible uses;
 - (c) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (d) development facilitates safe and efficient public/active transport use and pedestrian movement;
 - (e) development activates the street at ground level through the location of active uses (including shops and food and drink outlets) and by design (including continuous shop facades, continuous awnings, narrow shop fronts, doorways, large display windows, street trees, street furniture and varied external wall treatments);
 - (f) development creates a pedestrian rather than car oriented street frontage. Car parking areas do not dominate the street frontage and are predominantly located behind buildings;
 - (g) development must address key corners, be responsive to the regions climate and create a pedestrian friendly environment;
 - (h) development maintains or enhances view corridors, especially to Mount Archer and the Berserker Range;
 - (i) development maintains the structured grid pattern layout of lanes and wide streets;
 - (j) development that traverses a laneway and extends from one street through to another, provides linkages for pedestrians;
 - (k) buildings that have heritage and character features reflecting the area's history are protected and reused where possible;
 - (l) development is landscaped to assist with the greening of the city and the creation of shady, safe and well connected public places;
 - (m) the provision of infrastructure services, car parking and access is adequate for the type and scale of development;

- (n) development is generally undertaken in accordance with concept plans; and
- (o) the establishment of four (4) precincts within the zone, where particular requirements are identified:
 - (i) Business services precinct;
 - (ii) Core precinct;
 - (iii) Denison Street precinct; and
 - (iv) Quay Street precinct.

Business services precinct

- (3) The following overall outcomes of the business services precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
 - (a) the following development is located in the precinct:
 - (i) large format retail uses supporting the core precinct, including office supplies and commercial services;
 - (ii) community related activities; and
 - (iii) residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (b) large-scale commercial, administrative and government offices are not located in this precinct — these are located in the core precinct;
 - (c) industrial uses are limited to service industry uses;
 - (d) development is low-medium rise to high rise (along Bolsover Street) and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) servicing and parking occurs off laneways where possible so that a continuity of built form along the road frontage is developed.

Core precinct

- (4) The following overall outcomes of the core precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
 - (a) the following development is located in the precinct:
 - (i) commercial uses including government and private sector regional and head offices;
 - (ii) premium office space;
 - (iii) high quality, boutique, leisure and destination retail (for example department stores);
 - (iv) a range of large-scale community, cultural, recreational, entertainment and tertiary educational facilities; and
 - (v) a range of residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (b) development includes uses that operate at different times of the day to ensure the precinct has vitality and reduces the potential for crime through activation and passive surveillance;
 - (c) the tallest buildings in the planning scheme area are located in the core precinct and reinforce the character, legibility and landmark function of the precinct;
 - (d) buildings have a minimum height of two (2) storeys or a parapet facing the street, no less than ten (10) metres in height to help frame the street and reflect the significance of the core precinct;
 - (e) the historic character of East Street is retained and reinforced with continuous footpaths and awnings and the retention of a two (2) storey minimum building or parapet height;
 - (f) development maximises important views towards the Mount Archer ranges, the Fitzroy River and The Range with tower and podium design buildings;
 - (g) servicing and parking occurs off laneways where possible so that a continuity of built form along streets is developed; and
 - (h) major public transport routes and modes connect the precinct to other major centres in the planning scheme area.

Denison Street precinct

- (5) The following overall outcomes of the Denison Street precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
- (a) the following development is located in the precinct:
 - (i) industrial uses are limited to service industry and low impact industry; and
 - (ii) large format retail uses supporting the core precinct, including office supplies and commercial services;
 - (b) residential uses (except for caretaker's accommodation) are not located in this precinct;
 - (c) large-scale commercial, administrative, government offices, community, cultural, and entertainment uses are not located in this precinct — (these are located in the core precinct);
 - (d) development is low-medium rise and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) servicing and parking occurs off laneways where possible so that a continuity of built form along streets is developed.

Quay Street precinct

- (6) The following overall outcomes of the Quay Street precinct are additional to the overall outcomes of the principal centre zone and take precedence in the event of a conflict:
- (a) the following development is located in the precinct:
 - (i) offices only where they are:
 - (A) above ground level with a frontage to Quay Street (to ensure active uses such as restaurants, cafes or shops at the ground floor level);
 - or
 - (B) small scale, create a fine grained façade and provide for extensive overlooking of the street when at ground level in premises with a frontage to Quay Lane;
 - (ii) residential uses above ground level or behind ground storey retail, commercial or community related activities;
 - (iii) shops (boutique and tourist retail); and
 - (iv) food and drink outlets (restaurants, cafes), cultural and entertainment uses;
 - (b) ground floor uses including shops, food and drink outlets (restaurants, cafes and bars) and markets that maximise the use of the footpath and riverfront aspect for alfresco dining are supported;
 - (c) heritage buildings fronting Quay Street are adapted and used for a mix of uses to attract people to the precinct and to preserve the buildings. Preferred uses include retail, restaurants and short-term accommodation;
 - (d) development is low-medium rise and street trees are protected and augmented to create amenity and enhance the pedestrian environment; and
 - (e) new buildings and structures:
 - (i) are designed to complement the heritage features of the precinct;
 - (ii) are built to boundary;
 - (iii) are designed to accommodate active uses at ground level;
 - (iv) do not include car parking fronting Quay Street; and
 - (v) are sited to have access off Quay Lane.

6.3.1.3 Specific benchmarks for assessment

Table 6.3.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways), except where stated otherwise for a particular precinct have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of building(s) contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO2.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Where in the business services precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO3 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) locates low-medium rise to high rise (Bolsover Street) buildings in the business services precinct; (b) establishes a visually interesting skyline with buildings of varying heights and scale across the entire principal centre; and (c) provides a transition to adjoining residential zones. 	<p>AO3.1 The height of buildings and structures does not exceed those specified in Figure 6.3.1.3.1a — Maximum building heights in the business services precinct.</p> <p>AND</p> <p>AO3.2 Site cover does not exceed the following:</p> <ul style="list-style-type: none"> (a) eighty (80) per cent for sites identified for three (3) storeys and twelve (12) metres maximum building height as shown on Figure 6.3.1.3.1a; (b) ninety (90) per cent for sites identified for five (5) storeys and eighteen (18)

Performance outcomes	Acceptable outcomes
	<p>metres as shown on Figure 6.3.1.3.1a; and</p> <p>(c) 100 per cent for sites identified for twelve (12) storeys and forty-five (45) metres as shown on Figure 6.3.1.3.1a.</p>
<p>PO4 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO4.1 Awnings are provided in accordance with Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO5 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p>	<p>AO5.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO5.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO5.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>

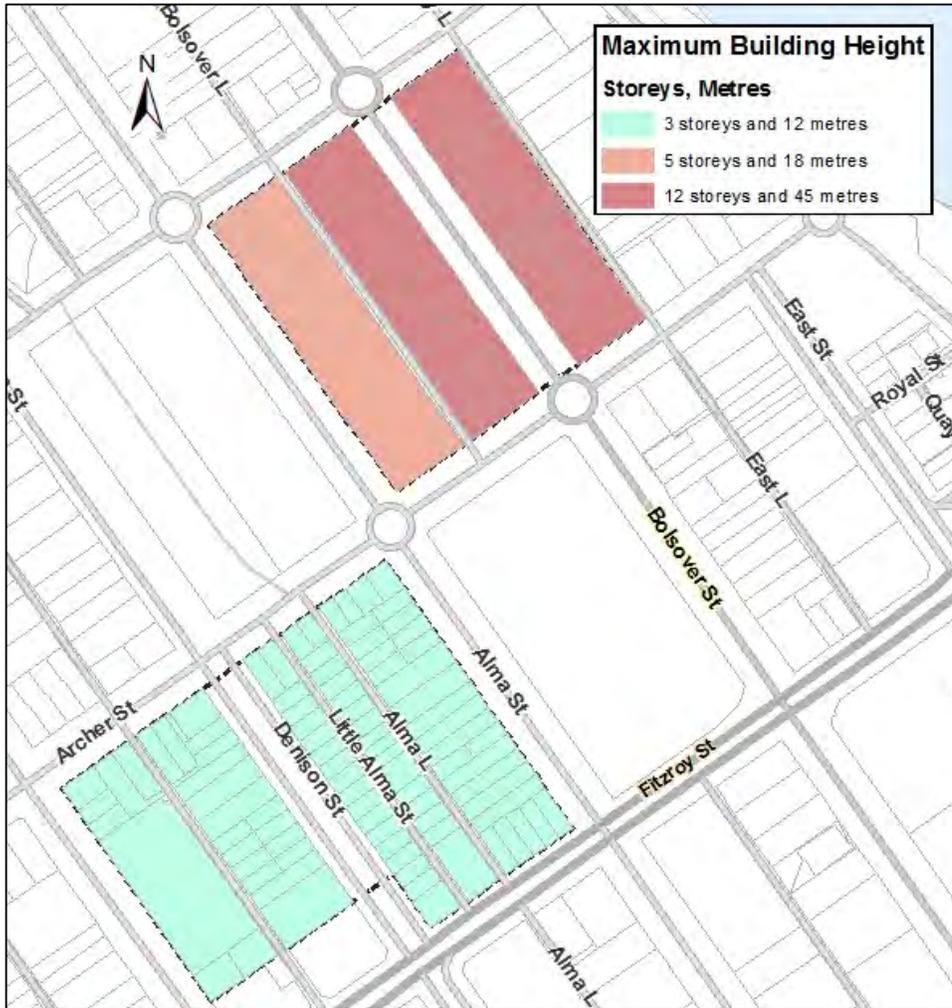


Figure 6.3.1.3.1a — Maximum building heights in the business services precinct

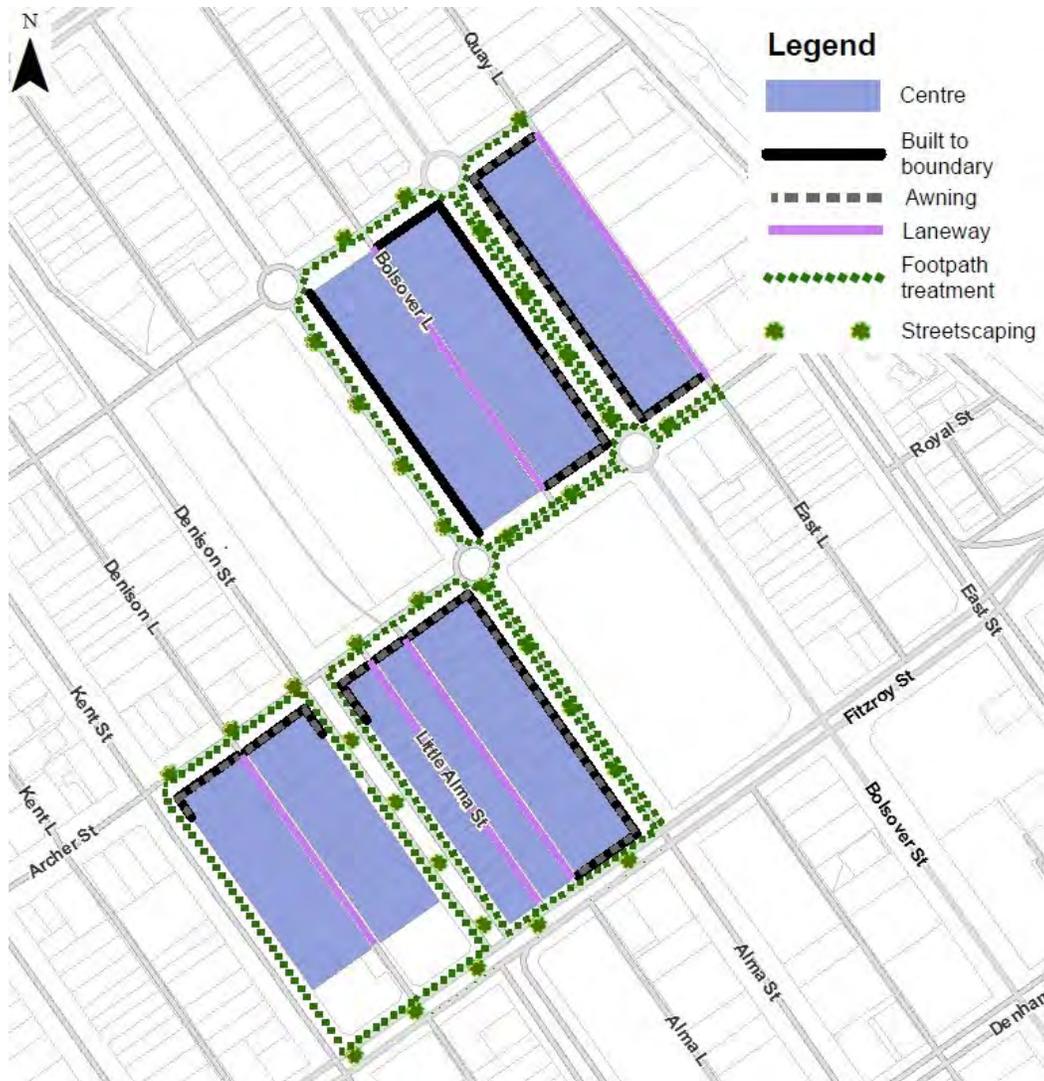


Figure 6.3.1.3.1b — Business services precinct concept plan (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the core precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO6 Development is of a height that:</p> <ul style="list-style-type: none"> (a) concentrates the tallest buildings in the core precinct, with building height stepping down to the Fitzroy River; (b) reflects and responds to the scale of adjoining heritage building forms; and (c) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO6.1 The height of buildings and structures does not exceed those specified in Figure 6.3.1.3.1c — Maximum building heights in the core precinct.</p>
<p>PO7 Buildings taller than four (4) storeys include a podium and tower design in order to:</p> <ul style="list-style-type: none"> (a) minimise building massing at upper levels by requiring setbacks to all boundaries; (b) minimise the domination of streets and other pedestrian spaces by setting back tower levels from street frontages; (c) provide opportunities for the penetration of natural light and breezes between buildings; and (d) provide for long views between the upper levels of buildings. <p>Editor's note—Development is to be generally in accordance with Figure 6.3.1.3.1d.</p>	<p>AO7.1 Podiums do not exceed four (4) storeys and fifteen (15) metres in height above ground level.</p> <p>AND</p> <p>AO7.2 Podiums are built to the primary street frontage boundary.</p> <p>AND</p> <p>AO7.3 The maximum site cover of podium levels is 100 per cent.</p> <p>AND</p> <p>AO7.4 On a site with a street frontage of less than twenty (20) metres, the gross floor area of the new building above maximum podium height does not exceed four (4) times the area of the site.</p> <p>AND</p> <p>AO7.5 Levels above the podium are set back from all site boundaries by no less than five (5) metres, except:</p> <ul style="list-style-type: none"> (a) for sites less than twenty (20) metres in width, where the minimum side boundary setbacks are two (2) metres; and (b) to align with an existing blank wall on a common boundary with an adjoining site, where no side boundary setback is required.
<p>PO8 Development provides for building facades of at least two (2) storeys (or a parapet facing the street) no less than ten (10)</p>	<p>AO8.1 Buildings have a minimum height of two (2) storeys and ten (10) metres above ground level.</p>

Performance outcomes	Acceptable outcomes
metres in height to reflect the significance of the principal centre – core precinct.	
<p>PO9 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO9.1 Awnings are provided in accordance with</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements), <p>and are:</p> <ol style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.
<p>PO10 Development is designed to:</p> <ol style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO10.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO10.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO10.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO11 Development provides a continuous built form and a safe and walkable urban environment for pedestrians.</p>	<p>AO11.1 No vehicle access is obtained from the locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted

Performance outcomes	Acceptable outcomes
	subject to requirements and assessable elements).

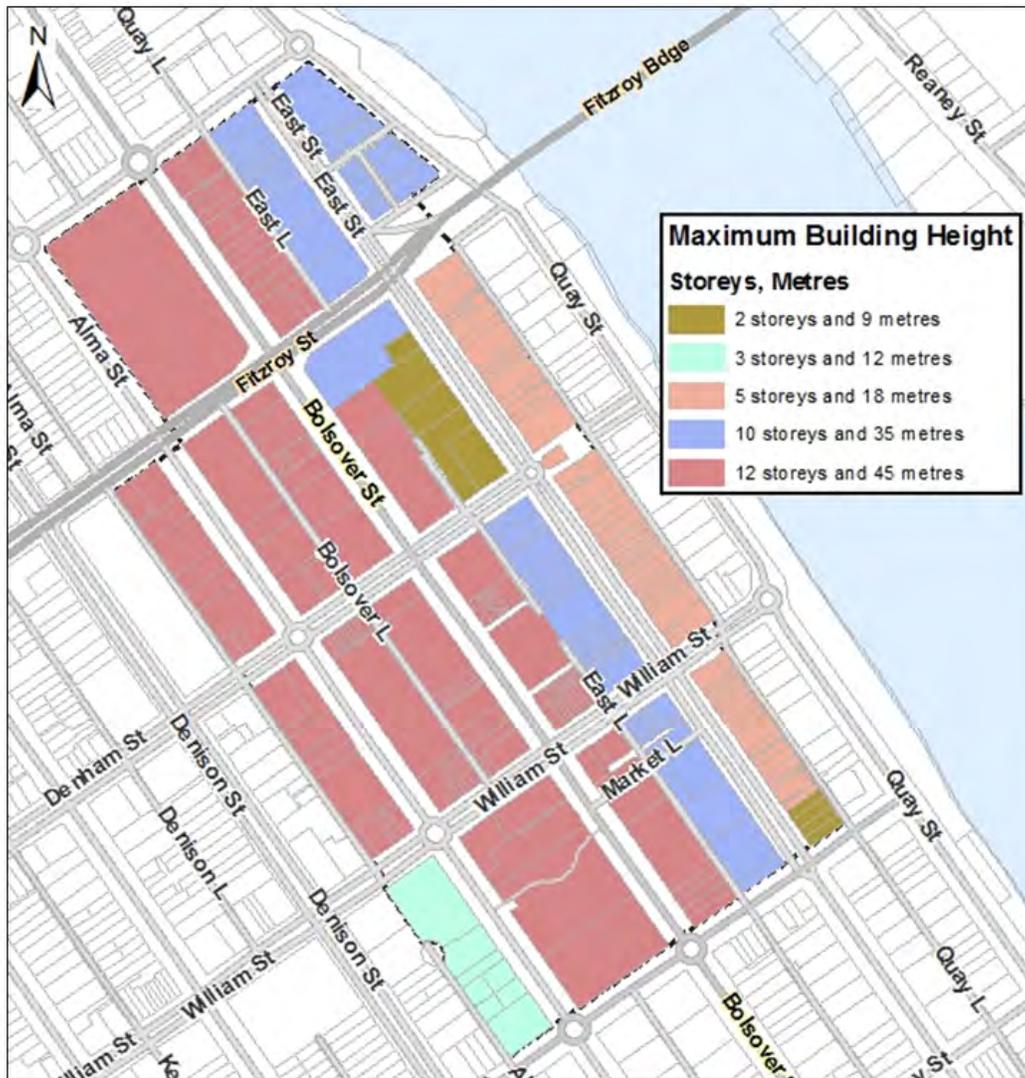


Figure 6.3.1.3.1c — Maximum building heights in the core precinct

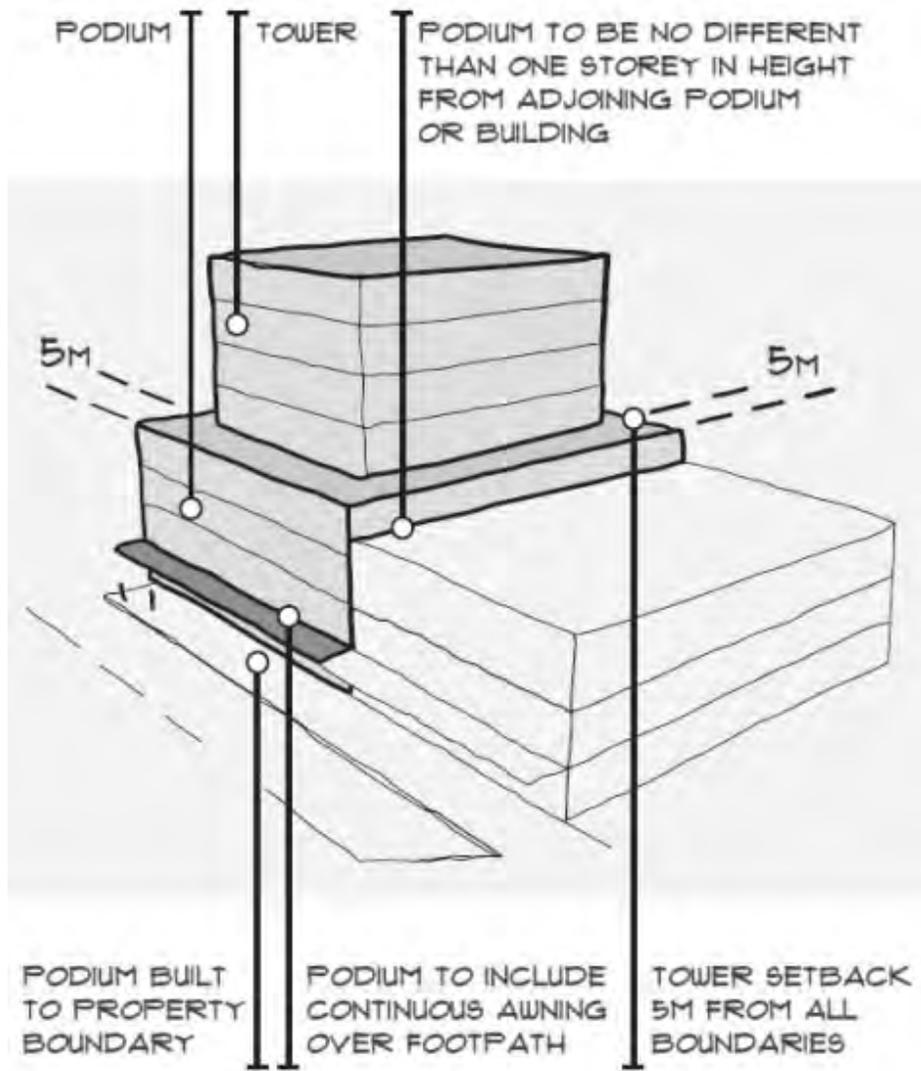


Figure 6.3.1.3.1d — Built form in the core precinct



Figure 6.3.1.3.1e — Core precinct concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.1.3.1f — Core precinct concept plan – East Street (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Denison Street precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
<p>PO12 Development is of a height that:</p> <ul style="list-style-type: none"> (a) locates low-medium rise buildings in the Denison Street precinct; and (b) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO12.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p>
<p>PO13 Building scale and density provides a transition to adjoining residential zones.</p>	<p>AO13.1 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO14 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO14.1 Awnings are provided in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width from the face of the building or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO15 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO15.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO15.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	AO15.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.



Figure 6.3.1.3.1g — Denison Street precinct concept plan (accepted subject to requirements and assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Quay Street precinct	

Performance outcomes	Acceptable outcomes
<p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO16 Development is of a height that:</p> <ul style="list-style-type: none"> (a) locates low-rise buildings in the Quay Street precinct stepping down from the core precinct to the Fitzroy River; (b) reflects and responds to the scale of adjoining heritage building forms; and (c) establishes a visually interesting skyline with buildings of varying heights across the entire principal centre. 	<p>AO16.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p>
<p>PO17 Existing heritage buildings are retained and new development is compatible with the general bulk and scale of existing buildings.</p>	<p>AO17.1 The maximum site cover is 100 per cent of the total site area.</p>
<p>PO18 Development provides an awning over the full width and depth of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO18.1 Awnings are provided in accordance with Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.
<p>PO19 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. 	<p>AO19.1 Buildings are built to the road frontage in accordance with Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements).</p> <p>AND</p> <p>AO19.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO19.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO20</p>	<p>AO20.1</p>

Performance outcomes	Acceptable outcomes
<p>If established at ground level fronting Quay Lane, offices are small scale, create a fine grained façade and provide extensive overlooking of the street.</p> <p>Editor's note— It is Council's preference that studio and boutique style offices front Quay Lane and larger scale commercial offices reside within the Core Precinct.</p>	<p>Offices where located at ground level and fronting onto Quay Lane:</p> <ul style="list-style-type: none"> (a) do not exceed 150 square metres gross floor area; (b) any single office frontage does not exceed ten (10) metres in length; (c) pedestrian entrance is via Quay Lane; (d) reception area fronts onto Quay Lane; and (e) the frontage is predominantly transparent glass.
Land use	
<p>PO21 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO21.1 Residential uses (except for short-term accommodation) are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; (b) located within a premise containing another use; and (c) not located within the Denison Street precinct (except for caretaker's accommodation).
Adult Store	
<p>PO22 Adult Store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO22.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO23 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<p>AO23.1 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO23.2 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO24 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO24.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and

Performance outcomes	Acceptable outcomes
	(c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO25 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO25.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.1.3.1h — Quay Street precinct concept plan (accepted subject to requirements and assessable elements)

Table 6.3.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO26 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.1.3.2a and Figure 6.3.1.3.2b.</p>	<p>AO26.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO26.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner.</p> <p>AND</p> <p>AO26.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements).
<p>PO27 Development:</p> <ol style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) in the form of large shopping centres includes shop fronts facing all external streets; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO28 Buildings are designed to include elements which create visual interest, such as:</p> <ol style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) different design elements for the lower, middle and top sections of buildings of three (3) or more storeys; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (e) at least three (3) variations in textures, materials and colours. 	<p>No acceptable outcome is nominated.</p>
<p>PO29 Buildings are finished with high quality materials which are easily maintained and</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
do not readily stain, discolour or deteriorate.	
PO30 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.	No acceptable outcome is nominated.
Land use	
PO31 Non-residential development does not occur beyond the zone boundaries.	AO31.1 Development occurs within the area zoned principal centre.
Streetscape and landscaping	
PO32 On-site landscaping is provided to: (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths.	No acceptable outcome is nominated. Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.
PO33 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.	AO33.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.
PO34 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.	No acceptable outcome is nominated.

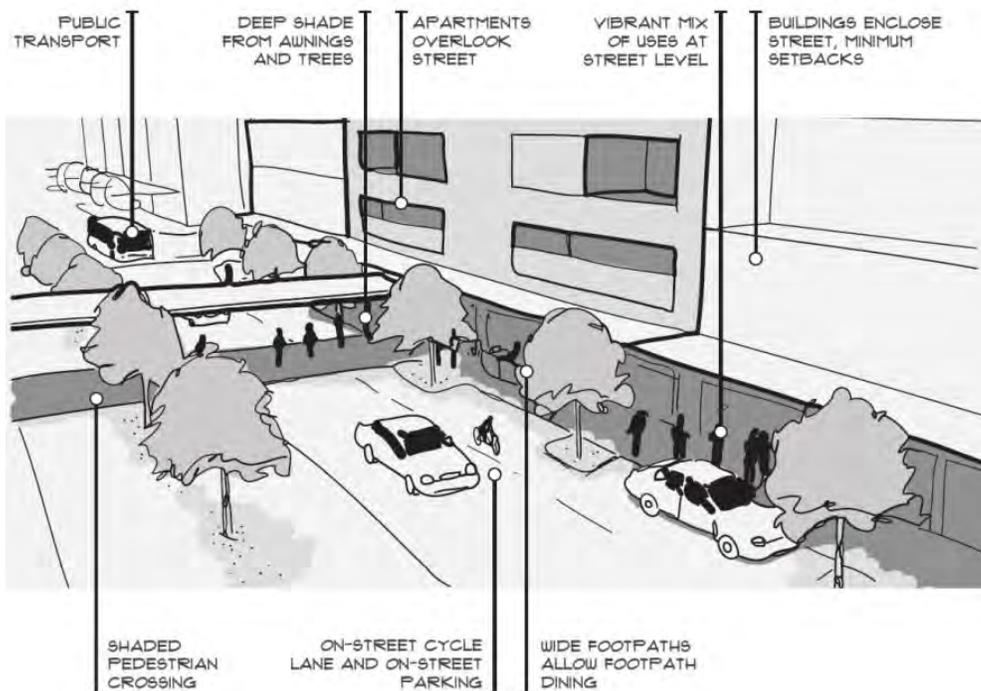
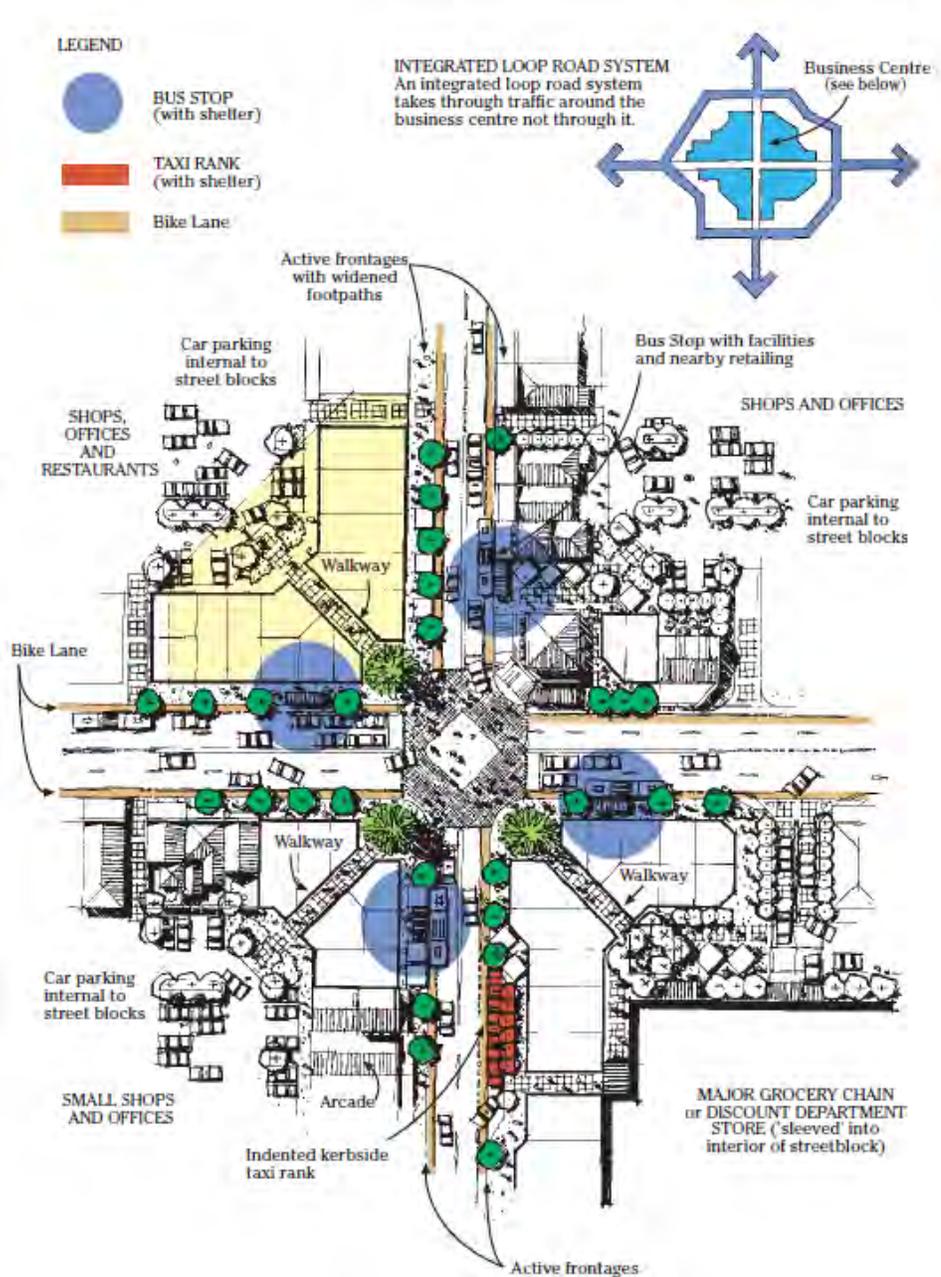


Figure 6.3.1.3.2a — Built form and streetscape appearance



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.1.3.2b — Development on intersections

Performance outcomes	Acceptable outcomes
Where in the business services precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO35 Development does not detract from the role and function of the core precinct as the key commercial, administrative, government,	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
community, cultural, entertainment and retail centre for the planning scheme area.	
Where in the core precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO36 Development extending from street to street provides inter-block pedestrian connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO36.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements). <p>AND</p> <p>AO36.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO37 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive precinct and enhance pedestrian amenity.</p>	<p>AO37.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements); and • Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements).
<p>PO38 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	No acceptable outcome is nominated.

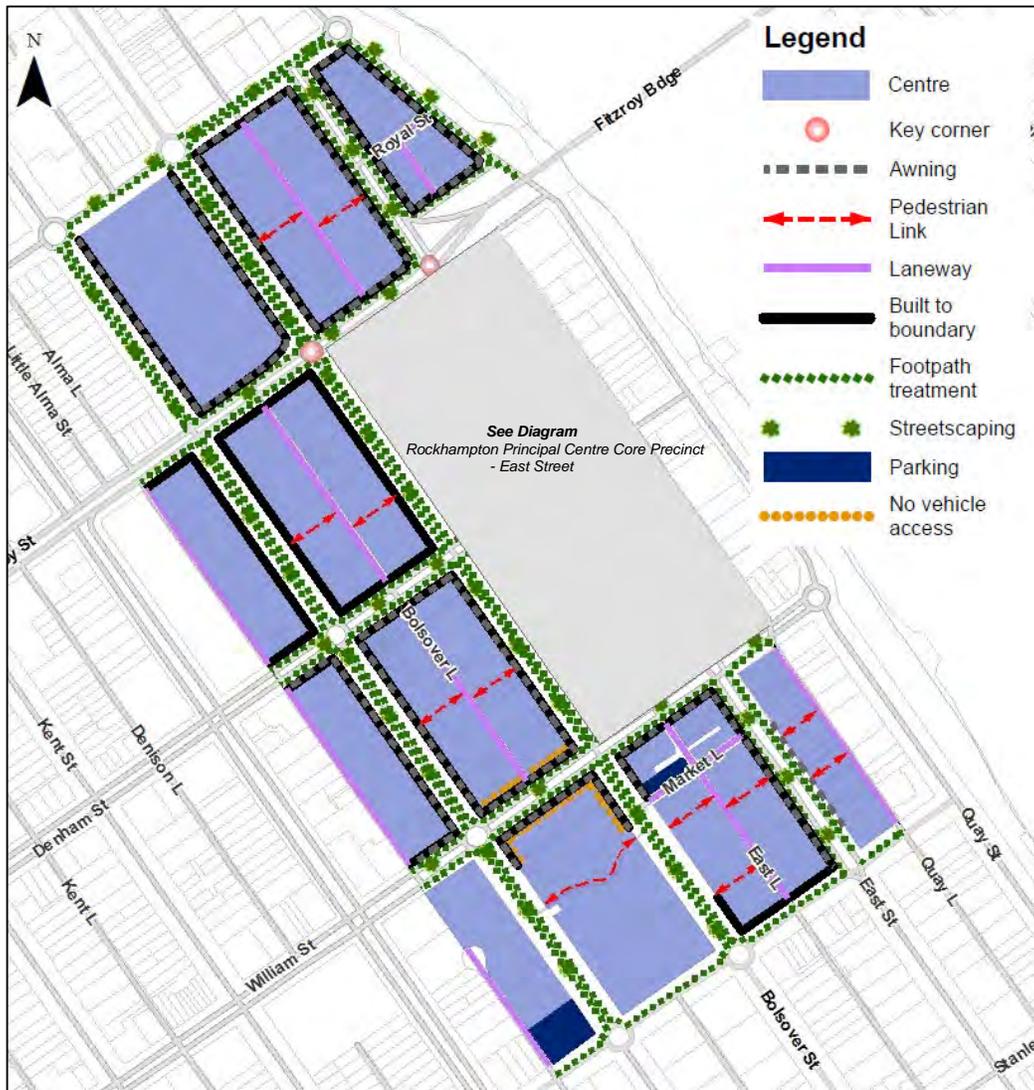


Figure 6.3.1.3.2c — Core precinct concept plan (assessable elements)

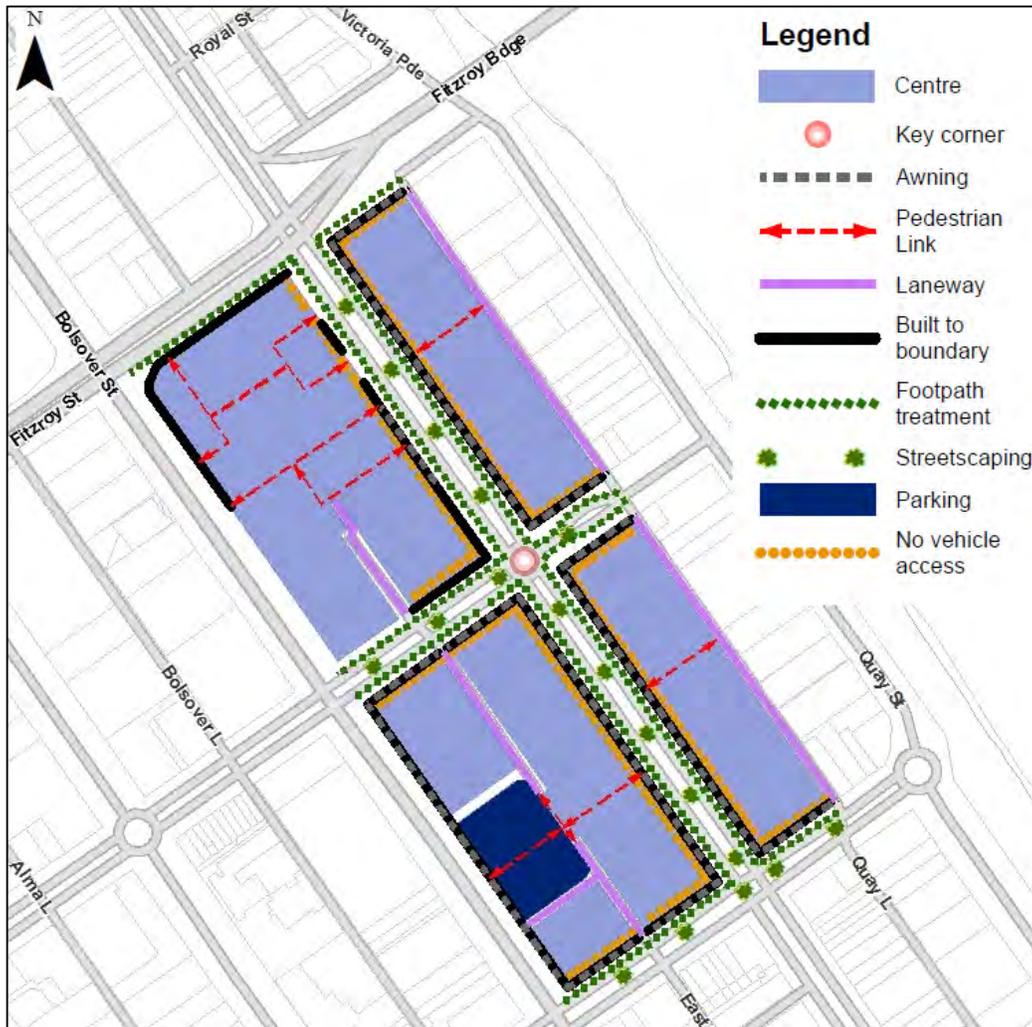


Figure 6.3.1.3.2d — Core precinct concept plan – East Street (assessable elements)

Performance outcomes	Acceptable outcomes
Where in the Denison Street precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO39 Development does not detract from the role and function of the core precinct as the key commercial, administrative, government, community, cultural, entertainment and retail centre for the planning scheme area.	No acceptable outcome is nominated.
PO40 The viability of existing and future low impact industry uses is not affected by the intrusion of incompatible uses.	AO40.1 Residential uses (except for caretaker's accommodation) are not located in this precinct.
PO41 Industry uses minimise adverse impacts on nearby sensitive land use(s) through building design, hours of operation, screening and landscaping.	No acceptable outcome is nominated.
Where in the Quay Street precinct	

Performance outcomes	Acceptable outcomes
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO42 Development creates a vibrant, engaging ground level that activates the street frontage, providing a safe urban environment that integrates with the Fitzroy riverfront. This includes uses which protect and enhance historic buildings and attract people and activity.</p>	No acceptable outcome is nominated.
<p>PO43 Development fronting Quay Street, at ground level, includes food and drink outlets (restaurants, cafe, alfresco dining), nightclub entertainment facilities, shops (retail uses) or other active uses in order to attract visitation day and night. Offices are not established at ground level along Quay Street.</p>	No acceptable outcome is nominated.
<p>PO44 Development fronting Quay Street does not provide additional vehicle access points to the street</p>	No acceptable outcome is nominated.
<p>PO45 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive precinct and enhance pedestrian amenity.</p>	<p>AO45.1 Development provides for streetscape treatments and street trees in the areas as shown on Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements).</p>
<p>PO46 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are: (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone.</p>	No acceptable outcome is nominated.
<p>PO47 Development extending from street to street provides inter-block pedestrian connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO47.1 Pedestrian links are provided and reinforced in accordance with Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements).</p> <p>AND</p> <p>AO47.2 Arcades are: (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.</p>

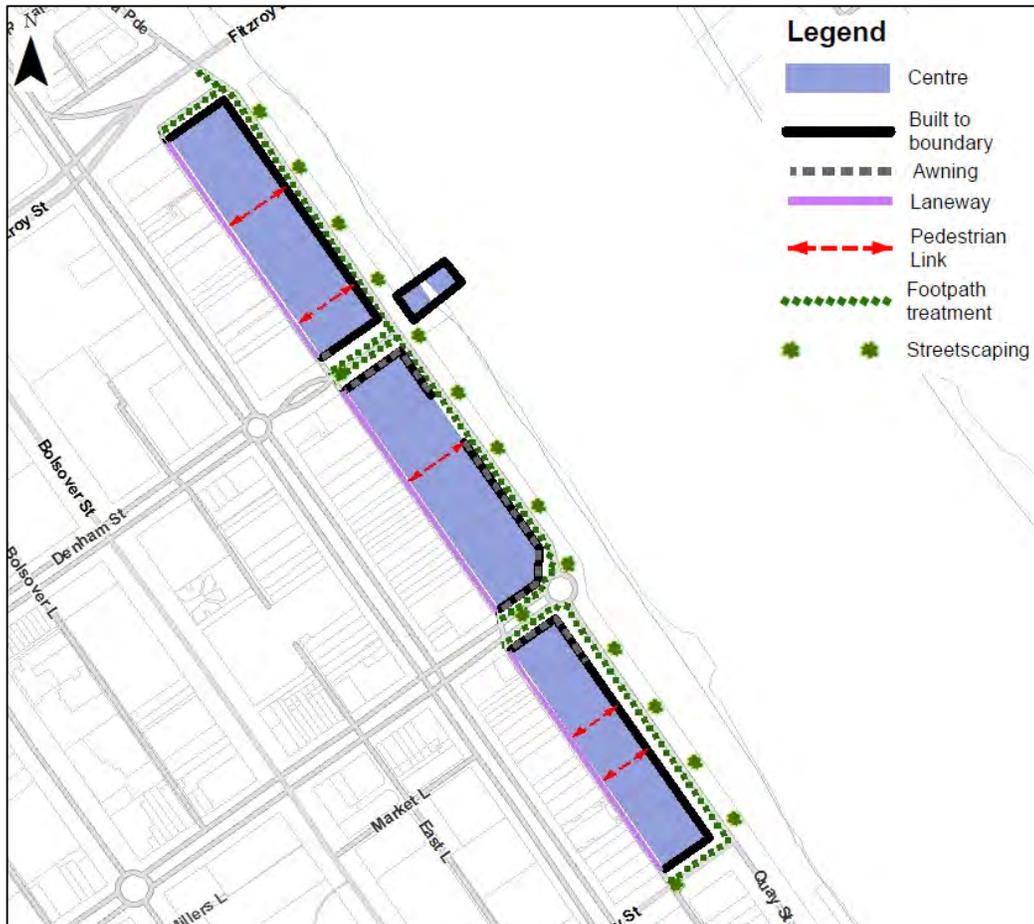


Figure 6.3.1.3.2e — Quay Street precinct concept plan (assessable elements)

6.3.2 Major centre zone code

6.3.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the major centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.2.2 Purpose

- (1) The purpose of the major centre zone code is to:
 - (a) facilitate the growth and consolidation of the major centre providing services to a regional catchment area; and
 - (b) facilitate the development of the major centre which:
 - (i) is developed generally with retail and commercial uses at ground level providing continuous commercial facades, concourses, shaded footpaths, street trees and other pedestrian facilities;
 - (ii) form vibrant focal points for the community and interchange hubs for modes of transport;
 - (iii) is safe and highly accessible for all forms of transport and pedestrians;
 - (iv) is integrated and well designed; and

- (v) is well served with all urban infrastructure.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
- (a) uses servicing the needs of the regional catchment are located in the zone including retail (including full-line supermarkets, department stores, variety stores and the like), community, entertainment and leisure uses;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial or community related activities) is supported within the zone;
 - (c) service industries that meet the needs of the catchment and do not adversely impact on the overall amenity and functionality of the major centre are located in this zone;
 - (d) development does not undermine the viability, role or function of the principal centre;
 - (e) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (f) mid (or higher) rise buildings are to contain a mix of land uses, including a residential component in the upper levels;
 - (g) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (h) the height and scale of buildings reinforces the character, legibility and landmark function of the centres whilst creating a human scale and an attractive, pedestrian friendly environment at street level;
 - (i) building layout and form is suitable to accommodate a range of compatible uses;
 - (j) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (k) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation; development is generally undertaken in accordance with major centre concept plans;
 - (l) development:
 - (i) provides active building frontages orientated to Aquatic Place, High Street, Moores Creek Road, Richmond Street and Musgrave Street;
 - (ii) provides an improved streetscape to Aquatic Place, High Street, Moores Creek Road, Richmond Street, Ford Street and Musgrave Street;
 - (iii) provides improved pedestrian connectivity between Stockland Rockhampton, cinemas and uses in Aquatic Place, Kershaw Gardens, Northside Plaza and the nearby specialised centre;
 - (iv) limits major access points to High Street, Musgrave Street, Ford Street, Richmond Street, Moores Creek Road and Aquatic Place;
 - (v) incorporates a major transit hub within the site itself, including a primary bus interchange;
 - (vi) provides for the enhancement and maintenance of Moores Creek;
 - (vii) minimises the impacts of increased vehicular traffic conditions on Musgrave Street, High Street, Ford Street, Richmond Street and Moores Creek Road; and
 - (viii) improves on-site circulation and traffic management;
 - (m) development is landscaped to assist with the greening of the streetscape and the creation of shady, safe and well connected pedestrian and public places;
 - (n) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;
 - (o) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
 - (p) development involving a significant increase in gross floor area (greater than 5,000 square metres) is accompanied by a master plan that demonstrates how the expansion integrates with the balance of the centre, the surrounding urban areas and encourages the creation of diverse, vibrant, and viable centres of activity.

6.3.2.3 Specific benchmarks for assessment

Table 6.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that establishes:</p> <ul style="list-style-type: none"> (a) a consolidated, low-medium rise centre in a landscaped setting, with integrated parking; (b) a human scale at street level (including internal streets and parking area); and (c) provides a transition to adjoining residential zones and specialised centre zone. 	<p>AO2.1 The height of buildings and structures does not exceed four (4) storeys and fifteen (15) metres above ground level.</p> <p>AND</p> <p>AO2.2 The ground levels of buildings have a minimum floor to ceiling height of four (4) metres.</p> <p>AND</p> <p>AO2.3 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape.</p>	<p>AO3.1 Awnings are provided in accordance with Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements) and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p>	<p>AO4.1</p>

Performance outcomes	Acceptable outcomes
<p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p>	<p>Buildings are built to the road frontage in accordance with Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements).</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <p>(a) has a minimum area of nine (9) square metres;</p> <p>(b) has a minimum dimension of three (3) metres;</p> <p>(c) is directly accessible from a habitable room; and</p> <p>(d) does not accommodate air conditioning units.</p>
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO6.1 Residential uses are:</p> <p>(a) located above ground storey or behind ground storey retail, commercial or community uses; and</p> <p>(b) located within a premise containing another use.</p>
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <p>(a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or</p> <p>(b) more than 100 metres measured in a straight line.</p>
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy</p>	<p>AO8.1 Windows that have a direct view into an adjoining residential use are provided with</p>

Performance outcomes	Acceptable outcomes
and the amenity of nearby residential uses or land in a residential zone are minimised.	<p>fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO8.2 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Development limits vehicle access to state-controlled roads to ensure a safe and functional road network.</p>	<p>AO9.1 No new vehicle access is obtained from the locations as shown on Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements).</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



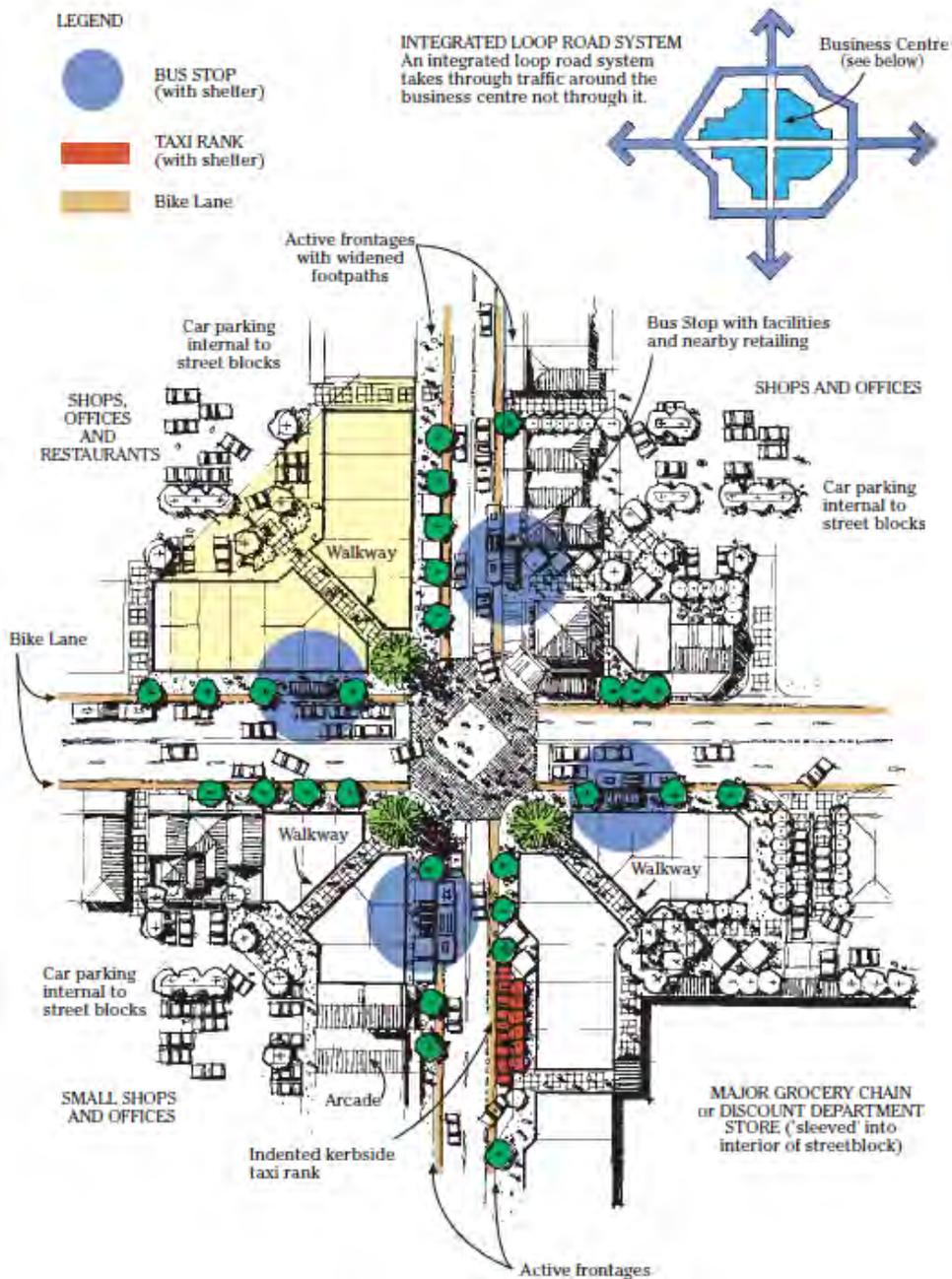
Figure 6.3.2.3.1a — Major centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.2.3.2a.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development on key corner sites as shown on Figure 6.3.2.3.2b — Major centre concept plan (assessable elements) present a high quality built form and provide landscape and streetscape treatment.</p>
<p>PO13 Development:</p> <ul style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Large, free-standing shopping centres maximise outwardly-focused commercial, retail, food and entertainment uses facing shopping streets, open car parking areas and public spaces.</p> <p>Editor's note—Development is to be in accordance with the principles outlined in Figure 6.3.2.3.2c.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO15 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) for buildings three (3) storeys and taller, different design elements are utilised for the lower, middle and top sections of the building; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(e) at least three (3) variations in textures, materials and colours.	
<p>PO16 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO17 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO18 Development involving an increase in gross floor area that exceeds 5,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following:</p> <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; (g) rationalisation of vehicle crossovers; (h) provision of a high level of pedestrian, cyclist and public transport accessibility; (i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks; (j) encouragement of pedestrian mobility over vehicle mobility; (k) provision of safe and high quality streetscapes and walkways; (l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and (m) generally in accordance with Figure 6.3.2.3.2b — Major centre concept plan (assessable elements). <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	No acceptable outcome is nominated.
Land use	
<p>PO19 Development does not detract from the role and function of the principal centre.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area that exceeds 250 square metres of office is accompanied by an economic impact report that assesses the economic impacts on the principal centre. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
<p>PO20 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO20.1 Development occurs within the area zoned major centre.</p>
Streetscape and landscaping	
<p>PO21 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO22 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO22.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO23 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO23.1 Development provides for streetscape treatments and street trees in the areas as shown on Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).</p>
<p>PO24 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	<p>No acceptable outcome is nominated.</p>
<p>PO25 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO26 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO26.1 Pedestrian links are provided and reinforced in accordance with Figure 6.3.2.3.2b — Major centre concept plan (assessable elements).</p> <p>AND</p> <p>AO26.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO27 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.2.3.2a — Development on intersections

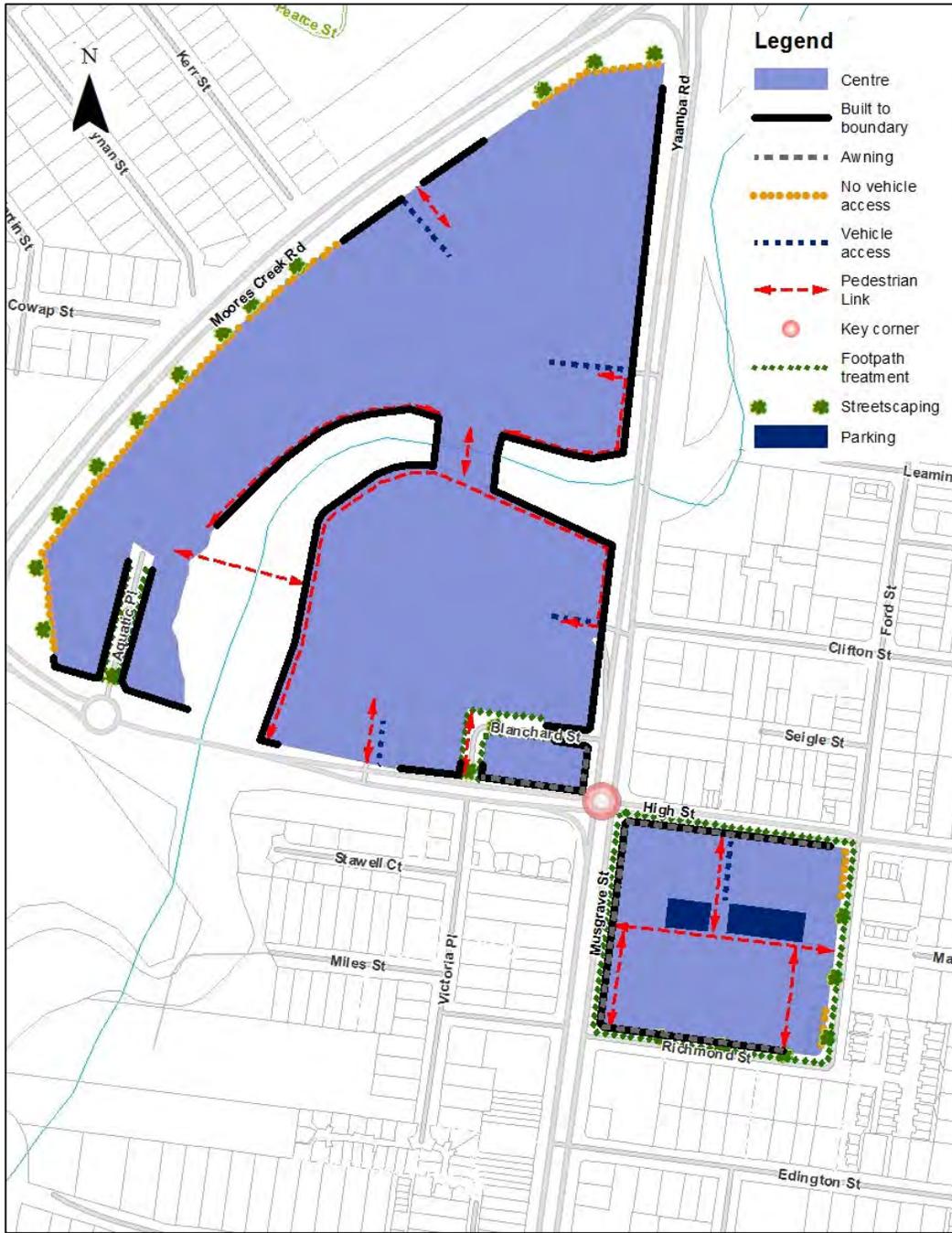


Figure 6.3.2.3.2b — Major centre concept plan (assessable elements)

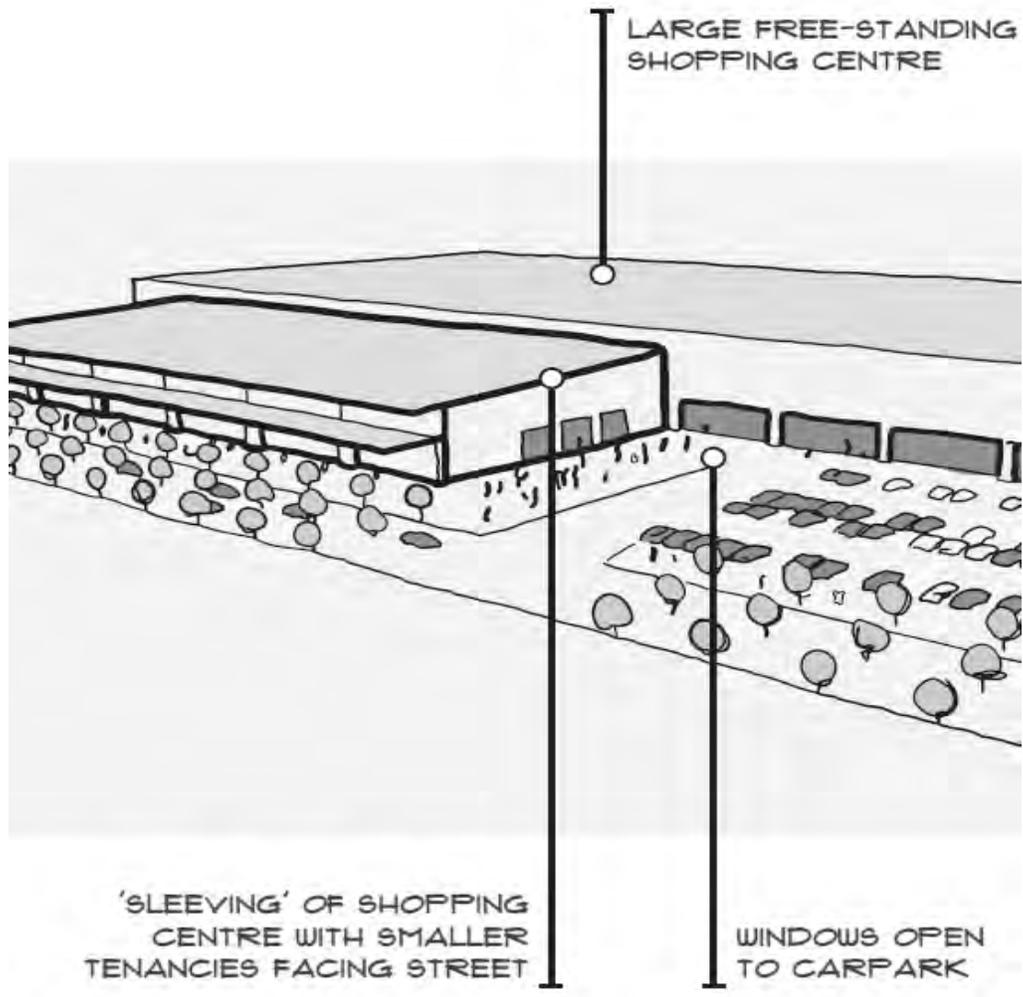


Figure 6.3.2.3.2c — Shopping centre layout and design

6.3.3 District centre zone code

6.3.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the district centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.3.2 Purpose

- (1) The purpose of the district centre zone code is to:
 - (a) facilitate the growth and consolidation of district centres at Allenstown and Gracemere and provide services and facilities to district catchments of approximately 5,000 to 8,000 households; and
 - (b) facilitate the development of district centres which:
 - (i) provide a community focus for weekly or fortnightly shopping trips;
 - (ii) are safe and highly accessible for all forms of transport and pedestrians;
 - (iii) are integrated and well designed; and
 - (iv) are well served with all urban infrastructure.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) uses servicing the needs of the district catchment being major weekly or fortnightly shopping are located in the zone including retail, shops (including full-line supermarket), community, entertainment and leisure uses;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial and community related activities) is supported within the zone;
 - (c) development does not undermine the viability, role or function of the principal centre or major centre;
 - (d) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (e) mid-rise buildings are to contain a mix of land uses, including a residential component in the upper levels;
 - (f) in the short- to medium-term, new full-line supermarkets serving the southern catchment of Rockhampton and Gracemere will be located in the Gracemere district centre or the principal centre;
 - (g) the northern catchment of Rockhampton will accommodate one (1) full-line supermarket within the Parkhurst (Boundary Road) district centre;
 - (h) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (i) the height and scale of buildings reinforces the character, legibility and landmark function of the centres whilst creating an attractive, pedestrian friendly environment at street level;
 - (j) building layout and form is suitable to accommodate a range of compatible uses;
 - (k) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (l) buildings facing public streets are activated by shop fronts, doorways, awnings, varied external wall treatments, street trees and activities;
 - (m) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (n) locally significant buildings that display heritage and character features of the area's history are protected and reused where possible;
 - (o) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (p) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;

- (q) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
- (r) development involving a significant increase in gross floor area (greater than 3,000 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Allenstown district centre

- (3) Development is generally in accordance with the Allenstown district centre concept plans;
- (4) Development does not involve an additional supermarket; and
- (5) Development:
 - (a) provides for pedestrian movement between Allenstown Plaza, Allenstown Hotel, Connolly Park and development along Canning Street;
 - (b) provides for active street frontages along Canning Street and Upper Dawson Road;
 - (c) incorporates streetscape improvement and integration with Connolly Park; and
 - (d) ensures integration with the adjoining residential zone and manages the interface with the adjoining residential land uses.

Gracemere district centre

- (6) Development is generally in accordance with the Gracemere district centre concept plans; and
- (7) Development:
 - (a) provides for pedestrian movement between Gracemere Shopping World, public transport and the traditional main street of Lawrie Street and Russell Street;
 - (b) provides for active street frontages along Lawrie Street that ensures no ‘big box’ retail development designs; and
 - (c) incorporates streetscape treatments along McLaughlin Street adjacent to the district centre.

Parkhurst (Boundary Road) district centre

- (8) Development is generally in accordance with the Parkhurst (Boundary Road) district centre concept plans; and
- (9) Development:
 - (a) provides for a pedestrian connection from Yaamba Road to Boundary Road and to the Heritage Village;
 - (b) provides for an active frontage along Boundary Road and Yaamba Road; and
 - (c) provides for a public transport set down area that is accessible to the local community.

6.3.3.3 Specific benchmarks for assessment

Table 6.3.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (b) a pedestrian entry and door that is visible and accessible from the street.

Performance outcomes	Acceptable outcomes
<p>(c) building entries provided directly from the primary frontage of the building and on-grade to the street.</p>	<p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <p>(a) establishes the district centre as a focus of community and retailing activity;</p> <p>(b) is low-medium rise and complements the scale of the locality;</p> <p>(c) maintains the residential amenity in adjoining residential zones; and</p> <p>(d) minimises overshadowing and overlooking of residential areas.</p>	<p>AO2.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO2.2 The ground levels of buildings have a minimum floor to ceiling height of four (4) metres.</p> <p>AND</p> <p>AO2.3 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allentown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements) <p>and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p>

Performance outcomes	Acceptable outcomes
	<p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p> <p>Editor's note—Development is to provide for car parking areas as generally shown on Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements), Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).</p>	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements) <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
PO5	AO5.1

Performance outcomes	Acceptable outcomes
Residential uses are provided with privacy and private outdoor living space.	Dwellings are provided with private open space or a balcony which: <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
PO6 The streetscape is provided with uses that generate activity along the street frontage.	AO6.1 Residential uses are: <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult Store	
PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.	AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following: <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
PO8 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.	AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on: <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allentown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> AO8.2 No new vehicle access is obtained from locations as shown on: <ul style="list-style-type: none"> • Figure 6.3.3.3.1a — Allentown district centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject

Performance outcomes	Acceptable outcomes
	<p>to requirements and assessable elements) and</p> <ul style="list-style-type: none"> Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.5 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO8.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.3.3.1a — Allenstown district centre concept plan (accepted subject to requirements and assessable elements)

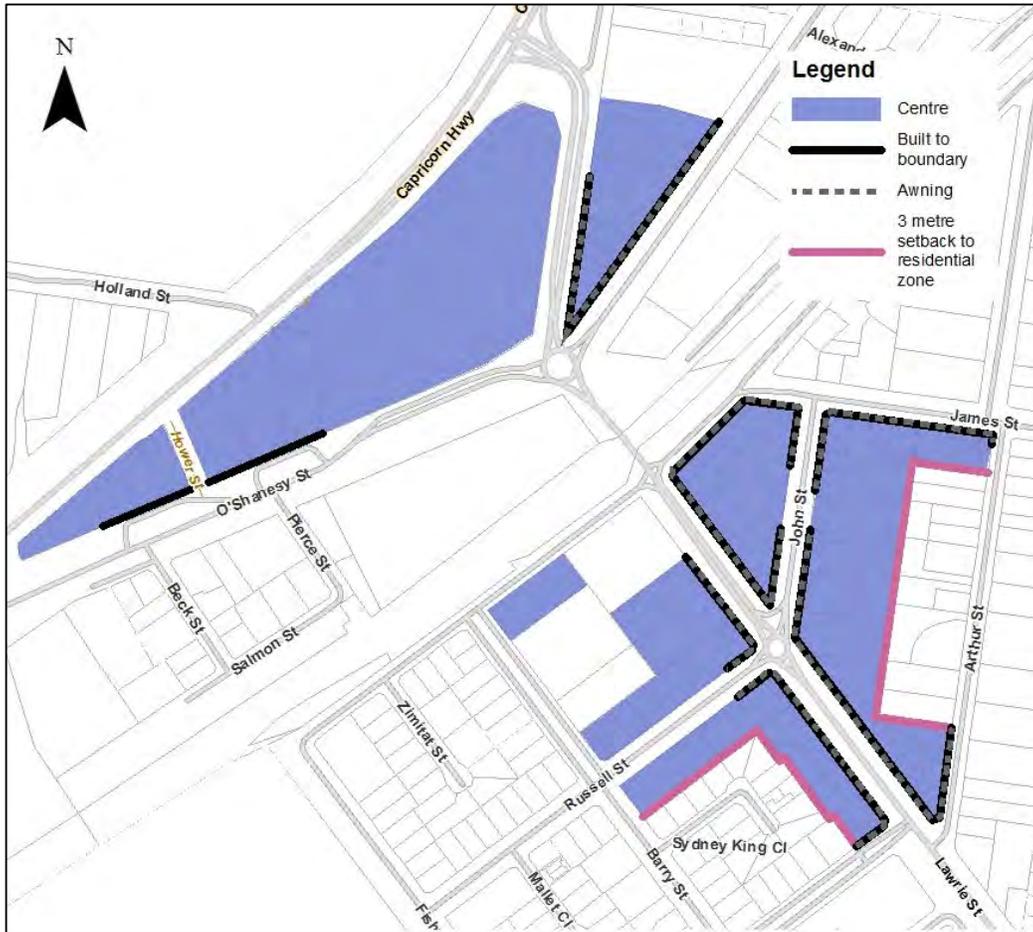


Figure 6.3.3.3.1b — Gracemere district centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.3.3.1c — Parkhurst (Boundary Road) district centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.3.3.2 — Development outcomes for assessable development

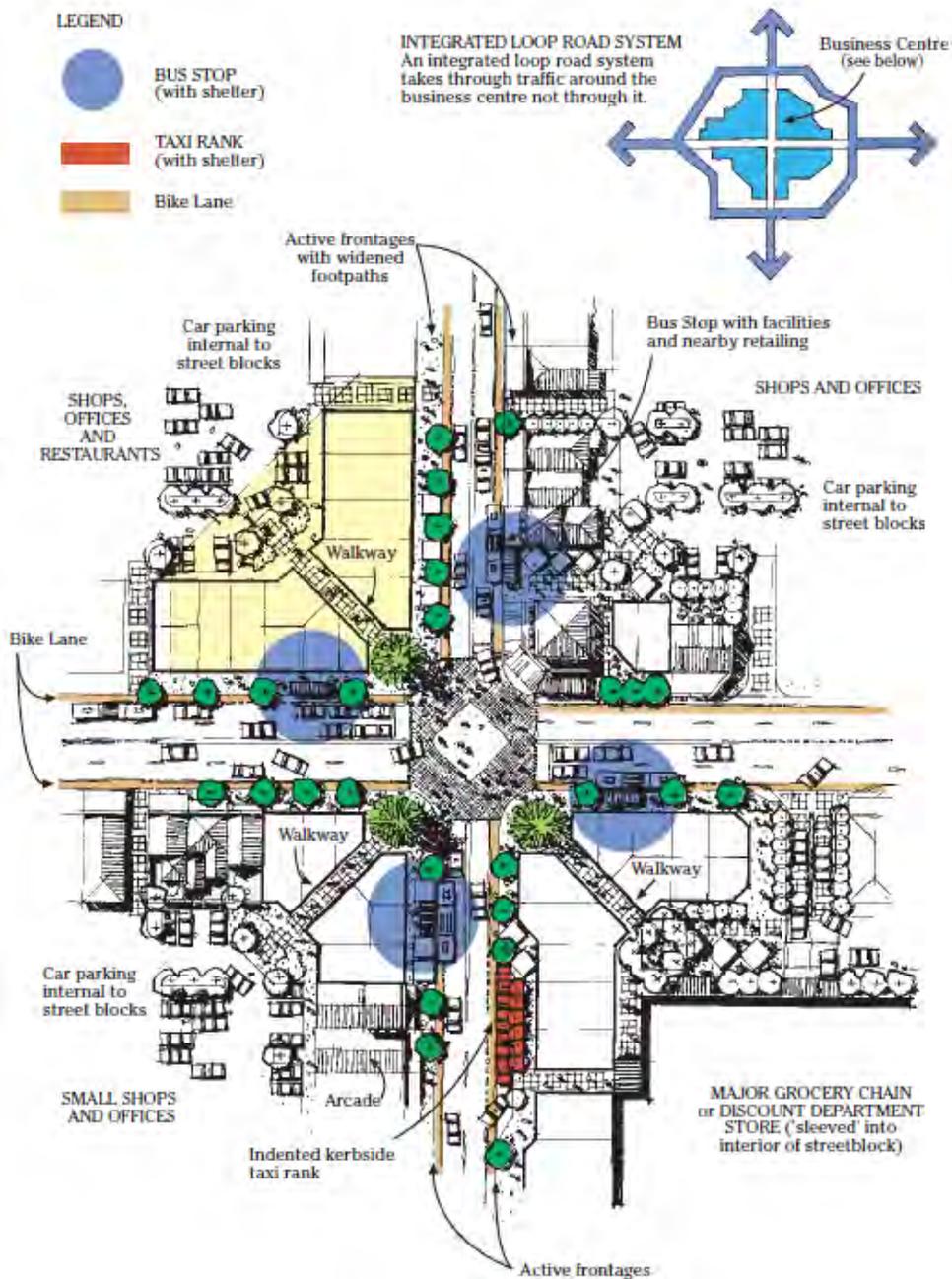
Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p> <p>Editor's note—Development is to be generally in accordance with Figure 6.3.3.3.2a.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).
<p>PO13 Development:</p> <p>(a) creates a safe, active, and inclusive environment with uses which operate during the day and night;</p> <p>(b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and</p> <p>(c) is designed to promote the use of public transport, walking and cycling.</p>	No acceptable outcome is nominated.
<p>PO14 Large, free-standing shopping centres maximise opportunities for outwardly-focused commercial, retail, food and entertainment uses facing shopping streets, open car parking areas and public spaces.</p> <p>Editor's note—Development is to be in accordance with the principles outlined in Figure 6.3.3.3.2e.</p>	No acceptable outcome is nominated.
<p>PO15 Buildings are designed to include elements which create visual interest, such as :</p> <p>(a) variations in plan shape, such as curves, steps, recesses, projections or splays;</p> <p>(b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays;</p> <p>(c) for buildings three (3) storeys, different design elements are utilised for the lower, middle and top sections of the building;</p> <p>(d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and</p> <p>(e) at least three (3) variations in textures, materials and colours.</p>	No acceptable outcome is nominated.
<p>PO16 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO17 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO18 Development involving an increase in gross floor area that exceeds 3,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(a) provision of active uses on key pedestrian circulation streets and major frontages;</p> <p>(b) creation of a predominant built to street frontage form;</p> <p>(c) provision of a human scale at street level;</p> <p>(d) incorporation of climate responsive design;</p> <p>(e) creation of a mix of uses resulting in day time and night time activity;</p> <p>(f) incorporation of safety and security measures;</p> <p>(g) rationalisation of vehicle crossovers;</p> <p>(h) provision of a high level of pedestrian, cyclist and public transport accessibility;</p> <p>(i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;</p> <p>(j) encouragement of pedestrian mobility over vehicle mobility;</p> <p>(k) provision of safe and high quality streetscapes and walkways;</p> <p>(l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and</p> <p>(m) generally in accordance with Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements), Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO19 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 3,000 square metres of retail or 250 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre and major centre. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>
<p>PO20 In Allenstown, development does not involve an additional supermarket.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO21 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO21.1 Development occurs within the area zoned district centre.</p>

Performance outcomes	Acceptable outcomes
Streetscape and landscaping	
<p>PO22 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO23 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO23.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO24 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO24.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allentown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and • Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).
<p>PO25 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <ul style="list-style-type: none"> (a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and (b) located to create a 1.5 metre wide clear pedestrian zone. 	<p>No acceptable outcome is nominated.</p>
<p>PO26 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO27 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO27.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.3.3.2b — Allentown district centre concept plan (assessable elements); • Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements) and • Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements).

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO27.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO28 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



(Source: Queensland Department of Transport: Shaping up)

Figure 6.3.3.3.2a — Development on intersections

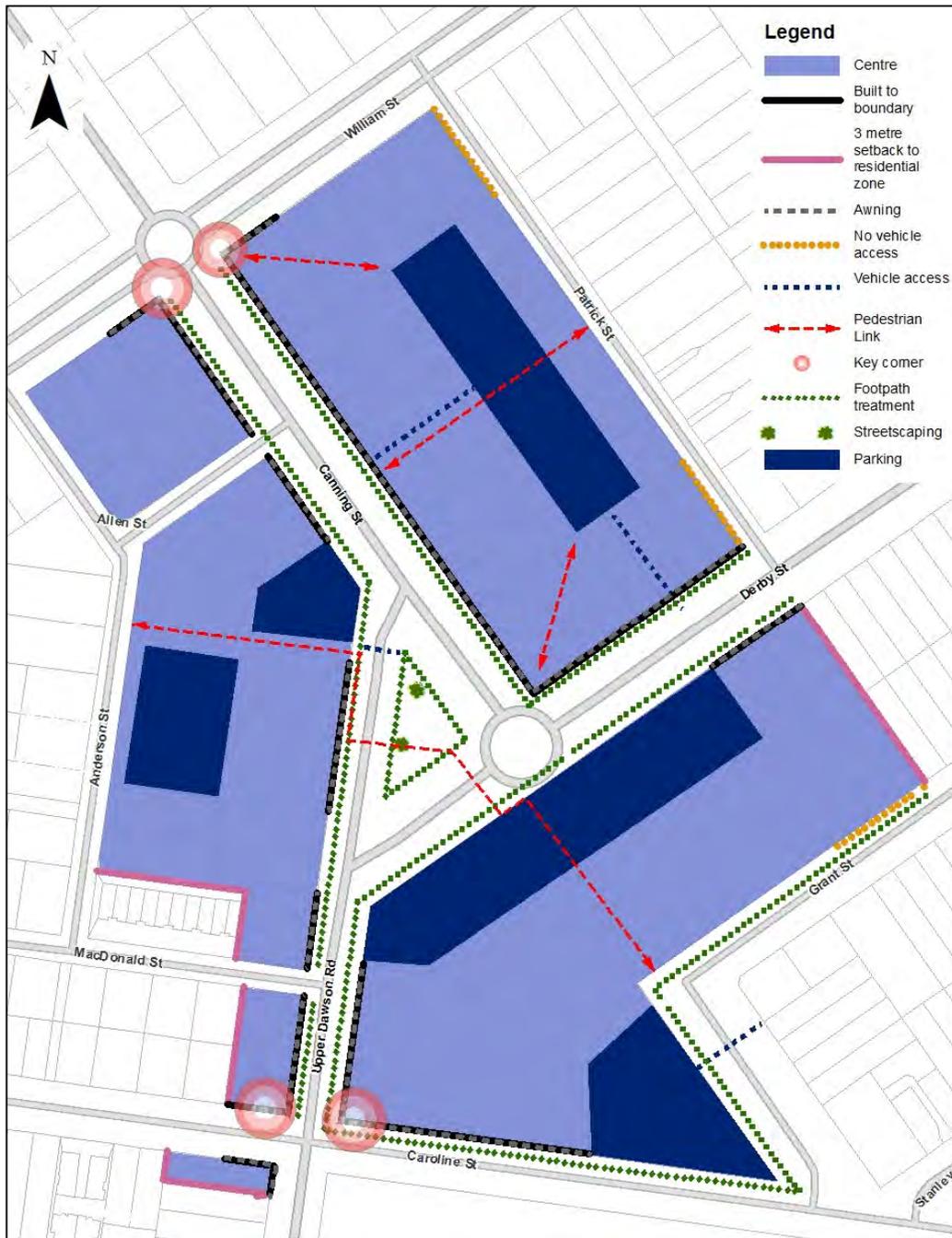


Figure 6.3.3.3.2b — Allenstown district centre concept plan (assessable elements)

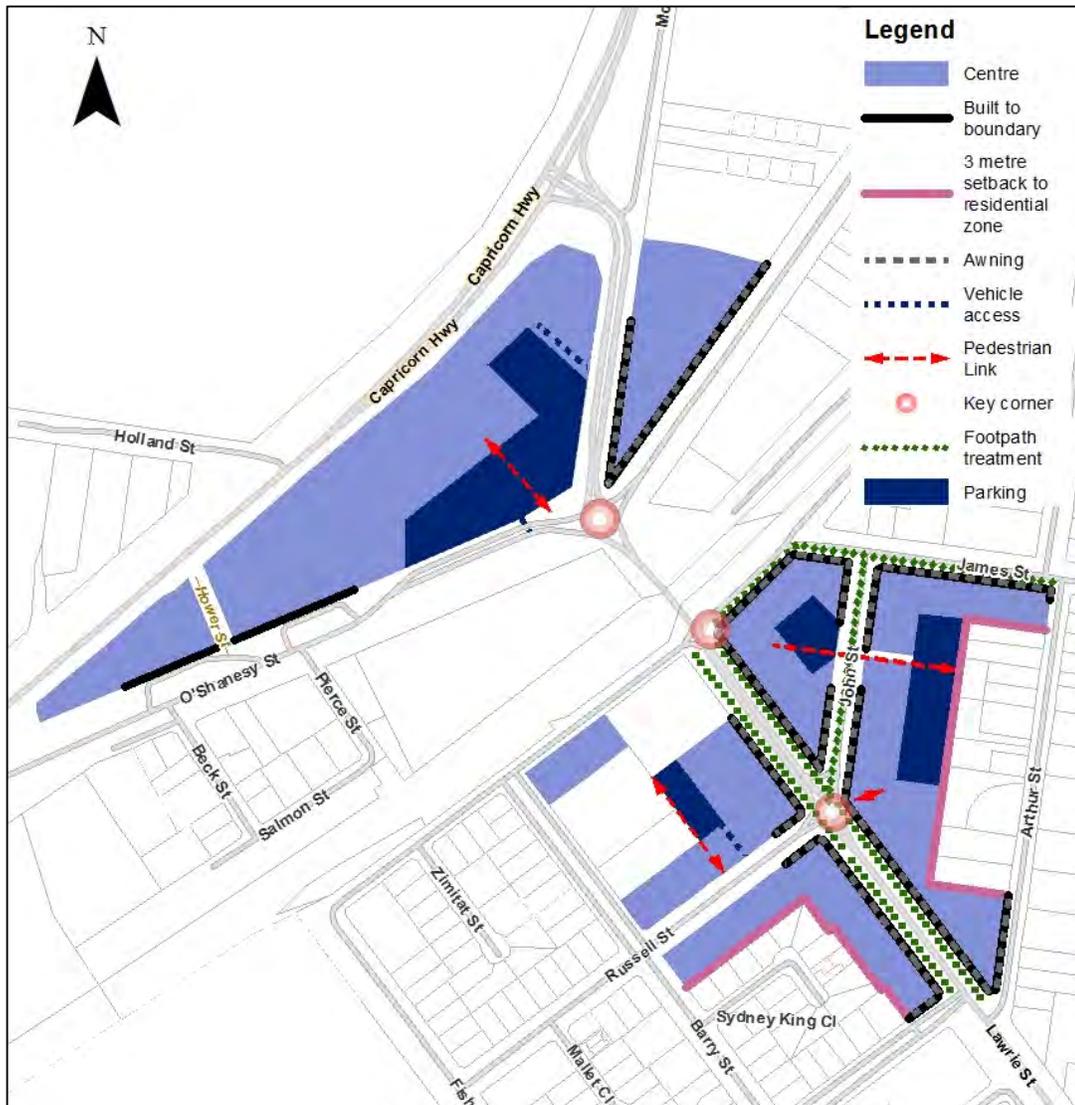


Figure 6.3.3.3.2c — Gracemere district centre concept plan (assessable elements)

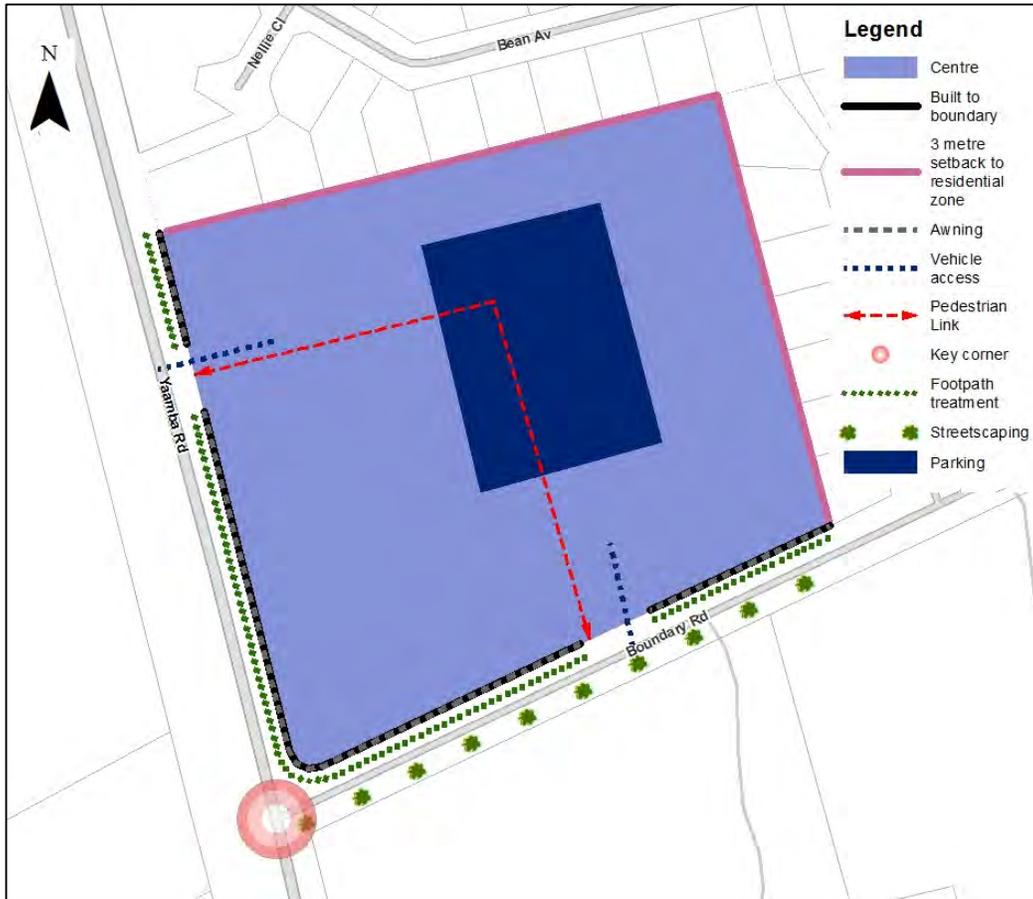


Figure 6.3.3.3.2d — Parkhurst (Boundary Road) district centre concept plan (assessable elements)

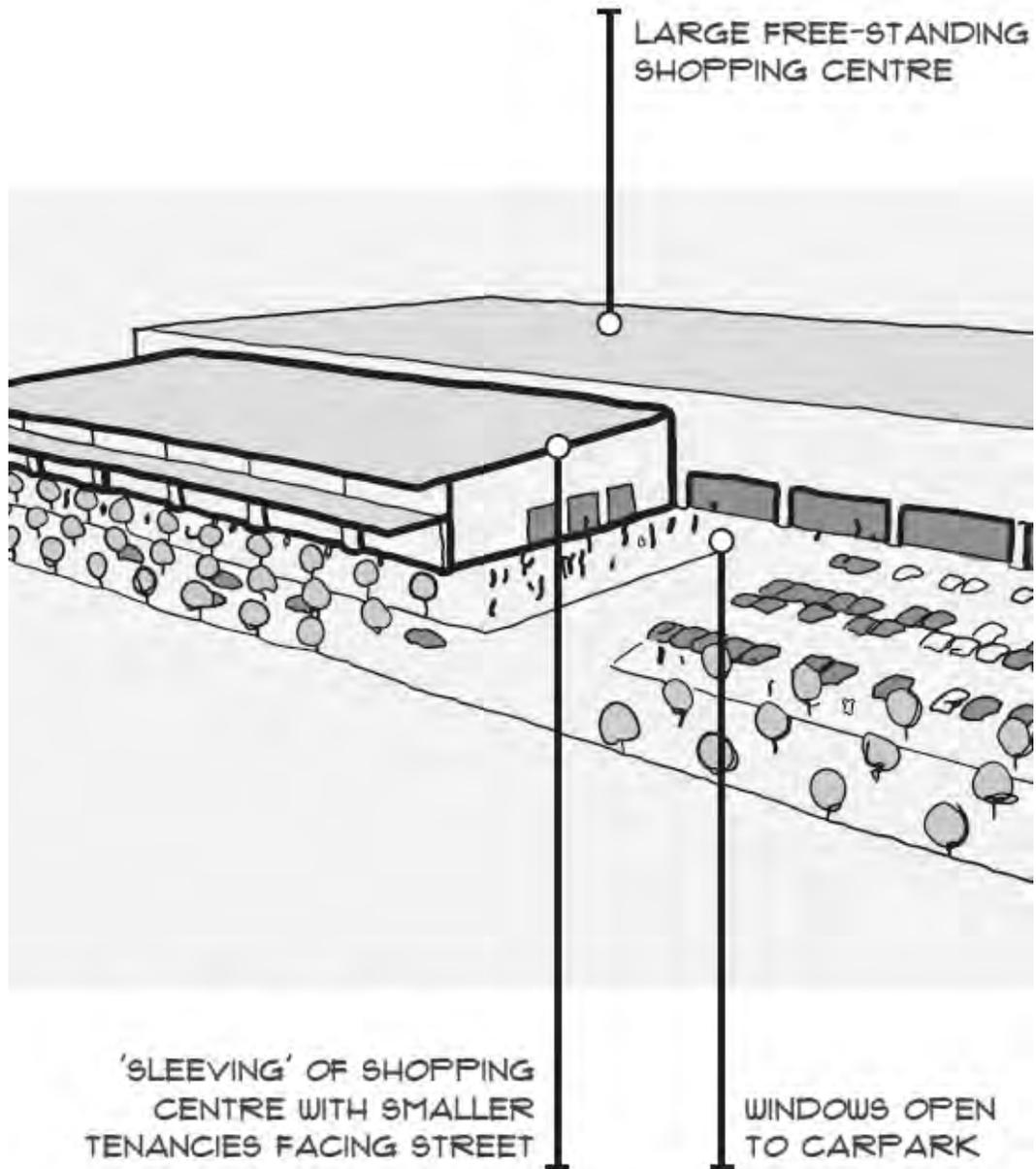


Figure 6.3.3.3.2e — Shopping centre layout and design

6.3.4 Local centre zone code

6.3.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the local centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.4.2 Purpose

- (1) The purpose of the local centre zone code is to:
 - (a) facilitate the development of local centres at Frenchville (Dean Street), Norman Gardens (Farm Street), Norman Gardens (Norman Road) and Mount Morgan, providing services and facilities appropriate to local catchments of approximately 3,000 to 5,000 households; and
 - (b) facilitate the development of local centres which:
 - (i) provide a community focus for convenience needs to serve a local catchment;
 - (ii) are safe and highly accessible for all forms of transport and pedestrians;
 - (iii) are integrated and well designed; and
 - (iv) are well served with all urban infrastructure.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) uses servicing the needs of a local catchment are located in the zone including retail, smaller scale supermarkets (which serve predominantly “top up” needs), speciality shops food and drink outlets and offices providing localised personal services and meeting a wider range of convenience needs;
 - (b) development for residential uses (when above ground level or behind ground storey retail, commercial and community related activities) is supported within the zone;
 - (c) development does not undermine the viability, role or function of other higher order centres;
 - (d) North Parkhurst to accommodate a future local centre located along William Palfrey Road (Lot 5 on SP238731) commensurate with the population growth of the immediate catchment that does not detract from the Parkhurst (Boundary Road) district centre. Otherwise, no additional local centres (beyond those that are zoned) are required;
 - (e) stand-alone, purpose built office buildings which exceed the 250 square metre gross floor area threshold are not to be established;
 - (f) development includes uses that operate at different times of the day to ensure centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (g) the height and scale of buildings reinforce the character, legibility and landmark function of the centres whilst creating an attractive, pedestrian friendly environment at street level;
 - (h) building design includes a combination of materials, balconies, recesses and variations in horizontal and vertical planes;
 - (i) buildings facing public streets are activated by shop fronts, doorways, awnings, varied external wall treatments, street trees and activities;
 - (j) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency and water conservation;
 - (k) locally significant buildings that display heritage and character features of the area’s history are protected and reused where possible;
 - (l) building layout and form is suitable to accommodate a range of compatible uses;
 - (m) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (n) development is clustered around public and active transport and facilitates safe and efficient use of public transport, walking and cycling;

- (o) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
- (p) development involving a significant increase in gross floor area (greater than 1,000 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Frenchville (Dean Street) local centre

- (3) Development is generally in accordance with the Frenchville (Dean Street) local centre concept plans; and
- (4) Development:
 - (a) provides access to public transport services on Dean Street;
 - (b) locates on-site car parking at the rear of new developments to limit on-street parking along Dean Street;
 - (c) ensures no new accesses for service vehicles via Diplock Street;
 - (d) maintains the pedestrian pathway along the eastern side of Dean Street;
 - (e) provides footpath trees (where suitable) for shade on pedestrian pathways;
 - (f) provides for active street frontages, built to the primary front boundary with awnings to the street; and
 - (g) manages the interface between commercial/retail uses and adjoining residential uses.

Norman Gardens (Farm Street) local centre

- (5) Development is generally in accordance with the Norman Gardens (Farm Street) local centre concept plans; and
- (6) Development:
 - (a) ensures that current accesses are consolidated and connectivity achieved within the site;
 - (b) ensures access to Farm Street and the Bruce Highway (Yaamba Road) is limited;
 - (c) makes provision for improved access to public transport; and
 - (d) provides a pedestrian connection from Yaamba Road to Farm Street.

Norman Gardens (Norman Road) local centre

- (7) Development is generally in accordance with the Norman Gardens (Norman Road) local centre concept plans; and
- (8) Development:
 - (a) provides for an active frontage with awnings along Norman Road and Nagle Drive;
 - (b) provides for a pedestrian footpath along Norman Road and Nagle Drive;
 - (c) ensures access to Norman Road is limited; and
 - (d) provides for a public transport set down area that is accessible to the local community.

Mount Morgan local centre

- (9) Development is generally in accordance with the Mount Morgan local centre concept plans; and
- (10) Development:
 - (a) complements the heritage features of the area, including incorporating design elements that reflect the historic building form and building layout with the streetscape;
 - (b) is built to boundary;
 - (c) is designed to accommodate active uses at ground level;
 - (d) does not include car parking fronting Morgan Street;
 - (e) ensures that the grid pattern layout remains; and
 - (f) is sited to have vehicle access off Morgan Lane.

6.3.4.3 Specific benchmarks for assessment

Table 6.3.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (c) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) establishes the centre as a focus of community and retailing activity; (b) is low-medium rise and complements the scale of the locality; (c) maintains the residential amenity in adjoining residential zones; and (d) minimises overshadowing and overlooking of residential areas. 	<p>AO2.1 The height of buildings and structures does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO2.2 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection;

Performance outcomes	Acceptable outcomes
	<p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p> <p>(a) coordinated with awnings on adjoining properties to provide continuous weather protection;</p> <p>(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and</p> <p>(c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <p>(a) create a pedestrian rather than car oriented street frontage;</p> <p>(b) break down the facade into finer scaled components; and</p> <p>(c) avoid large expanses of blank walls oriented to the street.</p> <p>Editor's note—Development is to provide for car parking areas as generally shown on:</p> <p>(a) Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements);</p> <p>(b) Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements);</p> <p>(c) Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and</p> <p>(d) Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).</p>	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the primary street frontage.</p>	<p>AO6.1 Residential uses are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<p>AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements); <p>AND</p> <p>AO8.2 No new vehicle access is obtained from locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.5 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO8.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.</p>
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.4.3.1a — Frenchville (Dean Street) local centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.4.3.1b — Norman Gardens (Farm Street) local centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.4.3.1c — Norman Gardens (Norman Road) local centre concept plan (accepted subject to requirements and assessable elements)

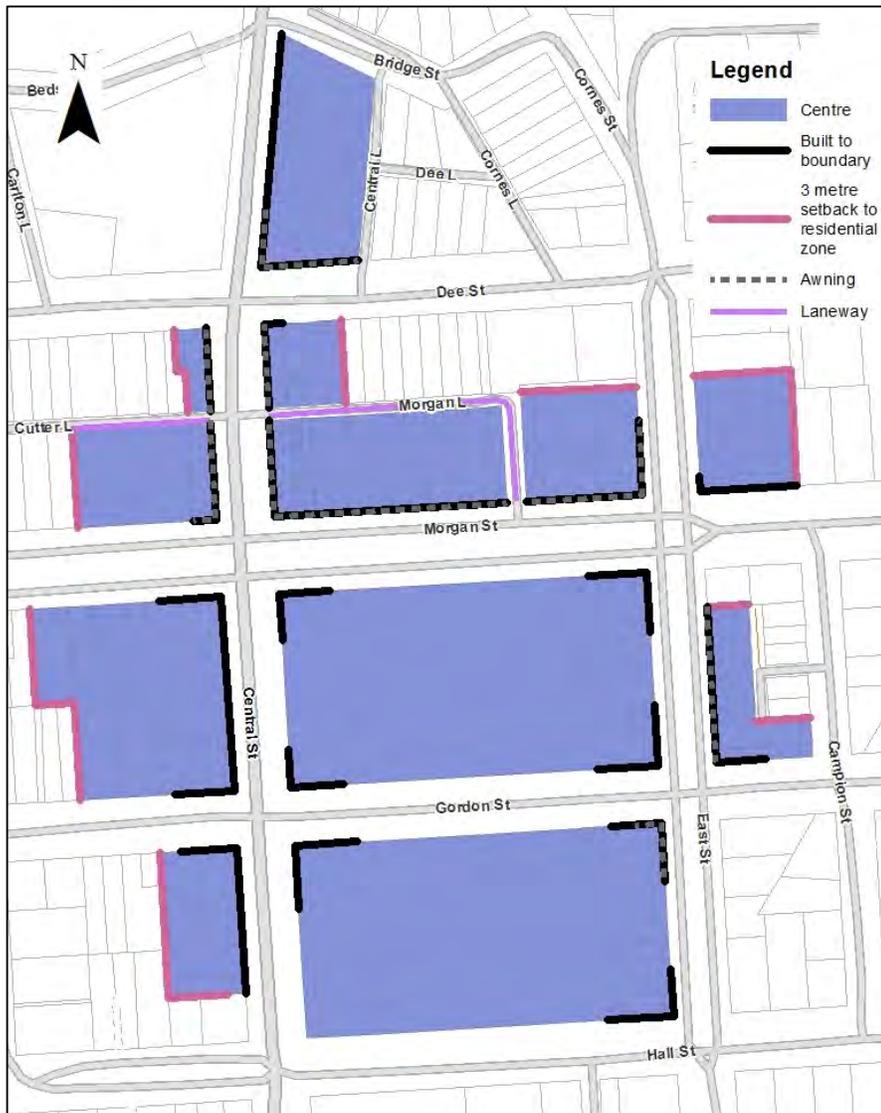


Figure 6.3.4.3.1d — Mount Morgan local centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.	AO12.1 The building's main entrance faces the public place. AND AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner. AND

Performance outcomes	Acceptable outcomes
	<p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).
<p>PO13 Development:</p> <ul style="list-style-type: none"> (a) creates a safe, active and inclusive environment with uses which operate during the day and night; (b) in the form of shopping centres is set behind smaller shop front premises or actively faces and integrates with the street frontage by having regular openings; and (c) is designed to promote the use of public transport, walking and cycling. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (d) at least three (3) variations in textures, materials and colours. 	<p>No acceptable outcome is nominated.</p>
<p>PO15 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO16 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO17 Development involving an increase in gross floor area that exceeds 1,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>the surrounding urban areas. The master plan is to address the following:</p> <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; (g) rationalisation of vehicle crossovers; (h) provision of a high level of pedestrian, cyclist and public transport accessibility; (i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks; (j) encouragement of pedestrian mobility over vehicle mobility; (k) provision of safe and high quality streetscapes and walkways; (l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and (m) generally in accordance with local centre concept plans. <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO18 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 1,000 square metres of retail or 250 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre, major centre and district centres. The report is to be in accordance with SC6.9 — Economic impact assessment planning scheme policy.</p>
<p>PO19 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO19.1 Development occurs within the area zoned local centre.</p>
Streetscape and landscaping	
<p>PO20 On-site landscaping is provided to:</p> <ul style="list-style-type: none"> (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths. 	<p>AO20.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO20.2 Where buildings are set back from the street, a landscape planting bed with a minimum depth of one (1) metre is provided</p>

Performance outcomes	Acceptable outcomes
	<p>along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p> <p>AO20.3 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO21 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO21.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO22 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO22.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements).
<p>PO23 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <p>(a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and</p> <p>(b) located to create a 1.5 metre wide clear pedestrian zone.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO24 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO24.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements); • Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements); and • Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements). <p>AND</p> <p>AO24.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO25 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>

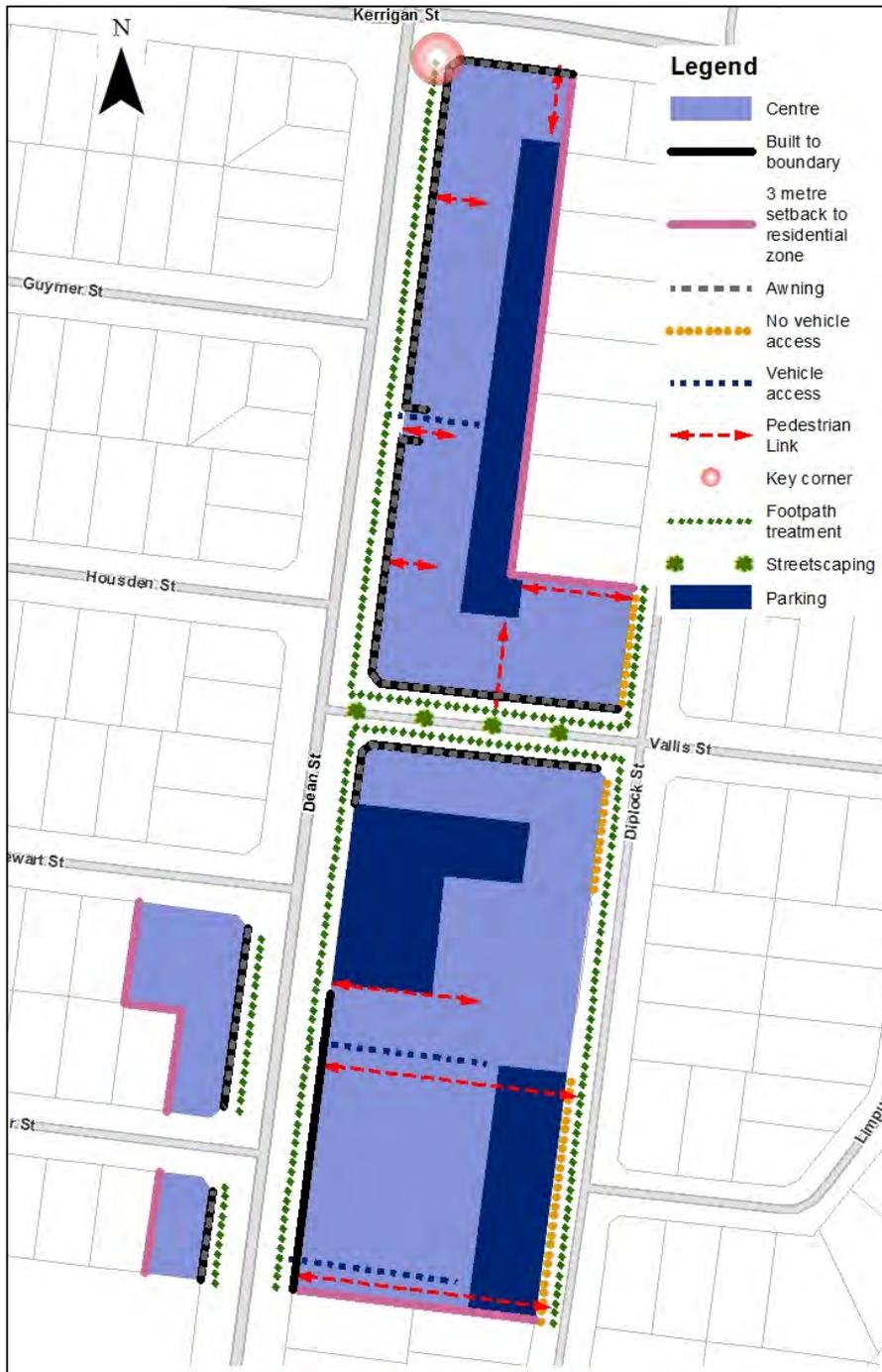


Figure 6.3.4.3.2a — Frenchville (Dean Street) local centre concept plan (assessable elements)

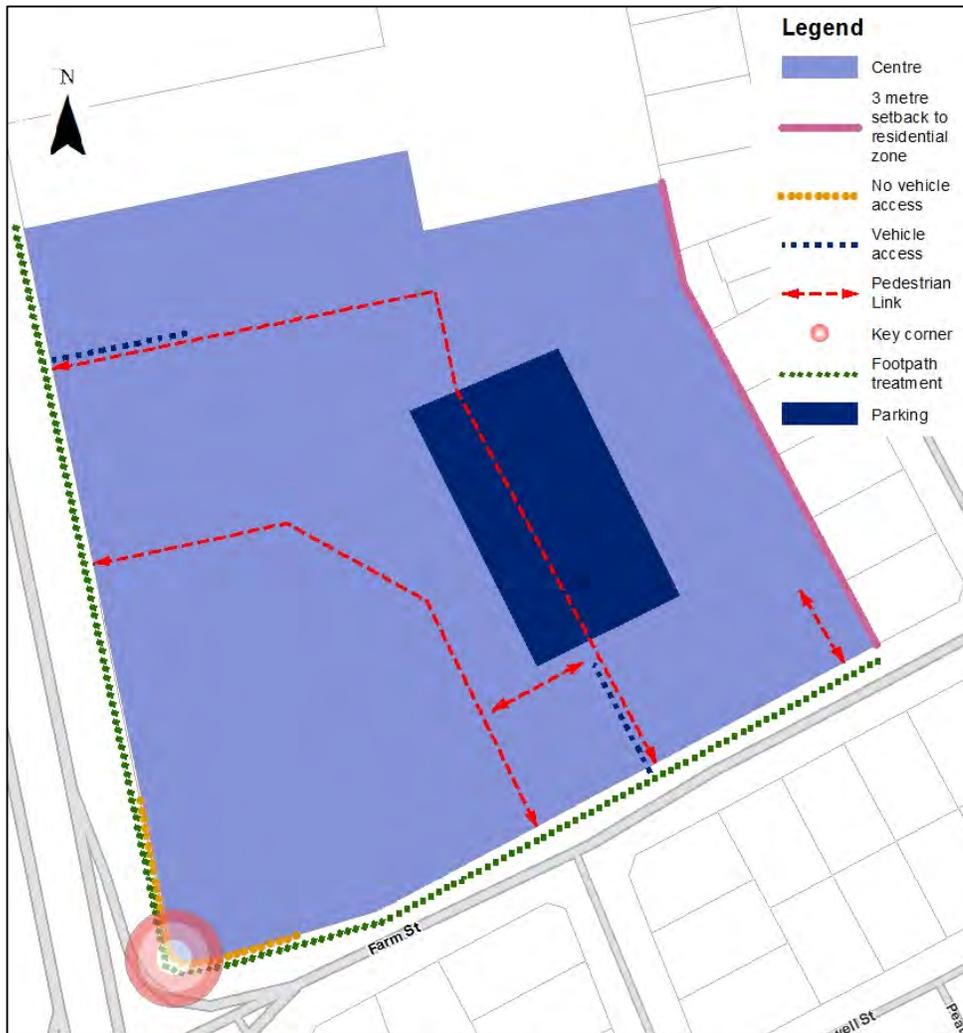


Figure 6.3.4.3.2b — Norman Gardens (Farm Street) local centre concept plan (assessable elements)

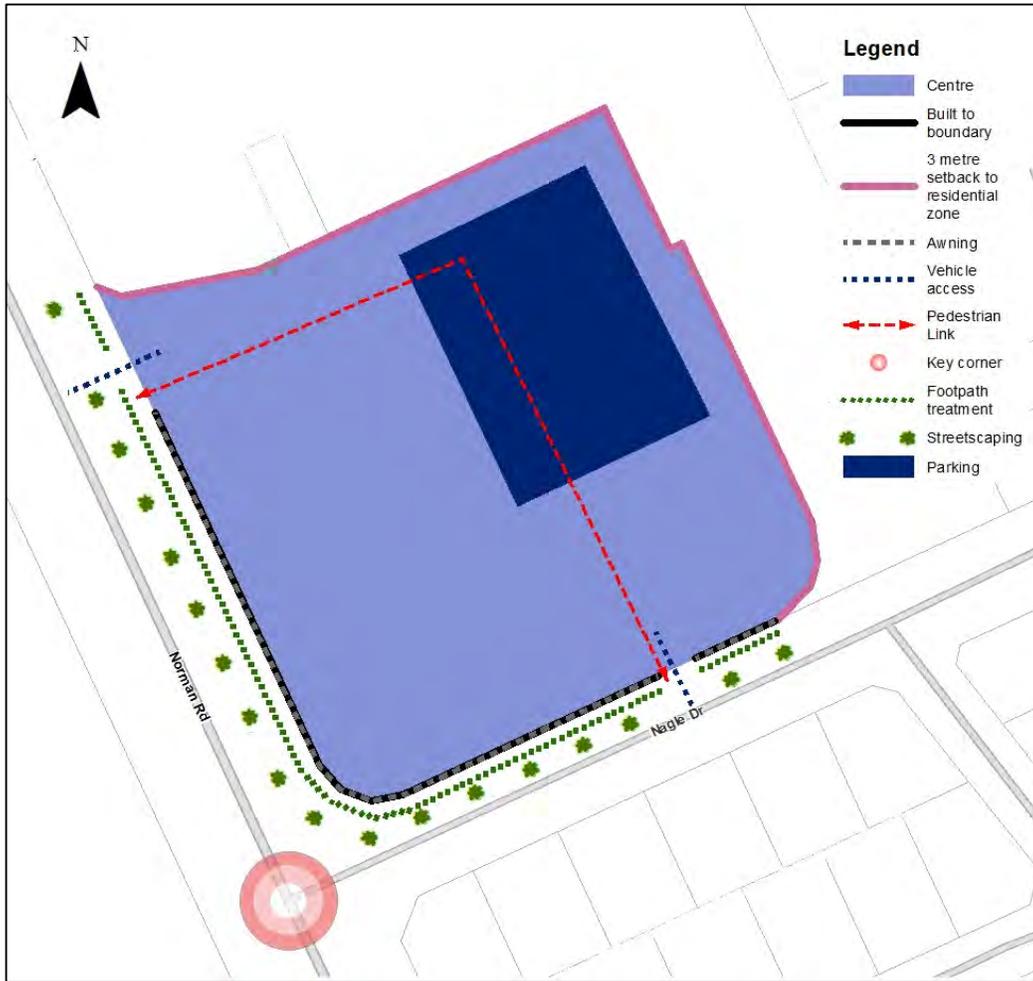


Figure 6.3.4.3.2c — Norman Gardens (Norman Road) local centre concept plan (assessable elements)



Figure 6.3.4.3.2d — Mount Morgan local centre concept plan (assessable elements)

6.3.5 Neighbourhood centre zone code

6.3.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the neighbourhood centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.5.2 Purpose

- (1) The purpose of the neighbourhood centre zone code is to:
 - (a) facilitate the strengthening of the role of neighbourhood centres within the network of centres in the planning scheme area, providing services and facilities appropriate to their respective function and catchments of approximately 1,500 households. The identified neighbourhood centres are located at Berserker (Elphinstone Street), Kawana (Richardson Road), Park Avenue (Main Street) and Wandal (Wandal Road) and provide for convenience shopping; and
 - (b) facilitate the development of neighbourhood centres which are readily accessible, integrated and well designed, form vibrant focal points for the community, promote the efficient provision of services and contribute to the quality of life, character and identity of communities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) development within neighbourhood centres cater for the day-to-day convenience needs of the surrounding neighbourhood being small-scale shops and offices providing localised personal services. New full-line supermarkets do not establish in these centres, although smaller, convenience supermarkets catering for the needs of the immediate catchment may occur;
 - (b) development does not undermine the viability, role or function of higher order centres;
 - (c) neighbourhood centres are not to expand to serve a wider local centre catchment;
 - (d) stand-alone, purpose built office buildings which exceed the 200 square metre gross floor area threshold are not to be established;
 - (e) development for residential uses (when above ground level or behind ground storey retail, commercial or community related activities) is supported within the zone;
 - (f) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency, water conservation and public/active transport use;
 - (g) the height and scale of buildings reflect the surrounding residential area;
 - (h) building design includes a combination of materials and articulation of facades;
 - (i) development is landscaped to assist with the greening of the city and in the creation of shady, safe and well connected pedestrian and public places;
 - (j) development is designed to include safe, direct and convenient pedestrian and cycle connections that integrate with and extend the existing pedestrian and cycle path networks;
 - (k) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development; and
 - (l) development involving a significant increase in gross floor area (greater than 500 square metres) is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas.

Berserker (Elphinstone Street) neighbourhood centre

- (3) Development is generally in accordance with the Berserker (Elphinstone Street) neighbourhood centre concept plans; and
- (4) Development:
 - (a) provides access to public transport along Elphinstone Street;

- (b) ensures on-site car parking is located at the rear of new development to ensure active frontage along Elphinstone Street and to limit on-street parking, particularly in proximity to the Berserker Street and Elphinstone Street intersection;
- (c) enhances the streetscape in key locations, particularly the intersection of Elphinstone Street and Berserker Street;
- (d) maintains footpath treatments;
- (e) provides for the planting of street trees along pedestrian pathways for shade, improved visual amenity and streetscape appearance; and
- (f) ensures integration with the adjacent low density residential zone and low-medium density residential zone.

Kawana (Richardson Road) neighbourhood centre

- (5) Development is generally in accordance with the Kawana (Richardson Road) neighbourhood centre concept plans; and
- (6) Development:
 - (a) provides access to public transport along Richardson Road;
 - (b) ensures on-site car parking is located at the rear of new development to ensure active frontage along Richardson Road and to limit on-street parking;
 - (c) maintains footpath treatments; and
 - (d) ensures that no vehicle access is obtained from Pattemore Street.

Park Avenue (Main Street) neighbourhood centre

- (7) Development is generally in accordance with the Park Avenue (Main Street) neighbourhood centre concept plans; and
- (8) Development:
 - (a) provides for pedestrian integration with the surrounding areas, including the Park Avenue State School, St Joseph's Catholic School, businesses along Main Street and Haynes Street and the adjoining residential areas;
 - (b) provides for the planting of street trees along pedestrian pathways for shade and improved visual amenity and streetscape appearance;
 - (c) provides access to public transport along Main Street;
 - (d) maintains footpath treatments; and
 - (e) ensures on-site car parking is located at the rear of new development to ensure an active frontage along Main Street.

Wandal (Wandal Road) neighbourhood centre

- (9) Development is generally in accordance with the Wandal (Wandal Road) neighbourhood centre concept plans; and
- (10) Development:
 - (a) provides for a public transport set down area along Wandal Road;
 - (b) formalises linkages between Wandal Road and Lion Creek Road and the adjoining recreational facilities;
 - (c) ensures new buildings activate the street frontage, be built to the front boundary and awnings are continuous along Wandal Road;
 - (d) improves pedestrian integration with the surrounding areas, particularly in association with the development of the Rockhampton major sports precinct;
 - (e) maintains adequate and safe pedestrian and cycle integration with Rockhampton High School and adjoining residential areas;
 - (f) provides an improved streetscape character;
 - (g) provides for the planting of street trees along pedestrian pathways for shade and improved visual amenity and streetscape appearance; and
 - (h) encourages the retention of small-scale uses.

6.3.5.3 Specific benchmarks for assessment

Table 6.3.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) ground floor heights to accommodate changes in use and to provide a comfortable view of the street; (b) narrow shop fronts to allow for flexibility and easy adaptation to other uses; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) maximum length of any unarticulated wall is fifteen (15) metres, without a change in plane of at least 0.75 metres; (c) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (d) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of buildings contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO2.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO2.2 Site cover does not exceed seventy (70) per cent of the total site area.</p>
<p>PO3 Development provides an awning over the full width of the footpath, or shade-trees where awnings would conflict with the prevailing streetscape (for example heritage buildings).</p>	<p>AO3.1 AO3.1.1 Awnings are provided in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements),

Performance outcomes	Acceptable outcomes
	<p>and are:</p> <ul style="list-style-type: none"> (a) coordinated with awnings on adjoining properties to provide continuous weather protection; (b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) a minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p> <p>AO3.1.2 Where a concept plan does not exist, awnings are built to the primary street frontage and are:</p> <ul style="list-style-type: none"> (a) Coordinated with awnings on adjoining properties to provide continuous weather protection; (b) Not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) A minimum of three (3) metres in width or set back 1.5 metres from the inside of the kerb line. <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p>
<p>PO4 Development is designed to:</p> <ul style="list-style-type: none"> (a) create a pedestrian rather than car oriented street frontage; (b) break down the facade into finer scaled components; and (c) avoid large expanses of blank walls oriented to the street. <p>Editor's note—Development is to provide for car parking areas as generally shown on:</p> <ul style="list-style-type: none"> (a) Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements); (b) Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements); (c) Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements); and (d) Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements). 	<p>AO4.1 AO4.1.1 Buildings are built to the road frontage in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>OR</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.1.2 Where a concept plan does not exist, buildings are built to the primary street frontage.</p> <p>Note—Where only one (1) street frontage exists, one (1) vehicle access driveway to the site is acceptable within which an awning or building is not required.</p> <p>AND</p> <p>AO4.2 Ground floor walls fronting onto the street (not laneways) are articulated so that they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth.</p> <p>AND</p> <p>AO4.3 Car parking is provided to the side or the rear of buildings or below ground level, and is not located along the street frontage.</p>
<p>PO5 Residential uses are provided with privacy and private outdoor living space.</p>	<p>AO5.1 Dwellings are provided with private open space or a balcony which:</p> <ul style="list-style-type: none"> (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and (d) does not accommodate air conditioning units.
Land use	
<p>PO6 The streetscape is provided with uses that generate activity along the street frontage.</p>	<p>AO6.1 Residential uses are:</p> <ul style="list-style-type: none"> (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Adult store	
<p>PO7 Adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO7.1 The distance between the boundary of the land occupied by a sensitive use, excluding caretaker's accommodation and the entrance of a proposed adult store is the greater of the following:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) more than 100 metres measured in a straight line.
Effects of development	
<p>PO8 Development is located, designed and operated so that adverse impacts on privacy</p>	<p>AO8.1 New buildings and structures are set back three (3) metres from any boundary shared with a residential zone as shown on:</p>

Performance outcomes	Acceptable outcomes
<p>and the amenity of nearby residential uses or land in a residential zone are minimised.</p>	<ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.2 No new vehicle access is obtained from locations as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); • Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements); and • Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements). <p>AND</p> <p>AO8.3 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO8.4 A landscaped buffer with a minimum width of two (2) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone.</p> <p>AND</p> <p>AO7.5 Windows that have a direct view into an adjoining residential use are provided with</p>

Performance outcomes	Acceptable outcomes
	<p>fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO7.6 New building plant or air-conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO9 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.</p>	<p>AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.</p>
<p>PO10 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO10.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO11 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO11.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>



Figure 6.3.5.3.1a — Berserker (Elphinstone Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.5.3.1b — Kawana (Richardson Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)



Figure 6.3.5.3.1c — Park Avenue (Main Street) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)

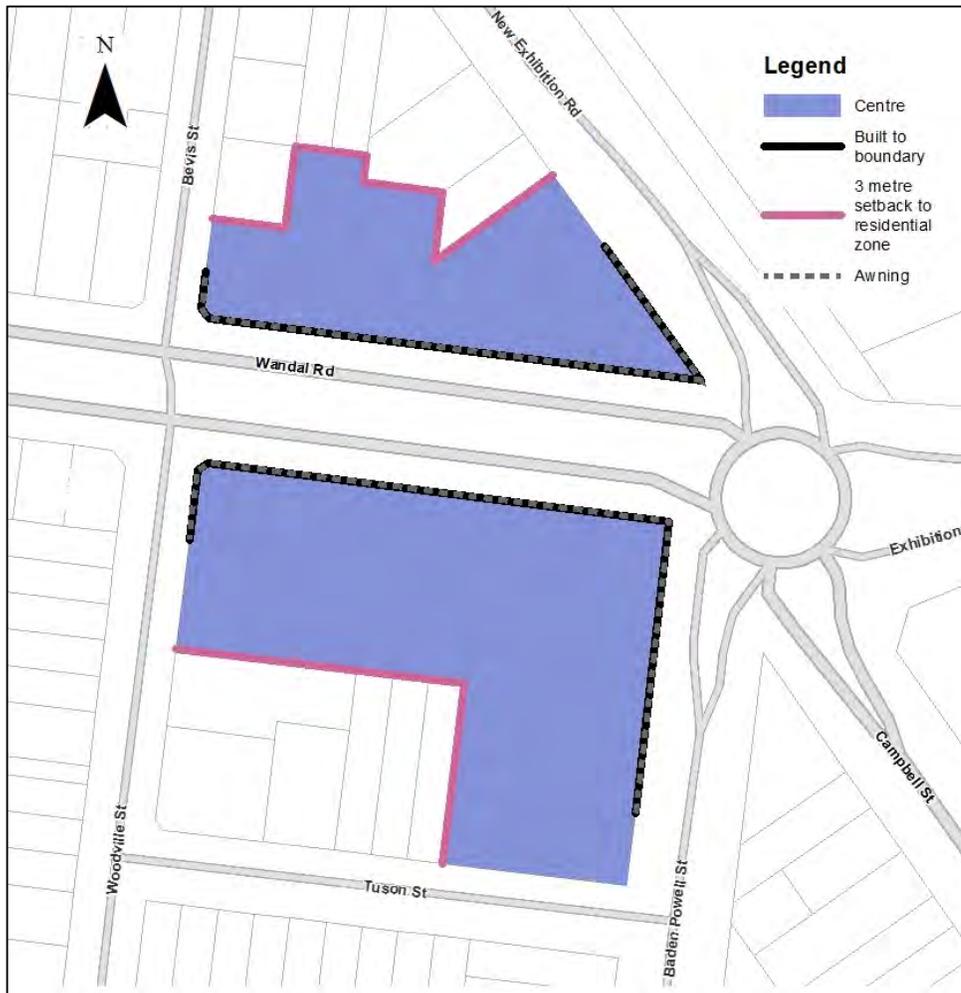


Figure 6.3.5.3.1d — Wandal (Wandal Road) neighbourhood centre concept plan (accepted subject to requirements and assessable elements)

Table 6.3.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO12 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p>	<p>AO12.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO12.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p> <p>AND</p> <p>AO12.3 Development presents a high quality built form and provides landscape and streetscape treatment on key corner sites as shown on:</p>

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan(assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and • Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements).
<p>PO13 Development:</p> <p>(a) creates a safe, active, and inclusive environment;</p> <p>(b) actively faces and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and</p> <p>(c) is designed to promote the use of public transport, walking and cycling.</p>	No acceptable outcome is nominated.
<p>PO14 Buildings are designed to include elements which create visual interest such as:</p> <p>(a) variations in plan shape, such as curves, steps, recesses, projections or splays;</p> <p>(b) vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays;</p> <p>(c) a roof form that creates visual interest, is not flat and can conceal plant equipment; and</p> <p>(d) at least three (3) variations in textures, materials and colours.</p>	No acceptable outcome is nominated.
<p>PO15 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO16 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO17 Development involving an increase in gross floor area that exceeds 500 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan is to address the following:</p> <p>(a) provision of active uses on key pedestrian circulation streets and major frontages;</p> <p>(b) creation of a predominant built to street frontage form;</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) provision of a human scale at street level;</p> <p>(d) incorporation of climate responsive design;</p> <p>(e) creation of a mix of uses resulting in day time and night time activity;</p> <p>(f) incorporation of safety and security measures;</p> <p>(g) rationalisation of vehicle crossovers;</p> <p>(h) provision of a high level of pedestrian, cyclist and public transport accessibility;</p> <p>(i) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;</p> <p>(j) encouragement of pedestrian mobility over vehicle mobility;</p> <p>(k) provision of safe and high quality streetscapes and walkways;</p> <p>(l) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes; and</p> <p>(m) generally in accordance with neighbourhood centre concept plans.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO18 Development does not detract from the role and function of higher order centres for the planning scheme area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>No acceptable outcome is nominated.</p> <p>Note—Development involving an increase in gross floor area exceeding 500 square metres of retail or 200 square metres of offices is accompanied by an economic impact report that assesses the likely economic impacts on the principal centre, major centre, district centres and local centres. The report is to be in accordance with SC6.9 – Economic impact assessment planning scheme policy.</p>
<p>PO19 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO19.1 Development occurs within the area zoned local centre.</p>
Streetscape and landscaping	
<p>PO20 On-site landscaping is provided to:</p> <p>(a) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>(b) soften and enhance the appearance of the development; and</p> <p>(c) provide shade for visitors and adjoining footpaths.</p>	<p>AO20.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO20.2 Where buildings are set back from the street, a landscape planting bed with a minimum depth of one (1) metre is provided along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO20.3 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO21 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO21.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO22 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>AO22.1 Development provides for streetscape treatments and street trees in the areas as shown on:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and • Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements).
<p>PO23 Street trees and street furniture including seating, waste bins, drinking fountains, public transport stops and public art are:</p> <p>(a) coordinated to create cohesive streetscapes to soften the built form and provide increased user amenity; and</p> <p>(b) located to create a 1.5 metre wide clear pedestrian zone.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO24 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>
Accessibility	
<p>PO25 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>AO25.1 Pedestrian links are provided and reinforced in accordance with:</p> <ul style="list-style-type: none"> • Figure 6.3.5.3.2a — Berserker (Elphinstone Street) Neighbourhood centre concept plan (assessable elements); • Figure 6.3.5.3.2b — Kawana (Richardson Road) Neighbourhood centre concept plan (assessable elements);

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> Figure 6.3.5.3.2c — Park Avenue (Main Street) Neighbourhood centre concept plan (assessable elements); and Figure 6.3.5.3.2d — Wandal (Wandal Road) Neighbourhood centre concept plan (assessable elements). <p>AND</p> <p>AO25.2 Arcades are:</p> <ul style="list-style-type: none"> (a) well lit; (b) include active frontages for the full length of the facility; (c) are able to be locked when not used; and (d) have an easily recognisable entry and exit.
<p>PO26 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>



Figure 6.3.5.3.2a — Berserker (Elphinstone Street) neighbourhood centre concept plan (assessable elements)

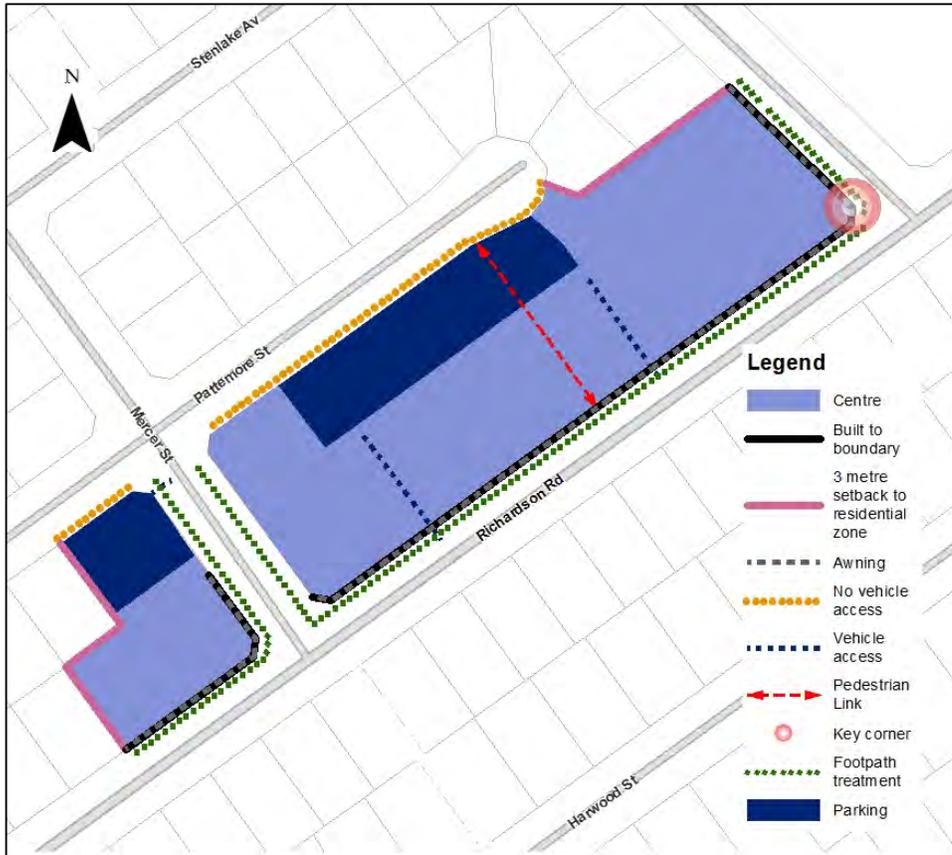


Figure 6.3.5.3.2b — Kawana (Richardson Road) neighbourhood centre concept plan (assessable elements)



Figure 6.3.5.3.2c — Park Avenue (Main Street) neighbourhood centre concept plan (assessable elements)

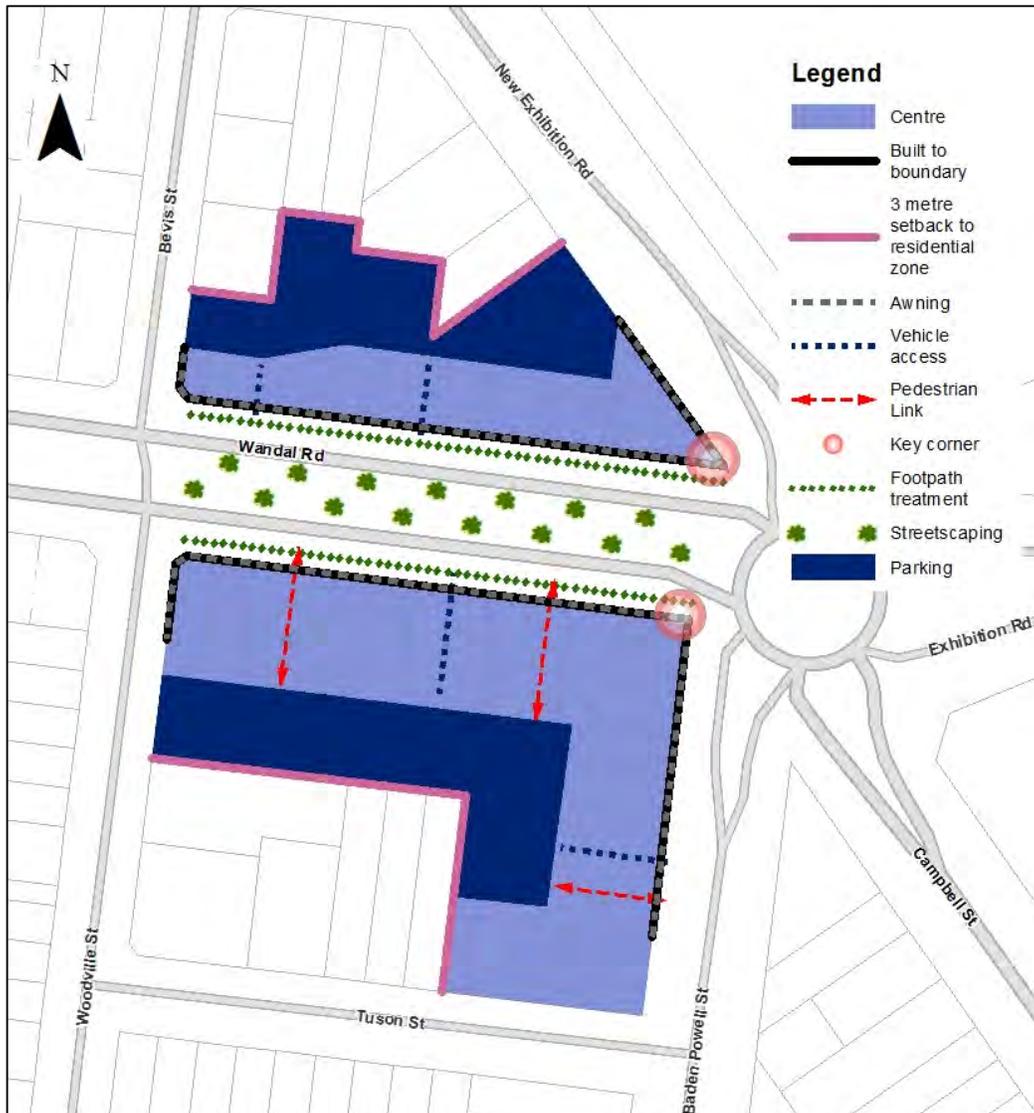


Figure 6.3.5.3.2d — Wandal (Wandal Road) neighbourhood centre concept plan (assessable elements)

6.3.6 Specialised centre zone code

6.3.6.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the specialised centre zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.3.6.2 Purpose

- (1) The purpose of the specialised centre zone code provides for one (or more) specialised uses:
 - (a) enable the specialised centres to strengthen and maintain their role within the network of centres in the region, providing services and facilities appropriate to their respective function and catchment; and
 - (b) facilitate the development of specialised centres which are readily accessible, integrated and well designed, form vibrant focal points for the community, promote the efficient provision of services and contribute to the quality of life, character and identity of communities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the specialised centres primarily accommodate retail functions being showrooms or outdoor sales with food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre;
 - (b) specialised centres are not to accommodate department stores, discount department stores or large-scale shopping centres unless stated otherwise in a precinct or sub-precinct. Only a convenience level of shopping is provided, serving the immediate neighbourhood and local customers (convenience function being similar to a neighbourhood centre);
 - (c) development does not undermine the viability, role or function of other centres;
 - (d) stand-alone, purpose built office buildings which exceed a 200 square metre gross floor area threshold are not to be established. This includes large-scale offices of the government and the private sector;
 - (e) development is consolidated within the defined zone boundaries;
 - (f) development is designed for the local climate, and includes sustainable practices for maximising energy efficiency, water conservation and public/active transport use;
 - (g) development does not impact on the existing level of amenity of the surrounding residential areas and does not encourage additional traffic through nearby urban access streets and urban access places;
 - (h) the height and scale of buildings create an attractive, pedestrian-friendly environment at street level with awnings that are orientated towards the primary street frontage;
 - (i) building design includes a combination of materials, recesses and variations in horizontal and vertical planes to create visual interest;
 - (j) primary pedestrian areas are activated by shop fronts, doorways, awnings, interesting external wall treatments, street trees and kerbside activities;
 - (k) development is landscaped to assist with the greening of the city and the creation of shady, safe and well connected pedestrian and public places;
 - (l) the provision of infrastructure services, car parking and access is commensurate with the type and scale of development;
 - (m) development includes uses that operate at different times of the day to ensure specialised centres have vitality and reduce the potential for crime through activation and passive surveillance;
 - (n) development involving a significant increase in gross floor area (greater than 3,000 square metres) is accompanied by a master plan that demonstrates how the expansion integrates with the balance of the centre and with the surrounding urban areas; and

- (o) the establishment of three (3) precincts and four (4) sub-precincts within the zone where particular requirements are identified:
 - (i) Gladstone Road and George Street precinct;
 - (A) outdoor sales and services sub-precinct; and
 - (B) residential and food services sub-precinct;
 - (ii) Musgrave Street precinct;
 - (A) mixed use sub-precinct; and
 - (B) outdoor sales and services sub-precinct; and
 - (iii) Yaamba Road precinct.

Gladstone Road and George Street precinct

- (3) The following overall outcomes of the Gladstone Road and George Street precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
 - (a) development consolidates retail and residential uses which have developed along the Bruce highway;
 - (b) office activities larger than 200 square metres in gross floor area will not occur;
 - (c) further spread of non-residential uses into surrounding residential areas will not occur;
 - (d) development in this precinct reflects the importance of the southern entrance to the city and maintains a high level of building design and layout, landscaping and signage; and
 - (e) development ensures the safe and efficient function of Gladstone Road and George Street as a state controlled road. This includes ensuring car parking is provided on site to limit on-street parking and limiting vehicular access points.

Outdoor sales and services sub-precinct

- (4) The following overall outcomes of the outdoor sales and services sub-precinct are additional to those of the specialised centre zone and Gladstone Road and George Street precinct and take precedence in the event of a conflict:
 - (a) development includes vehicle and other outdoor sales, storage, warehousing, vehicle maintenance services, and small-scale convenience uses such as food and drink outlets where serving local customers and local businesses;
 - (b) retail uses (including shops (with the exception of Lot 1 SP161848 and Lot 1 SP191827) and shopping centres) larger than 500 square metres in gross floor area will not occur; and
 - (c) retail uses larger than 500 square metres in gross floor area only occur on Lot 1 SP161848 and Lot 1 SP191827 when involving the reuse of the existing building onsite.

Residential and food services sub-precinct

- (5) The following overall outcomes of the residential and food services sub-precinct are additional to those of the specialised centre zone and Gladstone Road and George Street precinct and take precedence in the event of a conflict:
 - (a) development includes short-term accommodation, fast food outlets, restaurants and other facilities for travellers including visitor information facilities, service stations and parks;
 - (b) intensification of residential uses in this precinct is supported (including at ground level);
 - (c) only small-scale, convenience retail uses serving the local catchment and highway users locate in this sub-precinct. Retail uses (including shops, supermarkets, shopping centres and showrooms) larger than 300 square metres in gross floor area will not occur; and
 - (d) industrial uses are not supported due to the proximity to the adjoining residential area and the intent to allow further residential development within the sub-precinct.

Musgrave Street precinct

- (6) The following overall outcomes of the Musgrave Street precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
- (a) development consolidates the historic retail and residential uses which developed along Musgrave Street, which are 'bookended' by the principal centre and the major centre zone;
 - (b) this precinct does not accommodate large-scale shops such as discount department stores, supermarkets or shopping centres greater than 500 square metres gross floor area;
 - (c) regional government offices, private sector head-offices and large-scale offices are not located in this precinct. Over time existing large-scale offices are to relocate to the principal centre;
 - (d) further spread of non-residential uses into surrounding residential areas will not occur, and only small-scale, convenience retail uses serving the local catchment locate in the precinct;
 - (e) development in this precinct reflects its importance as one of the main northern entrances to the city and maintains a high level of building design and layout, landscaping and signage; and
 - (f) development ensures the safe and efficient function of Musgrave Street as a state controlled road. This includes ensuring car parking is provided on site to limit on-street parking.

Mixed use sub-precinct

- (7) The following overall outcomes of the mixed use sub-precinct are additional to those of the specialised centre zone and Musgrave Street precinct and take precedence in the event of a conflict:
- (a) convenience shopping is provided for the immediate neighbourhood and local customers (convenience function being primarily based on a neighbourhood centre);
 - (b) development comprises a variety of small-scale, mixed retail, personal and administrative services and food services at ground level, with a residential component such as medium density residential above or behind;
 - (c) business-to-business uses are located on lower order side roads connecting with Musgrave Street;
 - (d) development fronting Musgrave Street includes a mix of uses that operate through the day and night to encourage a safe urban environment;
 - (e) intensification of residential uses in this sub-precinct is supported (located above ground storey or behind ground storey retail, commercial or community related activities);
 - (f) non-residential development is contained within the defined sub-precinct boundary and provides suitable buffering to the residential zones located east and west of Musgrave Street;
 - (g) office activities exceeding 200 square metres in gross floor area will not occur;
 - (h) industrial uses are generally not supported due to the proximity to the adjoining residential area and the intent to allow further residential development within the sub-precinct;
 - (i) buildings are built to the road frontage along Musgrave Street, with car parking, service and loading bays integrated within, behind or under buildings; and
 - (j) all uses incorporate a high level of design and pedestrian amenity and contribute to the creation of an attractive link between the major centre and principal centre zones.

Outdoor sales and services sub-precinct

- (8) The following overall outcomes of the outdoor sales and services sub-precinct are additional to those of the specialised centre zone and Musgrave Street precinct and take precedence in the event of a conflict:
- (a) development includes vehicle and other outdoor sales, storage, warehousing, vehicle maintenance services, low impact industries, cafe and small-scale convenience retail uses serving local customers and local businesses;

- (b) buildings are built to the road frontage along Queen Elizabeth Drive and Bridge Street, with car parking, service and loading bays integrated within, behind or under buildings; and
- (c) office activities exceeding 200 square metres in gross floor area will not occur.

Yaamba Road precinct

- (9) The following overall outcomes of the Yaamba Road precinct are additional to those of the specialised centre zone and take precedence in the event of a conflict:
 - (a) the precinct is reinforced as a destination for ‘homemaker’ and other bulky goods, warehousing and showroom outlets;
 - (b) this precinct does not accommodate large-scale shops such as discount department stores, supermarkets or shopping centres (with the exception of Lot 25 on RP610513);
 - (c) ancillary uses which provide for customers in the precinct, including cafes and passive recreation uses are supported;
 - (d) short-term accommodation such as a motel is supported where fronting onto Yaamba Road;
 - (e) development does not compromise the role and function of Yaamba Road as the major thoroughfare through the precinct; and
 - (f) office activities exceeding 200 square metres in gross floor area will not occur.

6.3.6.3 Specific benchmarks for assessment

Table 6.3.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Buildings are designed to create a safe and pleasant, pedestrian-focussed environment with:</p> <ul style="list-style-type: none"> (a) generous ground floor heights to accommodate changes in use and to provide a comfortable and commanding view of the street; (b) building fronts to make them more human in scale; and (c) building entries provided directly from the primary frontage of the building and on-grade to the street. 	<p>AO1.1 Ground floor building facades built to the street (not laneways) have:</p> <ul style="list-style-type: none"> (a) a minimum height of four (4) metres above ground level; (b) tenancies no wider than ten (10) metres or vertical articulation which punctuates the facade at least every ten (10) metres; (c) display space or transparent windows or doors for a minimum of sixty-five (65) per cent of their frontage area; and (d) a pedestrian entry and door that is visible and accessible from the street. <p>AND</p> <p>AO1.2 All above ground floor level facades of building(s) contain windows or balconies comprising at least thirty (30) per cent of the building facade area.</p>
<p>PO2 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) enhances the appearance and character of streets, public places and buildings; (b) is low to medium rise and complements the scale of the locality; and 	<p>AO2.1 The height of buildings and structures does not exceed the following maximum height above ground level:</p> <ul style="list-style-type: none"> (a) in the Musgrave Street precinct – mixed use sub-precinct: five (5) storeys and eighteen (18) metres; and

Performance outcomes	Acceptable outcomes
(c) maintains the residential amenity in adjoining residential zones.	(b) in all other precincts and sub-precincts: three (3) storeys and twelve (12) metres above ground level. AND AO2.2 Site cover does not exceed eighty (80) per cent of the total site area.
PO3 Residential uses are provided with privacy and private outdoor living space.	AO3.1 Dwellings are provided with private open space or a balcony directly accessible from a habitable room which: (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; and (c) does not accommodate air conditioning units.
Where in the Gladstone Road and George Street precinct and sub-precincts	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO4 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO4.1 Buildings are set back from street frontages: (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
PO5 Development enhances the major road entrances to urban areas through landscaping to soften the visual impacts of highway commercial uses.	AO5.1 Where development is set back from a state controlled road, a landscape strip that is a minimum of 1.5 metres in width for the full frontage length of the site is provided.
Where in the Musgrave Street precinct and sub-precincts	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO6 Development fronting Musgrave Street, Queen Elizabeth Drive or Bridge Street at ground level provide for: (a) continuity of shop frontage and footpath awnings; (b) a human scale at street level with safe and comfortable pedestrian circulation; (c) enclosure of the street; and (d) interaction between ground floor uses and the street.	AO6.1 Buildings are built to the road frontage along Musgrave Street, Queen Elizabeth Drive and Bridge Street and provided with an awning. Note—One (1) vehicle access driveway to the site is acceptable within which an awning is not required. AND AO6.2 Awnings are: (a) coordinated with awnings on adjoining properties to provide continuous weather protection;

Performance outcomes	Acceptable outcomes
	(b) not higher than 7.5 metres from the footpath to the soffit of the awning; and (c) the greater of: (i) three (3) metres in width; or (ii) set back 1.5 metres from the inside of the kerb line.
PO7 Development not fronting onto Musgrave Street, Queen Elizabeth Drive and Bridge Street provides setbacks that contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO7.1 Buildings are set back from street frontages (excluding frontage to Musgrave Street, Queen Elizabeth Drive and Bridge Street): (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
Where in the Yaamba Road precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO8 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.	AO8.1 Buildings are set back from street frontages: (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
PO9 Development enhances the major road entrances to urban areas through landscaping to soften the visual impacts of highway commercial uses.	AO9.1 Where development is set back from a state controlled road, a landscape strip that is a minimum of 1.5 metres in width for the full frontage length of the site is provided.
Land use	
PO10 The streetscape is provided with uses that generate activity along the primary street frontage.	AO10.1 Residential uses (except for short-term accommodation) are: (a) located above ground storey or behind ground storey retail, commercial or community uses; and (b) located within a premise containing another use.
Effects of development	
PO11 Development is located, designed and operated so that adverse impacts on privacy and the amenity of nearby land in a residential zone are minimised.	AO11.1 A 1.8 metre high solid screen fence is provided along all boundaries shared with a residential zone. AND AO11.2 A landscaped buffer with a minimum width of three (3) metres and consisting of dense screen planting is provided along all boundaries shared with a residential zone. AND

Performance outcomes	Acceptable outcomes
	<p>AO11.3 Buildings are set back three (3) metres from any boundary shared with a residential zone, or half the height of that part of the building, whichever is the greater.</p> <p>AND</p> <p>AO11.4 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO11.5 New building plant or air conditioning equipment is located within, underneath or central to the building or screened from view of the street or adjoining residential uses by a solid screen.</p>
<p>PO12 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).</p>	<p>AO12.1 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>PO13 Outdoor lighting maintains the amenity of surrounding residential zones and does not adversely impact on the safety of vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of Australian Standards AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>

Table 6.3.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form –additional provisions	
<p>PO14 Buildings which are located in prominent positions such as corner sites or with frontages to public space include design elements to enhance their location.</p>	<p>AO14.1 The building’s main entrance addresses the public place.</p> <p>AND</p> <p>AO14.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance addresses the principal street or the street corner.</p>
<p>PO15 Development:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) creates a safe, active, and inclusive environment with uses which operate during the day and night; (b) that is non-residential development actively addresses and integrates with the street frontage including smaller shop front premises, sleeving larger buildings; and (c) is designed to promote the use of public transport, walking and cycling. 	
<p>PO16 Buildings are designed to include elements which create visual interest, such as:</p> <ul style="list-style-type: none"> (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) vertical articulation to create shadow and break up the built form, such as balconies, windows, steps, recesses and splays; (c) for buildings three (3) storeys and taller, different design elements are utilised for the lower, middle and top sections of the building; (d) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (e) at least three (3) variations in textures, materials and colours. 	No acceptable outcome is nominated.
<p>PO17 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.</p>	No acceptable outcome is nominated.
<p>PO18 Development does not include glass or other surfaces which reflect solar rays directly into windows of an adjoining building.</p>	No acceptable outcome is nominated.
<p>PO19 Development involving an increase in gross floor area that exceeds 3,000 square metres is accompanied by a master plan that demonstrates how the expansion fits with the balance of the centre and integrates with the surrounding urban areas. The master plan should address the following:</p> <ul style="list-style-type: none"> (a) provision of active uses on key pedestrian circulation streets and major frontages; (b) creation of a predominant built to street frontage form; (c) provision of a human scale at street level; (d) incorporation of climate responsive design; (e) creation of a mix of uses resulting in day time and night time activity; (f) incorporation of safety and security measures; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(g) rationalisation of vehicle crossovers; provision of a high level of pedestrian, cyclist and public transport accessibility;</p> <p>(h) incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;</p> <p>(i) encouragement of pedestrian mobility over vehicle mobility;</p> <p>(j) provision of safe and high quality streetscapes and walkways; and</p> <p>(k) ensure car parking areas and access ways do not dominate major frontages and pedestrian routes (except where indicated/delineated).</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides information on urban design.</p>	
Land use	
<p>PO20 Non-residential development does not occur beyond the zone boundaries.</p>	<p>AO20.1 Development occurs within the area zoned specialised centre.</p>
<p>PO21 Development does not compromise the intended role or successful functioning of higher order centres.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO22 Office activities exceeding 200 square metres in gross floor area are not established.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO23 Unless stated otherwise in a precinct or sub-precinct, retail uses are limited to convenience shopping for the immediate neighbourhood and local customers.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO24 Food and drink outlets that are either highway focussed or small-scale and serving visitors to the centre.</p>	<p>No acceptable outcome is nominated.</p>
Streetscape and landscaping	
<p>PO25 On-site landscaping is provided to:</p> <p>(a) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>(b) soften and enhance the appearance of the development; and</p> <p>(c) provide shade for visitors and adjoining footpaths.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO26 Streetscape treatments and street trees are provided along the street frontage to create a visually cohesive area and enhance pedestrian amenity.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO27 Where buildings are completely or partially set back from the street, landscaping is provided on the street frontage.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>PO28 Development avoids the creation of 'heat islands' with large expanses of roofing and parking areas.</p>	<p>AO28.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
Accessibility	
<p>PO29 Convenient and legible connections are provided for pedestrians and cyclists to the site, particularly having regard to linkages with existing and proposed public transport infrastructure, the open space network, centres and other community related uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO30 External pedestrian spaces offer a variety of passive recreational opportunities and experiences ranging from intimate seating to large open spaces, and include features to enhance their use and enjoyment, such as food outlets, tables and chairs, seating, ledges, shade structures and artwork.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO31 Development extending from street to street or linking car parking/open space areas provides connections or arcades which create interaction between the internal uses and activity on the street.</p>	<p>No acceptable outcome is nominated.</p>
Where in the Gladstone Road and George Street precinct and sub-precincts	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO32 Development does not compromise the intended role or successful functioning of higher order centres, and:</p> <ul style="list-style-type: none"> (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed: <ul style="list-style-type: none"> (i) 300 square metres in gross floor area in the residential and food services sub-precinct; or (ii) 500 square metres in gross floor area in the outdoor sales and services sub-precinct (unless reusing an existing building on Lot 1 SP161848 and Lot 1 SP191827). <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO32.1 Development for a shop (with the exception of Lot 1 SP161848 and Lot 1 SP191827) and shopping centre does not exceed:</p> <ul style="list-style-type: none"> (a) 500 square metres in gross floor area in the outdoor sales and services sub-precinct; and (b) 300 square metres in gross floor area in the residential and food services sub-precinct. <p>AND</p> <p>AO32.2 Development for an office does not exceed 200 square metres in gross floor area.</p> <p>AND</p> <p>AO32.3 Shops or shopping centres on Lot 1 SP161848 and Lot 1 SP191827 only exceed 500 square metres in gross floor area when re-using an existing building and not increasing its gross floor area.</p>

Performance outcomes	Acceptable outcomes
<p>PO33 Development for a showroom in the residential and food services sub-precinct is compatible with the intended, primarily residential environment, and does not exceed 300 square metres in gross floor area.</p>	<p>AO33.1 Development for a showroom in the residential and food services sub-precinct does not exceed 300 square metres in gross floor area.</p>
<p>PO34 Industrial uses do not occur in the residential and food services sub-precinct.</p>	<p>No acceptable outcome is nominated.</p>
<p>Where in the Musgrave Street precinct and sub-precincts</p>	
<p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO35 Development does not compromise the intended role or successful functioning of higher order centres, and: (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed 500 square metres in gross floor area.</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO35.1 Development for a shop or shopping centre does not exceed 500 square metres in gross floor area.</p> <p>AND</p> <p>AO35.2 Development for an office does not exceed 200 square metres in gross floor area.</p>
<p>PO36 Industrial uses do not occur in the mixed use sub-precinct.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO37 Residential uses are located above ground storey or behind ground storey non-residential uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>Where in the Yaamba Road precinct</p>	
<p>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO38 Development does not compromise the intended role or successful functioning of higher order centres and: (a) offices do not exceed 200 square metres in gross floor area; and (b) shops and shopping centres do not exceed 500 square metres in gross floor area (with the exception of Lot 25 on RP610513).</p> <p>Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.</p>	<p>AO38.1 Development for a shop or shopping centre does not exceed 500 square metres in gross floor area (with the exception of Lot 25 on RP610513).</p> <p>AND</p> <p>AO38.2 Development for an office does not exceed 200 square metres in gross floor area.</p>

[Intentionally blank]

6.4 Recreation zones category

6.4.1 Sport and recreation zone code

6.4.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the sport and recreation zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.4.1.2 Purpose

- (1) The purpose of the sport and recreation zone code is to:
 - (a) provide for a range of sport and recreation uses, well distributed throughout the urban areas and easily accessible by all members of the community;
 - (b) facilitate the collocation and concentration of sporting, recreation and cultural facilities in nodes of activity;
 - (c) protect important sport and recreation sites from the establishment of inappropriate land uses;
 - (d) provide for ancillary uses where they support the development of the zone for sport and recreation uses;
 - (e) minimise land use conflict and ensure that facilities are sited, designed and operated to minimise adverse impacts on surrounding land; and
 - (f) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) development within the zone primarily provides for the following uses:
 - (i) indoor sport and recreation;
 - (ii) outdoor sport and recreation; and
 - (iii) park;
 - (b) land uses such as caretaker's accommodation, club, community care centre, community use, educational establishment, food and drink outlet, function facility, or market occur where they:
 - (i) are small-scale and ancillary uses; and
 - (ii) are compatible with and support the development of the zone for sport and recreation uses;
 - (c) development has a scale, height and bulk that reflects the operational, functional and locational needs of the use without unduly impacting on the character and amenity of the surrounding area;
 - (d) development is designed to respond to the region's climate, local heritage features, natural landscape features and environmental constraints;
 - (e) development is easily accessible to the majority of the population and is well located in relation to public and active transport networks;
 - (f) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Rockhampton major sports precinct.

Rockhampton major sports precinct

- (3) The following overall outcomes of the Rockhampton major sports precinct are additional to the overall outcomes of the sports and recreation zone and take precedence in the event of a conflict:
 - (a) the precinct functions as the principal and preferred location for major sport, recreation and entertainment and function facilities;
 - (b) development has a scale, height and bulk that reflects the operational, functional and location needs of sports and recreation facilities;
 - (c) land uses such as shops develop where they:

- (i) are small in scale and provide a convenience function for the precinct;
- (ii) are ancillary to the primary sport and recreation uses;
- (iii) are compatible with and support the development of the precinct for sport and recreation uses; and
- (iv) do not undermine the role of other centres in the region;
- (d) development minimises impacts on surrounding residential zones;
- (e) pedestrian linkages between the principal centre and Victoria Park are maintained and improved;
- (f) development is designed and located to protect and integrate with natural features such as the fig trees in Victoria Park along the Fitzroy River, and heritage features such as the Alexandra Railway Bridge;
- (g) public access to the precinct is maintained to encourage passive recreation and increase passive surveillance; and
- (h) development is consolidated within and does not extend beyond the mapped extent of the precinct and comprises high quality building design, construction and landscaping.

6.4.1.3 Specific benchmarks for assessment

Table 6.4.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO4.1 Where adjoining a residential zone, new buildings, car parking, site access, servicing and storage areas:</p> <ul style="list-style-type: none"> (a) are set back a minimum of six (6) metres; or (b) have the following provided: <ul style="list-style-type: none"> (i) a minimum 1.8 metre high solid screen fence; or (ii) a densely planted landscape strip with a minimum width of three (3) metres. <p>AND</p> <p>AO4.2 Buildings and structures do not incorporate any type of glass or other surface that is likely to reflect solar rays that could create undue nuisance, discomfort or hazard to any part of the surrounding locality.</p> <p>AND</p> <p>AO4.3 New building plant or air conditioning equipment is located within, underneath or central to the building and screened from view of the street or adjoining residential uses.</p>
Where in the Rockhampton major sports precinct	
<p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO5 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-medium rise and complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO5.1 The height of buildings and structures within the Rockhampton major sports precinct does not exceed three (3) storeys and twelve (12) metres above ground level except where determined by the functional characteristics of a structure (for example stadium seating).</p> <p>AND</p> <p>AO5.2 Site cover does not exceed sixty (60) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Market	
<p>PO7 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.</p>	<p>AO7.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any</p>

Performance outcomes	Acceptable outcomes
	boundary adjoining residential premises a minimum of six (6) metres.
PO8 The development is temporary in nature having regard to length of time and operation of the use.	AO8.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Effects of development	
PO9 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.	AO9.1 Where adjoining a residential zone, non-residential uses operate between the hours of 07:00 and 22:00.
PO10 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO10.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO11 All storage areas are screened from the streetscape and adjoining residential zones.	AO11.1 All outdoor storage and other unsightly areas are visually screened from view from public places (including the street) and adjoining residential zones by a 1.8 metre high solid screen fence.

Table 6.4.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
PO12 Development that is ancillary to the primary use of the site for sport and recreation uses is small in scale and designed and sited in a manner that is compatible with and supports the development.	No acceptable outcome is nominated.
Effects of development	
PO13 Development maintains a high level of amenity within the site and for surrounding areas, having regard to: (a) noise; (b) hours of operation; (c) traffic; (d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook.	No acceptable outcome is nominated.
PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that: (a) hazards to people or property are avoided; (b) earthworks are minimised;	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	
Streetscape and landscaping	
<p>PO15 Landscaping is provided to enhance the appearance of the development, create an attractive site, and provide for shading.</p>	No acceptable outcome is nominated.
Access and transport	
<p>PO16 Convenient and legible connections are provided for pedestrians and cyclists to and from the site, particularly having regard to linkages with existing and proposed public transport infrastructure, other parts of the open space network, sport and recreational uses, centres and community related uses.</p>	No acceptable outcome is nominated.
Where in the Rockhampton major sports precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
<p>PO17 The design of new buildings:</p> <ul style="list-style-type: none"> (a) has vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) has a roof form that creates visual interest, is not flat and can conceal plant equipment; (c) fits responsively into the streetscape; (d) accommodates local climatic conditions; (e) creates an engaging, high quality built environment; and (f) provide a continuous pedestrian friendly facade at a human scale. 	<p>AO17.1 Buildings do not incorporate any type of glass or other surface that is likely to reflect solar rays that could create undue nuisance, discomfort or hazard to any part of the surrounding locality.</p> <p>AND</p> <p>AO17.2 Building facades are orientated toward all street frontages, and where directly fronting a street, include:</p> <ul style="list-style-type: none"> (a) articulation every fifteen (15) metres to ensure no blank or solid walls; (b) a pedestrian entry and door that is visible and accessible from the street. (c) activities at ground level that address, interact with and activate the street.

6.4.2 Open space zone code

6.4.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the open space zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.4.2.2 Purpose

- (1) The purpose of the open space zone code is to:
 - (a) provide for a variety of open space areas, well distributed throughout the region, to serve the needs of the sub-regional, regional and local population;
 - (b) provide for an integrated network of informal recreation areas of differing size and function, that are easily accessible and support the needs of residents and visitors;
 - (c) protect important informal recreation sites from the establishment of inappropriate land uses;
 - (d) provide for ancillary small-scale uses which directly support the use of the zone for informal and formal recreation; and
 - (e) minimise land use conflicts and ensure that the development of informal and formal recreation areas is consistent with the amenity and characteristics of the surrounding area.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) a range of functional and accessible open spaces, including local, district and regional scale parks and open space linkages are available for the use and enjoyment of residents and visitors;
 - (b) open space provides for safe passive and informal outdoor recreation where the built form is not essential to the enjoyment of the space;
 - (c) development directly supports the primary recreational function of the site or provides for the collocation of a compatible community-related use;
 - (d) land uses such as clubs or food and drink outlets (being kiosks or similar) are only located in this zone where they are small in scale and ancillary to the primary open space function;
 - (e) small-scale and ancillary built structures and buildings such as shelters, amenity facilities, performance areas, interpretive centres, barbecue facilities, picnic tables, pathways, playgrounds, exercise equipment or similar, are provided in the zone;
 - (f) development is designed, located and operated to minimise adverse impacts on adjoining sensitive land use(s) and areas of environmental significance;
 - (g) development is designed to incorporate the following sustainable practices:
 - (i) climate responsive design;
 - (ii) maximising energy efficiency;
 - (iii) water conservation; and
 - (iv) public and active transport use;
 - (h) development complements the style, scale and character of existing development in the zone and surrounding areas;
 - (i) development is designed to respond to the region's climate, local heritage features, natural landscape features and environmental constraints; and
 - (j) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (k) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Kershaw Gardens precinct.

Kershaw Gardens precinct

- (3) The following overall outcomes of the Kershaw Gardens precinct are additional to those of the Open space zone and take precedence in the event of a conflict:

- (a) The precinct supports non-commercial camping for self-contained vehicles for the purposes of encouraging tourism in the Rockhampton region; and
- (b) Development for a tourist park only occurs where it:
 - (i) is on land in the ownership or control of the local government;
 - (ii) has access to a higher order road (minor urban collector or higher); and
 - (iii) is limited in scale and duration.

6.4.2.3 Specific benchmarks for assessment

Table 6.4.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) is low-scale and appropriate to its setting; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed ten (10) per cent of total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby land in a residential zone are minimised.</p>	<p>AO4.1 All buildings and structures are set back a minimum of ten (10) metres from side and rear boundaries.</p> <p>AND</p> <p>AO4.2 A three (3) metre wide vegetated buffer is provided to any vehicle movement and parking areas that adjoin a residential zoned premises.</p>

Performance outcomes	Acceptable outcomes
Land use	
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.
Market	
PO6 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.	AO6.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.
PO7 The development is temporary in nature having regard to length of time and operation of the use.	AO7.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Effects of development	
PO8 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.	AO8.1 Where adjoining a residential zone, non-residential uses operate between the hours of 07:00 and 22:00.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO10 All storage areas are screened from the streetscape and adjoining residential zones.	AO10.1 All outdoor storage and other unsightly areas are visually screened from view from public places (including the street) and adjoining residential zones by a 1.8 metre high solid screen fence.
Where in the Kershaw Gardens precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence	
Tourist Park	
PO11 Development is low scale, limited to self-contained vehicles, restricted duration and has access to infrastructure commensurate with the nature of the use.	AO11.1 The tourist park provides a parking area for a maximum of thirty-five (35) self-contained recreational vehicles. AND AO11.2 The tourist park provides camping for self-contained recreational vehicles for a maximum of two (2) nights or forty-eight (48) hours. AND AO11.3 Development has direct access to a higher order road.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO11.4 The tourist park does not contain:</p> <ul style="list-style-type: none"> (a) self-contained cabins or other similar structures; and (b) ancillary uses (i.e. amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities or staff accommodation).

Table 6.4.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
<p>PO12 Land predominantly accommodates parks and any development facilitates optimum enjoyment and use of the land for informal recreation purposes.</p>	No acceptable outcome is nominated.
<p>PO13 Non-recreation uses occur only where:</p> <ul style="list-style-type: none"> (a) they directly support the primary function of the site or are a compatible community related use; and (b) they have a built form that is limited in scale and extent. 	No acceptable outcome is nominated.
<p>PO14 Development does not impede public access to and use of facilities.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO15 Development maintains a high level of amenity within the site and for surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; (d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook. 	No acceptable outcome is nominated.
<p>PO16 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(e) damage or disruption to sewer, stormwater or water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features.	
Streetscape and landscaping	
PO17 Landscaping is provided to enhance the appearance of the development, create an attractive site, and provide for shading.	No acceptable outcome is nominated.
Access and transport	
PO18 Convenient and legible connections are provided for pedestrians and cyclists to and from the site, particularly having regard to linkages with existing and proposed public transport infrastructure, other parts of the open space network, sport and recreational uses, centres and community related uses.	No acceptable outcome is nominated.

[Intentionally blank]

6.5 Environmental zones category

6.5.1 Environmental management and conservation zone code

6.5.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the environmental management and conservation zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.5.1.2 Purpose

- (1) The purpose of the environmental management and conservation zone code is to:
 - (a) protect regionally significant environmental areas, such as national parks, resource reserves, conservation parks and world heritage areas;
 - (b) protect other significant natural features such as creeks, gullies, waterways, wetlands, habitats, vegetation and bushland areas, in public or private ownership from the negative impacts of development; and
 - (c) provide for limited development to occur where it is compatible with the significant environmental values of the land and can be developed in a sustainable way.
- (2) The purposes of the zone will be achieved through the following overall outcomes:
 - (a) the conservation values of the land are maintained or enhanced;
 - (b) areas within the zone remain undeveloped except for small-scale facilities that support conservation, small-scale rural living, low impact nature based recreational or eco-tourism uses and essential infrastructure where they are:
 - (i) compatible with maintaining environmental values;
 - (ii) located to avoid natural hazard constraints and do not expose property or people to an unacceptable level of risk; and
 - (iii) located to avoid visual impacts from public viewing places;
 - (c) adverse impacts on ecological features, corridors and processes are avoided;
 - (d) the scenic values and landscape character of the Mount Archer National Park, Goodedulla National Park and Bouldercombe Gorge Resource Reserve are protected from negative impacts of development;
 - (e) emergency services, utility installations and infrastructure corridors (such as telecommunication or electricity and water supply corridors) are appropriate where the use does not detract from the scenic amenity and environmental importance of the area; and
 - (f) land is retained in large holdings to limit development opportunities and no new lots are created.

6.5.1.3 Specific benchmarks for assessment

Table 6.5.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
General	
PO1 Development is limited to uses which: <ol style="list-style-type: none"> (a) facilitate conservation activities on the land; (b) provide visitors with information or education directly connected to the values of the land; (c) are ancillary to and directly support visitation to the land for conservation, 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>recreation or eco-tourism purposes consistent with (a) and (b);</p> <p>(d) comprise infrastructure that can not practicably be located elsewhere;</p> <p>(e) do not include tourist park activities; and</p> <p>(f) may include a caretaker's accommodation.</p>	
Dwelling house	
<p>PO2</p> <p>The development of a dwelling house only occurs when either replacing an existing dwelling house or where new buildings, associated structures and vehicle access meets the following:</p> <p>(a) has sufficient land area to accommodate the use;</p> <p>(b) does not impact upon environmental values;</p> <p>(c) does not create a visual impact upon elevated areas;</p> <p>(d) is not subject to constraints (including bushfire and landslide) and does not result in a risk to people and property; and</p> <p>(e) has access to adequate infrastructure and services.</p>	<p>AO2.1</p> <p>AO2.1.1</p> <p>The development for a dwelling house only occurs where there is an existing dwelling and it is replaced by a new dwelling house in a similar location or in an area which does not impact upon environmental values or expose property or people to an increased risk from naturally occurring events such as bushfire or landslide.</p> <p>OR</p> <p>AO2.1.2</p> <p>The development for a dwelling house only occurs where the allotment has:</p> <p>(a) an area of at least five (5) hectares;</p> <p>(b) no existing dwelling house on the allotment;</p> <p>(c) the dwelling house, associated structures, vehicle access and cleared areas resulting from the development are located outside of areas mapped as having matters of local or state environmental significance or where located within these areas it is clearly demonstrated by a suitably qualified person that there will no impact on environmental values;</p> <p>(d) the dwelling house, associated structures, vehicle access and other cleared areas (such as fire breaks, backyards and the like) are located to avoid visual impacts from public viewer places;</p> <p>Editor's note—Public viewer places includes major road corridors (including Fitzroy Bridge and Neville Hewitt Bridge), public lookouts, principal centre and Fitzroy River (including city riverfront areas).</p> <p>(e) the dwelling house and vehicle access are located to avoid constraints such as very high and high bushfire areas, slope instability (areas over fifteen (15) per cent) and the like; and</p> <p>(f) the dwelling house, carports and garages are located on part of the site that is reasonably and practicably</p>

Performance outcomes	Acceptable outcomes
	<p>accessible by a standard 2WD motor vehicle.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
Built form	
<p>PO3 The development incorporates design responses that minimise the visual impact on the surrounding landscape and environment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
<p>PO4 Development, including infrastructure, buildings and driveway access are:</p> <p>(a) not visually intrusive, particularly from public open spaces, major tourist roads and other critical vantage points outside the site (for example look outs); and</p> <p>(b) designed, constructed and decorated to blend with the surrounding area in terms of colour, texture and height.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Council may require a visual assessment to be undertaken in accordance with SC6.16 — Scenic amenity planning scheme policy.</p>
Effects of development	
<p>PO5 Development avoids impacts on flora and fauna habitats and movement corridors.</p>	<p>AO5.1 Development does not involve any clearing of vegetation.</p> <p>AND</p> <p>AO5.2 Dense planting is undertaken to screen all development from roads and adjoining lots.</p> <p>AND</p> <p>AO5.3 Fencing within a designated ecological corridor must be wildlife-friendly.</p> <p>Editor's note—Refer Land for Wildlife Queensland: Note G4 – Wildlife Friendly Fencing and Netting.</p>
<p>PO6 Development does not require the storage of dangerous or harmful chemicals or products that have the ability to harm the natural environment.</p>	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO7 The land is not further subdivided.</p>	<p>AO7.1 No new lots are created.</p>

[Intentionally blank]

6.6 Industry zones category

6.6.1 Low impact industry zone code

6.6.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the low impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.1.2 Purpose

- (1) The purpose of the low impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for low impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) provide for low impact industry zoned land in a number of locations in order to service local communities throughout the planning scheme area including Gracemere (Gracemere industrial area), and Rockhampton (South Rockhampton, Park Avenue industrial area and Parkhurst industrial area).
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) the zone primarily accommodates a range of smaller scale industrial uses such as low impact industry and warehouse uses which have low levels of potential impacts on the surrounding areas;
 - (b) medium impact industry uses may be appropriate where the nature of the operations do not create greater impacts than a low impact industry;
 - (c) existing industrial uses which are not low impact industry in nature continue to operate and expand in accordance with industry changes and demands, provided that any material changes in the intensity or scale of these uses does not worsen impacts and maintain appropriate separation distances. Should these industries cease to operate, new uses develop in accordance with the purpose for the zone;
 - (d) the following uses are not located in the zone:
 - (i) high impact industries;
 - (ii) special industries; and
 - (iii) uses which are more appropriately located in centres including shops, stand-alone offices, shopping centres, showrooms and retail hardware outlets;
 - (e) sensitive land use(s) will not occur within the zone;
 - (f) a limited range of non-industrial uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and includes:
 - (i) caretaker's accommodation or ancillary administration offices associated with industrial uses;
 - (ii) retail associated with, but ancillary to industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone;
 - (iv) non-resident workforce accommodation only when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road;
 - (v) service station;
 - (vi) uses which would be incompatible in a centres zone as a result of the size or nature of the goods sold or the fitting services provided (for example heavy plant and machinery parts, wholesale trade supplies to trade customers, outdoor sales, agricultural supplies store, garden centre and bulk landscape supplies); and

- (vii) uses that share similar characteristics and external impacts with a low impact industry use such as hours of operation or the nature of the use (for example indoor sport and recreation facilities);
- (g) the viability of existing and future low impact industry uses is not affected by the intrusion of incompatible uses;
- (h) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
- (i) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
- (j) the functional needs of the development prevail over the built form and landscaping, except for ancillary office and sales areas being sited and orientated towards the primary street frontage and where adjoining visually sensitive areas including residential areas, and major road corridors;
- (k) new industrial developments are located and integrated with existing and future planned industrial areas;
- (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
- (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
- (n) development is sited and designed to respond to natural landscape features and environmental constraints;
- (o) development is connected to all infrastructure services available in the area; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) South Rockhampton precinct.

South Rockhampton precinct

- (3) The following overall outcomes of the South Rockhampton precinct are additional to the overall outcomes of the low impact industry zone and take precedence in the event of a conflict:
 - (a) no new or further intensification of residential or industrial uses (except for the reuse of an existing building for a warehouse (for example self-storage units)) is to occur due to flood constraints;
 - (b) development for outdoor sport and recreation and wholesale nurseries may occur when complying with the flood hazard overlay code;
 - (c) development that generates heavy vehicle traffic (such as a transport depot) will not occur due to the impact upon the principal centre and surrounding residential zoned areas. Existing transport depot uses are encouraged to relocate to sites at Parkhurst or Gracemere;
 - (d) the reuse of heritage listed buildings is supported whereby the heritage values are preserved. These buildings may accommodate uses that benefit from a waterfront location including shops (for example, bait and tackle shop) and community uses (for example boating clubs, pontoons, wharves, etcetera); and
 - (e) no further subdivision of land is to occur due to the impact of flooding.

6.6.1.3 Specific benchmarks for assessment

Table 6.6.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed ten (10) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed eighty (80) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area. <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building are sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a pedestrian entry that is orientated towards the street and provides a positive contribution to the character of the area.</p>	<p>AO4.1 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO5 Where adjoining land in a residential zone or within proximity of an existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, odour, hours of operation or unsightly activities.</p>	<p>AO5.1 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone; (b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use; (c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use; (d) vehicles with a load greater than 4.5 tonne tare in weight do not exit or enter via an urban access road; <p>Editor's note—Urban access roads are shown on the road hierarchy overlay map OM-19.</p> <ul style="list-style-type: none"> (e) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.

Performance outcomes	Acceptable outcomes
PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that screen the scale and bulk of industrial forms.	AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.
Land use	
Ancillary sales	
PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.	AO8.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site. AND AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area.
Caretaker's accommodation	
PO9 The development does not compromise the productivity of the use.	AO9.1 No more than one (1) caretaker's accommodation is established on the site.
Home-based business	
PO10 Development for a home based business is operated, designed and sited in a manner that: (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.	AO10.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care). AND AO10.2 The home based business is carried out within an existing building or structure. AND AO10.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). AND AO10.4 The home based business involves a minimum of one (1) resident of the dwelling. AND AO10.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO10.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO10.7 The home based business where for bed and breakfast accommodation: (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO10.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO10.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO11 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO12</p>	<p>AO12.1 Development achieves the noise generation levels set out in the <i>Environmental</i></p>

Performance outcomes	Acceptable outcomes
<p>Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p><i>Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.3 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) noise generating activities, access, driveways and outdoor activities are not located directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and (b) vehicles with a load greater than 4.5 tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday.
<p>PO13 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO13.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO14 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO14.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO14.2</p>

Performance outcomes	Acceptable outcomes
	<p>Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO14.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.6.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO15 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) the provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	<p>No acceptable outcome is nominated.</p>
Land use	
<p>PO16 Direct sales to the public, not related to the industry conducted on site, are limited to uses that provide direct service to industrial uses or people employed in the area, or are not compatible with the centre zones as a result of the size and nature of the goods sold or the fitting services provided. The scale of these uses does not compromise the role and function of existing or future planned centres.</p>	<p>AO16.1 Retail uses are limited to outdoor sales (such as heavy plant and machinery parts), wholesale trade supplies to trade customers only, agricultural supplies store, garden centre and bulk landscape supplies.</p> <p>AND</p> <p>AO16.2 The use is not for the purposes of a shop, stand-alone office, shopping centre, showroom and retail hardware supplies (when not for wholesale to trade customers).</p> <p>AND</p> <p>AO16.3</p>

Performance outcomes	Acceptable outcomes
	Food and drink outlet is limited to 150 square metres gross floor area.
PO17 Non-resident workforce accommodation occurs when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road.	No acceptable outcome is nominated.
PO18 Non-industry uses do not reduce the functionality of low impact industry uses.	No acceptable outcome is nominated.
PO19 The zone does not accommodate uses that attract high volumes of heavy vehicle movement or involving a twenty four (24) hour operation.	No acceptable outcome is nominated.
PO20 Medium impact industry uses only occur where they do not create greater impacts than a low impact industry.	No acceptable outcome is nominated.
PO21 Development involving existing industrial uses which are not low impact industries does not worsen impacts and maintains appropriate separation to sensitive uses.	No acceptable outcome is nominated.
Effects of development	
PO22 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that: (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s).	No acceptable outcome is nominated.
PO23 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.	No acceptable outcome is nominated.
Structure planning for urban development	
PO24 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares: (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area;	No acceptable outcome is nominated. Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.

Performance outcomes	Acceptable outcomes
(d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space.	
Where in the South Rockhampton precinct	
<i>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</i>	
PO25 Where development involves the reuse of an existing historic building, the land use is compatible with the predominant land uses in the precinct.	No acceptable outcome is nominated.
PO26 The land is not further subdivided.	AO26.1 No new lots are created.
PO27 Residential or industrial uses (other than a warehouse, being self-storage units) are not newly established or intensified.	No acceptable outcome is nominated.

6.6.2 Medium impact industry zone code

6.6.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the medium impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.2.2 Purpose

- (1) The purpose of the medium impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for medium impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s); and
 - (b) provide for medium impact industry zoned land in a number of locations throughout the region including Parkhurst, Park Avenue, and the Gracemere industrial area.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates a wide range of industrial uses that are likely to have off-site impacts, including manufacturing, transport and the like and require larger sites located away from sensitive land use(s);
 - (b) existing industrial uses which are not low or medium impact industry in nature continue to operate and expand in accordance with industry changes and demands, provided that any material changes in the intensity or scale of these uses do not worsen impacts and maintain appropriate separation distances. Should these industries cease to operate, new uses develop in accordance with the purpose for the zone;
 - (c) the following uses are not located in the zone:
 - (i) high impact industries;
 - (ii) special industries; and
 - (iii) uses which are more appropriately located in centres including shops, stand-alone office, shopping centre, showrooms and retail hardware;
 - (d) sensitive land use(s) will not occur within the zone;
 - (e) in the Parkhurst and Park Avenue medium impact industry zoned areas, service industry and low impact industry may be located within 250 metres of a residential or emerging community zone or an existing sensitive land use within a zone other than industrial;
 - (f) a limited range of non-industry uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and includes:
 - (i) caretaker's accommodation and ancillary administration offices associated with industrial uses;
 - (ii) warehousing and retail associated with, but ancillary to industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone;
 - (iv) non-resident workforce accommodation only when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road;
 - (v) service station;
 - (vi) uses which would be incompatible in a centres zone as a result of the size or nature of goods sold or the fitting services provided (for example agricultural supplies store, and bulk landscape supplies); and
 - (vii) uses that share similar characteristics and external impacts with low or medium impact industry uses such as hours of operation or the nature of the use (for example indoor sport and recreation facilities);

- (g) the viability of existing and future medium impact industry uses is not affected by the intrusion of incompatible uses;
- (h) large land holdings are provided to accommodate for large land consumptive industries;
- (i) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
- (j) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
- (k) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity;
- (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
- (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
- (n) development is sited and designed to respond to natural landscape features and environmental constraints;
- (o) development is connected to all infrastructure services available in the area; and
- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Gracemere saleyards precinct.

Gracemere saleyards precinct

- (3) The following overall outcomes of the Gracemere saleyards precinct are additional to the overall outcomes of the medium impact industry zone and take precedence in the event of a conflict:
 - (a) development comprises a mixture of uses and works that support the marketing, health, transport, holding and sale of livestock;
 - (b) land uses which have synergies with the existing livestock exchange facilities (such as agricultural research and technology development), agricultural transportation activities, agricultural education and training facilities, veterinary facilities, exhibition facilities and others are supported in the precinct;
 - (c) small scale, ancillary uses such as offices, convention and function rooms or food and drink outlets which support the primary use of the precinct are encouraged in appropriate locations;
 - (d) development which does not complement the ongoing operation and development of the precinct for livestock and agricultural based industry will not occur;
 - (e) development on land adjoining or highly visible from the Capricorn Highway maintains a high standard of appearance through appropriate location, design, building and structure finishes and landscaping; and
 - (f) development does not impact on the safe and efficient operation of the Capricorn Highway.

6.6.2.3 Specific benchmarks for assessment

Table 6.6.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.	AO1.1 The height of buildings and structures does not exceed thirteen (13) metres above ground level. AND

Performance outcomes	Acceptable outcomes
	<p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two (2) colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area. <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building is sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO4.1 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.
Amenity	
<p>PO5 Where located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, hours of operation or unsightly activities.</p>	<p>AO5.1 Development located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <ul style="list-style-type: none"> (a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone; (b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential or sensitive land use;

Performance outcomes	Acceptable outcomes
	<p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use; and</p> <p>(d) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <p>(a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer;</p> <p>(b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer;</p> <p>(c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and</p> <p>(d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.</p>
<p>PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that screen the scale and bulk of industrial forms.</p>	<p>AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.</p>
Land use	
Ancillary sales	
<p>PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO8.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area except for an agricultural supplies store when located in the Gracemere saleyards precinct.</p>

Performance outcomes	Acceptable outcomes
Caretaker's accommodation	
<p>PO9 The development does not compromise the productivity of the use.</p>	<p>AO9.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home-based business	
<p>PO10 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO10.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO10.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO10.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO10.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO10.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO10.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO10.7 The home based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO10.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO10.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO10.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>, as updated from time to time.</p>
Sales office	
<p>PO11 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO12 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO12.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO12.3 Noise generating activities, access and driveways and outdoor activities are not located directly adjoining a residential zone</p>

Performance outcomes	Acceptable outcomes
	or sensitive land use and are restricted to between the hours of 07:00 and 19:00 Monday to Saturday.
<p>PO13 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO13.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO13.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO14 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO14.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO14.2 Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO14.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.6.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO15 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) the provision of a separate pedestrian entry to the site and main building 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>from any vehicular entry points and manoeuvring areas;</p> <p>(c) opportunities for passive surveillance and sightlines;</p> <p>(d) exterior building designs which promote safety;</p> <p>(e) adequate lighting;</p> <p>(f) appropriate directional mechanisms (for example signage);</p> <p>(g) no entrapment locations; and</p> <p>(h) building entrances, loading and storage areas being well lit and lockable after hours.</p>	
Land use	
<p>PO16 Direct sales to the public, not related to the industry conducted on site are limited to uses that provide direct service to industrial uses or people employed in the area, or are not compatible with the centre zones as a result of the size and nature of the goods sold or the fitting services provided. The scale of these uses does not compromise the role and function of existing or future planned centres.</p>	<p>AO16.1 Retail uses are limited to wholesale trade supplies to trade customer's only, agricultural supplies store and bulk landscape supplies.</p> <p>AND</p> <p>AO16.2 The use is not for the purposes of a shop, stand-alone office, shopping centre, showroom and retail hardware supplies (when not for wholesale to trade customers).</p> <p>AND</p> <p>AO16.3 Food and drink outlet is limited to 150 square metres gross floor area.</p>
<p>PO17 Non-resident workforce accommodation occurs when associated with an industrial use on the same site and located on an urban sub-arterial road or higher order road.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO18 Non-industry uses do not reduce the functionality of industry uses.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO19 Development involving existing industrial uses which are not low or medium impact industries does not worsen impacts and maintains appropriate separation to sensitive uses.</p>	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO20 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any earthworks are minimised;</p> <p>(b) the retention of natural drainage lines is maximised;</p> <p>(c) the retention of existing vegetation is maximised;</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s).	
PO21 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
PO22 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.	No acceptable outcome is nominated.
Structure planning for urban development	
PO23 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares: (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space.	No acceptable outcome is nominated. Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.
Where in the Gracemere saleyards precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO24 Development facilitates livestock industry related functions and related animal care, research or educational activities.	No acceptable outcome is nominated.
PO25 Non-industrial activities support the primary use of the precinct, are small in scale and do not compromise the role and function of the centres hierarchy.	No acceptable outcome is nominated.
PO26	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Development is undertaken in a way that establishes a high standard of appearance from the Capricorn Highway.	
PO27 Development does not impact on the safety and operation of the Capricorn Highway.	No acceptable outcome is nominated.

6.6.3 High impact industry zone code

6.6.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the high impact industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.3.2 Purpose

- (1) The purpose of the high impact industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for high impact industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) provide for high impact industry zoned land in the Gracemere industrial area; and
 - (c) transition the Parkhurst high impact industrial zones (including precinct) to a medium impact industrial zone.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates a range of industrial uses that are likely to have a higher potential for off-site impacts and includes medium impact industry uses which are integral to the operation of the primary high impact industry within the high impact industry zone;
 - (b) uses which are more appropriately located in centres including shops, stand-alone offices, shopping centre, showrooms and retail hardware are not located in this zone;
 - (c) sensitive land use(s) will not occur within the zone;
 - (d) the zone does not accommodate uses which attract visitation by members of the public;
 - (e) a limited range of non-industrial uses that are ancillary to and support industrial uses and people employed in the area are located in the zone. The scale of these uses does not compromise the role and function of existing or future planned centres and include:
 - (i) caretaker's accommodation and ancillary administration offices associated with industrial uses;
 - (ii) warehousing associated with industrial uses carried out on the same site;
 - (iii) small-scale food and drink outlets servicing the day-to-day needs of the industrial zone; and
 - (iv) uses that support the operation of industrial uses such as a service station;
 - (f) the viability of existing and future high impact industry uses is not affected by the intrusion of incompatible uses;
 - (g) large land holdings are provided to accommodate for large land consumptive industries;
 - (h) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
 - (i) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
 - (j) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity;
 - (k) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (l) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (m) development is sited and designed to respond to natural landscape features and environmental constraints;

- (n) development is connected to all infrastructure services available in the area; and
- (o) the establishment of two (2) precincts within the zone where particular requirements are identified:
 - (i) Lakes Creek precinct; and
 - (ii) Parkhurst precinct

Lakes Creek precinct

- (3) The following overall outcomes of the Lakes Creek precinct are additional to the overall outcomes of the high impact industry zone and take precedence in the event of a conflict:
 - (a) existing high impact industry uses continue to operate, however the further intensification of the existing high impact industry use will not occur unless it can be demonstrated that the extension will not worsen the amenity of existing or future residents in the area and appropriate separation is maintained. To minimise any potential impacts on nearby sensitive land use(s) (such as dwelling houses and residential zones), mitigation of noise, dust, light, odour and water quality must be achieved;
 - (b) offices are only established when ancillary to the primary use of the site; and
 - (c) no new high impact industrial land uses to be established within the precinct.

Parkhurst precinct

- (4) The following overall outcomes of the Parkhurst precinct are additional to the overall outcomes of the high impact industry zone and take precedence in the event of a conflict:
 - (a) existing high impact industry uses can continue to operate, however the further intensification of these uses or the establishment of a new high impact industry use is limited to the reuse of existing buildings;
 - (b) new development for a high impact industry use is only supported where it can be demonstrated that the development will not worsen the amenity of existing or future residents in the area and appropriate separation is maintained. The development must demonstrate how it will successfully mitigate potential impacts on sensitive land use(s), residential and emerging community zones to the north and eastern areas of the precinct, with respect to noise, dust, light, odour and water quality; and
 - (c) offices are only established when ancillary to the primary use of the site.

6.6.3.3 Specific benchmarks for assessment

Table 6.6.3.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.

Performance outcomes	Acceptable outcomes
<p>PO3 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO3.1 Where applicable, the ancillary office space and sales area of each building is sited on and orientated towards the primary street frontage.</p> <p>AND</p> <p>AO3.2 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.
Streetscape and landscaping	
<p>PO4 Development that has a common property boundary adjoining with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p>	<p>AO4.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least six (6) metres in width (measured perpendicular to the property boundary), are provided along all common boundaries of the site including the primary street frontage (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
Land use	
Ancillary sales	
<p>PO5 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO5.1 With the exception of a warehouse, direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO5.2 The sales area does not exceed ten (10) per cent of total gross floor area.</p>
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>

Performance outcomes	Acceptable outcomes
Sales office	
<p>PO7 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO7.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO8 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO8.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p>
<p>PO9 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO9.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO10 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO10.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO10.2 Areas where potentially contaminating substances are stored or used, are:</p> <ul style="list-style-type: none"> (a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded; and (b) located in an area free of the defined flood event. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO10.3 Roof water is piped away from areas of potential contamination.</p> <p>AND</p> <p>AO10.4 All outdoor storage and other unsightly areas are visually screened from:</p> <p>(a) view from public places (including the street) and from land not within an industrial zone; and</p> <p>(b) public view by providing mature landscaping that has the same effect as a 1.8 metre high wall and has a width of six (6) metres where adjoining the primary street frontage.</p>

Table 6.6.3.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO11 Site layout facilitates the security of people and property having regard to:</p> <p>(a) visitor parking is located adjacent to the office component of the building;</p> <p>(b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas;</p> <p>(c) opportunities for passive surveillance and sightlines;</p> <p>(d) exterior building designs which promote safety;</p> <p>(e) adequate lighting;</p> <p>(f) appropriate directional mechanisms (for example signage);</p> <p>(g) no entrapment locations; and</p> <p>(h) building entrances, loading and storage areas being well lit and lockable after hours.</p>	No acceptable outcome is nominated.
Land Uses	
<p>PO12 Food and drink outlets are limited to uses that provide for the day to day needs of people employed in the area.</p>	<p>AO12.1 Food and drink outlet is limited to 150 square metres gross floor area.</p>
<p>PO13 Non-industry uses do not reduce the functionality of industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO14 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any earthworks are minimised;</p> <p>(b) the retention of natural drainage lines is maximised;</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s).	
PO15 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
PO16 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.	No acceptable outcome is nominated.
PO17 Noxious and offensive odours are not experienced at the location of sensitive land use(s).	No acceptable outcome is nominated. Editor's note—The Queensland Odour Impact Assessment from Developments Guideline provides a methodology for assessing odour impacts.
PO18 Off-site risks from foreseeable hazard scenarios involving hazardous chemicals are commensurate with the sensitivity of the surrounding land use zones.	No acceptable outcome is nominated. Editor's note—Any using, storing or operating of hazardous materials must be in accordance with the State Planning Policy – Emissions and hazardous activities guideline.
Structure planning for urban development	
PO19 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares: (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; and (h) facilitates environmentally and climate responsive design.	No acceptable outcome is nominated. Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code. Generally, structure planning would be expected for any development on land with an area greater than five (5) hectares.

Performance outcomes	Acceptable outcomes
Where located in the Lakes Creek precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO20 Industrial uses do not impact on the amenity of the nearby residential zone, rural residential zone or adjoining sensitive land uses(s) by way of noise, dust, lighting, hours of operation or unsightly activities.</p>	<p>AO20.1 AO20.1.1 No new high impact industries are established within the Lakes Creek precinct.</p> <p>OR</p> <p>AO20.1.2 Development associated with an existing high impact industry use, such as low impact industry, medium impact industry, warehouse or the like:</p> <p>(a) is carried out in an existing building currently or previously used for a high impact industry use; or</p> <p>(b) does not increase the gross floor area by greater than twenty-five (25) square metres.</p> <p>AND</p> <p>AO20.2</p> <p>For an expansion to an existing high impact use or new high impact industry use(s):</p> <p>(a) noise generating activities are orientated away from the adjoining sensitive land use(s) and future residential uses in Lakes Creek;</p> <p>(b) where sites have two (2) road frontages access is from the frontage furthest away from nearby sensitive land use(s);</p> <p>(c) Parking and outdoor storage areas are screened from residential zones;</p> <p>(d) A densely planted landscaped and screened buffer area at least eight (8) metres wide is provided along all boundaries of the site;</p> <p>(e) Buffers along boundaries consist of tall trees and shrubs, including a mix of fast growing pioneer species and mature stock of slower growing permanent species that will form a complete visual screen of a minimum of four (4) metres in height within three (3) years of planting;</p> <p>(f) Existing trees that already contribute to meeting these requirements are retained;</p> <p>(g) Outdoor activities are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and</p> <p>(h) Indoor activities occurring between the hours of 19:00 and 07:00 or on</p>

Performance outcomes	Acceptable outcomes
	<p>Sundays are limited to office and administrative tasks or tasks that are not audible or visible from outside the building.</p> <p>AND</p> <p>AO20.3 Buildings or other structures do not result in overshadowing of living room windows or private or communal open space of any residential premises for more than three (3) hours between the hours of 09:00 and 15:00 on 21 June, or for more than twenty (20) minutes than currently exists.</p> <p>AND</p> <p>AO20.4 Windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Where located in the Parkhurst precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
<p>PO21 Industrial uses do not impact on the amenity of the nearby residential zone, rural residential zone or existing sensitive land use(s) by way of noise, dust, lighting, hours of operation or unsightly activities.</p>	<p>AO21.1 For an existing high impact industry use, development:</p> <ul style="list-style-type: none"> (a) is carried out in an existing building currently or previously used for a high impact industry use; or (b) does not increase the gross floor area of the building by greater than twenty-five (25) square metres involving activities ancillary to the primary use of the premises. <p>OR</p> <p>AO21.2 For an expansion to an existing high impact use or new high impact industry use(s):</p> <ul style="list-style-type: none"> (a) noise generating activities are orientated away from the adjoining sensitive land use(s) and future residential uses in Parkhurst; (b) where sites have two (2) road frontages access is from the frontage furthest away from nearby sensitive land use(s); (c) parking and outdoor storage areas are screened from residential zones; (d) a densely planted landscaped and screened buffer area at least eight (8)

Performance outcomes	Acceptable outcomes
	<p>metres wide is provided along all boundaries of the site;</p> <p>(e) buffers along boundaries consist of tall trees and shrubs, including a mix of fast growing pioneer species and mature stock of slower growing permanent species that will form a complete visual screen of a minimum of four (4) metres in height within three (3) years of planting;</p> <p>(f) existing trees that already contribute to meeting these requirements are retained;</p> <p>(g) outdoor activities are restricted to between the hours of 07:00 and 19:00 Monday to Saturday; and</p> <p>(h) Indoor activities occurring between the hours of 19:00 and 07:00 or on Sundays are limited to office and administrative tasks or tasks that are not audible or visible from outside the building.</p>

6.6.4 Special industry zone code

6.6.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the special industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.4.2 Purpose

- (1) The purpose of the special industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for special industry is provided at Bajool (Bajool explosive reserve) and Stanwell (Stanwell power station) and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s);
 - (b) ensure that land zoned for special industry is not developed for industrial uses that should be located in other zones; and
 - (c) ensure special industries are protected from encroachment by sensitive land use(s).
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone accommodates industrial uses that will have off-site impacts, primarily being special industry;
 - (b) high, medium and low impact industry and warehouse uses are located in the zone only where these uses:
 - (i) are either:
 - (A) an integral part of the operation of the special industry use within the special industry zone; or
 - (B) provide a direct service to the special industry uses in the zone;
 - (ii) are not detrimentally affected by the special industry uses in the area;
 - (iii) do not compromise the operations of special industry uses; and
 - (iv) do not compromise the availability of land allocated for special industry;
 - (c) sensitive land use(s) are not located within the zone;
 - (d) the viability of existing and future special industry uses is not affected by the intrusion of incompatible uses; development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment and sensitive uses;
 - (e) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping;
 - (f) development on land adjacent to or highly visible from state controlled roads provides for dense, vegetated screening;
 - (g) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (h) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (i) development is sited and designed to respond to natural landscape features and environmental constraints; and
 - (j) development is connected to all infrastructure services available in the area.

6.6.4.3 Specific benchmarks for assessment

Table 6.6.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back a minimum of twenty (20) metres from all road frontages.</p>
<p>PO3 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements. All storage areas are screened from the streetscape.</p>	<p>AO3.1 Where applicable, the ancillary office space and sales area of each building is sited on and orientated towards the primary street frontage.</p> <p>AND</p> <p>AO3.2 Pedestrian entries:</p> <ul style="list-style-type: none"> (a) are visible from the street and visitor car parking areas; and (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection. <p>AND</p> <p>AO3.3 All outdoor storage and other unsightly areas are visually screened from:</p> <ul style="list-style-type: none"> (a) view from public places (including the street) and from land not within an industrial zone; and (b) public view by providing mature landscaping that has the same effect as a 1.8 metre high wall and has a width of six (6) metres where adjoining the primary street frontage.
Streetscape and landscaping	
<p>PO4 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Gracemere and Rockhampton.</p> <p>Editor's note—Any landscaping works within ten (10) metres of a state controlled road should be in</p>	<p>AO4.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least six (6) metres in width (measured perpendicular to the property boundary), are provided along all common boundaries of the site including the primary street frontage (except where a driveway exists or is proposed) and consists of:</p>

Performance outcomes	Acceptable outcomes
accordance with the Department of Transport and Main Roads' Road Landscape Manual.	<ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
Land use	
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.

Table 6.6.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO6 Site layout facilitates the security of people and property having regard to: <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	No acceptable outcome is nominated.
Effects of development	
PO7 Development prevents or minimises the generation of any noise, dust and odour so that: <ul style="list-style-type: none"> (a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and (b) desired ambient noise levels in residential zones are not exceeded. <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides</p>	AO7.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i> , as updated from time to time. AND AO7.2 Development achieves the air quality design objectives set out in the <i>Environmental</i>

Performance outcomes	Acceptable outcomes
guidance on assessing the impacts from industrial uses on sensitive land use(s).	<i>Protection (Air) Policy 2019</i> , as updated from time to time.
<p>PO8 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO8.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO9 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape.</p>	<p>AO9.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO9.2 Roof water is piped away from areas of potential contamination.</p>
<p>PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s). 	No acceptable outcome is nominated.
<p>PO11 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.</p>	No acceptable outcome is nominated.
<p>PO12 Development is designed and managed so that it provides appropriate protection for</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
community safety and health, and avoids unacceptable risk to life and property.	
<p>PO13 Noxious and offensive odours are not experienced at the location of sensitive land use(s).</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—The Queensland Odour Impact Assessment from Developments Guideline provides a methodology for assessing odour impacts.</p>
<p>PO14 Off-site risks from foreseeable hazard scenarios involving hazardous chemicals are commensurate with the sensitivity of the surrounding land use zones.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Any using, storing or operating of hazardous materials must be in accordance with the State Planning Policy – emissions and hazardous activities guideline.</p>
Structure planning for urban development	
<p>PO15 New development within greenfield areas for industrial purposes on lots greater than five (5) hectares:</p> <ul style="list-style-type: none"> (a) is orderly and well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between industrial and residential zones; (f) avoids and manages impacts of natural hazards; (g) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (h) facilitates environmentally and climate responsive design; and (i) provides a well dispersed network of open space. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code.</p>

6.6.5 Waterfront and marine industry zone code

6.6.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the waterfront and marine industry zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.6.5.2 Purpose

- (1) The purpose of the waterfront and marine industry zone code is to:
 - (a) ensure that adequate, serviced and accessible land for waterfront and marine industry is provided and developed in accordance with acceptable environmental standards and with minimal impacts on nearby sensitive land use(s); and
 - (b) provide for waterfront and marine industry land on the Fitzroy River in Rockhampton to service the region's population.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) the zone primarily accommodates waterfront uses;
 - (b) the following uses are not located in the zone:
 - (i) high impact industry;
 - (ii) special industry; and
 - (iii) uses which are more appropriately located in centres including stand-alone offices, shopping centre, showrooms and hardware and trade supplies;
 - (c) sensitive land use(s) will not occur within the zone;
 - (d) a limited range of non-marine industrial uses that are ancillary to and support waterfront uses are located in the zone. These include:
 - (i) caretaker's accommodation and administration offices for an industrial use; and
 - (ii) small-scale retail uses directly associated with boating activities (for example, bait and tackle shop, food and drink outlet associated with boat usage);
 - (e) the viability of existing and future waterfront uses is not affected by the intrusion of incompatible uses;
 - (f) industrial uses do not adversely impact on the quality of water in the Fitzroy River;
 - (g) development is visually screened from the Rockhampton-Emu Park Road;
 - (h) development does not compromise the function or safety of Rockhampton-Emu Park Road or the Rockhampton-Yeppoon railway line;
 - (i) development is located, designed and managed to maintain safety to people, and to avoid significant adverse effects on the natural environment;
 - (j) development minimises adverse impacts on nearby non-industrial zoned land and sensitive land use(s) through building design, hours of operation, screening and landscaping and other means;
 - (k) the scale, siting and form of development, including car parking areas and landscaping contributes to a high standard of amenity, particularly when viewed from the water;
 - (l) development maximises the use of existing transport infrastructure and has safe and practical access to all modes of transport infrastructure and facilities, including airports and seaports;
 - (m) development is designed to incorporate sustainable practices including maximising opportunities for energy efficiency, water conservation, public and active transport use;
 - (n) development is sited and designed to respond to natural landscape features and environmental constraints;
 - (o) development is connected to all infrastructure services available in the area; and

- (p) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Fitzroy River industry precinct.

Fitzroy River industry precinct

- (3) The following overall outcomes of the Fitzroy River industry precinct are additional to those of the Waterfront and marine industry zone and take precedence in the event of a conflict:
 - (a) the precinct supports the reuse of existing building(s) for marine industry uses such as boat storage, minor servicing and hiring, and service industry;
 - (b) the following uses are supported within the precinct:
 - (i) outdoor sales where involving the sale and hire of waterfront and marine related equipment such as boats, boating trailers, GPS equipment, and fishing equipment;
 - (ii) uses that benefit from a waterfront location including shops (for example bait and tackle shop), community uses and boating facilities (for example boating clubs, pontoons, wharves);
 - (iii) outdoor sport and recreation uses that have an affiliation with the Fitzroy River; and
 - (iv) Home based business.
 - (c) noise generating uses are designed, sited and constructed to minimise the transmission of noise to appropriate levels and do not cause environmental harm or nuisance.

6.6.5.3 Specific benchmarks for assessment

Table 6.6.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed thirteen (13) metres above ground level.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.
<p>PO3 Development reflects the operational and functional needs of the use and provides design features that contribute to an attractive streetscape.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or

Performance outcomes	Acceptable outcomes
	<p>(b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or</p> <p>(c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.</p> <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales area of each building is sited on and oriented towards the primary street frontage.</p>
<p>PO4 Development has a high quality appearance and makes a positive contribution to the character of the area having regard to orientation of buildings to the street and incorporation of directional elements.</p>	<p>AO4.1 Pedestrian entries:</p> <p>(a) are visible from the street and visitor car parking areas; and</p> <p>(b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900 millimetres wide from the external building face to the outermost projection.</p>
Amenity	
<p>PO5 Where located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone, development does not create adverse impacts by way of noise, dust, hours of operation or unsightly activities.</p>	<p>AO5.1 Development located within 250 metres of either a residential zone or existing sensitive land use not located within an industrial zone is to ensure that the following is complied with:</p> <p>(a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any boundary adjoining a residential zone;</p> <p>(b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use;</p> <p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use;</p> <p>(d) vehicles with a load greater than four (4) tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday;</p> <p>(e) noise generating activities, access and driveways and outdoor activities are not located directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 hours and 19:00 hours Monday to Saturday; and</p>

Performance outcomes	Acceptable outcomes
	(f) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.
Streetscape and landscaping	
<p>PO6 Development that has a common property boundary with a state controlled road provides a positive contribution, through landscaping, to the amenity and character of the entry points into Rockhampton.</p>	<p>AO6.1 Vegetated landscape buffers, created through a 'three tier' planting approach, are at least four (4) metres in width (measured perpendicular to the property boundary), are provided along the common property boundary of development along any state controlled road (except where a driveway exists or is proposed) and consist of:</p> <ul style="list-style-type: none"> (a) a minimum of two (2) shade or rounded canopy trees for every five (5) linear metres or part thereof of the length of the landscape buffer; (b) a minimum of two (2) shrubs for every three (3) linear metres or part thereof of the length of the landscaped buffer; (c) a minimum of two (2) ground covers for every two (2) linear metres or part thereof of the length of the landscaped buffer; and (d) a one (1) metre high earth mound for the length of the common property boundary excluding access points and driveways.
<p>PO7 Landscaping to road frontages must make a positive contribution to the streetscape and incorporate landscape elements that complement the scale and bulk of industrial forms.</p>	<p>AO7.1 Landscaping is provided along all road frontages (except where fronting a state controlled road) of the site for a minimum width of two (2) metres.</p>
Land use	
Ancillary sales	
<p>PO8 Direct sales to the public occur at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO8.1 Direct sales to the public are restricted to the sale of industrial products which are related to the industrial use on site.</p> <p>AND</p> <p>AO8.2 The sales area does not exceed ten (10) per cent of the total gross floor area.</p>
Caretaker's accommodation	
PO9	AO9.1

Performance outcomes	Acceptable outcomes
The development does not compromise the productivity of the use.	No more than one (1) caretaker's accommodation is established on the site.
Sales office	
<p>PO10 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO10.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO11 Development prevents or minimises the generation of any noise, dust and odour so that:</p> <p>(a) nuisance is not caused to adjoining premises or other nearby sensitive land use(s); and</p> <p>(b) desired ambient noise levels in residential zones are not exceeded.</p> <p>Editor's note—SC6.3 — Air, noise and hazard assessments planning scheme policy provides guidance on assessing the impacts from industrial uses on sensitive land use(s).</p>	<p>AO11.1 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p> <p>AND</p> <p>AO11.2 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2019</i>, as updated from time to time.</p>
<p>PO12 Outdoor lighting does not adversely affect the amenity of adjoining premises or create a traffic hazard on adjacent roads.</p>	<p>AO12.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO12.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 — Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements, as updated from time to time.</p>
<p>PO13 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p> <p>Editor's note—Any landscaping works within ten (10) metres of a state controlled road should be in accordance with the Department of Transport and Main Roads' Road Landscape Manual.</p>	<p>AO13.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <p>(a) being wholly enclosed in storage bins; or</p> <p>(b) a watering program so material can not become airborne.</p> <p>AND</p> <p>AO13.2 Roof water is piped away from areas of potential contamination.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO13.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
<p>Where in the Fitzroy River industry precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence</p>	
<p>PO14 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AO14.1 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO14.2 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO14.3 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO14.4 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p>
<p>PO15 Non-industrial uses are directly associated with waterfront and boating activities, are small in scale and do not compromise the role and function of existing or future planned centres.</p>	<p>AO15.1 Food and drink outlets and shop(s) are limited to 150 square metres gross floor area.</p> <p>AND</p> <p>AO15.2 Retail uses primarily sell goods associated with boating activities.</p> <p>AND</p> <p>AO15.3 Outdoor sales or other outdoor activities are limited to 200 square metres total use area, and are directly associated with waterfront and marine related activities.</p> <p>Editor's note—Goods associated with boating activities include but are not limited to: fishing rods, reels, lines, nets, storage, tools, apparel, tackle, lures, bait, boat</p>

Performance outcomes	Acceptable outcomes
	seats / pedestals, anchors/docking, boat covers, hatches, vents, lighting etc.

Table 6.6.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO16 Site layout facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) visitor parking being located adjacent to the office component of the building; (b) a provision of a separate pedestrian entry to the site and main building from any vehicular entry points and manoeuvring areas; (c) opportunities for passive surveillance and sightlines; (d) exterior building designs which promote safety; (e) adequate lighting; (f) appropriate directional mechanisms (for example signage); (g) no entrapment locations; and (h) building entrances, loading and storage areas being well lit and lockable after hours. 	No acceptable outcome is nominated.
Land Uses	
<p>PO17 Food and drink outlets are limited to uses that provide for the day to day needs of people employed in the area.</p>	No acceptable outcome is nominated.
<p>PO18 Non-industry uses do not reduce the functionality of industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO19 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses such that:</p> <ul style="list-style-type: none"> (a) any earthworks are minimised; (b) the retention of natural drainage lines is maximised; (c) the retention of existing vegetation is maximised; (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (e) there is adequate buffering, screening and separation to sensitive land use(s). 	No acceptable outcome is nominated.
<p>PO20 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.</p>	No acceptable outcome is nominated.
Where in the Fitzroy River industry precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence	

Performance outcomes	Acceptable outcomes
PO21 Development is not a stand-alone office, shopping centre, showroom or hardware and trade supplies.	No acceptable outcome is nominated.

[Intentionally blank]

6.7 Other zones Category

6.7.1 Community facilities zone code

6.7.1.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the community facilities zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.1.2 Purpose

- (1) The purpose of the community facilities zone code is to:
 - (a) provide for priority development areas regulated by planning instruments other than the planning scheme including the Central Queensland University (CQU) Rockhampton development scheme;
 - (b) provide for a range of community activities, equally distributed throughout urban and rural areas that are easily accessible by all members of the community;
 - (c) facilitate collocation of community and recreation uses to strengthen their community focus;
 - (d) integrate community related activities with the amenity and characteristics of the surrounding area.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development in the zone includes predominantly community related uses;
 - (b) a limited range of recreation uses, club, food and drink outlet, market and residential uses occur where they:
 - (i) are small in scale;
 - (ii) are ancillary to a community related activity on the site;
 - (iii) are compatible with and support the development of the zone for community related activities; and
 - (iv) do not undermine the role and function of centres;
 - (c) development ensures that community related activities remain the dominant use and continue to effectively meet the community needs;
 - (d) the built form and site layout integrates with the surrounding areas unless separation is required for operational or safety requirements;
 - (e) development minimises the impacts of noise, odour, lighting, overlooking and traffic on nearby sensitive land use(s);
 - (f) development is located and designed to respond to local heritage features, natural landscape features and environmental constraints;
 - (g) development is easily accessible to residents (including older, less mobile people and people with disabilities) served by the facility and is well located in relation to public and active transport networks;
 - (h) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (i) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Rockhampton health services precinct.

Rockhampton health services precinct

- (3) The following overall outcomes of the Rockhampton health services precinct are additional to those of the community facilities zone and take precedence in the event of a conflict:
 - (a) hospitals and associated health services are the predominant use in the precinct;
 - (b) development is integrated and connected to form a coherent health precinct with internal pedestrian circulation and landscaping;
 - (c) large-scale hospitals and health services are consolidated within the precinct;
 - (d) development comprises of a high quality building design, construction and landscaping;

- (e) development provides adequate on-site parking and access facilities and minimises traffic impacts on surrounding residential areas and streets, particularly on North Street and Canning Street;
- (f) land uses such as shops or offices develop where they:
 - (i) are small in scale and provide a convenience function for the precinct;
 - (ii) are ancillary to hospitals and health services;
 - (iii) are compatible with and support the development of the precinct for hospitals and health services; and
 - (iv) do not undermine the role and function of centres;
- (g) residential uses:
 - (i) provide accommodation predominantly for patients, family and staff; and
 - (ii) are compatible with and support the development of the precinct for hospitals and health services;
- (h) development minimises amenity impacts on surrounding residential areas;
- (i) development does not impact on the operational airspace of the Rockhampton Airport; and
- (j) streetscaping provides for safe and comfortable pedestrian circulation within and around the precinct.

6.7.1.3 Specific benchmarks for assessment

Table 6.7.1.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; and (c) minimises overshadowing and overlooking of residential areas. 	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent. <p>Note—Building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <ul style="list-style-type: none"> (a) within twenty (20) per cent of the average front setback of adjoining buildings; or (b) where there are no adjoining buildings a minimum of six (6) metres.

Performance outcomes	Acceptable outcomes
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <ul style="list-style-type: none"> (a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or (b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area; or (c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby sensitive land use(s) are minimised.</p>	<p>AO4.1 A 1.8 metre high solid screen fence is provided along all boundaries shared with a sensitive land use.</p> <p>AND</p> <p>AO4.2 A landscaped buffer with a minimum width of three (3) metres and consisting of dense screen planting is provided along all boundaries shared with a sensitive land use.</p> <p>AND</p> <p>AO4.3 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO4.4 New building plant or air-conditioning equipment is located within, underneath or central to the building and screened from view of the street and any adjoining residential zone.</p>
Streetscape and landscaping	
<p>PO5 Landscaping and streetscaping is provided to:</p> <ul style="list-style-type: none"> (a) enhance the appearance of the development; (b) screen components of development from adjoining sensitive land use(s) and from the street; and (c) allow shading for pedestrian comfort. 	<p>AO5.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p> <p>AND</p> <p>AO5.2 Where buildings are set back from the street, a landscape planting bed with a minimum width of one (1) metre is provided</p>

Performance outcomes	Acceptable outcomes
	along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).
Where in the Rockhampton health services precinct	
Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.	
PO6 Development is of a height and scale that: <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; (c) minimises overshadowing and overlooking of residential areas; and (d) avoids impacts on the operational airspace of the Rockhampton Airport. 	AO6.1 The height of buildings and structures within the Rockhampton health services precinct does not exceed three (3) storeys and twelve (12) metres above ground level. <p>AND</p> AO6.2 Site cover does not exceed sixty (60) per cent of the total site area.
Note—Building heights on the airport obstacle limitation surface OM-2A prevail over building heights detailed in the zone codes.	
Land use	
Caretaker's accommodation	
PO7 The development does not compromise the productivity of the use.	AO7.1 No more than one (1) caretaker's accommodation is established on the site.
Effects of development	
PO8 Non-residential development maintains a high level of amenity for the surrounding area, having regard to hours of operation and noise.	AO8.1 Where adjoining a residential zone, non-residential uses operate between the hours of 06:00 and 22:00.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO10 Outdoor storage areas are screened from the streetscape and adjoining residential zones.	AO10.1 Outdoor storage areas are: <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.

Table 6.7.1.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO11 The design of buildings and their surrounds: <ul style="list-style-type: none"> (a) are appropriate to their context; (b) fit responsively into the streetscape or setting; (c) are designed to accommodate local climatic conditions; and 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(d) create an engaging, high quality built environment.	
PO12 Buildings are finished with high quality materials which are easily maintained and do not readily stain, discolour or deteriorate.	No acceptable outcome is nominated.
PO13 Building design includes: (a) vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) a roof form that creates visual interest, is not flat and can conceal plant equipment; and (c) at least three (3) variations in textures, materials and colours.	No acceptable outcome is nominated.
PO14 Buildings which are located in prominent positions such as corner sites or with frontages to public spaces: (a) are designed to express or emphasise the importance of their location through excellent architectural design; (b) where adjacent to a public place, the building's main entrance addresses the public place; and (c) where on corner sites, the building provides active frontages to both street frontages and the main entrance addresses the principal street or the street corner.	No acceptable outcome is nominated.
PO15 Development is located and designed to respond to local heritage features, natural landscape features and environmental constraints.	No acceptable outcome is nominated.
PO16 Development is easily accessible to residents served by the facility and is well located in relation to public and active transport networks.	No acceptable outcome is nominated.
Land use	
General	
PO17 Community and associated activities are located in a manner that meets the operational needs of the use and ensures accessibility to all members of the public.	No acceptable outcome is nominated.
PO18 Existing and planned community facilities and associated activities are protected from incompatible uses.	No acceptable outcome is nominated.
PO19 Development occurs which:	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(a) supports the collocation of community and associated activities; and (b) complements or is subordinate to community related activities.	
Market	
PO20 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.	AO20.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.
PO21 The development is temporary in nature having regard to length of time and operation of the use.	AO21.1 Do not occur for more than twenty-eight (28) days in any one (1) calendar year.
Streetscape and landscaping	
PO22 Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.	AO22.1 Landscaping complements the streetscape by retaining existing, significant trees with a height exceeding two (2) metres, or a trunk diameter of thirty (30) centimetres (whichever is lesser) except where located in the building or driveway location.
Where in the Rockhampton health services precinct	
<small>Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</small>	
PO23 Where development is for shop, food and drink outlet, club, or office: (a) the use is ancillary to the primary use of the precinct for hospital or health care services; (b) it is designed and sited in a manner that is compatible with and supports the development of the precinct; (c) it is limited to 250 square metres gross floor area; and (d) it does not detract from the role and function of centres.	No acceptable outcome is nominated.
PO24 Development primarily consists of community related activities at ground level and residential uses above ground floor level.	No acceptable outcome is nominated.
PO25 Residential uses provide accommodation for patients, family and staff; and is designed to be compatible with nearby non-residential development.	No acceptable outcome is nominated.
PO26 Residential uses are provided with privacy and private outdoor living space.	AO26.1 Dwellings are provided with private open space or a balcony which: (a) has a minimum area of nine (9) square metres; (b) has a minimum dimension of three (3) metres; (c) is directly accessible from a habitable room; and

Performance outcomes	Acceptable outcomes
	(d) does not accommodate air conditioning units.

6.7.2 Emerging community zone code

6.7.2.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the emerging community zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.2.2 Purpose

- (1) The purpose of the emerging community zone is to:
 - (a) provide for new, planned communities that:
 - (i) are developed in an orderly and sequenced way;
 - (ii) are provided with the necessary infrastructure and services in a timely and efficient manner;
 - (iii) have an integrated and compact urban form resulting in safe, attractive and walkable communities;
 - (iv) provide for a wide choice of housing and accessible community services to cater for whole-of-life housing needs; and
 - (v) avoid areas that are unsuitable for urban development because of natural hazards or natural scenic, or cultural features; and
 - (b) provide for small-scale and low intensity rural uses in the interim, which will not compromise the development of land for future urban purposes.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) land within the zone is conserved for development post 2031, primarily for urban residential and supporting community, recreation and centre uses;
 - (b) structure planning of areas within the zone is undertaken in advance of development of the land for urban purposes;
 - (c) interim uses which do not detract from the primary purpose of the zone, may be appropriate in the zone and include:
 - (i) rural uses of a non-intensive nature;
 - (ii) home based business including bed and breakfast; and
 - (iii) bulk landscape supplies store, garden centres and wholesale nurseries;
 - (d) any development that may compromise the future development of urban land uses for the purposes of residential and community related activities does not occur in this zone;
 - (e) structure planning of new urban development within the zone is undertaken in advance of proposals to develop land;
 - (f) new urban development provides for a range of housing types and achieves a minimum dwelling yield of fifteen (15) dwellings per hectare (net developable area);
 - (g) new proposed centres within greenfield areas (including Gracemere and Parkhurst) are not intended to accommodate full-line supermarkets;
 - (h) with the exception of a neighbourhood centre at south Gracemere, no other neighbourhood or local centres are required within greenfield areas;
 - (i) land is developed in a logical pattern that facilitates the efficient provision of infrastructure;
 - (j) a high level of integration with existing and future urban development is achieved having regard to movement networks (pathways, cycle ways, roads and public transport infrastructure commensurate with the needs of the use), open space and recreational facilities, centres and community infrastructure;
 - (k) movement networks are established to promote active transport (walking and cycling) and public transport;
 - (l) new residential developments are not located in proximity to existing incompatible uses such as rural uses, industrial uses or major community facilities without separation distances, buffering, landscaping and screening that minimises a loss of amenity in relation to noise, odour, dust, light, loss of privacy or other adverse impacts;

- (m) development is sited and designed to respond to the region's climate (sustainable practices for maximising energy efficiency, water conservation, public and active transport use), local heritage features, natural landscape features and environmental constraints (including but not limited to topography, bushfire and flooding); and
- (n) development is serviced by infrastructure that is commensurate with the needs of the use.

6.7.2.3 Specific benchmarks for assessment

Table 6.7.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes								
Where involving a new building or expansion to an existing building									
Built form									
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent. <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>								
Land use									
Dwelling house or dwelling unit									
<p>PO2 Development does not compromise the continued operation of an intensive animal industry, extractive industry, or a similar potential use on neighbouring rural land.</p>	<p>AO2.1 Development:</p> <ul style="list-style-type: none"> (a) is set back a minimum of six (6) metres from side and rear lot boundaries; and (b) is separated from an existing or approved: <ul style="list-style-type: none"> (i) intensive animal industry by a minimum of 1,000 metres; and (ii) extractive industry operation as follows: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #ccc;">Operation</th> <th style="background-color: #ccc;">Separation distance</th> </tr> </thead> <tbody> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated haul route</td> <td>100 metres</td> </tr> </tbody> </table> <p>AND</p> <p>AO2.2 Where a secondary dwelling is proposed, that dwelling:</p>	Operation	Separation distance	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated haul route	100 metres
Operation	Separation distance								
A hard rock extractive industry	500 metres								
A sand and gravel extractive industry	200 metres								
A designated haul route	100 metres								

Performance outcomes	Acceptable outcomes
	(a) is contained within the same lot; and (b) is no more than eighty (80) square metres gross floor area.
Caretaker's accommodation	
PO3 The development does not compromise the productivity of the use.	AO3.1 No more than one (1) caretaker's accommodation is established on the site.
Home based business	
PO4 Development for a home based business is operated, designed and sited in a manner that: <ul style="list-style-type: none"> (a) is small in scale and intensity; (b) does not adversely affect the safety and private recreation needs of adjoining premises; (c) does not adversely affect the streetscape and street function; and (d) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	AO4.1 The home based business has a maximum gross floor area of fifty (50) square metres (except for a bed and breakfast accommodation). <p>AND</p> AO4.2 The home based business is carried out within an existing building or structure. <p>AND</p> AO4.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday, and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). <p>AND</p> AO4.4 The home based business involves a minimum of one (1) resident of the dwelling. <p>AND</p> AO4.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business. <p>AND</p> AO4.6 The home based business contains visitor parking within the site. <p>AND</p> AO4.7 The home based business for bed and breakfast accommodation: <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO4.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO4.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO4.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Sales office	
<p>PO5 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO5.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO6 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO6.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>

6.7.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO7 The appearance and siting of buildings, other structures, car parking areas and signage is compatible with the character and amenity of area.</p> <p>Editor's note—The character and amenity of the zone will transition over time from rural to urban.</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
Land use	
<p>PO8 Until land is developed for urban development, the zone primarily accommodates a limited range of rural uses and other uses that do not prejudice the long-term urban development potential of the land such as intensive rural or industry uses.</p>	No acceptable outcome is nominated.
Effects of development	
<p>PO9 Effective separation distances are provided to minimise conflicts between sensitive land use(s) and other uses having regard to vibration, odour, light, dust, spray drift and noise emissions. No intensive rural uses are supported in this zone.</p> <p>Editor's note— Where potential conflicts between agricultural and sensitive land use(s) may occur, applicants should refer to State Planning Policy Guideline – State interest – Agriculture.</p>	No acceptable outcome is nominated.
<p>PO10 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) adequate buffering, screening or separation to adjoining development is provided. 	No acceptable outcome is nominated.
<p>PO11 Non-residential development maintains a high level of amenity for the surrounding area, having regard to noise, odour, lighting, access, privacy and outlook.</p>	<p>AO11.1 Non-residential development, where adjoining a sensitive land use or residential zone:</p> <ul style="list-style-type: none"> (a) locates car parking, service and waste storage areas a minimum of four (4) metres from a common boundary; and (b) locates waste and refuse storage areas behind the main face of a building and the storage areas are screened by a 1.8 metre high solid screened fence. <p>AND</p> <p>AO11.2</p>

Performance outcomes	Acceptable outcomes
	Non-residential development, where adjoining a sensitive land use or residential zone, ensures new building plant or air-conditioning equipment is located within, underneath or central to the building and is screened from view of the street and adjoining residential properties.
<p>PO12 Development is set back from boundaries to:</p> <ul style="list-style-type: none"> (a) avoid potential nuisance to neighbours; (b) protect residential amenity from odour; and (c) maintain the local streetscape or landscape character. 	<p>AO12.1 Non-residential buildings, animal enclosures, chemical spraying, storage facilities and waste disposal areas are set back in accordance with the following:</p> <ul style="list-style-type: none"> (a) from a dwelling on adjoining land in the rural zone — fifty (50) metres; and (b) from adjoining land included in the low density residential, low-medium density residential, township or rural residential zones — 100 metres. <p>AND</p> <p>AO12.2 Development is set back:</p> <ul style="list-style-type: none"> (a) fifty (50) metres from state controlled roads; (b) twenty (20) metres from all other roads; and (c) six (6) metres from any other boundary.
Structure planning for urban development	
<p>PO13 New development within greenfield areas for urban purposes on lots greater than five (5) hectares does not occur prior to 2026. When it occurs, development:</p> <ul style="list-style-type: none"> (a) is well sequenced; (b) promotes an efficient and coordinated use of land and infrastructure; (c) is highly integrated with existing and proposed development in the immediate area; (d) is highly accessible and well serviced by a network of pedestrian, cyclist, public transport and private vehicle connections; (e) provides linkages between residential areas and open space, centres and public facilities; (f) provides a wide variety of housing styles, densities and lot sizes and achieves at least fifteen (15) dwellings per hectare of land (net developable area); (g) collocates higher density residential uses in and around centres, high order roads and other transport facilities; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—SC6.19 — Structure plan planning scheme policy provides guidance on the expected structure planning process to facilitate development that complies with the requirements of this outcome and the reconfiguring a lot code.</p> <p>Editor's note—A concept diagram and requirements for new urban development has been identified in Figure 6.7.2.3.2a.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (h) avoids and manages impacts of natural hazards; (i) protects significant environmental areas, natural features, cultural heritage features and other important aspects of a development site; (j) facilitates environmentally and climate responsive design; and (k) provides a well dispersed network of open space. 	

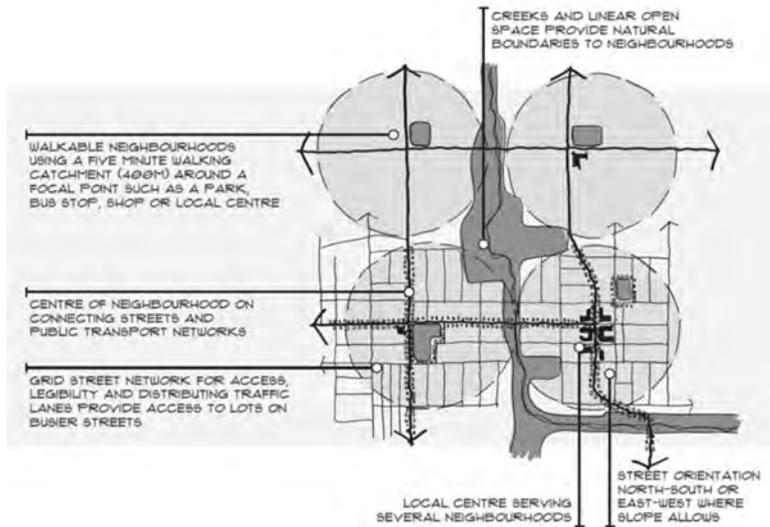


Figure 6.7.2.3.2a — Concept diagram for a new urban development

6.7.3 Limited development (constrained land) zone code

6.7.3.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the limited development (constrained land) zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.3.2 Purpose

- (1) The purpose of the limited development (constrained land) zone code is to:
 - (a) ensure that areas of historic subdivision (historic township or historic small lot rural subdivision located at Egan's Hill and along the Fitzroy River) without urban services or basic community facilities are not used for urban purposes;
 - (b) provide for the development of a limited range of uses where the uses do not require access to an urban standard of infrastructure and where the intensity and type of use will not be affected by the constraints of the land;
 - (c) minimise land use conflict and ensure that development is consistent with the amenity and characteristics of the surrounding area; and
 - (d) manage the intensity and type of development at the Mount Morgan mine site, due to significant constraints, man-made hazards and a lack of suitable infrastructure.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development within areas of historic subdivision (historic township or historic small lot rural subdivision) is limited to small-scale rural uses and outdoor sport and recreation, and is not for residential uses;
 - (b) development does not compromise the operational, functional and location needs of surrounding land use or adversely affect the local character of the surrounding area;
 - (c) development is sited and designed to reflect and respond to local natural landscape features and constraints on the land;
 - (d) development is serviced by infrastructure that is commensurate with the needs of the use;
 - (e) no further subdivision of land to create new lots occurs; and
 - (f) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Mount Morgan mine precinct.

Mount Morgan mine precinct

- (3) The following overall outcome of the Mount Morgan mine precinct is additional to those of the limited development (constrained land) zone and takes precedence in the event of a conflict:
 - (a) development within the Mount Morgan mine precinct area is limited to mining activities or tourist related activities and facilities associated with former mining activities; and
 - (b) development addresses natural and environmental constraints, environmental nuisances and impacts on the surrounding community including scenic amenity.

6.7.3.3 Specific benchmarks for assessment

Table 6.7.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level excluding silos, windmills and similar structures ancillary to rural uses.</p>
General	
<p>PO2 Development that does not involve rural uses:</p> <ul style="list-style-type: none"> (a) is located on the least productive parts of a site and not on land identified on the agricultural land classification (ALC) overlay map OM-13; (b) does not restrict the ongoing safe and efficient use of nearby rural uses; and (c) is adequately separated or buffered where it is likely to be sensitive to the operational characteristics associated with rural uses, rural industries or extractive industries. <p>Editor's note—Agricultural land classified as Class A or Class B is shown on the agricultural land classification overlay map OM-13.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State interest – Agriculture.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO3 The areas of historic subdivision maintain a rural character with land holdings being used for rural land uses.</p>	<p>No acceptable outcome is nominated.</p>
Land use	
<p>PO4 The development:</p> <ul style="list-style-type: none"> (a) does not require urban services or basic community facilities; (b) intensity and type of use will not be affected by the constraints of the land; and (c) does not involve residential uses (including a single dwelling house). 	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO5 Development does not unduly impact on the existing amenity and character of the locality, having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(b) visibility from roads and other public view points, screening vegetation and landscaping; (c) the natural landform and avoidance of visual scarring; and (d) noise, odour and other emissions.	
PO6 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that: (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering, screening or separation to adjoining development.	No acceptable outcome is nominated.
PO7 All land uses are located, designed, orientated and constructed to: (a) minimise noise, light, dust, odour or other nuisance from existing lawful uses, including rural and industrial uses; and (b) minimise nuisance caused by noise, vibration and dust emissions generated by the state controlled road and rail network in the vicinity of land in the rural zone.	No acceptable outcome is nominated.
Parking, access and transport	
PO8 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO9 The land is not further subdivided.	AO9.1 No new lots are created.
Where in the Mount Morgan mine precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO10 Development within the Mount Morgan mine precinct will provide for a limited range of mining activities or tourist related activities provided that the following is addressed: (a) that natural and environmental constraints posed by the site can be mitigated; (b) environmental nuisances (such as noise, light, dust and the like) are contained onsite; and	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
(c) impacts on the surrounding community, scenic amenity and the environment are properly managed.	

6.7.4 Rural zone code

6.7.4.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the rural zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.4.2 Purpose

- (1) The purposes of the rural zone code is to:
 - (a) ensure that land with productive capacity is maintained for a range of existing and emerging rural uses that are significant to the economy of the planning scheme area;
 - (b) recognise that different types of rural land are suited to specific uses such as animal industries, horticulture, cropping, intensive animal industries, intensive grazing and extractive industries;
 - (c) prevent the establishment of development which may limit the productive capacity of the land;
 - (d) provide for diversification of rural industries where impacts can be managed; and
 - (e) maintain the environmental values of all rural land.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development in the zone accommodates predominantly rural uses;
 - (b) development:
 - (i) does not detract from the scenic landscape features of rural land including the Fitzroy River, floodplains, lagoons, wetlands, salt pans, mountains and ridges and the coastline;
 - (ii) is responsive to the environmental characteristics and constraints of the land, and minimises impacts on natural features such as waterways, wetlands and remnant vegetation;
 - (iii) has legal and practical access to the road hierarchy;
 - (iv) is serviced by infrastructure that is commensurate with the needs of the use; and
 - (v) maximises energy efficiency and water conservation;
 - (c) non-rural uses may be appropriate where they do not detract from the productivity or residential amenity of rural areas and can demonstrate:
 - (i) a direct relationship with the rural use in the immediate locality; or
 - (ii) the potential to make a contribution to primary production or the diversification of rural industries; or
 - (iii) a need to be remote from urban uses as a result of their impacts; or
 - (iv) they cannot be located in an urban area (for example, due to land area requirements);
 - (d) transport and freight uses, which do not meet the definition of a home based business, are not established in the rural zone;
 - (e) development does not alienate or impact on the productive agricultural capacity of rural areas and agricultural land is protected from incompatible development;

Editor's note—Agricultural land classified as Class A or Class B is identified on the agricultural land classification overlay map OM-13.

- (f) all rural land is maintained in large land holdings to protect the agricultural production capacity. In this regard, the reconfiguration of land only occurs when lot size is 100 hectares unless otherwise stated in a precinct;
- (g) animal keeping (being kennels and catteries), intensive animal industries, intensive horticulture, aquaculture and rural industries establish where they:
 - (i) are located on sites that are large enough to accommodate appropriate buffering to sensitive land use(s), residential, township and emerging community zones. Intensive animal industries are preferred in proximity to the lower Fitzroy River, west of Ridgeland;

- (ii) do not cause adverse impacts on sensitive land use(s) in relation to traffic, noise and air quality;
- (iii) do not cause a negative impact on water quality;
- (iv) protect natural, scenic and environmental values;
- (v) do not diminish the productive capacity of other land nearby;
- (vi) gain access from roads which are constructed to accommodate the traffic generated by the use; and
- (vii) are not located in areas identified on the Agricultural Land Classification (ALC) overlay maps (except for intensive horticulture);
- (h) Rural workers' accommodation is appropriate where:
 - (i) directly associated with the primary rural use undertaken at the site;
 - (ii) compatible with the rural character of the zone;
 - (iii) not compromising the existing or potential future operation of rural uses on adjoining lots; and
 - (iv) not located in areas identified on the Agricultural Land Classification (ALC) overlay maps;
- (i) urban and rural residential development is contained within the designated growth areas and does not expand into the rural zone;
- (j) sensitive land use(s) are adequately separated from animal keeping (being kennels and catteries), intensive animal industry, aquaculture, rural industry, and industrial zoned areas (including the Gracemere industrial area, Stanwell power station, Bajool explosives reserve and Bouldercombe brickworks);
- (k) renewable energy facilities are located on sites that are large enough to accommodate appropriate buffering from sensitive land use(s) and minimise adverse impacts on the natural environment;
- (l) extractive industries (including Marmor limeworks) on rural land are protected from encroachment by incompatible uses;
- (m) extractive industry minimises environmental and traffic impacts. Once the operation has ceased the site is rehabilitated;
- (n) aquaculture activities may be integrated with horticulture operations, where benefits of diversification are evident and there are no adverse impacts on amenity, ecological values and existing fish habitats; and
- (o) the establishment of two (2) precincts within the zone where particular requirements are identified:
 - (i) Alton Downs precinct; and
 - (ii) Cropping and intensive horticulture precinct.

Alton Downs precinct

- (3) The following overall outcomes of the Alton Downs precinct are additional to those of the rural zone and takes precedence in the event of a conflict:
 - (a) rural land in this precinct includes smaller lots used for primarily residential purposes;
 - (b) residential uses are established where the amenity and safety of residents can be maintained;
 - (c) residential uses are provided with adequate water supply and sewage treatment and disposal; and
 - (d) reconfiguration of a lot only occurs if it results in new rural lots that:
 - (i) have developable areas that are not subject to natural hazards and constraints;
 - (ii) have a minimum lot size of eight (8) hectares; and
 - (iii) must have access to a sealed road where sequential connection or integration with an existing sealed road can be achieved.

Cropping and intensive horticulture precinct

- (4) The following overall outcomes of the cropping and intensive horticulture precinct are additional to those of the rural zone and take precedence in the event of a conflict:
 - (a) the productive capacity of this land is maximised and development is primarily for or associated with rural uses such as animal husbandry, animal keeping, cropping or intensive horticulture;
 - (b) permanent plantations do not occur within the precinct; and

- (c) reconfiguration of a lot only occurs if it results in new rural lots that:
 - (i) reflect the ability to operate viable rural enterprises on smaller rural lots; and
 - (ii) have a minimum area of forty (40) hectares.

6.7.4.3 Specific benchmarks for assessment

Table 6.7.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes										
Where involving a new building or expansion to an existing building											
Built form											
<p>PO1 Development does not adversely impact on the rural character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed two (2) storeys and ten (10) metres above ground level, excluding silos, windmills and similar structures ancillary to rural uses.</p> <p>Note—Building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p>										
Land use											
Aquaculture											
<p>PO2 Aquaculture that is low impact in nature is located and designed on sites of sufficient size and dimension, to minimise adverse impacts on the amenity, water quality and ecological values.</p>	<p>AO2.1 Aquaculture activities using ponds or tanks that are less than or equal to ten (10) hectares in total water surface area are carried out in accordance with the Department of Agriculture, Fisheries and Forestry Code for accepted development requirements for material change of use that is aquaculture as updated from time to time.</p>										
Dwelling house or dwelling unit											
<p>PO3 Development does not compromise the continued operation of an intensive animal industry, extractive industry, or a similar potential use on neighbouring rural land.</p>	<p>AO3.1 Development:</p> <ul style="list-style-type: none"> (a) is set back a minimum of twenty (20) metres from all site boundaries; and (b) is separated from an existing or approved: <ul style="list-style-type: none"> (i) intensive animal industry by a minimum of 1,000 metres; and (ii) extractive industry operation as follows: <table border="1" style="margin-left: 20px;"> <thead> <tr> <th style="background-color: #ccc;">Operation</th> <th style="background-color: #ccc;">Separation distance</th> </tr> </thead> <tbody> <tr> <td>Extractive industry operation involving blasting</td> <td>1,000 metres</td> </tr> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated haul route</td> <td>100 metres</td> </tr> </tbody> </table> <p>AND</p> <p>AO3.2</p>	Operation	Separation distance	Extractive industry operation involving blasting	1,000 metres	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated haul route	100 metres
Operation	Separation distance										
Extractive industry operation involving blasting	1,000 metres										
A hard rock extractive industry	500 metres										
A sand and gravel extractive industry	200 metres										
A designated haul route	100 metres										

Performance outcomes	Acceptable outcomes
	Where a secondary dwelling is proposed, that dwelling: <ul style="list-style-type: none"> (a) is contained within the same lot; and (b) is no more than eighty (80) square metres gross floor area.
PO4 Dwellings have adequate access to services to ensure the safety and well-being of residents and the water supply is adequate for the current and future needs of the development.	AO4.1 A dwelling <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Caretaker's accommodation	
PO5 The development does not compromise the productivity of the use.	AO5.1 No more than one (1) caretaker's accommodation is established on the site.
PO6 A caretaker's accommodation has adequate access to services to ensure the safety and well-being of residents and the water supply is adequate for the current and future needs of the development.	AO6.1 A caretaker's accommodation: <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Home based business	
PO7 Development for a home based business is operated, designed and sited in a manner that: <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; (b) is integrated with the primary use of the site for a dwelling house; (c) does not adversely affect the safety and private recreation needs of adjoining premises; (d) does not adversely affect the streetscape and street function; and (e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	AO7.1 The home based business has a maximum gross floor area of 100 square metres. <p>AND</p> AO7.2 The home based business is carried out within an existing building or structure. <p>Note—This does not include the parking of vehicles.</p> <p>AND</p> AO7.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care). <p>AND</p> AO7.4

Performance outcomes	Acceptable outcomes
	<p>The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO7.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO7.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO7.7 The home based business where for bed and breakfast accommodation:</p> <ul style="list-style-type: none"> (a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and (b) guests stay a maximum of fourteen (14) consecutive nights. <p>AND</p> <p>AO7.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO7.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO7.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO7.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Additional outcomes for home based business involving heavy vehicles	
<p>PO8 Development does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AO8.1 A maximum of two (2) heavy vehicles and two (2) heavy trailers are stored on site at any one time.</p> <p>AND</p> <p>AO8.2 Heavy vehicles and heavy trailers: (a) are not started or manoeuvred on site between the hours of 22:00 and 06:00, or left running unattended for any period up to five (5) minutes; (b) if used for the transport of cattle or waste disposal, are stored a minimum of 100 metres away from an adjoining dwelling; and (c) do not have a refrigeration unit running while on-site if within 100 metres of a sensitive land use on an adjoining lot.</p> <p>AND</p> <p>AO8.3 The business does not include the loading or unloading of vehicles or storage of goods.</p> <p>AND</p> <p>AO8.4 The site has direct access to a minor urban collector road or higher order road, but not to a state controlled road.</p> <p>AND</p> <p>AO8.5 Heavy vehicles are stored onsite and located a minimum distance of: (a) twenty (20) metres from the frontage; and (b) fifteen (15) metres from side and rear boundaries.</p> <p>AND</p> <p>AO8.6</p>

Performance outcomes	Acceptable outcomes
	Only minor maintenance is carried out on the property and does not involve major body work and mechanical repairs.
Roadside stall	
<p>PO9 A roadside stall:</p> <ul style="list-style-type: none"> (a) does not impact on the amenity of adjoining land uses and the surrounding area; (b) does not adversely affect the safety and efficiency of the road network; (c) is ancillary to the farming use conducted on the same site; and (d) sells only fresh produce grown locally. 	<p>AO9.1 Any structure used for a roadside stall:</p> <ul style="list-style-type: none"> (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres. <p>AND</p> <p>AO9.2 Site access, car parking and storage areas:</p> <ul style="list-style-type: none"> (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access. <p>AND</p> <p>AO9.3 The roadside stall is associated with a rural use conducted on the same site.</p>
Rural workers' accommodation	
<p>PO10 The amenity of the rural workers' accommodation is not adversely impacted upon and appropriately separated from intensive rural and industrial uses.</p>	<p>AO10.1 On-site cabins or dwellings housing workers are sited no closer than 250 metres to intensive rural uses and industrial uses.</p>
<p>PO11 The rural workers' accommodation has adequate access to services to ensure the safety and well-being of occupants and the water supply is adequate for the current and future needs of the development.</p>	<p>AO11.1 Rural workers' accommodation:</p> <ul style="list-style-type: none"> (a) has a legal access to a constructed road; and (b) where within a water supply area has a legal connection to Council's reticulated water supply. <p>Editor's note—A constructed road can be sealed, graded or gravel.</p> <p>Editor's note—Where development is located outside of the water supply area refer to the requirements under the Plumbing Code of Australia.</p>
Effects of development	
<p>PO12 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO12.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p>
<p>Where in the Alton Downs precinct Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	

Performance outcomes	Acceptable outcomes
<p>PO13 Residential uses are sufficiently separated from road frontages in order to protect the amenity of residents and to ensure the character of the area is maintained.</p>	<p>AO13.1 A dwelling house is setback a minimum of six (6) metres from front boundaries.</p> <p>Note—There is no specific setback to any other boundary.</p>

Table 6.7.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
General	
<p>PO14 Development that does not involve rural uses:</p> <ul style="list-style-type: none"> (a) is located on the least productive parts of a site and not on land identified on the agricultural land classification (ALC) overlay maps; (b) does not restrict the ongoing safe and efficient use of nearby rural uses; and (c) is adequately separated or buffered where it is likely to be sensitive to the operational characteristics associated with rural uses, rural industries or extractive industries. <p>Editor's note—Agricultural land classified as Class A or Class B is shown on the agricultural land classification overlay map OM-13.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State Interest – Agriculture.</p>	No acceptable outcome is nominated.
<p>PO15 Uses that require isolation from urban areas are accommodated only where:</p> <ul style="list-style-type: none"> (a) they cannot be more appropriately located in an industrial or other relevant zone; (b) they can be adequately separated from sensitive land use(s) (whether or not in the rural zone); and (c) potential impacts can be appropriately managed. <p>Editor's note—Applicants seeking approval for intensive animal industries are to refer to State Planning Policy Guideline – State Interest – Agriculture and consult with the relevant State government department prior to the lodgement of a development application. Council may require a study that, amongst other matters, identifies how the development is in accordance with Environmental Protection (Air) Policy 2019 or Environmental Protection (Noise) Policy 2019.</p>	No acceptable outcome is nominated.
<p>PO16 Ecological values, habitat corridors and soil and water quality are protected, having regard to:</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes						
(a) maximisation of vegetation retention and protection of vegetation from the impacts of development; (b) avoidance of potential for erosion and minimisation of earthworks; (c) retention and protection of natural drainage lines and hydrological regimes; and (d) avoidance of leeching by nutrients, pesticides or other contaminants, or potential for salinity.							
Land use							
Animal keeping – kennels or catteries							
<p>PO17 Animal keeping (being kennels or catteries) is sited, constructed and managed such that:</p> <p>(a) animals are securely housed; (b) the use does not create a nuisance beyond the site boundaries; and (c) the use does not create adverse environmental impacts.</p>	<p>AO17.1 Animal keeping (being kennels or catteries) is located on a site having a minimum site area of three (3) hectares.</p> <p>AND</p> <p>AO17.2 Animal enclosures are set back a minimum of 250 metres from any sensitive land use.</p> <p>AND</p> <p>AO17.3 Buildings used for animal keeping are: (a) constructed with impervious reinforced concrete floors; and (b) gravity drained to the effluent collection/treatment point.</p> <p>AND</p> <p>AO17.4 Animals are kept in fenced enclosures that are located inside buildings at all times between the hours of 18:00 and 07:00.</p> <p>AND</p> <p>AO17.5 A person who is responsible for the supervision of the operation of the development is accommodated on the premises at all times.</p> <p>AND</p> <p>AO17.6 Animal enclosures are set back to roads, streets and water resources as follows:</p> <table border="1" data-bbox="824 1734 1317 1904"> <thead> <tr> <th data-bbox="824 1734 1068 1764">Location</th> <th data-bbox="1070 1734 1317 1764">Setback</th> </tr> </thead> <tbody> <tr> <td data-bbox="824 1766 1068 1795">Road frontages</td> <td data-bbox="1070 1766 1317 1795">50 metres</td> </tr> <tr> <td data-bbox="824 1797 1068 1904">Top bank of creek, river, stream, wetland, edge of well, bore, dam,</td> <td data-bbox="1070 1797 1317 1904">100 metres</td> </tr> </tbody> </table>	Location	Setback	Road frontages	50 metres	Top bank of creek, river, stream, wetland, edge of well, bore, dam,	100 metres
Location	Setback						
Road frontages	50 metres						
Top bank of creek, river, stream, wetland, edge of well, bore, dam,	100 metres						

Performance outcomes	Acceptable outcomes	
	weir, intake or the like which provides potable water supply to the site or surrounds	
	Top bank of dry or perennial gully	30 metres
Aquaculture		
<p>PO18 Aquaculture is located and designed on sites of sufficient size and dimension, to minimise adverse impacts on the amenity, water quality, ecological values and existing fish habitats.</p>	<p>AO18.1 Aquaculture activities using ponds or tanks that are greater than ten (10) hectares in total water surface area are carried out in accordance with State Planning Policy Guideline – State Interest – Agriculture Part D 4. Model land use code provisions for aquaculture, as updated from time to time.</p>	
Bulk landscaping supplies, rural industry or wholesale nursery		
<p>PO19 Development is located on sites:</p> <ul style="list-style-type: none"> (a) of sufficient size, to minimise adverse impacts on the amenity of adjoining land, in particular noise, odour, light and dust emissions; (b) where the operation is within the safe and effective design capacity of the road system; and (c) where the operation does not impact upon water quality. 	<p>AO19.1 A minimum site area of two (2) hectares is required with at least fifteen (15) metre setback from any adjoining premises.</p> <p>AND</p> <p>AO19.2 Sales, storage, handling, packaging and production areas are set back a minimum of:</p> <ul style="list-style-type: none"> (a) 100 metres from any dwelling on surrounding land; (b) fifty (50) metres from state controlled roads and twenty (20) metres from all other roads; and (c) thirty (30) metres from top bank of creek, river, stream or wetland edge of well, bore, dam, weir, or intake that provides potable water. <p>AND</p> <p>AO19.3 Infrastructure and material storage areas are confined to free draining areas and sites on slopes not exceeding ten (10) per cent.</p> <p>AND</p> <p>AO19.4 There is direct access to a minor urban collector or higher order road.</p>	
Intensive animal industry		
<p>PO20 Intensive animal industry uses are sited, constructed and managed such that:</p> <ul style="list-style-type: none"> (a) animals are securely housed; 	No acceptable outcome is nominated.	

Performance outcomes	Acceptable outcomes
<p>(b) the use does not create a nuisance on adjoining sensitive land uses;</p> <p>(c) buildings used for intensive animal industry are constructed with floors, that are gravity drained to the effluent collection/treatment point;</p> <p>(d) animal proof fencing or other appropriate barrier feature is provided of an appropriate height within the site to prevent the escape of animals; and</p> <p>(e) a person who is responsible for the supervision of the operation of the development is accommodated on the premises at all times.</p> <p>Editor's note—Applicants seeking approval for intensive animal industries are to refer to State Planning Policy Guideline – State Interest – Agriculture and consult with the relevant State government department prior to the lodgement of a development application. Council may require a study that, amongst other matters, identifies how the development is in accordance with Environmental Protection (Air) Policy 2019 or Environmental Protection (Noise) Policy 2019.</p>	
<p>PO21 Intensive animal industry does not detract from the amenity of a nearby sensitive land use and community related activities and are not visible from any road or other public view point.</p>	No acceptable outcome is nominated.
<p>PO22 Intensive animal industry is not located within: (a) a declared catchment area; or (b) a declared groundwater area.</p>	No acceptable outcome is nominated.
<p>PO23 Intensive animal industry has suitable access to road or rail infrastructure via a sealed road to an access point with a state controlled road.</p>	No acceptable outcome is nominated.
Intensive horticulture	
<p>PO24 The region's water quality is protected from the inflow of waste water or run-off from intensive horticulture activities. Waste water or run-off from intensive horticulture: (a) is contained and treated so that nutrients and sediments can be removed from the water; (b) where possible, treated water is re-used; and (c) waste water is only disposed of when acceptable nutrient levels are achieved.</p> <p>Editor's note—Applicants should have regard to the State Planning Policy Guideline – State Interest – Agriculture.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Editor's note—The <i>Environmental Protection (Water and Wetland Biodiversity) Policy 2019</i> applies to intensive horticultural uses.</p>	
<p>PO25 Intensive horticulture activities are not located within: (a) a declared catchment area; or (b) a declared groundwater area.</p>	<p>No acceptable outcome is nominated.</p>
Outdoor sport and recreation or community use	
<p>PO26 Development is provided primarily to service the needs of the surrounding rural area or is inappropriate in urban areas (as a result of amenity impacts or land area requirements). The development is located and designed to: (a) minimise adverse impacts on the agricultural productive capacity of the site and the locality; (b) minimise impacts on the amenity of the locality, in particular noise (including limiting the hours of operation), odour, light and dust emissions; and (c) operate within the safe and effective design capacity of the region's road system.</p>	<p>No acceptable outcome is nominated.</p>
Renewable energy facility — wind farms	
<p>PO27 Wind farms are located, designed and operated to minimise impacts on the environment and residential amenity, having regard to such matters as shadow flicker, noise (including low frequency noise), avifauna, separation from dwellings and site boundaries and scenic amenity.</p>	<p>No acceptable outcome is nominated.</p>
Rural workers' accommodation, farm stay and tourism uses	
<p>PO28 Tourism, short-term accommodation (farm stay) and rural workers' accommodation uses are: (a) associated with and compatible with rural production, natural resources and scenic landscape features in the immediate vicinity; and (b) not located in areas identified on the Agricultural Land Classification (ALC) overlay maps.</p>	<p>No acceptable outcome is nominated.</p>
Transport and freight uses	
<p>PO29 Transport and freight uses, which do not meet the definition of a home based business involving (heavy vehicles), are not established in the rural zone.</p>	<p>No acceptable outcome is nominated.</p>
Effects of development	
<p>PO30 Effective separation distances are provided to minimise conflicts with sensitive land use(s).</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>Editor's note—Where potential conflicts between agricultural and residential land uses may occur, applicants should refer to State Planning Policy Guideline – State Interest – Agriculture. Applicants should consult with the relevant State government department prior to the lodgement of a development application.</p>	
<p>PO31 Development does not unduly impact on the existing amenity and character of the locality having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; (b) visibility of buildings and structures when viewed from roads and other public view points; and (c) any heritage places. 	<p>No acceptable outcome is nominated.</p>
<p>PO32 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) leeching by nutrients, pesticides or other contaminants, or potential for salinity is minimised; (f) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (g) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>
<p>PO33 Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.</p>	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO34 The further subdivision of land is limited to reflect the suitability of the land for primarily grazing purposes and to protect water quality, environmental and landscape values.</p>	<p>AO34.1 Unless otherwise stated in a precinct the minimum lot size is 100 hectares.</p>
Where in the Alton Downs precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO35 Development:</p> <ul style="list-style-type: none"> (a) is compatible with the residential amenity of the area and avoids impacts on surrounding dwellings; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(b) has adequate water supply and sewerage treatment and disposal.	
<p>PO36 The subdivision of land reflects the desired character of the area being smaller rural lots for primarily residential purposes.</p>	<p>AO36.1 The minimum lot size in the precinct is eight (8) hectares.</p> <p>AND</p> <p>AO36.2 Newly created lots must have access to a sealed road where sequential connection or integration with an existing sealed road can be achieved.</p>
<p>Where in the cropping and intensive horticulture precinct Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.</p>	
<p>PO37 Rural industries are established only where associated with rural production in the immediate vicinity.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO38 The subdivision of land is limited to protect the ongoing viability and productivity of existing and potential cropping and horticulture uses.</p>	<p>AO38.1 The minimum lot size in the precinct is forty (40) hectares.</p>

6.7.5 Rural residential zone code

6.7.5.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the rural residential zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.5.2 Purpose

- (1) The purpose of the rural residential zone code is to:
 - (a) recognise existing rural residential zoned areas;
 - (b) prevent the establishment of new rural residential areas, but facilitate subdivision within existing zoned areas;
 - (c) prevent the establishment of development which may limit the productive capacity of adjoining rural land.
- (2) The purposes of the zone will be achieved through the following outcomes:
 - (a) the zone provides for predominantly dwelling houses on large lots with ancillary small-scale uses, that do not compromise the residential amenity of the area, such as animal keeping, cropping and home based businesses ;
 - (b) roadside stalls and other sales of produce grown on the site are of a limited scale that is consistent with the rural residential lifestyle;
 - (c) non-residential uses occur within the zone where they:
 - (i) do not compromise the residential character and existing amenity of the surrounding area;
 - (ii) are small-scale and consistent with the surrounding urban form;
 - (iii) primarily function to service the needs of the immediate local residential community;
 - (iv) do not detract from the role and function of centres or the operation of rural uses in the vicinity; and
 - (v) do not result in the expansion of a centre zone;
 - (d) transport and freight uses, which do not meet the definition of a home based business, are not established in the rural residential zone;
 - (e) rural residential development:
 - (i) does not occur beyond those areas zoned for this purpose;
 - (ii) is buffered by appropriate setbacks and landscaping from rural land and incompatible land uses, so that amenity impacts from spray drift, noise and odour are avoided;
 - (iii) enhances and responds to environmental features and topographical features of the site, including creeks, gullies, waterways, wetlands and vegetation and bushland;
 - (iv) does not adversely impact the safety and efficiency of the road network;
 - (v) maximises energy efficiency, water conservation and sustainable energy technologies; and
 - (vi) is serviced by infrastructure that is commensurate with the needs of the use;
 - (f) new subdivisions within rural residential areas must be serviced to an urban standard (including telecommunications, electricity, constructed roads and stormwater drainage); and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Baree and Walterhall precinct.

Baree and Walterhall precinct

- (3) The following overall outcomes of the Baree and Walterhall precinct are additional to those of the rural residential zone and takes precedence in the event of a conflict:

- (a) rural residential development in the Baree and Walterhall precinct will be required to be on lots of 4,000 square metres or greater to provide for adequate water and sewer services onsite; and
- (b) reconfiguration of a lot only occurs if it results in new rural residential development that:
 - (i) has useable areas within the lot that are not subject to natural hazards and development constraints; and
 - (ii) have a minimum lot area of 4,000 square metres to appropriately accommodate on-site water collection and sewerage treatment.

6.7.5.3 Specific benchmarks for assessment

Table 6.7.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale, height and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than of fifteen (15) per cent. <p>AND</p> <p>AO1.2 Site cover does not exceed forty (40) per cent of the total site area.</p>
Land use	
Animal keeping or cropping	
<p>PO2 Development involving animal keeping or cropping does not detract from the residential amenity onsite and within proximity to the site. Setbacks are provided to:</p> <ul style="list-style-type: none"> (a) avoid potential nuisance to neighbours; (b) protect residential amenity; and (c) maintain the character of the rural residential area. 	<p>AO2.1 Non-residential buildings, animal enclosures, chemical spraying, storage facilities and waste disposal areas are set back from sensitive land use(s) (including within the site and the adjoining site) a minimum of fifty (50) metres.</p>
Caretaker's accommodation	
<p>PO3 The development does not compromise the productivity of the use.</p>	<p>AO3.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home based business	
<p>PO4 Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; 	<p>AO4.1 The home based business has a maximum gross floor area of 100 square metres (except for a bed and breakfast accommodation or home based child care).</p>

Performance outcomes	Acceptable outcomes
<p>(b) is integrated with the primary use of the site for a dwelling house;</p> <p>(c) does not adversely affect the safety and private recreation needs of adjoining premises;</p> <p>(d) does not adversely affect the streetscape and street function; and</p> <p>(e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AND</p> <p>AO4.2 The home based business is carried out within an existing building or structure.</p> <p>Note—This does not include the parking of vehicles.</p> <p>AND</p> <p>AO4.3 Hours of operation are between the hours of 07:00 to 19:00 Monday to Saturday and 08:00 to 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO4.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO4.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO4.6 The home based business contains visitor parking within the site</p> <p>AND</p> <p>AO4.7 The home based business where for bed and breakfast accommodation:</p> <p>(a) the combined total number of guests and permanent residents does not exceed twelve (12) persons at any one time; and</p> <p>(b) guests stay a maximum of fourteen (14) consecutive nights.</p> <p>AND</p> <p>AO4.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO4.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight unless associated with a home based business involving heavy vehicles.</p> <p>Editor's note—Refer to provisions under additional outcomes for home based business involving heavy vehicles.</p> <p>AND</p> <p>AO4.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 20019</i>, as updated from time to time.</p>
Additional outcomes for home based business involving heavy vehicles	
<p>PO5 Development does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials.</p>	<p>AO5.1 A maximum of two (2) heavy vehicles and two (2) heavy trailers are stored on site at any one time.</p> <p>AND</p> <p>AO5.2 Heavy vehicles and heavy trailers:</p> <ul style="list-style-type: none"> (a) each heavy vehicle or heavy trailer does not exceed a gross vehicle mass of more than 4.5 tonnes; (b) are not started or manoeuvred on site between the hours of 22:00 and 06:00 or left running unattended for any period up to five (5) minutes; (c) if used for the transport of cattle or waste disposal, are stored a minimum of 100 metres away from an adjoining dwelling; and (d) do not have a refrigeration unit running while on-site. <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO5.3 The business does not include the loading or unloading of vehicles or storage of goods.</p> <p>AND</p> <p>AO5.4 The site has direct access to a minor urban collector road or higher order road, but not to a state controlled road.</p> <p>AND</p> <p>AO5.5 Heavy vehicles are stored onsite and located a minimum distance of: (a) twenty (20) metres from the frontage; and (b) fifteen (15) metres from side and rear boundaries.</p> <p>AND</p> <p>AO5.6 Only minor maintenance is carried out on the property and does not involve major body work and mechanical repairs.</p>
Roadside stall	
<p>PO6 A roadside stall: (a) does not impact on the amenity of adjoining land uses and the surrounding area; (b) does not adversely affect the safety and efficiency of the road network; (c) is ancillary to the farming use conducted on the same site; and (d) sells only fresh produce grown locally.</p>	<p>AO6.1 Any structure used for a roadside stall: (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres.</p> <p>AND</p> <p>AO6.2 Site access, car parking and storage areas: (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access.</p> <p>AND</p> <p>AO6.3 The roadside stall is associated with a rural use conducted on the same site.</p>
Sales office	
PO7	AO7.1

Performance outcomes	Acceptable outcomes
The development for a sales office is temporary in nature having regard to length of time and operation of the use.	Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.
Effects of development	
PO8 Outdoor storage areas are screened from the streetscape and adjoining zones.	AO8.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
PO9 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO9.1 Outdoor lighting is designed, installed and maintained in compliance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.

Table 6.7.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO10 The appearance and siting of buildings, structures, car parking areas and signage is compatible with the character and scenic landscape features of the area.	No acceptable outcome is nominated.
Land use	
Non-residential development	
PO11 Non-residential development may locate in the rural residential zone when the use can demonstrate the following: (a) it does not compromise the role and function of existing centres; (b) it does not compromise the rural residential character and existing amenity of the surrounding area in relation to lighting, noise, dust and odour; (c) not more appropriately located in another zone; (d) is small in scale; and (e) is consistent with the surrounding built form and streetscape. Editor's note—SC6.9 — Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.	No acceptable outcome is nominated.
Effects of development	
PO12 Sensitive land use(s) and rural residential subdivisions are set back and buffered from	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>adjoining rural uses, on-site rural operations and industrial zoned areas.</p> <p>Editor's note—Where potential conflicts between agricultural and sensitive land use(s) may occur, applicants should refer to State Planning Policy Guideline – State Interest – Agriculture.</p>	
<p>PO13 Development does not unduly impact on the existing amenity and character of the locality having regard to:</p> <ul style="list-style-type: none"> (a) the scale, siting and design of buildings and structures; and (b) visibility of buildings and structures when viewed from roads and other public view points. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) leeching by nutrients, pesticides or other contaminants, or potential for salinity is minimised; (f) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (g) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>
Where located in the Baree and Walterhall precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
<p>PO15 Development for a caretaker's accommodation, dwelling house, dwelling unit or sales office only occurs within the Baree and Walterhall precinct where:</p> <ul style="list-style-type: none"> (a) provision of water supply and sewerage disposal can be provided on the site; (b) development is not adversely impacted upon by incompatible land uses; (c) development maintains the character and amenity of the rural residential area; and (d) located on a lot with a minimum lot size of 4,000 square metres. <p>Note—Where a conflict exists with the Water and sewer code the precinct based outcomes take precedence.</p>	<p>No acceptable outcome is nominated.</p>

6.7.6 Special purpose zone code

6.7.6.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the special purpose zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.6.2 Purpose

- (1) The purpose of the special purpose zone code is to:
 - (a) protect important special purpose sites from the establishment of inappropriate land uses;
 - (b) minimise land use conflict and ensure that development does not adversely affect the amenity and characteristics of the surrounding area; and
 - (c) ensure that development within the zone has appropriate standards of infrastructure and essential services.
- (2) The purposes of the zone will be achieved through the following outcomes:
 - (a) land uses which are ancillary to the main land use of the site (such as caretaker's accommodation) are compatible with and support the development of the primary land use;
 - (b) development will not affect the ongoing operation of existing special purpose facilities or impact upon new facilities;
 - (c) development has a scale that reflects the operational, functional and location needs of the use without undermining the role and function of centres;
 - (d) development does not impact upon the character and amenity of the surrounding area;
 - (e) development is located and designed to respond to local heritage features, natural landscape features and environmental constraints;
 - (f) development is serviced by infrastructure that is commensurate with the needs of the use; and
 - (g) the establishment of two (2) precincts within the zone where particular requirements are identified:
 - (i) Depot Hill rail precinct; and
 - (ii) Rockhampton Airport precinct.

Depot Hill rail precinct

- (3) The following overall outcomes of the Depot hill rail precinct are additional to those of the special purpose zone, and take precedence in the event of a conflict:
 - (a) the precinct functions as the principal location for railway workshops and supporting facilities including warehousing and low impact industry uses;
 - (b) transportation related services including passenger terminals, depots and utility installations are supported provided that the use does not impact upon the surrounding residential amenity;
 - (c) Residential uses (except for a caretaker's accommodation), medium impact industry, high impact industry, special industry and community related activities are not intended to be located in this precinct;
 - (d) commercial and retail uses are not supported in this precinct. This includes office activities (such as the expansion of the existing administrative offices onsite), which are preferred in the principal centre – core precinct;
 - (e) heavy vehicle traffic (including the haulage of cargo and shipping containers) are not to access streets within the principal centre – core or Quay Street precincts and directed around the principal centre, via Stanley Street and Gladstone Road;
 - (f) buildings with cultural heritage value (such as the round shed which houses the train turn around) are to be integrated with new development; and
 - (g) subdivision of land and the establishment of new streets within the precinct are to continue the traditional grid pattern that links with the surrounding street network.

Rockhampton Airport precinct

- (4) The following overall outcomes of the Rockhampton Airport precinct are additional to those of the special purpose zone, and take precedence in the event of a conflict:
- (a) the precinct functions as the principal location for the development of air services, including:
 - (i) housing, servicing, maintenance and repair of aircraft;
 - (ii) landing and departure of aircraft;
 - (iii) assembly and dispersal of passengers and goods on or from aircraft;
 - (iv) ancillary activities serving the needs of workers, passengers and visitors to an airport, such as shopping, food and drink outlets or tourism services; and
 - (v) associated training, education and aviation facilities;
 - (b) development does not detract from the role and viability of centres including specialised centres;
 - (c) development that does not compromise and is ancillary to air services operations and logistic military activities is supported in the precinct;
 - (d) development does not worsen the impacts of flooding on the airport runway, existing development in the precinct and adjoining residential areas;
 - (e) development is designed and located to have minimal impact on natural features of adjacent waterways and lagoons; and
 - (f) the precinct contains the following sub-precincts:
 - (i) airport sub-precinct;
 - (ii) airport terminal sub-precinct;
 - (iii) business services sub-precinct; and
 - (iv) airport expansion sub-precinct.

Airport sub-precinct

- (5) The following overall outcomes of the airport sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) development accommodates those activities necessarily requiring immediate or close airside access, have a direct nexus with the safe, orderly and efficient movement of passengers and freight, or are directly related and necessary to airport operations including:
 - (i) passenger terminals;
 - (ii) freight handling and movement, ground support equipment (GSE) storage;
 - (iii) general aviation;
 - (iv) regional and recreational air activities (including for example Royal Flying Doctor Service, charter operators, flying clubs);
 - (v) fuel storage;
 - (vi) emergency services;
 - (vii) military operations;
 - (viii) air/flight training, schools or educational facilities (flight schools);
 - (ix) hangars and storage;
 - (x) car parking and car storage; and
 - (xi) any facilities necessary for the safe operation of the airport;
 - (b) development primarily supporting the movement of aircraft and includes runways, aircraft aprons, taxiways, parking aprons, public safety area (PSA), runway end safety areas (ESA) and facilities for the safe operation of the airport, including aircraft control towers, communications and navigational aids.

Airport terminal sub-precinct

- (6) The following overall outcomes of the airport terminal sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and take precedence in the event of a conflict:
- (a) development is strategically located close to the terminal and provides an opportunity for business diversification that will complement the airport's operations;

- (b) commercial and retail uses that support the travelling/commuter passenger (especially those connected to the mining resource and energy sectors) and military personnel in transit are accommodated subject to compliance with design requirements;
- (c) passenger terminal and supporting activities including:
 - (i) office development that provides for small tenancies and/or shared administrative functions (including meeting rooms and hot desks) not exceeding a total floor area of 250 square metres;
 - (ii) small-scale, primarily convenience, shops and food and drink outlets where servicing the needs of workers, employees and visitors; and
 - (iii) interim uses including car parking, storage or car rental; and
- (d) short-term accommodation to support the needs of tourists and fly in fly out workers servicing the mining sector.

Business services sub-precinct

- (7) The following overall outcomes of the business services sub-precinct are additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) provide for airport ancillary businesses including car storage, parking and rental operations and further related business diversification;
 - (b) development includes airport related activities which would benefit from location on the main access road (Hunter Street) to the airport (for example, a service station);
 - (c) development comprises intensification of the St Aubin’s Historic Village as a tourist attraction and nursery with tearooms, gift shop and blacksmith and guesthouse accommodation;
 - (d) development related to the St Aubin’s Historic Village is consistent in scale and complements the character of the existing development and heritage features of the site;
 - (e) short-term accommodation to support the needs of tourists and fly in fly out workers servicing the mining sector;
 - (f) longer term vehicle storage, service station, warehouse/storage activities and transport depot to service the needs of the airport; and
 - (g) industrial uses such as service industry which are ancillary to the operation of the airport and are separated from short-term accommodation uses.

Airport expansion sub-precinct

- (8) The following overall outcome of the airport expansion sub-precinct is additional to those of the special purpose zone and Rockhampton Airport precinct and takes precedence in the event of a conflict:
- (a) land is available for the future expansion of the airport ancillary businesses including car storage, parking and rental operations and further related business diversification.

6.7.6.3 Specific benchmarks for assessment

Table 6.7.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development is of a height and scale that:</p> <ul style="list-style-type: none"> (a) complements the scale of the locality; (b) maintains the residential amenity in adjoining residential zones; (c) minimises overshadowing and overlooking of residential areas; and 	<p>AO1.1 The height of buildings and structures does not exceed:</p> <ul style="list-style-type: none"> (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and

Performance outcomes	Acceptable outcomes
(d) avoids impacts on the operational airspace of the Rockhampton Airport.	<p>(b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent.</p> <p>Note—Within the Rockhampton Airport precinct and sub-precincts, building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed sixty (60) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front of the site.</p>	<p>AO2.1 Buildings are set back from street frontages:</p> <p>(a) within twenty (20) per cent of the average front setback of adjoining buildings; or</p> <p>(b) where there are no adjoining buildings a minimum of six (6) metres.</p>
<p>PO3 Development reflects the operational and functional needs of the use and provides design features when having regard to visibility of buildings to street frontages.</p>	<p>AO3.1 Except where a wall is built directly against another wall, all exterior walls are:</p> <p>(a) articulated so they do not exceed a length of fifteen (15) metres without a change in plane of at least 0.75 metre depth; or</p> <p>(b) painted with at least two colours, each of which covers at least ten (10) per cent of total exterior wall area. ; or</p> <p>(c) covered with at least two (2) different types of cladding material, each of which covers at least ten (10) per cent of total exterior wall area.</p> <p>AND</p> <p>AO3.2 Where applicable, the ancillary office space and sales areas of each building are sited on and oriented towards the primary street frontage.</p>
<p>Where located in the Depot Hill precinct</p> <p>Note—Where acceptable outcomes in this section vary from this code, the precinct based acceptable outcomes take precedence.</p>	
<p>PO4 Where adjoining land in a residential zone or within proximity of an existing sensitive land use not located within an industrial or special purpose zone, development does not create adverse impacts by way of noise, light, dust, odour, hours of operation or unsightly activities.</p>	<p>AO4.1 Development where adjoining land in a residential zone or an existing sensitive land use not located within an industrial or special purpose zone is to ensure that the following is complied with:</p> <p>(a) buildings, plant and equipment, active outdoor use areas, servicing or outdoor storage areas are set back a minimum of five (5) metres from any</p>

Performance outcomes	Acceptable outcomes
	<p>boundary adjoining a residential zone;</p> <p>(b) where sites have two (2) road frontages, access is from the frontage furthest away from the adjoining residential zone or sensitive land use;</p> <p>(c) vehicular access is not located along a common boundary shared with a residential zone or sensitive land use;</p> <p>(d) vehicles with a load greater than 4.5 tonne tare in weight do not exit or enter via an urban access;</p> <p>Editor's note— Urban access is shown on the road hierarchy overlay map.</p> <p>(e) vehicles with a load greater than 4.5 tonne tare in weight are limited in their operation to between the hours of 07:00 and 19:00 Monday to Saturday;</p> <p>(f) noise generating activities, access, driveways and outdoor activities are not directly adjoining a residential zone or sensitive land use and are restricted to between the hours of 07:00 to 19:00 Monday to Saturday; and</p> <p>(g) windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Where located in the airport terminal sub-precinct	
<p>Note—Where acceptable outcomes in this section vary from this code, the sub-precinct based acceptable outcomes take precedence.</p>	
<p>PO5 Development is of a height and scale that:</p> <p>(a) complements the scale of the locality;</p> <p>(b) maintains residential amenity in adjoining residential zones;</p> <p>(c) minimises overshadowing and overlooking of residential areas; and</p> <p>(d) avoids impacts on the operational airspace of the Rockhampton Airport.</p>	<p>AO5.1 The height of buildings and structures within the airport terminal sub-precinct does not exceed three (3) storeys and twelve (12) metres above ground level.</p> <p>AND</p> <p>AO5.2 Site cover does not exceed sixty (60) per cent of the total site area.</p> <p>Note—Within the Rockhampton Airport precinct and sub-precincts, building heights on the airport obstacle limitation surface map OM-2A prevail over building heights detailed in the zone codes.</p>
Streetscape and landscaping	
<p>PO6 Landscaping and streetscaping is provided to:</p> <p>(a) enhance public streets and spaces;</p>	<p>AO6.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p>

Performance outcomes	Acceptable outcomes
<p>(b) create an attractive environment that is consistent with, and defines, the local character of the zone;</p> <p>(c) enhance the appearance of the development;</p> <p>(d) screen components of development from adjoining sensitive land use(s) and from the street; and</p> <p>(e) allow shading for pedestrian comfort.</p>	<p>AND</p> <p>AO6.2 Where buildings are set back from the street, a landscape planting bed with a minimum length of one (1) metre is provided along the full frontage of any road frontage (excluding vehicle and pedestrian access ways).</p> <p>AND</p> <p>AO6.3 For non-residential uses a two (2) metre wide vegetated buffer is provided to any vehicle movement and parking areas that adjoin a sensitive land use.</p> <p>AND</p> <p>AO6.4 For non-residential uses a 1.8 metres high solid screen fence is provided along side and rear property boundaries.</p> <p>AND</p> <p>AO6.5 Windows that have direct views into adjoining residential buildings in residential zones are provided with fixed screening that is a maximum of seventy-five (75) per cent transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>
Land use	
Caretaker's accommodation	
<p>PO7 The development does not compromise the productivity of the use.</p>	<p>AO7.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Effects of development	
<p>PO8 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.</p>	<p>AO8.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.</p> <p>AND</p> <p>AO8.2 Outdoor lighting is provided in accordance with Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category</p>

Performance outcomes	Acceptable outcomes
	V) Lighting – Performance and Installation Design Requirements, as updated from time to time.
<p>PO9 Development provides for the appropriate storage, collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur. All storage areas are screened from the streetscape and adjoining residential zones.</p>	<p>AO9.1 Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:</p> <ul style="list-style-type: none"> (a) being wholly enclosed in storage bins; or (b) a watering program so material can not become airborne. <p>AND</p> <p>AO9.2 Roof water is piped away from areas of potential contamination.</p> <p>AO9.3 Outdoor storage areas are:</p> <ul style="list-style-type: none"> (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence. (d)

Table 6.7.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
<p>PO10 Buildings which are located in prominent positions such as corner sites or with frontages to public spaces are designed to express or emphasise the importance of their location.</p>	<p>AO10.1 The building's main entrance faces the public place.</p> <p>AND</p> <p>AO10.2 Buildings on corner sites provide active frontages to both street frontages and the main entrance faces the principal street or the street corner.</p>
<p>PO11 The design of new buildings:</p> <ul style="list-style-type: none"> (a) has vertical and horizontal articulation to create shadow and break up the built form, such as steps, recesses and splays; (b) has a roof form that creates visual interest, is not flat and can conceal plant equipment; (c) fits responsively into the streetscape; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (d) accommodates local climatic conditions; (e) creates an engaging, high quality built environment; and (f) provide a continuous pedestrian friendly facade at a human scale. 	
<p>PO12 Development avoids the creation of 'heat islands' such as large expanses of roofing and parking areas.</p>	<p>AO12.1 Hard surface areas are interspersed with spaces between buildings and car park areas, vegetated or covered with fabric sails.</p>
<p>PO13 Development facilitates the security of people and property having regard to:</p> <ul style="list-style-type: none"> (a) opportunities for passive surveillance and sightlines; (b) exterior building design that promotes safety; (c) adequate lighting; (d) appropriate way finding mechanisms; (e) minimisation of entrapment locations; and (f) building entrances, loading and storage areas that are well lit and lockable after hours. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Applicants should have regard to Crime Prevention Through Environmental Design Guidelines for Queensland.</p>
Effects of development	
<p>PO14 Development is located and designed to respond sensitively to on-site and surrounding landscape and topography such that:</p> <ul style="list-style-type: none"> (a) hazards to people or property are avoided; (b) earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering from locally significant natural features. 	<p>No acceptable outcome is nominated.</p>
<p>PO15 Hours of operation of a non-residential use do not impact on the amenity or privacy of adjoining residential zones.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO16 Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the centre, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) hours of operation; (c) traffic; 	<p>No acceptable outcomes are nominated.</p>

Performance outcomes	Acceptable outcomes
(d) visual impact; (e) signage; (f) odour and emissions; (g) lighting; (h) access to sunlight; (i) privacy; and (j) outlook.	
Streetscape and landscaping	
PO17 On-site landscaping is provided to: (a) create an attractive environment that is consistent with, and defines, the local character of the zone; (b) soften and enhance the appearance of the development; and (c) provide shade for visitors and adjoining footpaths.	No acceptable outcome is nominated. Editor's note—A landscape concept plan may be required in accordance with SC6.12 — Landscape design and street trees planning scheme policy.
Where located in the Rockhampton Airport precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO18 Where development is within the Rockhampton Airport precinct, development is ancillary to the primary use of the precinct and is designed and sited in a manner that is compatible with and supports the development of the precinct and sub-precincts for air services.	No acceptable outcome is nominated.
PO19 Development primarily consists of commercial, retail or community related activities at ground level and, where they occur, residential uses are located above ground level.	No acceptable outcome is nominated.
PO20 Development does not compromise the intended role or successful functioning of centres, and in the airport terminal sub-precinct, food and drink outlets, shops and offices do not exceed 250 square metres in gross floor area. Note—Large-scale office activities are to be consolidated into the principal centre – core precinct.	No acceptable outcome is nominated Note—Development involving an increase in gross floor area exceeding the nominated threshold is accompanied by an economic impact report which assesses the likely economic impacts on the principal centre and major centre. The report is to be in accordance with SC6.9 – Economic impact assessment planning scheme policy.

6.7.7 Township zone code

6.7.7.1 Application

This code applies to assessing development where the code is identified as applicable in the table of assessment for the township zone.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.7.7.2 Purpose

- (1) The purpose of the township zone code is to:
 - (a) retain the role of townships as important support centres for rural communities across the region;
 - (b) facilitate limited residential growth within townships;
 - (c) facilitate expansion of non-residential uses in all townships to serve only the needs of the local residents and surrounding rural communities.
- (2) The purpose of the zone will be achieved through the following outcomes:
 - (a) development provides for predominantly single detached dwellings, that are supported by local community facilities and services at a low-scale and density, and with a traditional grid street pattern;
 - (b) development maintains the character and identity of each township in the region;
 - (c) the interface between townships and adjoining rural land uses is managed to protect productive rural lands;
 - (d) development within the zone has appropriate standards of infrastructure and essential services commensurate with the needs of each township;
 - (e) non-residential development includes small-scale convenience retail, service industries, roadside stall, schools, community halls, sporting and recreation facilities and:
 - (i) provides support to local township residents, surrounding rural communities and visitors;
 - (ii) is clustered in areas such as a main street, to maintain convenience and residential amenity;
 - (iii) is consistent with the scale and character of existing development in the township and the existing amenity of the surrounding area;
 - (iv) minimises impacts on the amenity of residential uses;
 - (v) does not impact upon the role and function of other townships and urban centres in the region; and
 - (vi) does not exceed 200 square metres of gross floor area for commercial, retail and service industry;
 - (f) development is responsive to the scenic amenity and setting of the township, and does not impact on natural features such as creeks, gullies, waterways, wetlands, habitats and significant vegetation; and
 - (g) the establishment of one (1) precinct within the zone where particular requirements are identified:
 - (i) Kabra and Stanwell precinct.

Kabra and Stanwell precinct

- (3) The following overall outcomes of the Kabra and Stanwell precinct are in addition to those of the township zone and takes precedence in the event of a conflict:
 - (a) sensitive land use(s) other than a single dwelling house on a single lot do not occur within the precinct boundary; and
 - (b) no additional lots are created due to the proximity to the Gracemere Industrial Area and the impacts generated by existing and future industrial uses.

Note—The special management area overlay code takes precedence in the event of a conflict.

6.7.7.3 Specific benchmarks for assessment

Table 6.7.7.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Where involving a new building or expansion to an existing building	
Built form	
<p>PO1 Development does not adversely impact on the character of the locality, having regard to the scale and visibility of buildings.</p>	<p>AO1.1 The height of buildings and structures does not exceed: (a) two (2) storeys and 8.5 metres above ground level where the ground has a slope less than fifteen (15) per cent; and (b) two (2) storeys and ten (10) metres above ground level where the ground has a slope equal to or greater than fifteen (15) per cent.</p> <p>AND</p> <p>AO1.2 Site cover does not exceed fifty (50) per cent of the total site area.</p>
<p>PO2 Building setbacks contribute to an attractive streetscape and provide for landscaping at the front, rear and side boundaries of the site.</p>	<p>AO2.1 Buildings are set back from street frontages: (a) development for retail and commercial uses include an awning over the footpath for the full length of the building's road frontage; or (b) for all other development: (i) twenty (20) per cent of the average front setback of adjoining buildings; or (ii) where there are no adjoining buildings a minimum of six (6) metres.</p> <p>Note—One (1) vehicle access driveway to the site is acceptable within which an awning is not required.</p> <p>AND</p> <p>AO2.2 Non-residential uses where they adjoin a sensitive land use are set back: (a) a minimum of three (3) metres from a side boundary; and (b) a minimum of six (6) metres from a rear boundary.</p>
<p>PO3 Dual occupancy use has a scale, density of dwellings and character that is complementary and compatible with the surrounding residential area.</p>	<p>AO3.1 Dual occupancy is located on a site with a minimum area of 1,200 square metres.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO4 Development is located, designed and operated so that adverse impacts on privacy and amenity on nearby sensitive land use(s) are minimised.</p>	<p>AO4.1 Non-residential development, where adjoining a sensitive land use: (a) includes a 1.8 metre high screen fence for the full length of a common boundary; (b) locates car parking, service and waste storage areas a minimum of four (4) metres from a common boundary; and (c) provides a planting area that is: (i) a minimum of one (1) metre in width for the full length of all common side boundaries; and (ii) a minimum of three (3) metres in width for the full length of a common rear boundary.</p> <p>AND</p> <p>AO4.2 Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of fifty (50) per cent transparent to obscure views and maintain privacy for residents.</p> <p>AND</p> <p>AO4.3 New building plant or air-conditioning equipment is located within, underneath or central to the building and screened from view of the street and any adjoining residential zone.</p>
Streetscape and landscaping	
<p>PO5 Landscaping and streetscaping is provided to: (a) enhance public streets and spaces; (b) create an attractive environment that is consistent with, and defines, the local character of the zone; (c) enhance the appearance of the development; (d) screen components of development from adjoining sensitive land use(s) and from the street; and (e) allow shading for pedestrian comfort.</p>	<p>AO5.1 Development includes a minimum landscaped area of ten (10) per cent of the total site area.</p>
Land use	
Caretaker's accommodation	
<p>PO6 The development does not compromise the productivity of the use.</p>	<p>AO6.1 No more than one (1) caretaker's accommodation is established on the site.</p>
Home based business	
<p>PO7</p>	<p>AO7.1 The home based business has a maximum gross floor area of 100 square metres.</p>

Performance outcomes	Acceptable outcomes
<p>Development for a home based business is operated, designed and sited in a manner that:</p> <ul style="list-style-type: none"> (a) is an appropriate scale and intensity; (b) is integrated with the primary use of the site for a dwelling house; (c) does not adversely affect the safety and private recreation needs of adjoining premises; (d) does not adversely affect the streetscape and street function; and (e) does not compromise the character and amenity of the surrounding area by way of noise, light, dust, fumes, vibration, odour or storage of potentially hazardous materials. 	<p>AND</p> <p>AO7.2 The home based business is carried out within an existing building or structure.</p> <p>AND</p> <p>AO7.3 Hours of operation are between the hours of 07:00 and 19:00 Monday to Saturday, and 08:00 and 19:00 Sunday and public holidays (except for a bed and breakfast accommodation or home based child care).</p> <p>AND</p> <p>AO7.4 The home based business involves a minimum of one (1) resident of the dwelling.</p> <p>AND</p> <p>AO7.5 A maximum of one (1) worker, not residing in the dwelling house, is employed in the home based business.</p> <p>AND</p> <p>AO7.6 The home based business contains visitor parking within the site.</p> <p>AND</p> <p>AO7.7 Where bed and breakfast accommodation does not exceed three (3) bedrooms.</p> <p>AND</p> <p>AO7.8 Goods or services for sale or hire are not displayed where they are visible from the street frontage or an adjoining residential premise.</p> <p>AND</p> <p>AO7.9 No more than one (1) commercial vehicle is associated with the business and the vehicle does not exceed a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO7.10 The home based business does not generate traffic exceeding ten (10) vehicle trips per day and the trips are not by a vehicle exceeding a gross vehicle mass of 4.5 tonnes tare weight.</p> <p>AND</p> <p>AO7.11 Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2019</i>, as updated from time to time.</p>
Market	
<p>PO8 Development provides adequate separation, buffering and screening from residential premises so that the privacy and amenity of such premises are not adversely affected.</p>	<p>AO8.1 Temporary structures, active outdoor use areas, site access and car parking, servicing or storage areas are set back from any boundary adjoining residential premises a minimum of six (6) metres.</p>
<p>PO9 The development is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO9.1 Development does not occur for more than twenty-eight (28) days in any one (1) calendar year.</p>
Roadside stall	
<p>PO10 Roadside stalls minimise adverse impacts on the amenity of any adjoining land use and the surrounding area.</p>	<p>AO10.1 Any structure used for a roadside stall:</p> <ul style="list-style-type: none"> (a) has a maximum floor area of twenty (20) square metres; (b) is located entirely within the property and not on the road reserve; and (c) is set back from any boundary adjoining residential premises a minimum of six (6) metres. <p>AND</p> <p>AO10.2 Site access, car parking and storage areas:</p> <ul style="list-style-type: none"> (a) are located entirely within the property and not on the road reserve; and (b) use the same driveway as the primary property access.
<p>PO11 The development is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO11.1 Roadside stalls do not operate for more than twenty-eight (28) days in any one (1) calendar year.</p>
Sales office	
<p>PO12 The development for a sales office is temporary in nature having regard to length of time and operation of the use.</p>	<p>AO12.1 Sales office use ceases on the sale of the last lot in the estate on which it is located, or within two (2) years of commencement.</p>
Effects of development	
<p>PO13 Non-residential development maintains a high level of amenity for the surrounding</p>	<p>AO13.1 Non-residential uses operate between the hours of 06:00 and 22:00.</p>

Performance outcomes	Acceptable outcomes
area, having regard to hours of operation and noise.	
PO14 Outdoor lighting maintains the amenity of any adjoining residential zoned premises and does not adversely impact the safety of vehicles or pedestrians on the adjoining streets as a result of light emissions, either directly or by reflection.	AO14.1 Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of the Australian Standard AS 4282 — Control of the obtrusive effects of outdoor lighting, as updated from time to time.
PO15 Outdoor storage areas are screened from the streetscape and adjoining sensitive land use(s).	AO15.1 Outdoor storage areas are: (a) located behind the front building line; (b) screened from view from off-site public places; and (c) screened from adjoining sensitive land use(s) by a 1.8 metre high solid screen fence.
Parking, access and transport	
PO16 The transport network is functional and has sufficient capacity to accommodate the demands generated by the development.	AO16.1 Developments for non-residential uses are located on a road classified minor urban collector or higher only, and access to the development is not from an urban access road or a rural access road.

Table 6.7.7.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Built form – additional provisions	
PO17 Uses with more than two (2) dwellings on a site are at a scale and nature that is compatible with the local character, streetscape and role of the township.	AO17.1 Residential uses except for dwelling house, dwelling unit and home based business (bed and breakfast) are located on a site with a minimum area of 1,200 square metres.
PO18 Development facilitates the security of people and property having regard to: (a) opportunities for passive surveillance; (b) building designs which reduce opportunity for concealment; (c) adequate lighting; (d) clear definition of public and private property; (e) clear building entrances; and (f) appropriate way finding mechanisms (such as signage).	No acceptable outcome is nominated.
Land use	
PO19 Non-residential uses are of a scale, and in a location that: (a) is appropriate to serve the needs of visitors and residents of the township; (b) does not adversely affect the viability of other centres by limiting commercial and retail uses to 200 square metres in gross floor area;	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>(c) are located on the town's main street or are collocated with other non-residential uses of a similar nature; and</p> <p>(d) do not unduly detract from the amenity of nearby residential land uses.</p> <p>Editor's note—SC6.9 – Economic impact assessment planning scheme policy provides guidance on how to achieve compliance with this performance outcome.</p>	
Effects of development	
<p>PO20 Development does not unduly impact on the existing amenity and character of the locality, having regard to:</p> <p>(a) the scale, siting and design of buildings and structures;</p> <p>(b) visibility from roads and other public view points, screening vegetation and landscaping;</p> <p>(c) the natural landform and avoidance of visual scarring; and</p> <p>(d) noise, odour and other emissions.</p>	No acceptable outcome is nominated.
<p>PO21 Development responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and any adjoining land use, such that:</p> <p>(a) any hazards to people or property are avoided;</p> <p>(b) any earthworks are minimised;</p> <p>(c) the retention of natural drainage lines is maximised;</p> <p>(d) the retention of existing vegetation is maximised;</p> <p>(e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	No acceptable outcome is nominated.
<p>PO22 All uses are located, designed, orientated and constructed to:</p> <p>(a) minimise noise, light, dust, odour or other nuisance from existing lawful uses including rural and industrial uses; and</p> <p>(b) minimise nuisance caused by noise, vibration, light and dust emissions generated by the state controlled road and rail network in the vicinity of land in the rural zone.</p>	No acceptable outcome is nominated.
Streetscape and landscaping	
PO23	<p>AO23.1 Landscaping complements the streetscape by retaining existing, significant trees with a</p>

Performance outcomes	Acceptable outcomes
Significant trees are retained onsite to maintain the streetscape and amenity of the surrounding area.	height exceeding four (4) metres, or a trunk diameter of fifty (50) centimetres (whichever is lesser) except where nominated as an undesirable species by SC6.12 — Landscape design and street tree planning scheme policy.
Parking, access and transport	
PO24 Roads and other infrastructure are of a sufficient capacity to accommodate the demands generated by the development.	No acceptable outcome is nominated.
Where in the Kabra and Stanwell precinct	
Note—Where outcomes in this section vary from this code, the precinct based outcomes take precedence.	
PO25 Sensitive land use(s) are not exposed to environmental impacts generated from the Gracemere Industrial Area.	AO25.1 Sensitive land use(s) do not occur with the exception of one (1) dwelling house per lot.
PO26 The land is not further subdivided.	AO26.1 No new lots are created.

Part 7 Local plans

There are no local plans.

[Intentionally blank]

Part 8 Overlays

8.1 Preliminary

- (1) Overlays identify areas within the planning scheme that reflect state and local level interests and that have one or more of the following characteristics:
 - (a) there is a particular sensitivity to the effects of development;
 - (b) there is a constraint on land use or development outcomes;
 - (c) there is the presence of valuable resources; and
 - (d) there are particular opportunities for development.
- (2) Overlays are mapped and included in Schedule 2.
- (3) The changed categories of development and assessment, if applicable, for development affected by an overlay are in Part 5.
- (4) Some overlays may be included for information purposes only. This should not result in a change to the categories of development and assessment or any additional assessment benchmarks.
- (5) Assessment benchmarks for an overlay may be contained in one or both of the following:
 - (a) a map for an overlay;
 - (b) a code for an overlay;
 - (c) a zone code;
 - (d) a local plan code; and
 - (e) a development code.
- (6) Where development is proposed on premises partly affected by an overlay, the assessment benchmarks for the overlay only relates to the part of the premises affected by the overlay.
- (7) The overlays for the planning scheme are:
 - (a) Acid sulfate soils overlay;
 - (b) Airport environs overlay;
 - (c) Biodiversity overlay;
 - (d) Bushfire hazard overlay;
 - (e) Character overlay
 - (f) Coastal protection overlay;
 - (g) Extractive resources overlay;
 - (h) Flood hazard overlay;
 - (i) Heritage place overlay;
 - (j) Special management area overlay;
 - (k) Steep land overlay; and
 - (l) Water resource catchments overlay.
- (8) The following overlays for the planning scheme without codes are:
 - (a) Agricultural Land Classification overlay;
 - (b) Bicycle network plan overlay;
 - (c) Coastal management district overlay;
 - (d) Defined storm tide event overlay;
 - (e) Mining leases overlay;
 - (f) Regional infrastructure corridors overlay;
 - (g) Road hierarchy overlay;
 - (h) Sewer planning area overlay;
 - (i) Transport noise corridors overlay; and
 - (j) Water supply planning area overlay.

8.2 Overlay codes

8.2.1 Acid sulfate soils overlay code

8.2.1.1 Application

This code applies to development where the code is identified in the table of assessment for the acid sulfate soils overlay and applies to any areas identified on acid sulfate soils overlay map OM-1.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.1.2 Purpose

- (1) The purpose of the acid sulfate soils code is to ensure development involving acid sulfate soils is planned and managed to avoid potential adverse impacts on the natural and built environment, including infrastructure and human health.
- (2) The purposes of the code will be achieved through the following overall outcomes:
 - (a) the generation or release of acid and metal contaminants into the environment from acid sulfate soils is avoided by:
 - (i) not disturbing acid sulfate soils when excavating or otherwise removing soil or sediment, extracting groundwater or filling land; or
 - (ii) treating and, if required, undertaking ongoing management of any disturbed acid sulfate soils and drainage waters.

8.2.1.3 Specific benchmarks for assessment

Table 8.2.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
<p>PO1 Development:</p> <ol style="list-style-type: none"> (a) avoids the disturbance of acid sulfate soils; or (b) where the disturbance of acid sulfate soils is unavoidable the release of acid sulfate soils is managed to minimise the release of acid and metal contaminants. <p>Editor's note—Confirmation of the presence of acid soils can be completed by undertaking an acid sulfate soils investigation conforming to the Queensland Sampling Guidelines and soil analysis according to the Laboratory Methods Guideline or Australian Standard 4969 Analysis of acid sulfate soil.</p>	<p>AO1.1 AO1.1.1 The disturbance of acid sulfate soils is avoided by:</p> <ol style="list-style-type: none"> (a) not excavating or otherwise removing soil or sediment containing acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; and (c) not undertaking filling on land at or below five (5) metres Australian Height Datum that results in: <ol style="list-style-type: none"> (i) actual acid sulfate being moved below the water table; or (ii) previously saturated acid sulfate soils being aerated. <p>OR</p> <p>AO1.1.2 The disturbance of acid sulfate soils avoids the release of acid and metal contaminants by:</p> <ol style="list-style-type: none"> (a) neutralising existing acidity and preventing the generation of acid and

Performance outcomes	Acceptable outcomes
	<p>metal contaminants using strategies documented in the <i>Soil Management Guidelines</i>; and</p> <p>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment.</p> <p>AND</p> <p>AO1.2 Where potential or actual acid sulfate soils are identified they are managed in accordance with an acid sulfate soils management plan.</p> <p>Editor's note—Guidelines for sampling and analysis of lowland acid sulfate soils and Queensland acid sulfate soil technical manual: laboratory methods guidelines and Queensland acid sulfate soil technical manual: soil management guidelines are available from the Department of Environment and Heritage Protection.</p>

8.2.2 Airport environs overlay code

8.2.2.1 Application

This code applies to development where the code is identified in the table of assessment for the airport environs overlay and applies to any areas on the following overlay maps:

- (1) Airport obstacle limitation surface overlay map OM-2A; or
- (2) Airport Australian noise exposure forecast contours overlay map OM-2B; or
- (3) Airport wildlife hazard buffer area overlay map OM-2C; or
- (4) Aviation facilities building restricted area overlay map OM-2D; or
- (5) Airport public safety area overlay map OM-2E; or
- (6) Airport light restriction zone overlay map OM-2F.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.2.2 Purpose

- (1) The purpose of the airport environs overlay code is to ensure that:
 - (a) the current and future operations of the Rockhampton Airport and associated aviation facilities are not adversely impacted by development and land uses;
 - (b) development within the vicinity of the Rockhampton Airport is not adversely impacted by the operation of airports and aviation facilities; and
 - (c) the number of people likely to be adversely affected by significant aircraft noise is not increased.
- (2) The purposes of the code will be achieved through the following overall outcomes:
 - (a) any potential negative impact of aircraft noise on new development situated within the Australian noise exposure forecast (ANEF) contours is minimised;
 - (b) development avoids increasing the number of people in the vicinity of public safety areas located at the ends of airport runways;
 - (c) development and associated activities do not adversely impact on airport operations and aviation facilities by creating incompatible intrusions into operational airspace;
 - (d) development within the aviation facilities building restricted area does not adversely affect the functioning of the equipment; and
 - (e) development ensures that the operational airspace of the airport is not put at risk from artificial light sources or wildlife interference generated by development.

8.2.2.3 Specific benchmarks for assessment

Table 8.2.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Operational airspace (obstacle limitation surface)	
<small>Editor's note—Refer to overlay map OM-2A</small>	
<p>PO1 Development does not involve permanent, temporary or transient physical obstruction (natural or man-made) of operational airspace.</p>	<p>AO1.1 Development does not allow the following to penetrate the airport's operational airspace as identified on overlay map OM-2A:</p> <ol style="list-style-type: none"> (a) buildings or structures (including antennae and any cranes or construction equipment used); or (b) wind farms or wind monitoring equipment; or (c) landscaping that at maturity would infringe on the operational airspace; or (d) recreational or sporting activities that include parachuting, hot air ballooning and hang gliding.

Performance outcomes	Acceptable outcomes
	<p>Note—Building heights on the airport obstacle limitation surface overlay map OM-2A prevail over building heights detailed in zone codes.</p> <p>Editor's note—Development which includes a building, structure or landscaping which will exceed the heights identified on airport obstacle limitation surface overlay map OM-2A may be referred by Council to the airport operator whose advice and decision on the proposal may be adopted by Council.</p>

Table 8.2.2.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Operational airspace (obstacle limitation surface)	
Editor's note—Refer to overlay map OM-2A	
<p>PO2 Emissions do not materially increase air turbulence, reduce visibility or compromise the operation of aircraft engines in the airport's operational airspace.</p>	<p>AO2.1 Development does not generate:</p> <ul style="list-style-type: none"> (a) a gaseous plume of a velocity exceeding 4.3 metres per second; or (b) smoke, dust, ash or steam that will penetrate an operational airspace.
Airport noise	
Editor's note—Refer to overlay map OM-2B	
<p>PO3 Development involving a sensitive land use is appropriately located and designed to prevent adverse impacts from aircraft noise.</p> <p>Editor's note—Where the associated acceptable outcomes can not be met, a Noise Assessment Report prepared by an appropriately qualified acoustic consultant may be prepared to demonstrate compliance with this performance outcome.</p>	<p>AO3.1 Development within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours is designed and constructed to attenuate aircraft noise by achieving the indoor design sound levels specified in Table 8.2.2.3.4 — Desirable indoor sound levels for building type and activity.</p> <p>AND</p> <p>AO3.2 Development within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours is consistent with Table 8.2.2.3.5 — Compatible and incompatible land uses within Australian noise exposure forecast (ANEF) contours.</p> <p>AND</p> <p>AO3.3 Creating an additional lot or lots does not occur within the twenty (20) to thirty-five (35) Australian noise exposure forecast (ANEF) contours.</p>
Wildlife hazards	
Editor's note—Refer to overlay map OM-2C	
<p>PO4 Development does not materially increase the risk of wildlife hazards including but not limited to flying vertebrates, such as birds and bats, intruding into the airport's operational airspace.</p> <p>Editor's note—Where the relevant acceptable outcomes can not be met, a wildlife management plan may need to be prepared in order to demonstrate</p>	<p>AO4.1 Development located within three (3) kilometres of an airport runway does not include uses identified in column 1 of Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
<p>compliance with this performance outcome. The applicant will need to include measures which reduce the potential to attract birds and bats.</p>	<p>AO4.2 Development located between three (3) and eight (8) kilometres of an airport runway that includes uses identified in column 1 or column 2 of Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards ensures that waste is covered and collected so that it is inaccessible to birds and bats.</p>
<p>Aviation facilities Editor's note—Refer to overlay map OM-2D</p>	
<p>PO5 Development within the Rockhampton Airport transmitter or non-directional beacon (NDB) site building restricted area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 60-300 metres (Zone B on overlay map OM-2D reflects the outer limit of 300 metres) from the NDB antenna and the development will cross the zone boundary (defined as an elevation angle of five (5) degrees from ground level at the centre of the NDB antenna).
<p>PO6 Development within the Rockhampton Airport distance measuring equipment (DME) site building restricted area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 100 – 1,500 metres (Zone B on overlay map OM-2D reflects the outer limit of 1500 metres) from the DME antenna and the development will cross the zone boundary (defined as an elevation angle of two (2) degrees, measured from the above horizontal plane beneath the DME antenna).
<p>PO7 Development within the Rockhampton Airport very high frequency (VHF) omnidirectional radio range (VOR) site sensitive area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 150 – 1,500 metres (Zone B on overlay map OM-2D reflects the outer limit of 1500 metres) from the centre of the VOR antenna and the development will cross the zone boundary (defined as the elevation angle of 1.5 degrees from ground level at the centre of the VOR antenna).
<p>PO8 Development within the Rockhampton Airport communication site sensitive area does not adversely affect the functioning of the equipment.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Development is referred to the airport operator if it is located:</p> <ul style="list-style-type: none"> (a) in Zone A on overlay map OM-2D; or (b) between 100 – 600 metres (Zone B on overlay map OM-2D reflects the outer limit of 600 metres) from the centre of the VHF antenna and the development will cross the zone boundary (defined as the elevation angle of 2 degrees starting at ten (10) metres above ground height); or (c) if development involves large obstructions that will be located in Zone B on overlay map OM-2D or the area of interest it is referred to the airport operator.
<p>Runways Editor's note—Refer to overlay map OM-2E</p>	

Performance outcomes	Acceptable outcomes
<p>PO9 Development located at the end of runways does not increase the risk to public safety.</p>	<p>AO9.1 Within a public safety area identified on overlay map OM-2E development does not involve the following:</p> <ul style="list-style-type: none"> (a) residential uses; or (b) a new building or expansion to an existing building accommodating a non-residential use; or (c) uses involving the manufacture or depot storage of hazardous materials.
<p>Artificial lighting Editor's note—Refer to overlay map OM-2F</p>	
<p>PO10 Development does not include or create external lighting or reflective surfaces that could distract or confuse pilots.</p> <p>Editor's note—The standards specified in Civil Aviation Safety Authority (CASA) Guidelines: Lighting in the vicinity of aerodromes: Advice to lighting designers may be used to demonstrate compliance with this performance outcome.</p>	<p>AO10.1 Development within the light restriction zones (Zone A, B, C or D on overlay map OM-2F) does not involve:</p> <ul style="list-style-type: none"> (a) straight parallel lines of lighting 500 metres to 1,000 metres long; or (b) flare plumes; or (c) reflective surfaces; or (d) buildings with reflective cladding; or (e) upward shining lights; or (f) laser lights; or (g) flashing lights; or (h) sodium lights.

Table 8.2.2.3.3 — Uses associated with increases in wildlife strikes and hazards

Column 1: High risk	Column 2: Moderate risk
Animal keeping (wildlife or bird sanctuary) Cropping (turf farm) Cropping (fruit tree farm) Intensive animal industry (piggery) Marine industry (fish processing/package plant)	Intensive animal industry (cattle/dairy farm) Intensive animal industry (poultry farm)
Conservation (wetland)	Conservation (all other)
Major sport, recreation and entertainment facility (showground)	Major sport, recreation and entertainment facility (all other) Outdoor sport and recreation Park
Utility installation (food/organic waste facility) Utility installation (putrescible waste facility)	Utility installation (non-putrescible waste facility) Utility installation (sewerage/ wastewater treatment facility)
Low impact industry (food processing plant) Medium impact industry (food processing plant) High impact industry (food processing plant)	

Table 8.2.2.3.4 — Desirable indoor design sound levels for building type and activity

Building type and activity	Indoor design sound level dB(A)
Dwelling houses, home units, flats, caravan parks	
Sleeping areas, dedicated lounges	50
Other habitable spaces	55
Bathrooms, toilets, laundries	60
Hotels, motels, rooming accommodations	
Relaxing, sleeping	55
Social activities	70
Service activities	75
Schools, universities	
Libraries, study areas	50
Teaching areas, assembly areas	55
Workshop, gymnasias	75
Hospitals, nursing homes	
Wards, theatres, treatment and consulting rooms	50
Laboratories	65
Service areas	75
Public buildings	
Churches, religious activities	50
Theatres, cinemas, recording studios	40
Court houses, libraries, galleries	50
Commercial buildings, offices and shops	
Private offices, conference rooms	55
Drafting, open offices	65
Typing, data processing	70
Shops, supermarkets, showrooms	75
Industrial	
Inspection, analysis, precision work	75
Light machinery, assembly, bench work	80
Heavy machinery, warehouse, maintenance	85

Source: Australian Standard AS 2021-2015: Acoustics — Aircraft noise intrusion — Building siting and construction.

Editor's note—It is intended to prepare a Queensland-specific code (or similar) addressing standards and requirements for attenuating aircraft noise in buildings, operating under the Standard Building Regulation. When prepared, that code should be used instead of Table 8.2.2.3.4.

Editor's note—Australian Standard AS 2021-2015 should be referred to for advice and information about the indoor design sound levels in Table 8.2.2.3.4, including identifying the relevant scale of aircraft noise from the Australian noise exposure forecast (ANEF) information.

Table 8.2.2.3.5 — Compatible and incompatible land uses within ANEF contours

Land use	Compatibility of use within ANEF contour of site		
	Compatible	Compatible subject to assessment	Incompatible
Residential use (except short-term accommodation, rooming accommodation) Residential care facility	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Short-term accommodation Rooming accommodation Hotel	Less than 25 ANEF	25 – 30 ANEF	30 – 40 ANEF
Educational establishment Child care centre	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Hospital Health care services	Less than 20 ANEF	20 – 25 ANEF	25 – 40 ANEF
Community use Place of worship	Less than 20 ANEF	20 – 30 ANEF	30 – 40 ANEF
Office	Less than 25 ANEF	25 – 35 ANEF	35 – 40 ANEF

Source: Adapted from Australian Standard AS 2021-2015: Acoustics — Aircraft noise intrusion — Building siting and construction.

Editor's note—

- (1) Table 8.2.2.3.5 considers aircraft noise impacts on indoor spaces specifically.
- (2) Australian Standard AS 2021-2015 should be referred to by those seeking information/background on the basis of Table 8.2.2.3.5.

8.2.3 Biodiversity overlay code

8.2.3.1 Application

This code applies to development where the code is identified in the table of assessment for the biodiversity overlay and applies to any areas identified on the following overlay maps:

- (1) Biodiversity areas overlay map OM-3A; or
- (2) Biodiversity corridors and wildlife habitats overlay map OM-3B; or
- (3) Biodiversity waterways overlay map OM-3C; or
- (4) Biodiversity wetlands overlay map OM-3D.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—Matters of national environmental significance are included in the mapping of the matters of state environmental significance.

8.2.3.2 Purpose

- (1) The purpose of the biodiversity overlay code is to protect, rehabilitate and manage areas of environmental significance and the ecological processes and biodiversity values of terrestrial and aquatic ecosystems being:
 - (a) land mapped as containing matters of state or local environmental significance;
 - (b) a biodiversity corridor or wildlife habitat; and
 - (c) a wetland or waterway and its buffer area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development which is of a scale or nature that will, or is likely to, result in adverse impacts on matters of state or local (high) environmental significance and their associated ecological processes and biodiversity values, is avoided unless impacts can be minimised by:
 - (i) retaining or regenerating native vegetation;
 - (ii) ensuring changes to natural landforms, hydrology and drainage patterns do not significantly affect ecological values;
 - (iii) locating and designing public access to avoid disturbance of ecological values; and
 - (iv) ensuring threatened wildlife is not disrupted.
 - (b) land mapped as containing local (general) environmental significance is retained to the greatest extent possible;
 - (c) development protects wildlife habitats and wildlife corridors for significant species of flora and fauna and ecological communities so that ecological connectivity and wildlife habitat extent are retained;
 - (d) development within areas of wetlands, waterways and their buffer areas are protected to enhance water quality, ecological values and the natural hydrological regime and functioning of surface and ground waters;
 - (e) development:
 - (i) locates outside of a wetland, or waterway and its buffer; and
 - (ii) avoids adverse impacts on a wetland or waterway, its buffer and associated values;
 - (f) undeveloped frontal dunes and areas directly adjacent to beaches and waterways are maintained in a natural state and protected for their environmental, biodiversity, scenic and recreational values for current and future generations;
 - (g) development maintains sustainable community access to waterways, national parks and other land in protected area estates, and maintains a buffer in accordance with minimum best practice distances so as to avoid adverse impacts;
 - (h) management arrangements facilitate the long-term conservation of environmentally significant areas, ecological processes and biodiversity values; and
 - (i) environmentally significant areas are protected from further fragmentation.

8.2.3.3 Specific benchmarks for assessment

Table 8.2.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Matters of state and local (high) environmental significance Editor's note—Refer to overlay map OM-3A	
<p>PO1 Development is located, designed and operated to retain and protect significant natural assets, habitat and values to the greatest extent possible. Where this is not possible, impacts are minimised by:</p> <ul style="list-style-type: none"> (a) retaining native vegetation; (b) allowing for the regeneration of native vegetation to the area, or rehabilitating with locally endemic plants in non-vegetated areas of the site; (c) landscaping with locally native plants; (d) locating and designing public access to avoid disturbance of ecological values; (e) ensuring alterations to natural landforms, hydrology and drainage patterns do not significantly affect ecological values; and (f) incorporating measures that avoid the disruption of threatened wildlife and their habitat by allowing for their safe movement through the site. <p>Note—In areas where environmental values have been mapped but are no longer present a report certified by an appropriately qualified person that the development site does not contain any matters of environmental significance will be required.</p> <p>Note—An environmental offset is provided for any permanent, irreversible loss or reduction in matters of local (high) environmental significance caused by the development. An environmental offset is carried out as per the requirements of the Queensland Government's Environmental Offsets Policy, as amended from time to time.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO2 Development ensures native vegetation is retained, regenerated and rehabilitated in such a way as to:</p> <ul style="list-style-type: none"> (a) ensure protection of areas of vegetation within biodiversity corridors and wildlife habitats; (b) maintain vegetation that is in patches of greatest size and smallest possible edge-to-area ratio; (c) maximise the linkages between vegetation located on the subject site; (d) maximise linkages between vegetation located on adjacent properties within the biodiversity network; (e) allow the dispersal or movement through biodiversity corridors; and 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(f) protect riparian vegetation in and adjacent to watercourses.	
Matters of local (general) environmental significance Editor's note—Refer to overlay map OM-3A	
PO3 Development minimises impacts on biodiversity values by ensuring they are retained to the greatest extent possible. Editor's note—Minimising the impacts on biodiversity values can be achieved by: (a) retaining native vegetation; (b) allowing for the regeneration of native vegetation; (c) landscaping with native local plants; (d) locating and designing public access (for example roads, bushfire separation areas etcetera) to avoid disturbance of ecological values; (e) accommodating the safe movement of wildlife through the site; and (f) limiting alterations to natural landforms and avoiding disturbance to natural waterways and drainage paths.	No acceptable outcome is nominated.
Biodiversity corridors and wildlife habitats Editor's note—Refer to overlay map OM-3B	
PO4 Development maintains unimpeded movement of terrestrial and aquatic fauna that are associated with or are likely to use the biodiversity corridor as part of their normal life cycle by: (a) ensuring development, including roads, pedestrian access and in-stream structures, do not create barriers to the movement of fauna (including fish passage) along or within biodiversity corridors; (b) providing effective wildlife movement infrastructure in accordance with best practice and directing fauna to locations where wildlife movement infrastructure has been provided to enable fauna to safely negotiate a development area; and (c) separating fauna from potential hazards through the use of appropriate fencing. Note—In areas where environmental values have been mapped but are no longer present a report certified by an appropriately qualified person that the development site does not contain any matters of environmental significance will be required. Editor's note—Biodiversity corridors have been mapped based on a minimum width of 500 metres.	No acceptable outcome is nominated.
PO5 Development: (a) retains and protects areas of wildlife habitat that support a critical life stage ecological process such as feeding, breeding or roosting for identified species; and	AO5.1 Development retains and protects native fauna feeding areas, nesting, breeding and roosting sites within the identified wildlife habitats. Editor's note—Development applications lodged with Council must identify all species listed that are present within or adjacent to the premises and habitats that

Performance outcomes	Acceptable outcomes
<p>(b) incorporates measures as part of siting and design to protect and retain identified ecological values and underlying ecosystem processes within or adjacent to the development site.</p>	<p>may be affected by the proposal. In particular applications are to identify and describe how the development protects or enhances wildlife habitat at any critical life stage ecological processes within or adjacent to the development area. This should be reflected in an ecological assessment report prepared in accordance with the SC6.8 — Ecological assessment planning scheme policy.</p>
<p>Wetlands and waterways Editor's note—Refer to overlay maps OM-3C and OM-3D</p>	
<p>PO6 Development has no adverse impacts on:</p> <ul style="list-style-type: none"> (a) native vegetation; (b) habitat; (c) ecological functions; (d) water quality; and (e) nature conservation values. <p>Editor's note—Waterway buffers (aside from MSES-Waterways) have been mapped based on the following minimum widths:</p> <ul style="list-style-type: none"> (a) fifty (50) metres buffer (twenty-five (25) metres either side of the waterway) for stream orders 1 and 2; (b) 100 metres (fifty (50) metres either side of the waterway) for stream orders 3 and 4; (c) 200 metres for stream order 5 and above, except for the Fitzroy River; and (d) for the Fitzroy River: 350 metres buffer (175 metres either side of the waterway) upstream of the Fitzroy River Barrage, and 450 metres (225 metres either side of the waterway) downstream of the Fitzroy River Barrage. <p>Editor's note—Wetland buffers have a minimum width of:</p> <ul style="list-style-type: none"> (e) fifty (50) metres buffer (twenty-five (25) metres either side of the waterway) in urban areas; and (f) 200 metres buffer (100 metres either side of the waterway) in non-urban areas. <p>Editor's note—Vegetation clearing undertaken as a consequence of development occurs in compliance with the <i>Vegetation Management Act 1999</i> and <i>Nature Conservation Act 1992</i>.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO7 Development does not cause land degradation near a waterway or wetland, including:</p> <ul style="list-style-type: none"> (a) mass movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and (b) loss or modification of chemical, physical or biological properties or functions of soil. 	<p>AO7.1 Excavation and filling is not undertaken in waterways or wetlands.</p>
<p>Hydrology</p>	
<p>PO8 Development:</p> <ul style="list-style-type: none"> (a) enhances or maintains the existing groundwater hydrological regime of all areas of environmental significance; and (b) ensures that the water table and hydrostatic pressure in the area of 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
environmental significance is returning to its natural state.	
Non-native pest management	
<p>PO9 Development avoids the introduction of non-native pest species (plant or animal) that pose a risk to ecological integrity.</p>	<p>AO9.1 Development does not introduce non-native pest species.</p>
Ongoing management, construction and operation	
<p>PO10 During construction and operation of development, ongoing management, monitoring and maintenance is undertaken to ensure impacts on environmentally significant areas, biodiversity values and ecological processes, including water quality and hydrology, are avoided or minimised.</p> <p>Editor's note—Construction and operation related to a development are carried out in accordance with an operational management plan where appropriate. This plan can form an amendment to an existing approved management plan for the site.</p>	No acceptable outcome is nominated.
<p>PO11 Development adjoining a national park or other land in a protected area estate:</p> <ul style="list-style-type: none"> (a) maintains and where appropriate, improves access to a protected area estate; and (b) maintains a buffer to a protected area estate in accordance with minimum best practice standards and includes characteristics to avoid development impacts. <p>Editor's note—Protected area estates include the following classes, as defined in the <i>Nature Conservation Act 1992</i>:</p> <ul style="list-style-type: none"> (a) national park (scientific); (b) national parks; (c) national parks (Aboriginal land); (d) national parks (Torres Strait Islander); (e) national parks (Cape York Peninsula Aboriginal land); (f) national parks (recovery); (g) conservation parks; (h) resource reserves; (i) nature refuges; (j) coordinated conservation area; (k) wilderness areas; (l) World Heritage management areas; and (m) international agreement areas. 	No acceptable outcome is nominated.
<p>PO12 Management arrangements facilitate the effective conservation and protection of matters of national, state or local environmental significance, ecological processes and biodiversity values.</p>	<p>AO12.1 Areas supporting matters of national, state or local significance features, biodiversity values or ecological processes are:</p> <ul style="list-style-type: none"> (a) transferred into public ownership where the land is required for public access or for some other public purpose consistent with its ecological, open space or recreation functions, including: <ul style="list-style-type: none"> (i) access for maintenance;

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (ii) linking core and remnant habitat areas; (iii) protecting water quality and ecological processes; and (i) other public benefit; or <p>(b) incorporated within private open space and included within a voluntary statutory covenant that is registered under the <i>Land Title Act 1994</i>.</p> <p>Editor's note—Matters of national, state or local environmental significance include all areas shown on all biodiversity overlay maps.</p>
Rehabilitation	
<p>PO13 Areas degraded as a result of development are rehabilitated by the proponent as near as is practical to the naturally occurring suite of native plant species and ecological communities.</p> <p>Editor's note—A rehabilitation plan supported by expert ecological advice prepared in accordance with SC6.8— Ecological assessment planning scheme policy as well as reference to SC6.12 — Landscape design and street trees planning scheme policy will assist in demonstrating achievement of this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO14 The ecological function and biodiversity values of existing habitat are maintained by ensuring that reconfiguring a lot does not result in the fragmentation of habitat.</p>	<p>AO14.1 Reconfiguring a lot does not result in any additional lots where the entire site is subject to:</p> <ul style="list-style-type: none"> (a) matters of state or local (high) environmental significance; or (b) biodiversity corridors and wildlife habitats; or (c) waterways and wetlands. <p>AND</p> <p>AO14.2 Roads created as the result of reconfiguring a lot are located between the riparian corridor and any additional lots created.</p>

8.2.4 Bushfire hazard overlay code

8.2.4.1 Application

This code applies to development where the code is identified in the table of assessment for the bushfire hazard overlay and applies to any areas included on the bushfire hazard overlay map OM-4.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The bushfire hazard area is a natural hazard area for the purpose of State Planning Policy. Within this area, susceptibility to bushfire has been identified. The area identified in the bushfire hazard overlay maps may not reflect the full extent of the area that may be affected by bushfire.

Note—The bushfire hazard overlay code provisions do not apply to an approved building envelope established in response to bushfire hazard and secured by a valid development approval given under this or a previous planning scheme.

8.2.4.2 Purpose

- (1) The purpose of the bushfire hazard overlay code is to manage development outcomes in bushfire hazard areas so that risk to life, property, community, economic activity and the environment as a result of bushfire is avoided or minimised.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is compatible with the level of risk associated with the bushfire hazard;
 - (b) development location, siting and design responds to the risk of bushfire hazard and minimises risk to personal safety and property;
 - (c) development enables access and evacuation of people and emergency services vehicles, and access to water supplies during a bushfire hazard event;
 - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
 - (e) natural processes and the protective function of landforms or vegetation are maintained in bushfire hazard areas;
 - (f) essential community infrastructure and community facilities are located and designed to function effectively during and immediately after bushfire hazard events; and
 - (g) development contributes to effective and efficient disaster management response and recovery capabilities.

Editor's note—For the purposes of Section 12 (1) of the Building Regulations 2006, the bushfire hazard areas defined by the planning scheme under map OM-4 is also designated to be the bushfire hazard area.

8.2.4.3 Specific benchmarks for assessment

Table 8.2.4.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Access	
PO1 Development ensures that the location, siting, and design of development and associated driveways and access routes: <ol style="list-style-type: none"> (a) avoid potential for entrapment during a bushfire; (b) facilitate safe and efficient emergency services to access and egress the site during a bushfire; and 	AO1.1 AO1.1.1 Where the development is located in an urban area, the development: <ol style="list-style-type: none"> (a) has direct access to a constructed, all-weather, public road capable of carrying emergency service vehicles; (b) has a maximum single access driveway length of sixty (60) metres

Performance outcomes	Acceptable outcomes
<p>(c) enables safe evacuation of the site during a bushfire for site occupants.</p>	<p>from the street to the development; and</p> <p>(c) access driveways have a maximum gradient of 12.5 per cent.</p> <p>OR</p> <p>AO1.1.2 Where the development is located in a non-urban area, the development:</p> <p>(a) has direct access to a constructed, all-weather, public road capable of carrying emergency service vehicles;</p> <p>(b) is separated from hazardous vegetation by a public road or fire trail with a minimum width of four (4) metres and at least six (6) metres clear of vegetation, with a minimum of 4.8 metres vertical clearance and a maximum gradient of 12.5 per cent; and</p> <p>(c) has:</p> <p>(i) a maximum single access driveway length of sixty (60)metres from the street to the development; or</p> <p>(ii) access driveways that are greater than sixty (60)metres from the street to the dwelling provide a turning circle with a minimum radius of eight (8) metres every (60) metres.</p>
Water supply for fire fighting purposes	
<p>PO2 Development provides adequate and accessible water supply for fire fighting purposes which is safely located and freely accessible for fire fighting.</p>	<p>AO2.1 AO2.1.1 In a reticulated water supply area fire hydrants in:</p> <p>(a) residential areas are above ground single outlet fire hydrants and provided at not less than eighty (80) metre intervals and at each street intersection; and</p> <p>Editor's note—To remove any doubt, these intervals also apply to common access ways within a common private title</p> <p>(b) commercial and industrial areas are above or below ground fire hydrants and provided at not less than ninety (90) metre intervals and at each street intersection. Above ground fire hydrants are to be fitted with dual valve outlets in these areas.</p> <p>Editor's note—Fire hydrants are designed and installed in accordance with Australian Standard 2419.1 Fire hydrant installations – system design, installation and commissioning, unless specified by the relevant water entity.</p>

Performance outcomes	Acceptable outcomes
	<p>OR</p> <p>AO2.1.2 Where a reticulated water supply is not available or the development is not within eighty (80) metres of a hydrant, a water tank is provided within ten (10) metres of the building or structure, and the water tank has:</p> <ul style="list-style-type: none"> (c) a take-off connection from the building to the tank which is at a level that provides on-site water storage of not less than the water requirement outlined in Table 8.2.4.3.3; (d) a hardstand area allowing heavy rigid fire appliance access within six (6) metres of a tank; and (e) fire brigade tank fittings consisting of: <ul style="list-style-type: none"> (i) for above ground tanks, <ul style="list-style-type: none"> (A) fifty (50) millimetre ball valve and male camlock coupling; and (B) above ground water pipe fittings that are metal; or (ii) for underground tanks, an access hole of 200 millimetre diameter (minimum) to allow access for suction lines. <p>Note—Plastic tanks are not recommended; however, if they are fully submerged with above ground access points they are acceptable.</p> <p>Note—Where water tanks are required, swimming pools, creeks and dams should not be used as a substitute for a dedicated static supply as these sources of water are not reliable during drought conditions.</p>
Activities involving hazardous materials	
<p>PO3 Public safety and the environment are not adversely affected by the impacts of bushfire on hazardous materials.</p>	<p>AO3.1 Development does not involve the manufacture or storage of hazardous materials within a bushfire hazard area.</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated regulation, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances.</p>
Development within the high and very high bushfire hazard areas	
Avoiding the hazard	
<p>PO4 The development is compatible with the level of risk associated with the bushfire hazard.</p>	<p>AO4.1 The development has a Bushfire Attack Level of less than 12.5.</p> <p>Editor's note—The Bushfire Attack Level is calculated in accordance with the methodology described in the Australian Standard AS 3959 – Construction of buildings in bushfire prone areas.</p>

Table 8.2.4.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Land use	
<p>PO5 Essential community infrastructure and community facilities and highly vulnerable development are located, designed and sited to:</p> <ul style="list-style-type: none"> (a) protect the safety of people during a bushfire; (b) not increase the exposure of people to the risk from a bushfire event; (c) minimise the risk to vulnerable populations; and (d) ensure essential community infrastructure can function effectively during and immediately after bushfire events. 	<p>AO5.1 The following uses are not located in high or very high bushfire hazard areas:</p> <ul style="list-style-type: none"> (a) child-care centre; (b) detention facility; (c) educational establishment; (d) emergency services; (e) hospital; (f) industrial use involving manufacture or storage of hazardous materials; (g) multiple dwelling; (h) outstation; (i) relocatable home park; (j) residential care facility; (k) retirement facility; (l) rooming accommodation; (m) shopping centre; (n) short-term accommodation; (o) telecommunications facility; (p) tourist park; (q) tourist attraction; (r) transport depot; and (s) utility installation.
Reconfiguring a lot	
General	
<p>PO6 Where reconfiguration is undertaken a separation distance from hazardous vegetation is provided.</p> <p>Editor's note—The preparation of a bushfire management plan in accordance with SC6.5 — Bushfire management planning scheme policy can assist in demonstrating compliance with this performance outcome.</p>	<p>AO6.1 In urban areas lots are separated from hazardous vegetation by a distance:</p> <ul style="list-style-type: none"> (a) that achieves a Bushfire Attack Level of twenty-nine (29) or less at all boundaries; and (b) is contained wholly within the development site. <p>OR</p> <p>AO6.2 In non-urban areas a building envelope of reasonable dimensions is provided on each lot which achieves a Bushfire Attack Level of twenty-nine (29) or less at all boundaries</p> <p>Editor's note—Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p>
<p>PO7 In urban areas development includes a constructed perimeter road between the lots and hazardous vegetation with reticulated water supply. The access is available for both fire fighting and maintenance works.</p>	<p>AO7.1 In urban areas lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> (a) has a two lane sealed carriageway; (b) contains a reticulated water supply;

Performance outcomes	Acceptable outcomes
	<ul style="list-style-type: none"> (c) is connected to other public roads at both ends and at intervals of no more than 500 metres; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (e) has a minimum of 4.8 metres vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing.
<p>PO8 In non-urban areas development includes a perimeter road or an all-weather fire access trail which is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO8.1 In non-urban areas the development includes a perimeter road or an all-weather fire access trail which:</p> <ul style="list-style-type: none"> (a) separates the development from the hazardous vegetation with a width of at least twenty (20) metres; (b) with a minimum formed width of four (4) metres; (c) a minimum of 4.8 metres vertical clearance above the road; (d) has a turning circle with a minimum radius of eight (8) metres every sixty (60) metres; (e) has adequate drainage and erosion control devices; (f) has a gradient no greater than 12.5 per cent and a cross fall of no greater than ten (10) degrees; (g) has access at each end of the perimeter road or the fire trail from a public road; (h) has the access point signed and direction of travel identified; and (i) has a suitable arrangement in place to ensure maintenance in perpetuity.
<p>PO9 Road widths and construction within the development are adequate for fire emergency vehicles.</p>	<p>No acceptable outcome is nominated.</p>
Emergency services access	
<p>PO10 Development facilitates the safe and efficient access and egress of emergency services during a bushfire event.</p>	<p>AO10.1 The development includes a perimeter road or a fire access trail which:</p> <ul style="list-style-type: none"> (a) separates the development from the hazardous vegetation; (b) is a minimum of ten (10) metres in width, with a minimum formed width of four (4) metres; (c) is a minimum of six (6) metres clear of standing flammable vegetation; (d) has passing bays twenty (20) metres long by three (3) metres (additional to

Performance outcomes	Acceptable outcomes
	<p>the trail width), or turning facilities every 200 metres;</p> <p>(e) has adequate drainage and erosion control devices;</p> <p>(f) has a gradient no greater than 12.5 per cent and a cross fall of no greater than ten (10) degrees;</p> <p>(g) has access at each end of the perimeter road or the fire trail from a public road;</p> <p>(h) has the access point signed and direction of travel identified; and</p> <p>(i) has a suitable arrangement in place to ensure maintenance in perpetuity.</p>
<p>PO11 Road widths and construction within the development are adequate for fire emergency vehicles to gain access to a safe working area close to dwellings and near water supplies whether or not on-street parking spaces are occupied.</p>	<p>AO11.1 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for safe passage of emergency vehicles.</p> <p>Editor's note—For further information on how to address the above criteria please see Queensland Fire and Emergency Service: Fire hydrant and vehicle access guidelines for residential, commercial and industrial lots.</p>
<p>PO12 Hydrants are suitably identified so that fire services can locate them at all hours.</p>	<p>AO12.1 Hydrants are identified as specified in Queensland Fire and Emergency Services: Fire hydrant and vehicle access guidelines for residential, commercial and industrial lots.</p> <p>Editor's note—Fire hydrants are designed and installed in accordance with Australian Standard 2419.1 Fire hydrant installations – system design, installation and commissioning, unless specified by the relevant water entity.</p>

Table 8.2.4.3.3 — Water storage requirements

Lot size / use type	Water requirement (per lot)
Lots less than 1,000 square metres	5,000 litres
Lots between 1,000 square metres and less than one (1) hectare	10,000 litres
Lots greater than one (1) hectare	20,000 litres

8.2.5 Character overlay code

8.2.5.1 Application

This code applies to development where the code is identified in the table of assessment for the character overlay and applies to any areas identified on the character overlay map OM-5.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.5.2 Purpose

- (1) The purpose of the character overlay code is to:
 - (a) prevent relocation and demolition of those dwelling houses that contribute to the residential character of the streetscape;
 - (b) prevent the demolition or adverse renovation of commercial character buildings which may reduce or destroy the streetscape values of the Rockhampton principal centre; and
 - (c) ensure the design of any new development is compatible with nearby places of identified character value.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) buildings are protected and retained so they continue to contribute to the traditional character and amenity of the street;
 - (b) the traditional streetscape area is kept intact and is not diminished by new development;
 - (c) new buildings and any substantial extensions to existing buildings in the residential character design control area incorporate design elements that are compatible with the architecture and established character of the area;
 - (d) development (including renovations and extensions) in the residential character design control area ensures:
 - (i) that the design is sensitive to the built form, scale and character of the original building and surrounding buildings in the streetscape;
 - (ii) the protection and retention of buildings that contribute to the character and architectural form of the area;
 - (iii) the roof profile and building materials used are consistent with adjoining buildings;
 - (iv) the front façade of buildings is consistent with the predominant front façade profiles of other character dwelling houses in the street and include a verandah which addresses the street;
 - (v) enclosing the ground floor of a building does not have an adverse impact on its character;
 - (vi) carports and garages do not dominate the frontage and are subservient to the predominant building; and
 - (vii) low-rise (up to two (2) storeys) infill dwelling types such as dual occupancies and multiple dwelling units are at a dwelling house scale and incorporate design features that are compatible with the established character within the streetscape;
 - (e) sites within the residential character demolition control area are identified to value-add to the existing streetscape throughout the region. Demolition controls ensure:
 - (i) development protects residential buildings (or a part of a building) that forms part of a character streetscape primarily consisting of residential dwellings; and
 - (ii) development involving partial demolition work is facilitated through appropriate built form measures;
 - (iii) development permits demolition or removal of residential character buildings that are structurally unsound and incapable of repair; and
 - (f) development (including renovations and demolition) on sites within the commercial character demolition control area ensure:

- (i) the protection and retention of buildings containing a concentration of character features;
- (ii) development permits demolition or removal of commercial character buildings that are structurally unsound and incapable of repair; and
- (iii) retention of facades that contribute to the continuation of facades in the streetscape.

8.2.5.3 Specific benchmarks for assessment

Table 8.2.5.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Residential character design control area	
Design and siting	
<p>PO1 The front setback of buildings is consistent with the urban form of the surrounding residential character area.</p>	<p>AO1.1 Development for any building (not including car ports, garages and other enclosed outbuildings) which is not on a rear access lot is set back from any road alignment (excluding eaves, awnings, stairs and garage), within twenty (20) per cent of the average front setback of the adjoining houses fronting the same street.</p>
<p>PO2 The roof profile is consistent with the styles of other buildings in the street.</p> <p>Editor's note—Figure 8.2. 5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO2.1 The building has a pitched roof (pyramidal, hip or gable, or any combination of pyramidal, hip or gable) with a minimum of a fifteen (15) degree roof pitch.</p> <p>AND</p> <p>AO2.2 Verandahs are contained under the main roof form, or roofed separately with skillion or gently curved roofs.</p>
<p>PO3 The design of buildings addresses the street front and remains consistent with, or replicates, the styles and features of other character buildings in the street by having traditional elements such as verandahs and porches, stairs, window shade hoods, balustrades and hand rails.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO3.1 The building has a front verandah that:</p> <ul style="list-style-type: none"> (a) has viewing areas or windows able to overlook the street; (b) is a minimum of fifty (50) per cent of the total width of the building; and (c) where enclosed is articulated with openings such as windows, louvres or screens. <p>AND</p> <p>AO3.2 Where windows are not sheltered by a verandah or roof overhang, each window is provided with a shade hood.</p>
<p>PO4 Front fences are consistent with the fence styles in the street, by being a similar height and materials.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO4.1 Fencing along the primary street frontage is:</p> <ul style="list-style-type: none"> (a) a maximum height of 1.2 metres; or (b) a maximum height of 1.8 metres with a minimum fifty (50) per cent transparency.

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO4.2 Front fence building materials do not consist of tin, iron, Colorbond or similar large non-transparent sheeting materials.</p> <p>Editor's note—Residential character areas mainly contain timber picket fencing and it is recommended that this type of fencing be used throughout the area.</p>
<p>PO5 Building materials have a lightweight appearance and assist in reducing bulk and form.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO5.1 A minimum of fifty (50) per cent of the walls are clad with lightweight materials with an expressed surface profile.</p> <p>AND</p> <p>AO5.2 Windows are timber framed or have the appearance of being timber.</p>
<p>PO6 The size and bulk of buildings are consistent with dwelling houses in the street.</p> <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO6.1 The maximum length of unarticulated walls is eight (8) metres.</p> <p>Note—Variations in wall articulation can occur via the use of distinctive design features such as recesses, stairs, verandahs, balconies and window hoods.</p>
<p>PO7 Enclosing the ground floor storey of an existing character building does not have an adverse impact on the character of the building and ensures the original fabric of the building is identifiable.</p>	<p>AO7.1 Where buildings are located along the primary street frontage, the ground floor storey includes a valance and:</p> <ul style="list-style-type: none"> (a) is set back the full depth of all open or enclosed verandahs; or (b) is set back one (1) metre from the upper level of an exterior wall where there is no verandah.
Car ports, garages and other outbuildings	
<p>PO8 Car ports, garages and other outbuildings associated with the development are:</p> <ul style="list-style-type: none"> (a) not prominent; (b) consistent in character with such buildings in the street; (c) ancillary in size and scale to the main dwelling house or building, and do not dominate the appearance of the main dwelling house or building; and (d) not visually dominant when viewed from the street. <p>Editor's note—Figure 8.2.5.3.1a identifies a typical character streetscape to be achieved.</p>	<p>AO8.1 AO8.1.1 Car ports, garages and other enclosed outbuildings are:</p> <ul style="list-style-type: none"> (a) located behind the main face of the dwelling house; or (b) set back an equal or greater distance from the street as the main building and do not have a garage door or solid face presented to the street. <p>OR</p> <p>AO8.1.2 Where an open car port is located in the front of the main building, the car port:</p> <ul style="list-style-type: none"> (a) is detached from the main building; (b) has a maximum width of 3.6 metres; (c) has a maximum height of four (4) metres above ground level; (d) has a pitched roof (pyramidal, hip or gable or any combination of pyramidal, hip or gable) with a

Performance outcomes	Acceptable outcomes
	<p>minimum of fifteen (15) degrees roof pitch or a pitch equal to that of the main dwelling house or building;</p> <p>(e) has a minimum roof overhang of thirty (30) centimetres;</p> <p>(f) has roofing material consistent with the roofing material used on the main dwelling house or building; and</p> <p>(g) has a gutter profile consistent with the gutter profile used on the main dwelling house or building.</p>

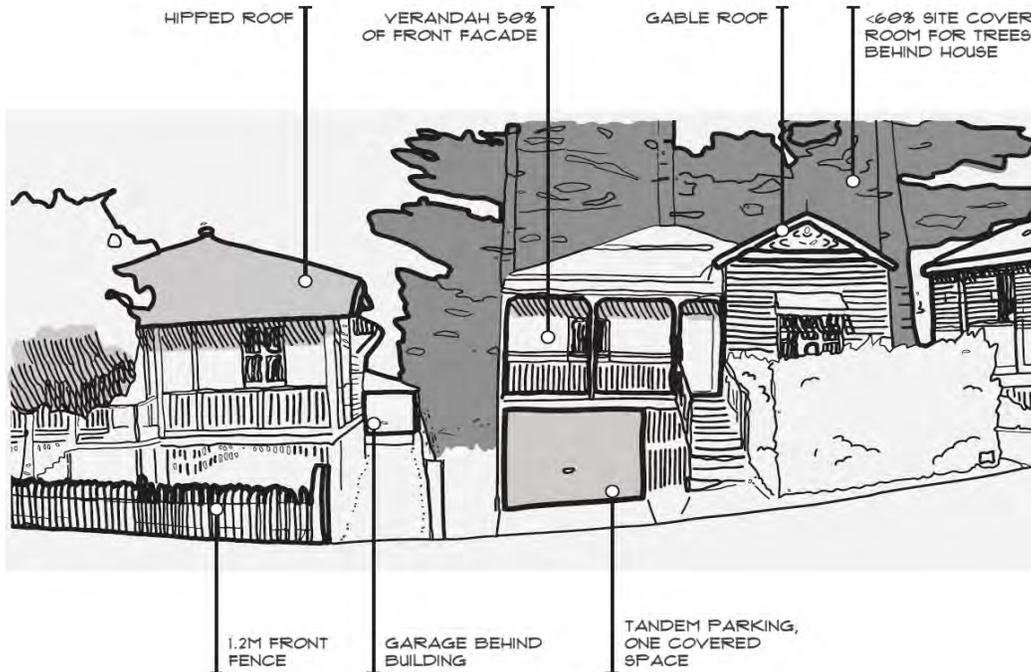


Figure 8.2.5.3.1a — Residential character streetscape

Table 8.2.5.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Commercial character demolition control area	
<p>PO9 Relocation of an existing building on site remains consistent with the scale, form and height of nearby buildings in the street.</p>	No acceptable outcome is nominated.
<p>PO10 The façade of any commercial character building is protected from being significantly altered except if:</p> <p>(a) it is not capable of structural repair; or</p> <p>(b) it is proposed to be incorporated into a development that has been designed to retain and enhance the traditional principal centre streetscape character.</p> <p>Editor's note—Façade protection may involve retention of traditional parapets, building names, signage and the preservation of continuous shop front awnings.</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Residential character demolition control area and commercial character demolition control area	
<p>PO11 The removal, relocation, partial demolition or total demolition of a building only occurs if it can be demonstrated that:</p> <ul style="list-style-type: none"> (a) total or partial loss of the building will not contribute to the loss of character values; or (b) it is no longer recognisable as having character value; or (c) it is a building that does not contribute positively to the character of the street; or (d) it is a building incapable of structural repair; or (e) is a risk to people and property. <p>Editor's note—An impact statement produced by a suitably qualified professional may be required to demonstrate that there is no adverse impact to the character of the area due to the loss of the place.</p>	<p>AO11.1 The building proposed to be demolished or altered is the subject of a certificate submitted to Council that is from a registered professional engineer, which states that the building is structurally unsound and is incapable of reasonably being made structurally sound in terms of the financial cost for the required works.</p> <p>Editor's note—A suitably qualified professional provides a report on the building's condition, demonstrating that the place is not capable of repair.</p>
<p>PO12 Integral components of the building are retained including an awning over the footpath and street front entrance, which contribute to its traditional character and architectural style.</p>	<p>No acceptable outcome is nominated.</p>

8.2.6 Coastal protection overlay code

8.2.6.1 Application

This code applies to development where the code is identified in the table of assessment for the coastal protection overlay and applies to the following overlay maps:

- (1) Coastal erosion prone area overlay map OM-6A; or
- (2) Coastal hazard overlay map OM-6B

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The coastal protection overlay identifies indicative coastal hazard area being:

- (1) a coastal hazard area – storm tide inundation area:
 - (a) high hazard area (water depth of one (1) metre or greater); and
 - (b) medium hazard area (less than one (1) metre depth).
- (2) a coastal hazard area – erosion prone area:
 - (a) erosion due to storm impact and long-term trends of sediment loss and channel migration.

Editor's note—The erosion prone areas, shown on the coastal erosion prone area maps, are indicative only and reference to the statutory erosion prone area plans and a field survey is required to verify feature boundaries and the extent of the erosion prone area at a site specific level. The storm tide inundation areas, shown on the coastal hazard overlay maps, are derived from adopting the default storm tide inundation level of two (2) metres above highest astronomical tide including a projected climate change impact to 2100 (0.8 metre increase in sea level). These maps should be used as a guide only. Field surveys are recommended to verify feature boundaries.

8.2.6.2 Purpose

- (1) The purpose of the coastal protection overlay code is to ensure development is planned, designed, constructed and operated to:
 - (a) avoid the social, financial and environmental costs arising from the impacts of coastal hazards, taking into account the predicted effects of climate change; and
 - (b) manage the coast to protect, conserve and rehabilitate coastal resources and biological diversity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids an unacceptable increase in the severity of the storm tide hazard and does not materially increase the potential for damage on the site or to other properties;
 - (b) development within the erosion prone area avoids intensification of existing uses or new structures;
 - (c) essential community infrastructure and community facilities are located and designed to function effectively during and immediately after hazard events;
 - (d) the conservation of coastal resources is maximised by protecting and managing foreshore and foreshore ecosystems;
 - (e) communities, infrastructure and coastal ecosystems are protected from adverse coastal hazard impacts taking into account the projected effects of climate change;
 - (f) opportunities for sustainable coastal dependent development are protected and coastal dependent development is undertaken in a manner that minimises impacts on coastal resources; and
 - (g) public access to the foreshore or public use of coastal waters is maintained and where appropriate, increased.

8.2.6.3 Specific benchmarks for assessment

Table 8.2.6.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Development in coastal hazard areas – medium or high hazard or coastal erosion prone areas	
Editor's note—Refer to overlay maps OM-6A and OM-6B	
<p>PO1 Development within a coastal hazard area or erosion prone area:</p> <p>(a) is located, designed and constructed to avoid adverse coastal hazard impacts; and</p> <p>(b) has siting and layout that responds to flooding potential and maintains personal safety at all times.</p>	<p>AO1.1 Floor levels of all habitable rooms are at least 500 millimetres above the defined storm tide event (DSTE) level.</p> <p>Editor's Note—The following defined storm tide event level applies:</p> <ul style="list-style-type: none"> • Rockhampton HAT Zone: 9.90 metres AHD • Port Alma HAT Zone: 10.75 metres AHD <p>To determine finished floor level, 500 millimetres is to be added to the DSTE level.</p> <p>Editor's Note— Refer to overlay map OM-16B and OM-16C for information regarding the defined storm tide event level.</p> <p>AND</p> <p>AO1.2 All services and utilities connected to the property (including electrical outlets) are designed, located and installed at least 500 millimetres above the defined storm tide event level.</p> <p>AND</p> <p>AO1.3 Ground floors are not enclosed underneath to allow for flow-through water movement.</p> <p>AND</p> <p>AO1.4 A small lower level enclosure of no more than five (5) square metres accommodates a laundry or workshop use and is constructed from flood resilient materials.</p> <p>Note—Where a conflict exists between the flood hazard overlay code and the coastal protection overlay code, the highest defined event level prevails.</p>

Table 8.2.6.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Development in coastal erosion prone areas	
Editor's note—Refer to overlay map OM-6A	
<p>PO2 Coastal-dependent development or redevelopment must:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) locate built structures outside of the erosion prone area; or (b) demonstrate that it is not reasonable to locate the development outside the erosion prone area; or (c) locate built structures and services (water, power and sewerage) landward of the alignment of adjacent habitable buildings; or (d) where (a), (b) or (c) cannot be met, the following is achieved: <ul style="list-style-type: none"> (i) the development footprint within the erosion prone area is minimised and is located as far landward as practicable; (ii) the development is designed to accommodate for future erosion events; (iii) buildings or structures are able to be decommissioned, disassembled or relocated either on the site or to another site; and (iv) on-site protection works are installed and maintained. 	
<p>PO3 Development that is not for a coastal-dependent land use:</p> <ul style="list-style-type: none"> (a) is located outside of the erosion prone area; or (b) where it only involves redevelopment that intensifies the use of a site, it mitigates any increase in risk to people and property from adverse coastal erosion impacts, having regard to: <ul style="list-style-type: none"> (i) ensuring the development footprint within the erosion prone area is minimised and is located as far landward as possible; (ii) the practical design life of the development in the context of future erosion threat; (iii) the ability for buildings or structures to be decommissioned, disassembled or relocated either on the site or to another site; and (iv) installing and maintaining on-site protection works. 	No acceptable outcome is nominated.
<p>PO4 Development (not including coastal dependent development) is set back as far landward as possible to maintain the amenity and use of the coast</p>	<p>AO4.1 For development within the urban area, development (including all buildings and other permanent structures such as swimming pools and retaining walls) are set back not less than six (6) metres from the seaward boundary of the lot.</p>
PO5	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>Coastal dependent development minimises the risk to people and property from adverse coastal erosion impacts by:</p> <ul style="list-style-type: none"> (a) installing and maintaining coastal protection works; or (b) locating, designing and constructing relevant buildings or structures to withstand coastal erosion impacts; or (c) allowing for natural fluctuations of the coast to occur, including appropriate allowance for climate change and sea level rise, and avoids the need for additional coastal protection work. 	
<p>PO6 Development in an erosion prone area must demonstrate that it will:</p> <ul style="list-style-type: none"> (a) maintain, protect and enhance vegetation on coastal landforms outside a port, where its removal or damage may: <ul style="list-style-type: none"> (i) destabilise the area and increase the potential for erosion; or (ii) interrupt natural sediment trapping processes; or (iii) interrupt dune or land building processes; (b) maintain sediment volumes of dunes and near-shore coastal landforms, or where a reduction in sediment volumes can not be avoided, increased risks to development from coastal erosion are mitigated by location, design, construction and operating standards; (c) maintain physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast; (d) prevent increasing the risk of shoreline erosion for areas adjacent to the development footprint unless the development is an erosion control structure; and (e) allow for natural fluctuations of the coast to occur which minimises the need for additional coastal protection work. <p>Editor's note—A report that is certified by a registered professional engineer with a development application is to be submitted.</p>	<p>No acceptable outcome is nominated.</p>
<p>Development in coastal hazard areas – medium or high hazard area</p> <p>Editor's note—Refer to overlay map OM-6B</p>	
<p>PO7 Development within an urban area (including residential, rural residential and emerging community zones) that is not for a coastal-</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>dependent development, or temporary, readily relocatable or able to be abandoned structures or essential community infrastructure is:</p> <ul style="list-style-type: none"> (a) located outside the high hazard area; or (b) it is located, designed, constructed and operated to avoid adverse coastal hazard impacts (including impacts on the development's ongoing operation) as demonstrated by a risk assessment (addressing its vulnerability to storm tide inundation and the proposed access to and protection of evacuation routes), that must be prepared to support the development proposal. <p>Editor's note—Refer to SC6.7 – Coastal protection management planning scheme policy for further guidance.</p>	
<p>PO8 Development within an urban area (including residential and emerging community zones) and the rural residential zone, that is not for a coastal-dependent land use, or temporary, readily relocatable or able to be abandoned structures or essential community infrastructure is located outside a medium coastal hazard area unless:</p> <ul style="list-style-type: none"> (a) it does not result in an increase in the intensity of development on the site; or (b) the development is located, designed, constructed and operated to avoid adverse coastal hazard impacts (including impacts on the development's ongoing operation) as demonstrated by a risk assessment (addressing its vulnerability to sea-level rise and storm tide inundation and the proposed access to and protection of evacuation routes), that must be prepared to support the development proposal. <p>Editor's note—Refer to SC6.7 – Coastal protection management planning scheme policy for further guidance.</p>	No acceptable outcome is nominated.
<p>PO9 In non-urban areas, urban or rural residential development does not occur in a coastal hazard – medium or high hazard area.</p>	No acceptable outcome is nominated.
<p>PO10 Development avoids the release of hazardous materials during storm tide events.</p>	No acceptable outcome is nominated.
Public access	

Performance outcomes	Acceptable outcomes
<p>PO11 Development ensures public access to and along the state coastal land and coastal waters is provided to a safe and serviceable standard and is not impeded by private use of the coastal resource.</p>	No acceptable outcome is nominated.
Coastal-dependent development — minor public marine development	
<p>PO12 New minor public marine development co-locates with existing public marine infrastructure.</p>	No acceptable outcome is nominated.
<p>PO13 New locations for minor public marine development are only supported where:</p> <ul style="list-style-type: none"> (a) there are no public landing facilities servicing the same part of the Fitzroy River or to and along state coastal land; or (b) it is established that there is a demonstrated need for the facility in the proposed location. <p>Editor's note—Minor public marine development refers to maritime facilities such as boat ramps, pontoons, slipways, wharves and jetties that serve a public purpose.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO14 Development does not result in the creation of additional lots in areas subject to coastal hazards.</p>	<p>AO14.1 Reconfiguring a lot does not result in new lots within the coastal hazard – medium or high hazard.</p>
<p>PO15 Where land containing an erosion prone area identified on map OM-6A is required to create additional lots, the erosion prone area is to be maintained as a development-free buffer zone.</p>	No acceptable outcome is nominated.

8.2.7 Extractive resources overlay code

8.2.7.1 Application

This code applies to development where the code is identified in the table of assessment for the extractive resources overlay and applies to any areas shown on the extractive resources overlay map OM-7.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.7.2 Purpose

- (1) The purpose of the extractive resources overlay code is to ensure:
 - (a) Key Resource Areas (Benedict Road, Peak Hill and Pink Lily) are protected from development that might prevent or constrain current or future extraction when the need for the extractive resource arises; and
 - (b) extractive industry uses are operated in a way that minimises adverse impacts on surrounding land uses and environmental values.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) significant extractive resources and transport routes are separated and buffered from encroachment by sensitive land use(s);
 - (b) the future productive capacity and viability of both existing and future extractive industry uses and operations are protected from the intrusion of incompatible uses;
 - (c) adverse impacts on sensitive land use(s) are avoided; and
 - (d) development for the purpose of extractive industry:
 - (i) protects personal health and safety;
 - (ii) minimises adverse impacts on the amenity of surrounding land uses;
 - (iii) adequately provides for ongoing site rehabilitation and preparation for use after mining;
 - (iv) avoids adverse impacts on environmental values on external premises; and
 - (v) minimises adverse impacts on environmental values on the premises.

8.2.7.3 Specific benchmarks for assessment

Table 8.2.7.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Extractive resource/processing area	
<p>PO1 The long-term availability of the extractive resource for extraction or processing is maintained, except where it is demonstrated that:</p> <ol style="list-style-type: none"> (a) there is an overriding benefit to the community for the development to occur; and (b) the development can not reasonably be located elsewhere. <p>Editor's note—Applicants should have regard to State Planning Policy — State Interest Guideline – Mining and extractive resources in addressing this performance outcome.</p>	<p>AO1.1 Development is:</p> <ol style="list-style-type: none"> (a) for extractive industry; or (b) directly associated with extractive industry; or (c) for a use that will not constrain existing or future extractive industries.
Extractive resource/processing area and transport route separation areas	
<p>PO2 To protect the extractive resource and its associated adverse impacts, future development is compatible with the operation of the extractive resource by:</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (a) not involving a sensitive land use; (b) not increasing the number of people living within the separation areas for the resource/processing area, or transport route; (c) minimising adverse impacts from existing and future extractive industries on people working or congregating in the separation areas; (d) not compromising the function of the separation area as a buffer from incompatible uses outside the buffer separation areas; and (e) ensuring development avoids any impacts on existing and future development outside the separation areas. 	
<p>PO3 Development does not adversely affect the safe and efficient operation of vehicles transporting extractive materials.</p>	<p>AO3.1 Development:</p> <ul style="list-style-type: none"> (a) does not increase the number of access points to the transport route or ensures that any additional access points are designed to avoid adversely affecting the safe and efficient operation of vehicles transporting extractive materials; and (b) the number of vehicle trips generated by the development does not compromise the efficiency and safety of the transport route.
Operation	
<p>PO4 The operation of the extractive industry is designed and operated to minimise adverse impacts on surrounding areas.</p>	<p>AO4.1 Hard rock extraction involving blasting and processing activities is set back fifty (50) metres from any road and any land that is not being used for extractive industry purposes.</p> <p>AND</p> <p>AO4.2 Blasting is limited to Monday to Saturday 09:00 to 17:00.</p> <p>AND</p> <p>AO4.3 Blasting does not result in materials escaping or being ejected from the premises.</p> <p>AND</p> <p>AO4.4 Security fencing is provided for the entire perimeter of the premises.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO4.5 A vegetation buffer of ten (10) metres in width is retained or provided around the perimeter of the premises that encloses all extraction areas and stockpiles.</p> <p>AND</p> <p>AO4.6 Water from, around and within the area of operation is managed so that it does not adversely affect the quantity and quality of groundwater or receiving surface waters.</p>
Effects of development	
<p>PO5 Development incorporates design, orientation and construction measures that mitigate the potential adverse impacts on the development as a result of existing or future extractive industry, (including processing and transporting extractive materials) to acceptable levels.</p> <p>Editor's note—Impacts include, but are not limited to, noise, dust, ground vibration, or air blast overpressure.</p>	No acceptable outcome is nominated.
<p>PO6 The extractive industry use is screened from any adjoining major road.</p>	No acceptable outcome is nominated.
<p>PO7 Development avoids or minimises adverse impacts on areas of environmental significance, ecological processes and biodiversity values external to the premises.</p>	No acceptable outcome is nominated.
Rehabilitation	
<p>PO8 Development provides for the rehabilitation of the premises to restore as far as is reasonably practicable, the conservation values that existed on the premises prior to the extractive industry commencing.</p> <p>Editor's note—A rehabilitation plan and expert ecological advice may be required to demonstrate achievement of this performance outcome.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO9 Development does not result in the creation of additional lots within the Key Resource Areas shown on the extractive resources overlay map OM-7.</p>	No acceptable outcome is nominated.

8.2.8 Flood hazard overlay code

8.2.8.1 Application

This code applies to development where the code is identified in the table of assessment for the flood hazard overlay and applies to any areas within a defined flood event hazard area as identified on the following overlay maps:

- (1) Fitzroy River flood overlay map OM-8A; or
- (2) Floodplain investigation area overlay map OM-8B; or
- (3) Local catchment flood overlay map OM-8C

Where flood mapping overlaps the highest category of hazard prevails.

Note—That:

- (1) for the Fitzroy River flood areas the defined flood level has been modelled for a one (1) per cent annual exceedance probability (AEP). The defined flood event inundation extents and associated hazard areas are shown on Fitzroy River flood overlay map OM-8A;
- (2) the floodplain investigation area is the inundation extent as shown on Floodplain investigation area overlay map OM-8B. The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed; and
- (3) for local catchment flood affected areas the defined flood level has been modelled for a one (1) per cent annual exceedance probability (AEP). The defined flood event inundation extents are shown on the local catchment flood overlay map OM-8C.

Note—The flood hazard overlay area is a natural hazard area. Within this area, susceptibility to flood has been identified. The planning scheme provisions only apply to that part of the land which is affected by the overlay.

Note—The flood hazard overlay code provisions do not apply to an approved building envelope established in response to flood hazard and secured by a valid development approval given under this or a previous planning scheme.

Note—Where flood mitigation works are completed the provisions contained within this code apply regardless.

Editor's note—For the purposes of Section 13 (1) of the Building Regulations 2006, the flood hazard areas defined by the planning scheme under maps OM-8A, OM-8B, OM-8C are also designated to be the flood hazard areas.

Editor's note—For the purposes of Section 13 (1) of the Building Regulations 2006, Rockhampton Regional Council declares that the finished floor level in a flood hazard area must be a minimum of 500 millimetres above the defined flood level.

Editor's note—Council will make available (where flood modelling has been undertaken) the height of the defined flood level for any particular location upon request. The applicant must be aware that in some areas, coastal hazards, such as storm tide inundation may also affect land.

Editor's note—Floods larger than the defined flood event can occur, which may cause development at the margins of the natural hazard management area (flood) to be indirectly affected by flooding and therefore may not be able to serve their critical function. Particular attention should be paid to essential community infrastructure and table 8.2.8.3.3 – essential community infrastructure and community facilities and public assets for their respective flood immunities.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.8.2 Purpose

- (1) The purpose of the flood hazard overlay code is to manage development outcomes in flood prone areas so that risk to life, property, community and the environment as a result of flood is avoided or minimised. Development does not increase likelihood or consequences of flood damage, either on-site or to any other property or infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is compatible with the level of risk associated with the flood hazard, and development siting, layout and access responds to the flood hazard and avoids an unacceptable risk to personal safety;
 - (b) development is resilient to flood hazard events by ensuring siting and design and does not expose people and property to unacceptable risk in all flood hazard events;
 - (c) development does not increase the potential for damage on the site or to other properties or infrastructure;

- (d) there is no further intensification of residential, commercial, retail and industrial uses within the Fitzroy River flood areas H3 – H6 (high and extreme areas) and Local catchment planning area 1;
- (e) new development within Fitzroy River flood areas H1 – H2 (low and medium areas), North Rockhampton Flood Management Area and Local catchment planning area 2 must not increase the known flood risk through appropriate flood resilient siting and design methods;
- (f) no additional lots are created in the Fitzroy River flood hazard areas, North Rockhampton Flood Management Area or Local catchment planning areas;
- (g) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment;
- (h) wherever practical, essential community infrastructure, community facilities and supporting infrastructure are located and designed to function effectively during and immediately after flood events;
- (i) development contributes to effective and efficient disaster management response and recovery capabilities; and
- (j) natural processes and the protective function of landforms and vegetation are maintained in flood hazard areas.

Editor's note—Buildings or structures within a designated flood hazard area must meet the requirements of the Queensland Development Code – MP3.5 – Construction of buildings in flood hazard areas.

8.2.8.3 Specific benchmarks for assessment

Table 8.2.8.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Development in Fitzroy River flood area – H1 (low hazard area) or H2 (medium hazard area) or North Rockhampton Flood Management Area or local catchment flood – planning area 2	
Editor's note—Refer to overlay maps OM-8A and OM-8C	
PO1 Development (including extensions) for non-residential purposes is able to provide a safe refuge for people and for the storage of goods during times of flood inundation.	AO1.1 For non-residential development, at least thirty (30) per cent of the gross floor area of all new buildings and structures is located a minimum of 500 millimetres above the defined flood level. Editor's note—Areas less than those nominated above may be supported where accompanied by a flood impact report in accordance with SC6.10 — Flood hazard planning scheme policy. AND AO1.2 A report from a registered professional engineer Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.
PO2 Development is located to minimise susceptibility to and potential impacts of flooding.	AO2.1 For residential uses the finished floor levels of all habitable rooms shall be constructed a minimum of 500 millimetres above the defined flood level. AND

Performance outcomes	Acceptable outcomes
	<p>AO2.2 A report from a registered professional engineer of Queensland certifies that the development in the flood area will not result in a material increase in flood level or flood hazard on upstream, downstream or adjacent properties.</p> <p>Editor's note—Report to be prepared in accordance with SC6.10—Flood hazard planning scheme policy.</p>
<p>PO3 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO3.1 All hazardous materials and hazardous manufacturing equipment and hazardous containers are located and stored a minimum of 500 millimetres above the defined flood level.</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated regulation, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances.</p>
<p>Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas) or Local catchment flood – planning area 1</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO4 Development does not involve the further intensification of land uses and does not increase the risk to people and property.</p> <p>Editor's note—Flood hazard risk assessment can be undertaken in accordance with SC6.10 — Flood hazard planning scheme policy.</p>	<p>AO4.1 AO4.1.1 Development does not involve new buildings or structures.</p> <p>OR</p> <p>AO4.1.2 Where involving the replacement or alteration to an existing non-residential building or structure:</p> <ul style="list-style-type: none"> (a) there is no increase in the existing or previous buildings' gross floor area; and (b) the finished floor level of any replacement or alteration to an existing building is constructed a minimum of 500 millimetres above the defined flood level. <p>OR</p> <p>AO4.1.3 Where involving the replacement or alteration to an existing caretakers' accommodation, dwelling house or dwelling unit:</p> <ul style="list-style-type: none"> (a) there is no increase in the number of dwellings; (b) there is no increase in the existing or previous buildings' gross floor area; and (c) the finished floor level of all habitable rooms shall be constructed a minimum

Performance outcomes	Acceptable outcomes
	<p>of 500 millimetres above the defined flood level.</p> <p>AND</p> <p>AO4.1.4 Where located in the rural zone, the total floor area of class 10a buildings and structures on the site do not exceed a total of fifty (50) square metres, and are set back a minimum of twenty (20) metres from all site boundaries.</p>
<p>PO5 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO5.1 Materials manufactured, used or stored on site are not hazardous in nature.</p>
<p>Development in floodplain investigation area</p> <p>Editor's note—Refer to overlay map OM-8B</p>	
<p>PO6 Development is located to minimise susceptibility to and potential impacts of flooding.</p> <p>Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.</p>	<p>AO6.1 Flood resilience is optimised by ensuring new habitable rooms are located on the highest part of the site to minimise entrance of floodwaters.</p>
<p>PO7 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO7.1 Materials manufactured, used or stored on site are not hazardous in nature.</p>

Table 8.2.8.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
<p>Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or local catchment flood – all planning areas</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO8 Development is located to minimise susceptibility to and potential impacts of flooding.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO9 Underground car parks are designed to prevent the intrusion of floodwaters.</p>	<p>AO9.1 Development with underground car parking is designed to prevent the intrusion of floodwaters by the incorporation of a bund or similar barrier a minimum of 500 millimetres above the defined flood level.</p>
<p>PO10 Development:</p> <ul style="list-style-type: none"> (a) Does not result in any reduction of onsite flood storage capacity; or (b) Does not result in any change to depth, duration or velocity of floodwaters within the premises; and (c) does not change flood characteristics outside the premises, including but not limited to causing: 	<p>No acceptable outcome is nominated.</p>

<ul style="list-style-type: none"> (i) loss of flood storage; or (ii) loss of or changes to flow paths; or (iii) acceleration or retardation of flows; or (iv) any reduction in flood warning times elsewhere on the floodplain. <p>Editor's note—Council may require the applicant to submit a site-based flood study that investigates the impact of the development on the floodplain and demonstrates compliance with the relevant performance outcome.</p>	
<p>PO11 Essential community infrastructure and community facilities are protected from, and able to function effectively during and immediately after, a defined flood event.</p>	<p>AO11.1 A use for a purpose listed in Table 8.2.8.3.3: (a) is not located within the flood hazard area; and (b) has at least one (1) flood free access road.</p>
<p>PO12 Development provides safe and trafficable access to the local evacuation centres and evacuation services and have regard to:</p> <ul style="list-style-type: none"> (a) evacuation time; (b) number of persons affected; (c) types of vehicles necessary for evacuation purposes; (d) the distance to flood free land; and (e) the evacuation route. 	<p>AO12.1 Trafficable access to and from the development complies with the Capricorn Municipal Development Guidelines.</p> <p>AND</p> <p>AO12.2 Trafficable access to and from the development within the local catchment planning areas are in accordance with the Queensland Urban Drainage Manual.</p> <p>Note—Trafficable access for emergency services or community related uses is obtained from at least one (1) route (minor collector or higher) for emergency services purposes. The development is to ensure that safe access, to the road network between the development site and the closest centre zone, is provided.</p> <p>Editor's note—Trafficable access requirements for local catchment planning areas has not been identified and reference has been made to the provisions under the Queensland Urban Drainage Manual. This is due to the short period that property may be isolated.</p>
<p>Development in Fitzroy River flood areas – H3-H4 (high hazard areas) or H5-H6 (extreme hazard areas), North Rockhampton flood management area or Local catchment flood – planning area 1</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO13 Development that involves temporary or moveable residential structures (for example caravan parks and camping grounds) are not located within the Fitzroy River high and extreme hazard areas, North Rockhampton flood management area or Local catchment planning area 1.</p>	<p>No acceptable outcome is nominated.</p>
<p>Reconfiguring a lot</p> <p>Development in Fitzroy River flood area – all hazard areas, North Rockhampton Flood Management Area or local catchment flood – all planning areas</p> <p>Editor's note—Refer to overlay maps OM-8A and OM-8C</p>	
<p>PO14</p>	<p>AO14.1</p>

Development does not result in the creation of additional lots.	Reconfiguring a lot does not result in new lots.
Development in floodplain investigation area	
Editor's note—Refer to overlay map OM-8B	
<p>PO15 Development provides vehicle access to a road network that is sufficient to enable safe access.</p> <p>Editor's note—The floodplain investigation area is mapping supplied by the Queensland Reconstruction Authority for possible flood affected areas, where local verification is yet to be completed. A flood hazard assessment in accordance with SC6.10 — Flood hazard risk planning scheme policy can be undertaken to verify the potential risk of a flood event occurring.</p>	No acceptable outcome is nominated.
<p>PO16 Onsite access is provided to a building envelope or fill area in which a building is to be constructed. The access is located on land classified as a low flood hazard in the defined flood event.</p>	<p>AO16.1 Onsite access to a building envelope or fill area is provided over land that is designated as a low flood hazard.</p> <p>Editor's note—For the purposes of the above requirements in respect of an access area or a road which provides access to the development a low flood hazard means:</p> <ul style="list-style-type: none"> (a) inundation is a maximum depth of 300 millimetres during events up to and including the defined flood event; (b) inundation extends for a maximum distance of 200 metres during events up to and including the defined flood event; and (c) The product of velocities and depth does not exceed $D \cdot V = 0.4 \text{m}^2/\text{s}$.
Operational work	
<p>PO17 Development does not materially impede the flow of floodwaters through the site or worsen flood flows external to the site.</p>	<p>AO17.1 Development does not involve:</p> <ul style="list-style-type: none"> (a) filling with a height greater than 100 millimetres; or (b) block or solid walls or fences; or (c) garden beds or other structures with a height more than 100 millimetres; or (d) the planting of dense shrub hedges.

Table 8.2.8.3.3 —Essential community infrastructure and community facilities and public assets

Use	Flood event level per cent annual exceedance probability
Emergency services	0.2
Emergency/evacuation shelters	0.5
Fire and police stations	0.5
Hospitals and associated facilities	0.2
Stores of valuable record or items of historic/cultural significance.	0.2
Air services	0.5
Telecommunications facilities	0.5
Power stations	0.2
Major electricity infrastructure	0.2
Substations	0.5
Sewage treatment plants	1.0
Water treatment plants	0.2

Use	Flood event level per cent annual exceedance probability
Retirement facility, residential care facility and community residence	0.5
Community related uses (including child care centres and educational establishments)	0.5
Regional fuel storage	0.5
Food storage warehouse	0.5

Editor's note—0.5 per cent annual exceedance probability and 0.2 per cent annual exceedance probability mapping is only available for some areas within the region. The applicant will be required to provide sufficient detail in the form of a flood impact report for development within areas that are not mapped in accordance with SC6.10 — Flood hazard planning scheme policy.

Editor's note—Cultural significance means aesthetic, architectural, historical, scientific spiritual or other significance to the present generation or past or future generations.

8.2.9 Heritage place overlay code

8.2.9.1 Application

This code applies to development where the code is identified in the table of assessment for the heritage place overlay and applies to the areas adjoining a heritage place as shown on heritage place overlay map OM-9 and to the local heritage place (including areas adjoining) as identified on the local heritage place register (refer to SC6.13 – Local heritage planning scheme policy) and overlay map OM-9.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—For the purposes of this overlay code the term “heritage place” refers to premise(s) that are listed on the Queensland Heritage Register under the *Queensland Heritage Act 1992*. Development on these sites is regulated by the Queensland State Government. The provisions contained in this code referring to ‘areas adjoining a heritage place’ are relevant to places identified on OM-9 being “areas adjoining heritage place”.

8.2.9.2 Purpose

- (1) The purpose of the heritage place overlay code is to ensure that:
 - (a) development retains the significance of the local heritage place; and
 - (b) development adjoining a heritage place or adjoining a local heritage place is sympathetic to the cultural significance of the site or area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the significance of the local heritage place is retained and their conservation supported;
 - (b) ensuring that adjoining and surrounding land uses and developments are of a nature and scale that does not compromise the cultural heritage significance of a site or area;
 - (c) development adjoining a heritage place or adjoining a local heritage place does not visually detract or cause adverse impacts on significant views or the visual setting;
 - (d) development avoids or minimises adverse impacts on the cultural heritage significance of a place;
 - (e) ensuring that development respects and incorporates any relevant aspects of indigenous cultural interests and values in the heritage place; and
 - (f) conserving the biodiversity and geodiversity of the local heritage place.

8.2.9.3 Specific benchmarks for assessment

Table 8.2.9.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Building work — demolition or removal —	local heritage place
<p>PO1 All building work in the form of demolition or removal is only undertaken when there is a significant safety concern for the wellbeing of people and property due to structural stability. If demolition or removal is required the original features of the place are recorded digitally.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared by a suitably qualified person as detailed in SC6.13 — Local heritage planning scheme policy.</p>	<p>AO1.1 AO1.1.1 Demolition is only undertaken where a report prepared by a suitably qualified conservation architect or conservation engineer demonstrates that the building is structurally unsound and is not reasonably capable of repair.</p> <p>OR</p> <p>AO1.1.2 Only minimal and necessary demolition is performed in the course of repairs, maintenance or restoration.</p>

Performance outcomes	Acceptable outcomes
	<p>OR</p> <p>AO1.1.3 Demolition is performed following a catastrophic event (such as fire, landslide and flooding) which substantially destroys the building.</p> <p>AND</p> <p>AO1.2 In every case where a local heritage place is demolished (partially or wholly) or removed, an archival quality photographic record of the local heritage place, including its features, is made prior to demolition or removal and lodged with Council.</p>
Within a local heritage place	
<p>PO2 All development undertaken on the site of a local heritage place retains and protects the cultural heritage significance and values of the heritage place.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance.</p>
<p>PO3 Development protects the fabric and setting of the local heritage place while providing for its use, interpretation and management.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understanding and assessing cultural significance.</p>
<p>PO4 Development addresses all issues relevant to the conservation of the local heritage place and in accordance with any conservation management plans applying to the place.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Preparing studies and reports: contractual and ethical issues.</p>
<p>PO5 Reuse of a local heritage place occurs by: (a) retaining or restoring the original use; or (b) not requiring significant modification to the fabric; or (c) other means that results in the use of the premises in a manner that ensures its conservation.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Where necessary a heritage impact assessment report is prepared verifying the proposal is in accordance with the Burra Charter Practice Note — Understand and assessing cultural significance.</p>
<p>PO6 Development does not impact on any culturally significant values that are identified by the indigenous people to whom the place is significant.</p>	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Heritage places with indigenous cultural values are assessed by a suitably qualified person and as detailed in SC6.13 — Local heritage planning scheme policy.</p>
Adjoining a heritage place or local heritage place	
<p>PO7 Development is sympathetic to, and consistent with the significant features and values of the heritage place or local heritage place, including: (a) maintaining significant views;</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
(b) consistency of built form and setback; (c) scale; (d) potential for overshadowing; and (e) consistency with open space and landscape features.	
PO8 Development on Quay Street or East Street does not adversely affect the fabric and setting of the heritage place or streetscape.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO9 Reconfiguring a lot does not: (a) reduce public access to the local heritage place; or (b) create the potential to adversely affect significant views to and from the local heritage place; or (c) obscure, destroy or disrupt any pattern of historic subdivision, the historical context, the landscape settings or the scale and consistency of urban precincts relating to the local heritage place.	No acceptable outcome is nominated.

8.2.10 Special management area overlay code

8.2.10.1 Application

This code applies to development where the code is identified in the table of assessment for the special management area overlay and applies to any areas identified on the special management area overlay map OM-10.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.10.2 Purpose

- (1) The purpose of the special management area overlay is to identify areas that may be impacted upon by industrial or landfill activities.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development does not compromise existing or future industrial development or existing landfill sites;
 - (b) development is designed and located to protect the health, well-being, amenity and safety of communities and individuals from the impacts of air, light, noise and odour emissions, and from the impacts of hazardous materials that could result from locating in proximity to industrial or landfill uses;
 - (c) the establishment of new or the further intensification (except for minor alterations or extensions) of existing sensitive land use(s) does not occur; and
 - (d) reconfiguring a lot does not increase the number of people residing permanently in the area on a long-term basis.

8.2.10.3 Specific benchmarks for assessment

Table 8.2.10.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Dwelling house or dwelling unit	
PO1 Development does not involve the further intensification of sensitive land use(s).	AO1.1 Where involving the replacement, alteration or extension to an existing dwelling house or dwelling unit: <ol style="list-style-type: none"> (a) there are no secondary dwellings; and (b) there is to be no more than a twenty (20) per cent increase in the existing or previous buildings gross floor area. AND AO1.2 No new dwelling house(s) to be established.

Table 8.2.10.3.2 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
<p>Effects of development</p> <p>PO2 Development does not result in a sensitive land use being exposed to air, noise and odour emissions that impact upon human health, amenity and well-being.</p>	<p>AO2.1 The development is designed to ensure that:</p> <ul style="list-style-type: none"> (a) the indoor noise objectives set out in the <i>Environmental Protection (Noise) Policy 2019</i> are met; (b) the air quality objectives in the <i>Environmental Protection (Air) Policy 2019</i>, and any relevant national or international standard (for example, the World Health Organisation Guidelines for Air Quality 2000) are met; and (c) the odour impacts are assessed in accordance with the State Planning Policy (Emissions and hazardous activities) and Queensland Odour Impact Assessment Guideline. <p>Editor's note—An air, noise or hazard impact assessment can be prepared by a suitably qualified professional to demonstrate compliance with AO2.1. Refer to SC6.3 — Air, noise and hazard assessments planning scheme policy to determine the minimum requirements for an air, noise or hazard assessment.</p>
<p>PO3 Development incorporates design measures, to minimise any adverse effects, including, but not limited to:</p> <ul style="list-style-type: none"> (a) landscaping; (b) setting back sensitive land use(s) from existing and future industrial noise sources; (c) positioning buildings in the most appropriate geographic locations (for example placing bedrooms away from existing and future industrial noise sources); (d) using barriers, mounds and fences; and (e) screening sensitive land use from industrial noise sources. 	<p>No acceptable outcome is nominated.</p>
Reconfiguring a lot	
<p>PO4 No further lots are created which could result in the increased number of persons living within proximity to an industrial or land fill use.</p>	<p>AO4.1 No additional lots are created.</p>

8.2.11 Steep land overlay code

8.2.11.1 Application

This code applies to development where the code is identified in the table of assessment for the steep land overlay and applies to any areas on steep land overlay map OM-11.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—The steep land overlay area is a trigger to determine whether land is susceptible to landslide.

8.2.11.2 Purpose

- (1) The purpose of the steep land overlay code is to ensure that:
 - (a) development does not materially increase the extent or the severity of landslide hazard; and
 - (b) risk to life, property, community and the environment during landslides is avoided.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids an unacceptable increase in the severity of a potential landslide event and does not materially increase the potential for damage on the site or to other properties;
 - (b) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a landslide event;
 - (c) development ensures that vegetation clearing and filling or excavation on a site does not increase the risk of landslide;
 - (d) development contributes to effective and efficient disaster management response and recovery capabilities; and
 - (e) essential community infrastructure is located and designed to function effectively during and immediately after landslide events.

8.2.11.3 Specific benchmarks for assessment

Editor's note—A site-specific geotechnical analysis may be required to be undertaken and certified by a qualified registered professional engineer appropriately experienced in slope stability investigations to be in accordance with Australian Geomechanics Society Volume 42 No 1 March 2007. Development must be certified by such an engineer as having been undertaken in accordance with all recommendations of these geotechnical investigations.

Table 8.2.11.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
All development	
PO1 Development incorporates design measures for the development (including ancillary buildings, structures and swimming pools) to ensure: <ol style="list-style-type: none"> (a) the long-term stability of the site considering the full nature and end use of the development; (b) site stability during all phases of construction and development; (c) people and property are protected from a potential landslide event; and (d) adjoining properties are not impacted by a potential landslide event. 	No acceptable outcome is nominated. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.
PO2	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
Vegetation clearing on site does not increase the risk of a landslide event occurring.	Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.
PO3 Development involving the manufacture or storage of hazardous materials in bulk is not at risk from a landslide event.	AO3.1 The manufacture or storage of hazardous materials in bulk does not occur within the steep land overlay area.
PO4 Emergency services and community uses are able to function effectively during and immediately after landslide events.	No acceptable outcome is nominated.
Reconfiguring a lot	
PO5 Development ensures that on all new lots: (a) future building location is not located on part of the site subject to a potential landslide; (b) the need for excessive work or changes to the finished landform to construct a building or vehicular access route within the development envelope nominated is avoided; and (c) future building will not be adversely affected by, or be at unacceptable risk from, landslide activity originating on sloping land above the site. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this performance outcome.	AO5.1 When a development footprint has a slope of, or greater than fifteen (15) per cent, each new lot has a minimum size and road frontage in accordance with Table 8.2.11.3.2. Note—The minimum lot size and road frontage stated in Table 8.2.11.3.2 prevails over the reconfiguring a lot code to the extent of any inconsistency. AND AO5.2 The development has: (a) a frontage to a formed road; and (b) any section of a driveway or road internal to a site is not steeper than twenty-five (25) per cent.
Operational works	
PO6 Filling and excavation does not: (a) occur on land that has a slope greater than or equal to fifteen (15) percent; and (b) alter the existing flow of surface water or groundwater on the site.	No acceptable outcome is nominated. Editor's note—The preparation of a site specific geotechnical assessment report or landslide risk assessment in accordance with SC6.11 — Geotechnical report planning scheme policy can assist in demonstrating compliance with this acceptable outcome.

Table 8.2.11.3.2 — Minimum lot size and road frontage widths for slopes

Slope	Minimum lot size	Minimum road frontage width
Equal to, or greater than fifteen (15) per cent but less than twenty (20) per cent	1,400 square metres	Twenty-five (25) metres
Equal to, or greater than twenty (20) per cent but less than twenty-five (25) per cent	1,700 square metres	Twenty-five (25) metres
Equal to, or greater than twenty-five (25) per cent	2,000 square metres	Thirty (30) metres

8.2.12 Water resource catchments overlay code

8.2.12.1 Application

This code applies to development where the code is identified in the table of assessment for the water resource catchments overlay and applies to any areas shown on the water resource catchments overlay map OM-12.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.2.12.2 Purpose

- (1) The purpose of the water resource catchments overlay code is to ensure that development of land within water resource catchments is managed to protect the water quality of the catchment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development does not adversely impact upon the quality or quantity of water entering:
 - (i) The barrage and Fitzroy River catchment buffer; or
 - (ii) Dam No.7 (Mount Morgan) catchment buffer; or
 - (iii) Fletcher's Creek weir catchment buffer; or
 - (iv) any proposed dam or weir.

8.2.12.3 Specific benchmarks for assessment

Table 8.2.12.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Separation distances	
<p>PO1 Separation between development and watercourses, lakes and springs in the catchment are sufficient to preserve riparian areas, including riparian vegetation, and their capacity to maintain water quality by filtering sediments, nutrients and other pollutants.</p>	<p>AO1.1 Development connected to reticulated sewerage is not located within 100 metres of:</p> <ol style="list-style-type: none"> (a) the high bank of the water body; or (b) the full supply level (or planned full supply level) of the water body; or (c) the flood margin reserve of the water body, <p>whichever will provide the greatest distance from the water edge of the water body.</p> <p>AND</p> <p>AO1.2 Development requiring on site sewerage disposal is not located within:</p> <ol style="list-style-type: none"> (a) a minimum of 100 metres of the high bank of the water body; or (b) a minimum of 400 metres of the full supply level (or planned supply level) or flood margin reserve of the water body, <p>whichever is the greatest distance from the water edge of the water body.</p> <p>AND</p> <p>AO1.3 Endemic vegetation is retained or reinstated within the riparian areas.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO1.4 Riparian areas are fenced to restrict stock access.</p>
Stormwater management	
<p>PO2 Development involving building work or operational work has suitable measures to protect water quality and mitigate the potential adverse impacts of water runoff.</p>	No acceptable outcome is nominated.
On-site sewerage facility	
<p>PO3 The siting, installation and operation of a domestic on-site sewerage or wastewater system must:</p> <ul style="list-style-type: none"> (a) ensure that the effects of the facility are contained within the property boundaries; (b) have no adverse impacts on catchment water quality; and (c) minimise the risk of contamination of catchment waters due to failure of on-site wastewater disposal systems and export of pollutants and sediments via stormwater run-off. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Site and soil evaluation process in the Queensland Plumbing and Wastewater Code (2011) may be used to determine the suitability of each lot for an on-site sewerage or wastewater facility and the land requirements of the facility to achieve acceptable outcome for separation distances.</p> <p>Editor's note—Council may require covenant areas to be identified for each lot to identify separation distance restrictions.</p>
Operational work (including work associated with reconfiguring a lot)	
<p>PO4 Work that disturbs soil, including filling and excavating do not adversely affect catchment water quality.</p>	<p>AO4.1 No filling or excavation is undertaken in any watercourse or waterway.</p>
<p>PO5 Any changes to the run-off characteristics of a site are minimised in an ecologically sensitive manner and do not adversely affect catchment water quality.</p>	No acceptable outcome is nominated.
Reconfiguring a lot	
<p>PO6 The size and configuration of any additional lots ensures that adverse impacts on catchment water quality and public health risks are minimised.</p>	No acceptable outcome is nominated.
<p>PO7 Development ensures that riparian vegetation is retained.</p>	No acceptable outcome is nominated.

[Intentionally blank]

Part 9 Development codes

9.1 Preliminary

- (1) Development codes are codes for assessment where identified as an applicable code in Part 5.
- (2) Use codes and other development codes are specific to each planning scheme area.
- (3) The following are the use codes for the planning scheme:
 - (a) Extractive industry code; and
 - (b) Telecommunications facilities and utilities code;
- (4) The following are the other development codes for the planning scheme:
 - (a) Access, parking and transport code;
 - (b) Advertising devices code;
 - (c) Filling and excavation code;
 - (d) Landscape code;
 - (e) Reconfiguring a lot code;
 - (f) Stormwater management code;
 - (g) Waste management code;
 - (h) Water and sewer code; and
 - (i) Works code.

9.2 Use codes

9.2.1 Extractive industry code

9.2.1.1 Application

This code applies to an extractive industry use when not subject to the extractive resource overlay (key resource area).

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.2.1.2 Purpose

- (1) The purpose of the extractive industry code is to facilitate the development of extractive resources, while ensuring the protection of the environment, landscape values and sensitive land use(s). Extractive industry must be protected from developments that constrain the safe and efficient ongoing operation. Once an extractive industry use has ceased, the site is satisfactorily rehabilitated.
- (2) The purpose of this code is achieved through the following overall outcomes:
 - (a) the layout, design, operation and management of the use minimises impacts upon the natural environment and sensitive land use(s), this includes impacts upon natural features and processes both on-site and on adjoining areas;
 - (b) haul routes meet the needs of the traffic generated by the use without compromising the safety and efficiency of the route;
 - (c) the use achieves an acceptable standard of visual amenity, by reducing visual intrusion onto residential zoned areas and sensitive land use(s); and
 - (d) the site is rehabilitated (following the cessation of the use) to minimise the impacts upon the environment, improve visual amenity and landform layout and provide for a suitable land use following the completion of extraction.

9.2.1.3 Specific benchmarks for assessment

Table 9.2.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes										
Scale of use											
<p>PO1 Extractive industries are appropriately separated from urban areas and sensitive land use(s) to minimise visual and noise impacts.</p>	<p>AO1.1 The extractive industry use is separated by the following distances from the nearest sensitive land use and residential zone, rural residential zone, emerging community zone:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #ccc;">Operation</th> <th style="background-color: #ccc;">Separation distance</th> </tr> </thead> <tbody> <tr> <td>Extractive industry operation involving blasting</td> <td>1,000 metres</td> </tr> <tr> <td>A hard rock extractive industry</td> <td>500 metres</td> </tr> <tr> <td>A sand and gravel extractive industry</td> <td>200 metres</td> </tr> <tr> <td>A designated onsite haul route</td> <td>100 metres</td> </tr> </tbody> </table>	Operation	Separation distance	Extractive industry operation involving blasting	1,000 metres	A hard rock extractive industry	500 metres	A sand and gravel extractive industry	200 metres	A designated onsite haul route	100 metres
Operation	Separation distance										
Extractive industry operation involving blasting	1,000 metres										
A hard rock extractive industry	500 metres										
A sand and gravel extractive industry	200 metres										
A designated onsite haul route	100 metres										
<p>PO2 Where practical the extractive industry is to be screened from nearby sensitive land use(s) or residential zoned areas and from state controlled roads.</p>	<p>AO2.1 A vegetated buffer, having a minimum width of thirty (30) metres, is to be provided along all boundaries of the site.</p> <p>AND</p>										

Performance outcomes	Acceptable outcomes
	<p>AO2.2 No vegetation is cleared outside the resource/processing area (includes future approved stages) or haulage routes.</p>
Effects of development	
<p>PO3 The operation of the extractive industry ensures that noise impacts are minimised on the surrounding area.</p>	<p>AO3.1 Blasting operations are limited to Monday to Friday between the hours of 09:00 to 17:00.</p> <p>AND</p> <p>AO3.2 Extraction, crushing, screening, loading, operation of plant equipment, ancillary activities and haulage are limited to Monday to Saturday between the hours of 06:00 and 18:00.</p> <p>AND</p> <p>AO3.3 Operations do not occur on Sunday or public holidays.</p> <p>AND</p> <p>AO3.4 Maintenance of equipment and vehicles outside of normal operating hours is carried out so as not to cause nuisance to nearby sensitive land use(s).</p> <p>AND</p> <p>AO3.5 Vibration levels do not exceed the acoustic quality objectives contained in the <i>Environmental Protection (Noise) Policy 2019</i>.</p>
<p>PO4 The development minimises dust impacts upon adjoining properties.</p>	<p>AO4.1 Internal roads are sealed and dust impacts are contained onsite.</p> <p>AND</p> <p>AO4.2 Materials carried by heavy vehicles are covered.</p> <p>AND</p> <p>AO4.3 Air pollution levels do not exceed the air quality objectives contained in the <i>Environmental Protection (Air) Policy 2019</i>.</p>
<p>PO5 The development does not compromise public safety.</p>	<p>AO5.1 Security fencing is provided for the full length of the perimeter of the site and around extractive industry stockpiles and operations.</p>

Performance outcomes	Acceptable outcomes
<p>PO6 On-site drainage is designed, constructed and maintained to:</p> <ul style="list-style-type: none"> (a) prevent ponding in excavated areas; (b) avoid erosion; (c) prevent pollution of groundwater and surface water; and (d) provide opportunities to conserve and reuse water on the site. 	<p>AO6.1 Banks and channels are constructed to divert stormwater runoff away from excavated areas.</p> <p>AND</p> <p>AO6.2 Sediment basins are provided as required to detain stormwater runoff from disturbed areas such that there is no offsite discharge likely to cause environmental harm.</p> <p>AND</p> <p>AO6.3 Bunding, treatment and disposal of wastes is carried out such that no environmental harm is caused.</p> <p>AND</p> <p>AO6.4 Lining or other suitable treatment of erosion prone areas is established and maintained at discharge points.</p>
<p>PO7 Extraction works and rehabilitation are to be carried out to minimise the potential for impacts on the environment (such as from stormwater run-off and erosion) and to retain the basic natural qualities and appearance of the site.</p>	<p>AO7.1 Disused buildings and structures are removed from the site after extraction is completed.</p> <p>AND</p> <p>AO7.2 The site is rehabilitated once operations have ceased in accordance with an approved rehabilitation plan.</p>
Parking, access and transport	
<p>PO8 The transportation of materials from the site does not significantly impact upon the road system or sensitive areas.</p>	<p>AO8.1 The haul route is along roads that are sealed.</p> <p>AND</p> <p>AO8.2 Haul routes, except when located on a state controlled road, are more than 100 metres from any sensitive land use or land in a residential zone or rural residential zone.</p> <p>AND</p> <p>AO8.3 Road access is of a standard sufficient to carry traffic generated by the extractive industry. The applicant is to cover ongoing costs on Council's road networks that are generated by the extractive industry during the life of the operation.</p>

9.2.2 Telecommunications facilities and utilities code

9.2.2.1 Application

This code applies to telecommunications facilities, utility installations, substations and major electricity infrastructure where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

Editor's note—Low impact telecommunication facilities and minor electricity infrastructure are not regulated by the planning scheme. Low impact telecommunications facilities are required to comply with the *Telecommunications (low-impact facilities) Determination 1997*. Low impact facilities remain the responsibility of the Commonwealth.

9.2.2.2 Purpose

- (1) The purpose of the telecommunications facilities and utilities code is to ensure that telecommunications facilities, utility installations, major electricity infrastructure and substations are visually integrated with the surrounding natural and built environment, do not cause amenity, safety or health impacts and are collocated as much as possible in appropriate locations.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is visually integrated with the surrounding natural and built environment and collocated or provide for collocation;
 - (b) development ensures adverse impacts to the community and environment are minimised;
 - (c) development implements best practice with respect to design, environmental management and construction standards; and
 - (d) risks to public health and safety are minimised.

9.2.2.3 Specific benchmarks for assessment

Table 9.2.2.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Telecommunications facility	
Location	
PO1 The location of a telecommunications facility does not adversely impact the amenity, health or visual character of a residential zone or other sensitive locations, including national parks and surrounding ranges.	AO1.1 Development is not located in the following zones: <ol style="list-style-type: none"> (a) residential zone category; or (b) rural residential zone; or (c) emerging community zone; or (d) environmental management and conservation zone.
Visual integration	
PO2 Development is visually integrated with the surrounding area to ensure it does not visually dominate and is not visually obtrusive, having regard to: <ol style="list-style-type: none"> (a) scale; (b) height; (c) bulk; (d) materials and colour; and (e) aesthetic appearance. 	AO2.1 AO2.1.1 If the development is a freestanding structure (that is, not attached to a building), the height does not exceed whichever is the taller of the following: <ol style="list-style-type: none"> (a) the height limit specified on the airport environs overlay (relating to the airport heights for Rockhampton); and (b) for areas outside of the airport environs overlay: <ol style="list-style-type: none"> (i) the maximum height of buildings allowable within a twenty (20) metre radius of the proposed facility; or

Performance outcomes	Acceptable outcomes
	<p>(ii) the top of the predominant tree canopy within twenty (20) metres of the proposal.</p> <p>OR</p> <p>AO2.1.2 The development is:</p> <p>(a) collocated on an existing tower, or as a co-tenant on a new tower; or</p> <p>(b) located on or as part of a new or existing building.</p>
<p>PO3 Development:</p> <p>(a) is camouflaged through use of colours and materials which blend into the visual landscape (earth tones); and</p> <p>(b) incorporates a range of non-reflective materials, textures and finishes that reflect the character of the surrounding area.</p> <p>(c)</p>	<p>No acceptable outcome is nominated.</p>
<p>PO4 Development is located at distances from the property frontage and the side and rear boundaries, to provide clear separation from neighbouring properties and road frontages so that visual obtrusiveness is minimised.</p>	<p>AO4.1 If the development is a freestanding structure (that is, not attached to a building), the following minimum setbacks to property boundaries are achieved:</p> <p>(a) ten (10) metres, where the height of the structure is less than twenty (20) metres;</p> <p>(b) fifteen (15) metres, where the height of the structure is between twenty (20) metres and thirty (30) metres; and</p> <p>(c) twenty (20) metres, where the height of the structure is greater than thirty (30) metres.</p>
<p>PO5 Tree and shrub planting must provide dense screening to reduce the visual impacts of the facility and to enhance the character of the local area.</p>	<p>AO5.1 A minimum three (3) metre wide earth mounded landscape strip, with densely planted shrubs and appropriate tree species, provides a visual barrier within the setback area and adjoining properties.</p> <p>Editor's note—Refer to SC6.12 — Landscape design and street trees planning scheme policy for more information regarding appropriate shrub and tree species.</p>
Environmental impact	
<p>PO6 Development does not negatively impact on the natural environment, having regard to:</p> <p>(a) sensitive receiving environments;</p> <p>(b) regulated vegetation;</p> <p>(c) fauna habitats;</p> <p>(d) soil erosion; and</p> <p>(e) waterways.</p>	<p>AO6.1 Vegetation cleared beyond the structure of the telecommunications facility and associated power links, parking and access areas disturbed during construction is re-vegetated.</p> <p>AND</p> <p>AO6.2 Replacement planting is carried out in accordance with the provisions of SC6.12 —</p>

Performance outcomes	Acceptable outcomes
	Landscape design and street trees planning scheme policy. AND AO6.3 Excavation and filling is minimised and earthworks are stabilised or retained.
Amenity	
PO7 Development does not adversely impact on existing or future residential premises, or other sensitive receiving environments.	AO7.1 If the development is a freestanding structure (that is, not attached to a building), the following minimum separation distances are achieved: (a) 300 metres to an educational establishment, child care centre, retirement facility, or other sensitive receiving environments; or (b) 150 metres to a dual occupancy, dwelling house, dwelling unit or multiple dwelling.
PO8 Telecommunications facilities do not cast shadows such that the amenity and character of adjoining premises or a public place is unacceptably reduced.	AO8.1 Telecommunications facilities with a height in excess of 8.5 metres do not result in the loss of sunlight falling on more than twenty (20) per cent of an open space area of a residential use or a public place for a period in excess of three (3) hours on any day of the year.
PO9 Development prevents or minimises the generation of any noise such that: (a) nuisance is not caused to adjoining premises or other nearby noise sensitive areas; (b) applicable legislative requirements are met; and (c) desired ambient noise levels for residential zoned areas are not exceeded.	AO9.1 Development provides that: (a) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a noise sensitive place do not exceed: (i) background noise level plus 5db(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 3db(A) between the hours of 22:00 and 07:00; and (b) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a business place do not exceed: (i) background noise level plus 10db(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 8db(A) between the hours of 22:00 and 07:00.
Public health and safety	
PO10 Telecommunications facilities are established, operated and maintained in a way to minimise the risk to public health and safety.	No acceptable outcome is nominated. Editor's note—Further requirements exist in relation to electromagnetic emissions (EME) such as Radio Communications (electromagnetic radiation – human exposure) Standard 2003, Radio Protection Standard for Maximum Exposure Levels to Radio Frequency Fields –

Performance outcomes	Acceptable outcomes
	three (3) kilohertz to 300 gigahertz (2002), and other standards as specified by the Commonwealth Minister responsible for communications.
<p>PO11 Fencing must enclose the outermost boundaries of the land on which the telecommunications facilities are built in order to:</p> <ul style="list-style-type: none"> (a) prevent unauthorised access; (b) protect ease of maintenance access to the property; and (c) integrate the facility into the local built form character of the surrounding areas. 	<p>AO11.1 A minimum 1.5 metre high screen fence is provided along all boundaries of land identified for telecommunications use, including enclosed areas for vehicle parking, storage and landscape works.</p> <p>AND</p> <p>AO11.2 The materials and coloured finishes used for fencing or walls match those used nearby, and integrate the facility into the character of the local area.</p>
Substations, utility installations and major electricity infrastructure	
Location	
<p>PO12 Development does not adversely impact the amenity or visual character of an area.</p>	<p>AO12.1 Development is not visible from:</p> <ul style="list-style-type: none"> (a) within thirty (30) metres of a major urban collector or higher order road; (b) within fifteen (15) metres of any residential road frontage; (c) within the environmental management and conservation zone; and (d) elevated parts of a site.
Visual integration, character and amenity	
<p>PO13 Development is designed to be visually unobtrusive and blend with the character of the locality by:</p> <ul style="list-style-type: none"> (a) ensuring the bulk, height and scale of the facility is consistent with surrounding development; (b) extensive landscaping and building colours which blend with the landscape; and (c) ensuring transformers are not visible from the property boundary or public place. 	<p>No acceptable outcome is nominated.</p>
<p>PO14 Development is well set back and screened from adjoining sensitive land use(s) to reduce potential impacts of light, noise, glare, overshadowing or visual obtrusiveness.</p>	<p>AO14.1 AO14.1.1 Development is set back a minimum of fifteen (15) metres from all common boundaries with a sensitive land use or residential zone.</p> <p>OR</p> <p>AO14.1.2 Development is set back a minimum of seven (7) metres from common boundaries with a non-sensitive use or non-residential zone.</p> <p>AND</p> <p>AO14.2 Where development extends or reuses</p>

Performance outcomes	Acceptable outcomes
	<p>existing structures, that setback is not decreased.</p> <p>AND</p> <p>AO14.3 A minimum three (3) metre wide deep planting area is provided along the full length of all boundaries, except where broken by access driveways or pedestrian entries.</p> <p>AND</p> <p>AO14.4 Development is carried out in accordance with the provisions of SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO15 Development prevents or mitigates the generation of unreasonable noise impacts to:</p> <ul style="list-style-type: none"> (a) prevent noise nuisance; and (b) ensure ambient noise levels are consistent with the prevailing character of the area. 	<p>AO15.1 Development provides that:</p> <ul style="list-style-type: none"> (a) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a sensitive land use do not exceed: <ul style="list-style-type: none"> (i) background noise level plus 5dB(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 3dB(A) between the hours of 22:00 and 07:00; and (b) noise levels measured as the adjusted maximum sound pressure level $L_{Amax, adj.T}$ at a business premises does not exceed: <ul style="list-style-type: none"> (i) background noise level plus 10dB(A) between the hours of 07:00 and 22:00; and (ii) background noise level plus 8dB(A) between the hours of 22:00 and 07:00.
Environmental impact	
<p>PO16 Development does not negatively impact on the natural environment, having regard to:</p> <ul style="list-style-type: none"> (a) sensitive habitat; (b) remnant vegetation; (c) soil erosion; and (d) waterways. 	<p>No acceptable outcome is nominated.</p>
Safety	
<p>PO17 Development includes security fencing along all property boundaries to prevent unauthorised entry and clearly define the boundaries of a potentially hazardous use.</p>	<p>AO17.1 Development includes a security fence around the entire perimeter of the site at a minimum height of 1.8 metres from ground level.</p>
<p>PO18 Development incorporates access control arrangements including:</p> <ul style="list-style-type: none"> (a) providing warning information signs on 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>all boundaries to prevent unauthorised entry;</p> <p>(b) minimising the number and width of entry points; and</p> <p>(c) providing safe vehicular access to the site.</p>	
<p>PO19 The proposed major electricity infrastructure aims to:</p> <p>(a) maximise collocation with other existing powerlines and easements; and</p> <p>(b) avoid, where possible, location near residential uses.</p>	<p>No acceptable outcome is nominated.</p>
Upgrading an existing substation or bulk supply substation only	
<p>PO20 When the proposal involves the upgrade of an existing substation to a bulk supply substation, the existing substation is:</p> <p>(a) in a location where viable corridors are accessible to connect 110kV powerline infrastructure to the site; and</p> <p>(b) in proximity to existing powerline infrastructure, to ensure that additional powerline infrastructure is minimised.</p>	<p>No acceptable outcome is nominated.</p>

9.3 Other development codes

9.3.1 Access, parking and transport code

9.3.1.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.1.2 Purpose

- (1) The purpose of the access, parking and transport code is to ensure that parking, access and transport facilities for vehicles, pedestrians and cyclists are provided to service development in a safe, equitable and sustainable way.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the function, safety and efficiency of the transport network is optimised;
 - (b) pedestrians and cyclists are provided with a high level of accessibility which is equitable, safe and convenient;
 - (c) on-site access, transport and parking facilities are integrated with external walking and cyclist networks and public transport nodes;
 - (d) the use of public transport is facilitated wherever practicable;
 - (e) vehicle parking and access is provided, which is functional and sufficient to meet the demand likely to be generated by the development;
 - (f) vehicle parking and access achieves a high standard of urban design and integration with the function and appearance of the development; and
 - (g) adverse impacts on the environment and the amenity of the locality are avoided.

9.3.1.3 Specific benchmarks for assessment

Table 9.3.1.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Access driveways	
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ol style="list-style-type: none"> (a) the size of the parking area; (b) the volume, frequency and type of vehicle traffic; (c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access; (d) the type of use and the implications on parking and circulation, for example long-term or short-term car parking; (e) frontage road function and conditions; and (f) the capacity and function of the adjoining street system. 	<p>AO1.1 Access driveways are not located within:</p> <ol style="list-style-type: none"> (a) twenty-five (25) metres of a signalised road intersection; (b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and (c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 Access driveways:</p> <ol style="list-style-type: none"> (a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street signs;

Performance outcomes	Acceptable outcomes
	(b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; (c) must be sealed and to a formed road; (d) are not constructed over an access point to equipment under the control of a regulatory authority, including storm water pits, water meters, hydrants and telephone pits; and (e) are raised or lowered to match the surface level of the driveway, where an access chamber is to be incorporated within the driveway.
PO3 Access driveways are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	AO3.1 Access driveways are constructed in compliance with the Capricorn Municipal Development Guidelines.
PO4 A driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 A driveway has a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.
Parking	
PO5 Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity. Editor's note—SC6.6 — Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code. OR AO5.1.2 Where a change of use of existing premises is proposed and there is no increase in the gross floor area, the existing number of on-site car parks is retained or increased. AND AO5.2 All parking, loading and manoeuvring facilities for visitors and employees to be located on-site. AND AO5.3 Manoeuvring facilities to be of adequate dimensions to prevent any queuing in a roadway.
PO6 Parking and servicing facilities are designed to meet user requirements.	AO6.1 Parking spaces, access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.

Performance outcomes	Acceptable outcomes
<p>PO7 Sites with more than one (1) road frontage (excluding laneways) gain access only from the lower order road, except if it will introduce traffic generated by a non-residential use into a street that is in a residential zone.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO8 Parking areas are illuminated in a manner that maximises user safety but minimises the impacts on adjoining residents.</p>	<p>AO8.1 Parking areas for uses that operate at night are illuminated in accordance with the requirements of Australian Standard AS 1158.</p> <p>AND</p> <p>AO8.2 Lighting used in parking areas does not cause an environmental nuisance and complies with Australian Standard AS 4282.</p>
<p>PO9 Car parking areas, pathways and other elements of the transport network are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to:</p> <ul style="list-style-type: none"> (a) provision of opportunities for casual surveillance; (b) the use of fencing to define public and private spaces, whilst allowing for appropriate sightlines; (c) minimising potential concealment points and assault locations; (d) minimising opportunities for graffiti and other vandalism; and (e) restricting unlawful access to buildings and between buildings. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to Crime Prevention Through Environmental Design (CPTED) guidelines for Queensland for guidance.</p>
<p>PO10 Parking and servicing areas are kept accessible and available for their intended use at all times during the normal business hours of the activity.</p>	<p>No acceptable outcome is nominated.</p>
<p>Transport impact Editor's note—Applicants should note that the Department of Transport and Main Roads may have additional requirements.</p>	
<p>PO11 Development contributes to the creation of a transport network which is designed to:</p> <ul style="list-style-type: none"> (a) achieve a high level of permeability and connectivity for all modes of transport, including pedestrians and cyclists, within the development and to the surrounding area; and (b) encourage people to walk, cycle or use public transport to and from the site instead of using a car. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Refer to SC6.19 – Structure plan planning scheme policy for guidance.</p>
<p>PO12 Development is located on roads that are appropriate for the nature of traffic (including vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p>AO12.1 Traffic generated by the development is safely accommodated within the design capacity of roads as provided in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO12.2 A road or street does not connect with another road or street that is more than two (2) levels higher or lower in the road hierarchy.</p> <p>AND</p> <p>AO12.3 The existing infrastructure fronting the proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p>
<p>PO13 Where the nature of the development creates a demand, provision is made for set down and pick-up facilities by bus, taxis or private vehicle, which:</p> <ul style="list-style-type: none"> (a) are safe for pedestrians and vehicles; (b) are conveniently connected to the main component of the development by pedestrian pathway; and (c) provide for pedestrian priority and clear sightlines. 	<p>No acceptable outcome is nominated.</p>
Site access	
<p>PO14 Development does not impact on the safety, operation or function of the road network or system.</p>	<p>AO14.1 Vehicle manoeuvring into and from the site for all vehicles is designed in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>AND</p> <p>AO14.2 No direct property access is gained to a highway, main road, urban arterial or sub arterial road as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy other than via a service road or a joint access arrangement with other sites.</p> <p>AND</p> <p>AO14.3 Development that generates greater than 100 vehicle movements per day does not gain access to or from an urban access place or urban access streets as defined in SC6.15 — Road infrastructure and hierarchy planning scheme policy.</p>
<p>PO15 Development facilitates the orderly provision and upgrading of the transport network or contributes to the construction of transport</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
network improvements.	
PO16 On-site transport network infrastructure integrates safely and effectively with surrounding networks.	AO16.1 Intersections, connections and access arrangements are designed in accordance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.
Pedestrian and cyclist facilities	
PO17 Development provides safe and convenient pedestrian and cycle movement to the site and within the site having regard to desire lines, users' needs, safety and legibility.	AO17.1 Pedestrian and cyclist movements are designed in compliance with the Capricorn Municipal Development Guidelines and Australian Standard AS 2890.
PO18 Provision is made for adequate bicycle parking and end of trip facilities, to meet the likely needs of users and encourage cycle travel.	No acceptable outcome is nominated. Editor's note—Provisions are made for parking and end of trip facilities in accordance with the SC6.4 – Bicycle network planning scheme policy.
Servicing	
PO19 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO19.1 Refuse collection areas are provided and designed in accordance with the waste management code and Australian Standard AS 2890.

Table 9.3.1.3.2 — Parking requirements

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
<p>Adult store</p>	<p>One (1) space per twenty-five (25) square metres of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.</p>	
<p>Agricultural supplies store</p>	<p>One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.</p>	
<p>Air service</p>	<p>Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p>	
<p>Animal husbandry</p>	<p>Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p>	
<p>Animal keeping</p>	<p>One (1) space per two (2) employees not residing on the site.</p>	
<p>Aquaculture</p>	<p>One (1) space per two (2) employees not residing on the site.</p>	
<p>Bar</p>	<p>Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.</p>	
<p>Brothel</p>	<p>One (1) space per each room; and One (1) space per two (2) staff.</p>	
<p>Bulk landscape supplies</p>	<p>One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.</p>	
<p>Caretaker's accommodation</p>	<p>One (1) covered space.</p>	
<p>Car wash</p>	<p>Queuing space clear of the road reserve for a minimum of four (4) vehicles.</p>	
<p>Child-care centre</p>	<p>One (1) space per full-time employee plus one (1) space per six (6) children, which may be provided as a passenger set-down / pick up area.</p>	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Club	Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Community care centre	One (1) space per twenty (20) square metres or part thereof of gross floor area.	
Community residence	One (1) space for every permanent employee/carer; and One (1) space for visitors.	
Community use	One (1) space per twenty (20) square metres or part thereof of gross floor area.	
Crematorium	One (1) space per 12.5 square metres or part thereof of gross floor area.	
Cropping	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Dual occupancy	Two (2) spaces per dwelling, which may be provided in tandem, with at least one (1) space being covered per dwelling.	
Dwelling house	Two (2) spaces, which may be provided in tandem, with at least one (1) space being covered.	
Dwelling unit	One (1) space.	
Educational establishment	Two (2) spaces per three (3) full-time employees; and One (1) space per ten (10) students of driving age.	
Emergency services	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Environment facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Extractive industry	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	All driveways and parking areas within fifty (50) metres of an existing dwelling to

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
		<p>be constructed and paved to prevent dust nuisance.</p>
<p>Food and drink outlet</p>	<p>One (1) space per fifteen (15) square metres of gross floor area for seating areas (including outdoor seating areas); and <u>Where involving a drive through facility:</u> On-site queuing space for at least ten (10) vehicles; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if the use is proposed in a building on the State Heritage Register.</p>	
<p>Function facility</p>	<p>One (1) space per fifteen (15) square metres or part thereof, of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.</p>	
<p>Funeral parlour</p>	<p>One (1) space per thirty (30) square metres or part thereof of gross floor area.</p>	
<p>Garden centre</p>	<p>One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.</p>	
<p>Hardware and trade supplies</p>	<p>One (1) space per forty (40) square metres or part thereof of gross floor area.</p>	
<p>Health care service</p>	<p>One (1) space per twenty-five (25) square metres or part thereof of gross floor area; One (1) space for special use vehicles (such as blood collection/transport vehicles); and One (1) emergency ambulance space.</p>	
<p>High impact industry</p>	<p>One (1) space per 100 square metres or part thereof of gross floor area.</p>	<p>All driveways and parking areas within fifty (50) metres of an existing dwelling to</p>

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
		be constructed and paved to prevent dust nuisance.
Home-based business	<u>Bed and breakfast:</u> One (1) space per lettable room in addition to parking provided for the dwelling; <u>Other:</u> One (1) space for visitors.	Dual/triple key apartments will be considered as individual dwellings with parking rates applied accordingly.
Hospital	One (1) space per four (4) beds, two (2) spaces per three (3) employees; and One (1) space for each doctor.	
Hotel	One (1) covered space per residential unit; One space (1) per twenty (20) square metres of non-residential gross floor area; Loading and manoeuvring space for delivery vehicles servicing the premises is accommodated on-site; and <u>Where involving a drive through bottle shop:</u> On-site queuing space for at least six (6) vehicles; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) covered space per residential unit; and One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Indoor sport and recreation	<u>Court games (tennis, badminton, squash etcetera):</u> Four (4) spaces per court; <u>Bowling alley:</u> Three (3) spaces per lane; <u>Swimming/aquatic centre:</u> Fifteen (15) spaces plus one (1) space per 100 square metres gross floor area; <u>Field games (soccer, cricket, netball etcetera):</u> Twenty (20) spaces per pitch/field;	Provision for parking space/set down area for one (1) coach is to be determined by Council.

Use	Minimum parking requirements for cars	Additional requirements
<p>Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.</p>		
	<p><u>Gymnasium:</u> One (1) space per 12.5 square metres or part thereof of gross floor area; <u>Public hall:</u> One (1) space per ten (10) square metres or part thereof of gross floor area; and <u>Other activities:</u> Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.</p> <p>Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.</p>	
Intensive animal industry	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Intensive horticulture	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Landing	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Low impact industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Major electricity infrastructure	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Marine industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Market	One (1) space per two (2) stalls.	
Medium impact industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Motor sport facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. <p>Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.</p>	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Multiple dwelling	One (1) covered space per dwelling; One (1) space per two (2) dwellings for visitors; and One (1) space for a small bus or taxi where the building contains more than thirty (30) dwellings.	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Nature-based tourism	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Night club entertainment facility	Five (5) spaces per 100 square metres of total use area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> Two (2) spaces per 100 square metres of total use area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Non-resident workforce accommodation	One (1) space per three (3) rooms.	All driveways and parking areas within 100 metres of an adjoining dwelling to be constructed and paved to prevent dust nuisance.
Office	One (1) space per thirty (30) square metres of gross leasable floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per seventy (70) square metres of gross floor area; or No additional on-site car parking spaces are required if the use is proposed in a building on the State Heritage Register.	
Outdoor sales	One (1) space per 100 square metres of total use area with a minimum of five (5) spaces.	
Outdoor sport and recreation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Outstation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Park	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Parking Station	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Party house	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Permanent plantation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Place of worship	One (1) space per fifteen (15) square metres or part thereof of gross floor area.	
Port service	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Relocatable home park	One (1) covered space per relocatable home; and One (1) space per two (2) relocatable homes for visitors.	Spaces may be in tandem, provided that all vehicles are completely located off public road reserves and private internal roadways.
Renewable energy facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Research and technology industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Residential care facility	Two (2) spaces per three (3) full time employees; and One (1) space per six (6) beds for visitors.	
Resort complex	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Retirement facility	One (1) space per two (2) dwellings for the first twenty-five (25) dwellings and one (1) space per four (4) dwellings; Thereafter: One (1) space for a bus or taxi where the building contains more than thirty (30) dwellings; and One (1) space per four (4) dwellings for visitors.	
Roadside stall	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Rooming accommodation	One (1) space per three (3) beds; One (1) space per three (3) employees; and One (1) space for a manager residence.	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
Rural industry	One (1) space per two (2) employees not residing on the site.	
Rural workers' accommodation	One (1) space per accommodation unit.	
Sales office	Four (4) spaces for every display home/office (may include the garage of a house when available for car parking use).	
Service industry	One (1) space per 100 square metres or part thereof of gross floor area.	
Service station	Four (4) spaces per service bay. <u>Spaces for ancillary uses such as shop and food and drink outlet:</u> As required under relevant use listed herein.	
Shop	One (1) space per twenty-five (25) square metres of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Shopping centre	5.8 spaces per 100 square metres (0 – 10,000 square metres gross leasable floor area) 5.5 spaces per 100 square metres (10,001 – 20,000 square metres gross leasable floor area) 4.3 spaces per 100 square metres (20,001 – 30,000 square metres gross leasable floor area) 4.1 spaces per 100 square metres (over 30,001 square metres gross leasable floor area) or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Short-term accommodation	<u>Backpackers:</u> One (1) covered space per ten (10) beds; and	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
	One (1) space for all vehicles permanently stored on the site (for example hire vehicles and busses); and <u>Other:</u> One (1) covered space per unit/dwelling; One (1) space per managers residence; and One (1) space per ten (10) units for visitors.	
Showroom	One (1) space per forty (40) square metres or part thereof of gross floor area; or <u>Where located within the Principal Centre – Core and Quay Street precincts:</u> One (1) space per fifty (50) square metres of gross floor area; or No additional on-site car parking spaces are required if involving the reuse of an existing building(s) or structure(s) on the State Heritage Register.	
Special industry	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Substation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Telecommunications facility	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Theatre	One (1) space per five (5) seats; or One (1) space per fifteen (15) square metres of gross floor area, whichever is greater.	
Tourist attraction	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	
Tourist park	One (1) space per caravan, tent or cabin site; and One (1) space per eight (8) caravan sites or cabins, for visitors.	
Transport depot	<u>Transport terminal:</u>	

Use	Minimum parking requirements for cars	Additional requirements
Note—Where the calculation of parking requirements results in a fraction, the number of required car spaces shall be the nearest whole number. Unless stated, parking spaces are uncovered.		
	One (1) space per ten (10) square metres gross floor area of waiting area; and <u>Vehicle depot:</u> One (1) space per 100 square metres of gross floor area.	
Utility installation	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use.	
Veterinary service	One (1) space per fifty (50) square metres or part thereof of gross floor area; and Minimum of three (3) spaces.	
Warehouse	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Wholesale nursery	One (1) space per 100 square metres or part thereof of gross floor area.	All driveways and parking areas within fifty (50) metres of an existing dwelling to be constructed and paved to prevent dust nuisance.
Winery	One (1) space per two (2) employees not residing on the site.	
Any other use not specified in this table	Sufficient spaces to accommodate the amount of vehicular traffic likely to be generated by the particular use. Editor's note—Council may require a car parking assessment to be undertaken to determine the appropriate number of car parking spaces required by the development.	

9.3.2 Advertising devices code

9.3.2.1 Application

This code applies to the assessment of operational work for placing an advertising device on a premise, where the code is identified as applicable in the tables of assessment.

9.3.2.2 Purpose

- (1) The purpose of the advertising devices code is:
 - (a) to facilitate economic activity through the advertising of business, products and services; and
 - (b) to ensure that advertising devices do not adversely affect visual amenity, the character of a local area and public safety.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) advertising devices are compatible with the character of the building to which they are attached, surrounding streetscape, locality and natural landscape setting and do not compromise visual amenity;
 - (b) advertising devices do not create a hazard to people or property, in particular pedestrians, cyclists and vehicular traffic;
 - (c) the visual impact of advertising devices is minimised and does not contribute to visual clutter, particularly along major road corridors;
 - (d) the proliferation of advertising devices is reduced by restricting the amount of signage on a premise and ensuring appropriate separation distances between visually dominant signage; and
 - (e) advertising devices do not unreasonably impact upon residents on adjoining sites, or create nuisance as a result of flashing or illuminated devices.

9.3.2.3 Specific benchmarks for assessment

Table 9.3.2.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Character and amenity	
<p>PO1 The advertising device is designed and sited in a manner that:</p> <ol style="list-style-type: none"> (a) results in a size that does not adversely impact on: <ol style="list-style-type: none"> (i) the visual amenity and character of a building, streetscape, locality or natural landscape setting; (ii) the safety of a road or footpath; (iii) the operations of an airport; and (iv) the visual amenity of a main transport entrance into an urban area or township; (b) is integrated with the design of other development on the premises; (c) does not visually dominate the premises, streetscape, locality or natural landscape setting; (d) is constructed of durable and 	<p>AO1.1 The maximum total sign face area for all advertising devices at any premise is the higher of the areas calculated using the following calculation methods:</p> <ol style="list-style-type: none"> (a) boundary length calculation method (refer to SC6.2 — Advertising devices planning scheme policy); and (b) building elevation calculation method (refer to SC6.2 — Advertising devices planning scheme policy). <p>Editor's note— To establish the maximum total sign face area of a premise, the applicant must subtract existing defined sign face areas that are on the premises.</p> <p>AND</p> <p>AO1.2 The advertising device is in accordance with Table 9.3.2.3.2.</p>

Performance outcomes	Acceptable outcomes
<p>(e) weather resistant materials; does not impede vehicle or pedestrian movements or reduce safety levels;</p> <p>(f) does not resemble traffic or road signs; and</p> <p>(g) does not result in the proliferation of unnecessary advertising.</p>	
Illumination	
<p>PO2 The illumination of an advertising device does not detract from the character and amenity of an area. The advertising device is appropriate to its setting and is compatible with the amenity of the local area and does not create glare, reflection or flaring of colours to cause a visual nuisance.</p>	<p>AO2.1 Where an advertising device incorporates a digital display, the advertising device:</p> <p>(a) is not located in a low density residential zone/precinct, low-medium density residential zone, rural residential zone/precinct or township zone/precinct;</p> <p>(b) has a minimum dwell time of eight (8) seconds per advertisement; and</p> <p>(c) has an instantaneous transition from one message to the next within 0.5 seconds;</p> <p>Editor's note— Instant changes for digital displays are recommended to minimise flash distractions. For example, when the display change includes high contrast change.</p> <p>AND</p> <p>AO2.2 The luminance of an externally or internally illuminated advertising device including digital displays (measured in candelas per square metre) does not exceed the threshold in accordance with in Table 9.3.2.3.3.</p>
Safety to pedestrians and vehicles	
<p>PO3 Advertising devices are appropriately located and designed in a manner that does not create a traffic or pedestrian safety hazard.</p> <p>Editor's note—A traffic management statement produced by a registered professional engineer may be required to demonstrate that there is no adverse impact to vehicle and pedestrian safety.</p>	<p>AO3.1 The advertising device does not physically obstruct the passage of pedestrians or vehicles.</p> <p>AND</p> <p>AO3.2 The advertising device does not restrict sight lines at intersections and site access points into property.</p> <p>AND</p> <p>AO3.3 The advertising device does not revolve, contain moving parts or have a moving border.</p>
Heritage and character places	
<p>PO4 Advertising devices adjacent to or located at a place of heritage significance or within the character overlay are designed and sited in a manner that:</p> <p>(a) conserves existing signs if they are of heritage significance;</p> <p>(b) is compatible with the</p>	<p>AO4.1 The following advertising devices are not proposed on or adjoining premises that are listed as a local heritage place, shown on the heritage place overlay or character overlay map:</p> <p>(a) creative awning sign; or</p> <p>(b) freestanding sign; or</p>

Performance outcomes	Acceptable outcomes
<p>(c) significance of the heritage place; does not detrimentally impact the values or setting of the heritage place;</p> <p>(d) does not obscure the appearance or prominence of features of the heritage place when viewed from adjacent public or semi-public streets or open spaces; and</p> <p>(e) does not intrude into that place.</p> <p>Editor's note—Traditional and appropriate locations for signage include:</p> <p>(a) parapet panels above and below the cornice;</p> <p>(b) string course bands and on other small individual elements;</p> <p>(c) spandrel panels below windows and on ground floor piers (including plaques beside entries);</p> <p>(d) front and side fascia of the verandah, or hanging below; and</p> <p>(e) ground and first floor windows, or glass and side walls, upper storey and panels on fences.</p>	<p>(c) ground sign; or</p> <p>(d) sign written roof sign; or</p> <p>(e) three-dimensional sign.</p>

Table 9.3.2.3.2 — Sign specific outcomes

Sign requirements	Maximum sign area
Above awning sign	
The sign does not project above the roofline of the building to which it is attached.	2.5 square metres
Awning fascia sign or a return fascia sign	
<p>(a) the sign does not project outwards more than one hundred (100) millimetres from the fascia; and</p> <p>(b) the sign does not project above, below or to the side of the fascia.</p>	No solutions specified.
Blind sign	
<p>(a) the sign does not contain any solid face;</p> <p>(b) the bottom of the sign is a minimum of 2.1 metres above the surface of the ground or footpath; and</p> <p>(c) the sign face area does not exceed fifty (50) per cent of the area of the blind.</p>	Fifty (50) per cent of the external surface area of the blind.
Business name plate sign or home based business sign	
<p>(a) only two (2) signs are displayed per entry point if a business name plate or one (1) sign per premises if associated with a home-based business; and</p> <p>(b) is attached to a fence, window, door or wall.</p>	0.5 square metres
Canopy sign	
No solutions specified.	Twenty-five (25) per cent of the canopy's surface area.
Creative awning sign	
<p>(a) the sign does not project outwards more than one hundred (100) millimetres from the fascia;</p> <p>(b) the sign does not project more than 600 millimetres beyond the edges of the fascia to which it is attached;</p> <p>(c) the sign is no longer than fifty (50) per cent of the length of the fascia to which it is attached and is centrally located on the fascia;</p> <p>(d) the sign is not closer than 2.4 metres to the ground; and</p> <p>(e) the area of the sign extending beyond the fascia does not exceed twenty-five (25) per cent of the total area of</p>	No solutions specified.

Sign requirements	Maximum sign area
the fascia.	
Fence sign	
(a) the sign has a height that does not exceed one (1) metre; and (b) the top edge of the sign does not extend above the height of the fence at the location along the fence where the sign is affixed.	Three (3) square metres
Flag sign	
(a) the flag sign has a maximum height of ten (10) metres; (b) the pole or mast is structurally adequate to withstand any likely loadings; (c) the sign has a height that does not encroach into the obstacle limitation surface of the Rockhampton Airport; and (d) the sign is set back a minimum of three (3) metres from any property boundary.	Thirty-five (35) per cent of the maximum sign face area using the boundary length method
Freestanding sign	
<p><u>Preferred areas</u></p> (a) only located in a centre zone, industry zone, sport and recreation zone, special purpose zone, community facilities zone and rural zone. <p><u>Separation distances and amenity</u></p> (b) the sign is separated from any other freestanding sign located on any premise in a centre, industry and residential zone by a minimum distance of 100 metres in the same direction of travel; (c) only one (1) freestanding sign (double or single sided) is located at any one (1) premises, except when in the rural zone whereby: (i) each freestanding sign has a minimum separation distance of three hundred (300) metres; and (ii) no more than three (3) advertising devices are visible from the same point on a road (in the same direction of travel) and a clear viewing zone of 900 metres must be allowed before a fourth advertising device; (d) the sign is located to ensure that the back of the sign is not exposed to, or is visible from, any public place; (e) where visible to a public place, the area below the sign is landscaped with plants that have a mature height less than the height of the bottom of the sign above ground; and (f) where located in the local centre zone, neighbourhood centre zone, low impact industry zone, sport and recreation zone, special purpose zone and community facilities zone the sign states matters related to the use onsite only. This includes the name, occupation and logo of the organisation and may include the hours of operation. <p><u>Built form</u></p> (g) the sign face has a maximum height that does not exceed five (5) metres; (h) the sign has a maximum height of ten (10) metres from the ground level; (i) the sign is set back from any property boundary by a minimum of three (3) metres or half the height of the sign, whichever is the greater; and	Within sport and recreation zone, special purpose zone and community facilities zone the sign does not exceed five (5) square metres Otherwise: the sign does not exceed thirty-six (36) square metres

Sign requirements	Maximum sign area
<p>(j) the sign is supported on single or multiple pylons to avoid unsightly back bracing.</p> <p>Editor's note—The height of an advertising device is measured from the finished ground level at which the device is viewed, to the upper most projection of the device.</p> <p>Editor's note—Third party company skirting attached to a freestanding sign does not accumulate to sign face area.</p>	
Ground sign	
<p>(a) there is a maximum of one (1) sign per premises; and</p> <p>(b) the sign has a height that does not exceed 1.5 metres above the finished ground level.</p>	Four (4) square metres
Hamper sign	
<p>(a) the sign does not project more than twelve (12) millimetres from the external surface of the building; and</p> <p>(b) the sign has a minimum clearance of two (2) metres above the surface level of the ground or footpath.</p>	No solutions specified.
Projected image sign	
<p>(a) a projected image sign is only located in the principal centre zone;</p> <p>(b) the sign does not project out onto an adjoining premises; and</p> <p>(c) the sign does not project above the roof line of the building.</p>	No solutions specified.
Projecting sign	
<p>(a) the sign has a minimum clearance of three (3) metres above the surface level of the ground or footpath;</p> <p>(b) the sign is located no closer than 1.5 metres to the boundary of an adjoining lot;</p> <p>(c) the sign does not project above the roof line of the building; and</p> <p>(d) the sign:</p> <p>(i) is located no closer than five hundred (500) millimetres from the kerb alignment and has a maximum vertical dimension of six hundred (600) millimetres; or</p> <p>(ii) has a maximum width that does not exceed seven hundred and fifty (750) millimetres and has a maximum vertical dimension that does not exceed 7.5 metres.</p>	Two (2) square metres
Roof sign	
<p>(a) A roof sign is contained within an existing or created outline of a building; and</p> <p>(b) does not extend horizontally beyond the edge of the roof of the building.</p>	No solutions specified.
Sign written roof sign	
<p>(a) is erected only in a centre zone, an industry zone or the rural zone; and</p> <p>(b) displays only the name of the property, business or facility on which it is painted.</p>	No solutions specified.
Sporting field fence sign	
<p>(a) the sign has a height that does not exceed 1.2 metres; and</p> <p>(b) the advertising on the sporting field fence sign:</p> <p>(i) faces inwards towards the sporting field; or</p> <p>(ii) faces outwards only where the advertising is screened from view from a public space (for example, the advertising on the sporting field</p>	No solutions specified.

Sign requirements	Maximum sign area
fence is screened by buildings, structures, raised earth mounds or other fencing located between the sporting field fence and the property boundary).	
Stall board sign	
<ul style="list-style-type: none"> (a) the sign does not project more than twelve (12) millimetres from the external surface of the building; (b) the sign does not project over or in front of a window glaze; and (c) the sign has a flush surface without projections of any type. 	No solutions specified.
Structure sign	
<ul style="list-style-type: none"> (a) the sign face area does not exceed three (3) square metres; (b) the sign projects no more than twelve (12) millimetres from the external surface of the structure and does not project beyond the edges of the structure; and (c) the sign does not cover more than twenty-five (25) per cent of the area of the structure (for example, if a structure has an area of four (4) square metres from one angle, the maximum sign face area from that same angle is one (1) square metre. If at another angle, the same structure had an area of eight (8) square metres, the maximum sign face area visible from that same angle is two (2) square metres). 	Three (3) square metres
<p>Editor's note—The area of a structure is measured within the boundaries of the structure (that is, its outline) and includes any open space (for example, the open space between two structural supports).</p>	
Three-dimensional sign	
<ul style="list-style-type: none"> (a) there is a maximum of one (1) three-dimensional sign per premises; and (b) if the sign is a freestanding three-dimensional sign: <ul style="list-style-type: none"> (i) the sign has a maximum height that does not exceed five (5) metres; (ii) the minimum spacing between any two (2) freestanding three-dimensional signs is not less than the combined height of both signs multiplied by a factor of two (2) (for example, a separation distance of sixteen (16) metres is required between a sign of five (5) metres in height and a sign of three (3) metres in height); (iii) the sign face area does not exceed thirty-five (35) per cent of the maximum sign face area using the boundary length method; and (iv) the sign is set back a minimum of three (3) metres from any property boundary. 	If a freestanding three-dimensional sign, the sign face area does not exceed thirty-five (35) per cent of the maximum total sign face area using the boundary length method.
Under awning sign	
<ul style="list-style-type: none"> (a) the sign is orientated at right angles to the building; (b) the sign has a minimum clearance of 2.4 metres between the sign and the footpath; (c) the sign is centrally located along the frontage of each shop or tenancy and in the case of an arcade is located above the arcade entrance; (d) the sign is separated from any other under awning sign by a minimum distance of three (3) metres; (e) the sign is no closer than 1.5 metres to the alignment of an awning or verandah return fascia or the alignment of another shop or tenancy; (f) the sign is no longer than seventy-five (75) per cent of 	No solutions specified.

Sign requirements	Maximum sign area
<p>the width of the awning or verandah to which it is attached;</p> <p>(g) the dimensions of the sign do not exceed 600 millimetres in height, 2,400 millimetres in length, and 200 millimetres in depth; and</p> <p>(h) the sign does not project beyond the awning or verandah.</p>	
Wall sign	
<p>(a) is only located in a centre zone, industry zone, open space, community facilities, sport and recreation and special purpose zone unless associated with a home-based business;</p> <p>(b) the sign is located only on a part of a wall that is otherwise blank and the sign does not cover any opening (such as a window) or building design element (such as finery, articulated brickwork, etcetera);</p> <p>(c) the sign does not project any further than 0.2 metres from the wall;</p> <p>(d) the sign does not project beyond the property boundary; and</p> <p>(e) the sign does not project above the eaves or parapet of the wall, or the external edges of the building element to which it is attached.</p>	<p>Within an industry zone and centre zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of twenty (20) square metres, unless located on the character overlay map, whereby the signage must not cover more than twenty (20) per cent total surface area of the wall to a maximum size of two (2) square metres.</p> <p>Within the open space zone, community facilities zone, sport and recreation zone and special purpose zone signage must not exceed fifty (50) per cent total surface area of the wall face to a maximum size of four (4) square metres.</p>
Window sign	
<p>That part of the sign being a ground floor window between 0.8 metres and two (2) metres above the floor level, or any non-ground floor window, has an opacity that does not exceed fifty (50) per cent.</p>	<p>No solutions specified.</p>

Table 9.3.2.3.3 — Maximum luminance of an advertising device for land use zones

Zone	Maximum luminance for lighting conditions			
	Sun on face of signage	Day time (full light conditions)	Day time (dawn, dusk and inclement weather)	Night time
Principal centre zone Major centre zone District centre zone	Maximum Output	6000 – 7000 candelas per square metre	1000 candelas per square metre	500 candelas per square metre
Local centre zone Neighbourhood centre zone Low impact industry zone Medium impact industry zone High impact industry zone Special industry zone	Maximum Output	6000 – 7000 candelas per square metre	700 candelas per square metre	350 candelas per square metre
All other zones	Maximum Output	6000 – 7000 candelas per square metre	600 candelas per square metre	300 candelas per square metre

Note—When determining the requirement for a precinct or sub-precinct the relevant zone applies.

9.3.3 Filling and excavation code

9.3.3.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.3.2 Purpose

- (1) The purpose of the filling and excavation code is to ensure that filling or excavation of land is minimised and occurs in a manner that minimises adverse impacts on the site and the surrounding area.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) excavation or filling or the construction of retaining walls is minimised;
 - (b) the visual character and amenity of the site and surrounding area is not adversely impacted by filling or excavation or the construction of retaining walls;
 - (c) the environment and ecological values of the site and surrounding area are protected when filling or excavation or the construction of retaining walls occurs;
 - (d) filling or excavation or the construction of retaining walls occurs without adversely impacting on the flow of water on upstream, downstream or adjoining land;
 - (e) infrastructure is protected from adverse impacts of filling and excavation; and
 - (f) the risk of hazards resulting from infrastructure damage is avoided.

Editor's note—For earthworks and retaining walls generally, applicants should be aware that some retaining walls constitute building works that are assessable under the *Building Regulation 2006*. No approval is required under the *Building Regulation 2006* for retaining walls if:

- (a) there is no surcharge loading;
- (b) the height of wall or height of fill or excavation is not more than one (1) metre; and
- (c) the wall is no closer than 1.5 metre to a building, structure (for example a swimming pool) or other retaining wall.

In these cases, the "applicable code" for the purposes of the *Planning Act 2016* is the Building Code of Australia (refer to Building Code of Australia Volume 2, Part 3.1.1). Retaining walls not more than one (1) metre in height may be constructed in accordance with an accepted industry standard publication (for example timber, concrete masonry or similar).

Editor's note—Council may request the submission of an engineering report undertaken by suitably qualified professionals to demonstrate compliance with the performance outcomes, particularly where alternative solutions are proposed.

9.3.3.3 Specific benchmarks for assessment

Table 9.3.3.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Retaining walls	
<p>PO1 The construction of retaining walls does not adversely impact upon the stability of land or existing structures.</p>	<p>AO1.1 Retaining walls are set back at least half the height of the wall from any boundary of the site.</p> <p>AND</p> <p>AO1.2 Retaining walls over 1.5 metres are stepped 1.5 metres for every 1.5 metres in height, terraced and landscaped.</p>

Performance outcomes	Acceptable outcomes
Amenity	
<p>PO2 Excavation or filling or the construction of retaining walls does not adversely affect the visual character of the surrounding area and areas of high scenic amenity and visibility.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO3 Excavation or filling or the construction of retaining walls does not adversely affect the amenity of adjoining or nearby properties.</p>	<p>AO3.1 No dust or other air emissions extend beyond the boundaries of the site.</p> <p>AND</p> <p>AO3.2 The total duration of filling or excavation operations does not exceed four (4) weeks.</p> <p>AND</p> <p>AO3.3 Filling or excavation operations occur only between 07:00 to 18:00 Monday to Saturday.</p> <p>AND</p> <p>AO3.4 Excavation and filling operations are undertaken in accordance with the Capricorn Municipal Development Guidelines.</p>
Environment	
<p>PO4 Excavation or filling or the construction of retaining walls does not adversely affect the environmental values of the locality.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO5 Excavation or filling of land is carried out in such a way that it does not materially impede the flow of water through the site or worsen the flow of water external to the site.</p> <p>Editor's note—Excavation or filling is carried out in accordance with an approved hydrology and hydraulics report, prepared by a suitably qualified person. The report demonstrates that any proposed excavation or filling or structures will not adversely affect flows on the site, upstream of the site and downstream of the site.</p>	<p>AO5.1 Excavation or filling does not increase, concentrate or divert stormwater into an adjoining site.</p> <p>AND</p> <p>AO5.2 Excavation or filling does not cause or enable the ponding of water on the site or on any other adjoining land.</p> <p>AND</p> <p>AO5.3 Excavation and filling is not located: (a) in any waterway corridor; and (b) in any wetland.</p> <p>Editor's note—Waterway corridors and wetlands are shown on the biodiversity areas overlay maps OM-3A – OM-3D.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO5.4 Filling or excavation does not adversely affect the level or flow of water in any overland flow path.</p>
Traffic and access	
<p>PO6 Traffic generated by excavation and filling does not adversely impact on the amenity of the surrounding area.</p>	<p>AO6.1 Haulage routes used for the transportation of fill to or from the site use major streets and only those minor streets that are necessary to provide direct access to the site.</p> <p>AND</p> <p>AO6.2 Truck movements generated by excavation or filling, do not exceed twenty (20) truck movements per day.</p> <p>AND</p> <p>AO6.3 Truck movements generated by excavation or filling, do not occur for longer than four (4) weeks within any three (3) month period.</p>
<p>PO7 Filling or excavation does not prevent or create difficult access to the property.</p>	<p>No acceptable outcome is nominated.</p>
Infrastructure	
<p>PO8 Excavation or filling or the construction of retaining walls is carried out in a manner that will not:</p> <ul style="list-style-type: none"> (a) damage, or result in damage to existing infrastructure; or (b) compromise the safety of existing infrastructure. <p>Editor's note—Development involving excavation or filling on land adjacent to electricity infrastructure should be referred to the relevant electricity entity to ensure there will be no electrical hazard created by the proposed development, before any application is lodged with Council.</p>	<p>AO8.1 In respect to electricity works, unless an approval from the owner of the electricity works is granted stating otherwise, excavation and filling does not occur within:</p> <ul style="list-style-type: none"> (a) twenty (20) metres of any tower, pole, foundation, ground anchorage or stay supporting electric lines or associated equipment; or (b) five (5) metres of a substation site boundary; or (c) two (2) metres of a pad mount substation; or (d) one (1) metre of a pad mount transformer or an underground cable.
Erosion and sediment control	
<p>PO9 Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental values.</p>	<p>AO9.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>

9.3.4 Landscape code

9.3.4.1 Application

This code applies to development where the code is identified as applicable in the tables of assessment or the relevant zone code.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.4.2 Purpose

- (1) The purpose of the landscape code is to ensure landscaping in both the private and public domain is designed and constructed to a high standard, provides a strong contribution to the image of the local government area, is responsive to the local character, site and climatic conditions and remains fit for purpose over the long-term.
- (2) The purpose of the code will be achieved by the following overall outcomes:
 - (a) a high quality streetscape and on-site landscape enhances the character of the urban areas;
 - (b) landscape design is integrated with the natural and built form elements of the site and the surrounding area;
 - (c) landscaping creates a legible and attractive street frontage, and enhances the continuity of the streetscape;
 - (d) screening is used to soften built form, hide unsightly elements of development and provide privacy and character;
 - (e) plant species and landscaping materials are used which suit the sub-tropical cyclone prone climate;
 - (f) plant species, landscaping materials and surface treatments are suited to their intended function and user requirements;
 - (g) plant species, landscaping materials and surface treatments are designed to remain attractive, fit for purpose and be cost effectively maintained over the long-term;
 - (h) landscaping design provides an accessible, safe and comfortable environment for all users; and
 - (i) significant on-site vegetation is retained, protected and integrated into the site design wherever practicable.

9.3.4.3 Specific benchmarks for assessment

Table 9.3.4.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Design	
<p>PO1 Landscaping is professionally designed and provides a suitably sized area to:</p> <ol style="list-style-type: none"> (a) create an attractive visual addition to a building or place; (b) soften the built form; (c) provide a space for on-site recreation; and (d) enable landscaping to establish and thrive under the local conditions. <p>Editor's note—Landscaped areas may include natural bushland, planted garden beds, grassed areas, vegetated courtyards and pedestrian paths.</p>	<p>AO1.1 Landscaping is provided in accordance with requirements in zone codes and SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>Note—Where the outcomes vary, the zone code takes precedence.</p> <p>Editor's note—A landscaped plan, prepared by a competent landscape designer is required to meet this acceptable outcome.</p>
<p>PO2 Shade trees are provided in the landscaped areas to provide shade onto buildings, recreation areas, seating, car parking areas</p>	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>and the road verge.</p> <p>PO3 On-site stormwater harvesting is to be maximised with reuse measures and amelioration of stormwater impacts indicated.</p>	<p>AO3.1 Landscape design incorporates the flow of water along overland flow paths, but does not impede flow paths and watercourses.</p> <p>AND</p> <p>AO3.2 Landscaping maximises opportunities for on-site infiltration by:</p> <ul style="list-style-type: none"> (a) minimising impervious surfaces and incorporating semi-permeable paving products; (b) falling hard surfaces towards pervious surfaces such as turf or mulched areas; (c) maximising the opportunity for turf and planting areas; (d) aligning planting areas parallel to contours to slow the flow of surface water; and (e) ensuring the planting palette comprises canopy tree species. <p>AND</p> <p>AO3.3 Provision for drainage is incorporated through treatments such as subsurface drains, swales, ponds, infiltration cells.</p> <p>AND</p> <p>AO3.4 The landscape design incorporates sediment and erosion control measures.</p>
<p>PO4 Design of pedestrian paths and places reinforces the desired character of the area and includes features to enhance their use and are of universal design to ensure non-discriminatory access and use.</p>	<p>AO4.1 The landscape design complies with Australian Standard AS 1428 parts 1, 2, 3 and 4 — Design for access and mobility.</p>
<p>PO5 Landscaping is designed and maintained to minimise the potential for risk to personal safety and property, through:</p> <ul style="list-style-type: none"> (a) maximising casual surveillance of public spaces; (b) increasing opportunity for public interaction; and (c) minimising opportunity for concealment and criminal activity through environmental design principles. 	<p>AO5.1 Planting is carried out in accordance with crime prevention through environmental design principles and incorporates:</p> <ul style="list-style-type: none"> (a) plants and trees that do not restrict casual surveillance of paths and landscaped spaces; (b) clear sight lines from private to public space; (c) visually permeable screens and fencing; (d) lighting of landscaped areas; (e) public facilities (toilets, shelters etcetera) located to promote use; (f) dual access points to public spaces; (g) clearly defined public and private

Performance outcomes	Acceptable outcomes
	spaces; (h) measures to protect solid and blank walls from graffiti; (i) legible universal signage; (j) a selection of species that do not create nuisance and danger by way of thorns, toxins or a common source of allergies; and (k) plant species that do not exacerbate impacts such as bushfire or flash flooding.
Species selection	
<p>PO6 Landscaping design includes plant species that:</p> <ul style="list-style-type: none"> (a) suit the local climatic conditions; (b) have low water usage needs or are provided with water harvested on-site; (c) include locally native species; (d) are of a suitable size and density to achieve the purposes of this code; (e) complement the proposed development; (f) are not classified as a pest species or a noxious or invasive weed; (g) preserve existing vegetation where desirable and protect existing environmental values of the land; and (h) do not exacerbate bushfire or flood hazards. 	<p>AO6.1 Plant species are chosen from sources recommended by SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.2 Plant species do not include undesirable species as listed in SC6.12 — Landscape design and street trees planning scheme policy.</p> <p>AND</p> <p>AO6.3 At least fifty (50) per cent of all new plantings are locally native species.</p> <p>AND</p> <p>AO6.4 Plant species are compliant with any adopted planting or landscape design concept/theme for the local area.</p> <p>AND</p> <p>AO6.5 Unless forming part of a landscaping concept approved by Council, planting is carried out to create a ‘three-tier’ landscaping treatment at the following minimum density rates:</p> <ul style="list-style-type: none"> (a) trees at five (5) metre intervals; (b) shrubs at two (2) metre intervals; and (c) groundcovers at 0.5 metre to one (1) metre intervals. <p>AND</p> <p>AO6.6 Existing vegetation is retained and integrated into landscaping.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes
	<p>AO6.7 The use of palms is avoided in proximity to overland flow paths and watercourses.</p>
Character and streetscaping	
<p>PO7 Where the development involves the creation of a new road, street-tree planting is undertaken which takes account of:</p> <ul style="list-style-type: none"> (a) the hierarchy and function of the street; (b) the selection of appropriate species; (c) avoidance of conflict between the street tree and utilities and services within the road reserve; (d) soil conditions; (e) existing street trees; (f) solar access; and (g) driveway access. 	<p>AO7.1 Street tree planting is carried out in accordance with the requirements of SC6.12 — Landscape design and street trees planning scheme policy.</p>
<p>PO8 Vehicle safety is not adversely affected by the location of landscaped areas and/or landscape buffers.</p>	<p>AO8.1 For any site on a corner bounded by two or more road frontages, landscaping and fences higher than 1.2 metres are not located within the corner truncation illustrated in Figure 9.3.4.3.1a below:</p> <div data-bbox="917 919 1247 1192" style="text-align: center;"> </div> <p>Figure 9.3.4.3.1a — Height restriction for corner sites</p>
<p>PO9 Landscape design is integrated with any existing urban design theme within the surrounding area and coordinates paving, planting, street furniture, lighting, signage and other elements to reflect that theme and assist in the creation of a sense of place.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO10 Fencing (including walls) and acoustic barriers are designed to:</p> <ul style="list-style-type: none"> (a) be compatible with the existing streetscape; (b) minimise adverse effects on the amenity of an adjoining property; and (c) complement, but not dominate, the development. 	<p>AO10.1 Combined fencing and retaining walls do not exceed three (3) metres in height and require vertical articulation if taller than two (2) metres in height.</p> <p>AND</p> <p>AO10.2 Where acoustic fencing is required by the planning scheme it is designed by an acoustic engineer and incorporates a minimum three (3) metre vegetated buffer (unless otherwise stated by the relevant zone code) with vegetation having a mature height</p>

Performance outcomes	Acceptable outcomes
	equal to or above the height of the acoustic fencing.
Car parking and internal access	
<p>PO11 Car parks and internal access (both on and off-street) are landscaped to:</p> <ul style="list-style-type: none"> (a) reduce their visual appearance; (b) provide shade; (c) reduce glare; (d) reduce heat stored in hard surfaces; (e) harvest storm water; and (f) be of a design that protects damage from vehicles, minimises risk of crime and contaminated stormwater runoff. 	<p>AO11.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy sets out guidance on tree species and planting standards.</p> <p>AND</p> <p>AO11.2 Each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres.</p> <p>AND</p> <p>AO11.3 Each shade tree has a clean trunk with a minimum height of two (2) metres.</p> <p>AND</p> <p>AO11.4 Planting bays incorporate ground covers less than one (1) metre in height that allow unobstructed surveillance.</p> <p>AND</p> <p>AO11.5 Trees within car parking areas are planted within a deep natural ground/structured soil garden bed, and are protected by wheel stops or bollards as required.</p> <p>AND</p> <p>AO11.6 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p>
Utilities and other infrastructure	
<p>PO12 The function, safety and accessibility of utilities and other infrastructure is not compromised by the location and type of landscaping including:</p> <ul style="list-style-type: none"> (a) overhead wires and equipment; (b) underground pipes and cables; and 	<p>AO12.1 A minimum three (3) metre wide densely planted landscaped buffer is provided along the boundary adjoining the identified major electricity transmission corridor, including provision for advanced trees and shrubs that will grow to a minimum height of ten (10)</p>

Performance outcomes	Acceptable outcomes
<p>(c) inspection chambers, transformers, poles and drainage infrastructure.</p>	<p>metres.</p> <p>AND</p> <p>AO12.2 Root control barriers are installed where invasive roots may cause damage to car parking areas, pedestrian paths and road carriageways.</p> <p>AND</p> <p>AO12.3 The mature foliage of vegetation is not located within three (3) metres of an electrical substation boundary.</p>
<p>PO13 Landscape site planning and design must accommodate for maintenance access points and clearances with the following considerations:</p> <p>(a) access by appropriate maintenance or utility vehicles must be demonstrated with slope gradients and ground surface treatments that are stable and usable in all weather;</p> <p>(b) provide an appropriate turn around area for vehicles and secure access entrance; and</p> <p>(c) plant species mature height and habit must not interfere with or compromise underground or overhead utility assets, including storm inlet pits.</p>	<p>AO13.1 Maintenance access points and clearance must be provided in accordance with Capricorn Municipal Development Guidelines and Queensland Urban Drainage Manual.</p> <p>AND</p> <p>AO13.2 Landscape treatments to be constructed in accordance with SC6.12 — Landscape design and street tree planning policy.</p>

9.3.5 Reconfiguring a lot code

9.3.5.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment for reconfiguring a lot.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.5.2 Purpose

- (1) The purpose of the reconfiguring a lot code is to:
 - (a) facilitate the creation of attractive, accessible and functional neighbourhoods and districts, and a well-integrated, compact and sustainable urban form;
 - (b) protect the productive capacity, landscape character and ecological and physical functions of the region's diverse natural resources; and
 - (c) provide a set of minimum requirements for the reconfiguring of land, including the creation of Community Titles Schemes made pursuant to the *Body Corporate and Community Management Act 1997*.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) lot reconfiguration results in:
 - (i) safe, convenient, efficient and attractive urban settlements;
 - (ii) maintaining the productive potential of rural land;
 - (iii) a sequential pattern of development to maximise the efficiency of infrastructure provision and connect to surrounding movement and infrastructure networks;
 - (iv) a variety and mix of lot sizes to enable a range of development options to accommodate the differing needs and circumstances in accordance with the relevant zone;
 - (v) lots of a suitable size and dimension for the intended use of the site, including space for vehicle access and parking, on-site services and open space; and
 - (vi) compact and walkable neighbourhoods connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;

Editor's note—In order to demonstrate compliance with this code, Council may request the preparation of a structure plan for the locality, prepared in accordance with SC6.19 — Structure plan planning scheme policy. This plan may form the basis of a preliminary approval for development in an area.

- (b) lot reconfiguration responds effectively to the natural characteristics of the land including its topography, natural drainage systems, vegetation and habitat, cultural heritage features, streetscape character, landmarks, views and vistas and the protection of important ecological values and ecosystems;
- (c) lots are orientated in a way which facilitates the siting of buildings that are appropriate for the local climatic conditions;
- (d) the street network is grid based and where applicable, follows ridges and gullies perpendicular to the slope to minimise cut and fill;
- (e) lot and road design will provide for infrastructure within the road reserve;
- (f) infrastructure is provided to new lots in a way which minimises whole of life cycle costs and maximises the use of sustainable technologies;
- (g) public open space is provided in a way which is accessible, safe and integrated with drainage and transport networks;
- (h) streets and roads are designed to provide access, safety and convenience for all users; and
- (i) streets and roads create high quality streetscapes and facilitate the use of walking, cycling and public transport.

9.3.5.3 Specific benchmarks for assessment

Table 9.3.5.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Provisions applicable to a boundary realignment only	
<p>PO1 Boundary realignment does not contribute to:</p> <ul style="list-style-type: none"> (a) the fragmentation of land; and (b) the potential to introduce uses or activities which conflict with the intent of the applicable zone for all or part of the site. 	<p>AO1.1 No additional lots are created by the realignment of boundaries.</p> <p>AND</p> <p>AO1.2 Boundary realignment is contained entirely within a single zone, precinct or sub-precinct.</p>
<p>PO2 Boundary realignment results in all lots being connected to appropriate infrastructure or services.</p>	<p>AO2.1 All infrastructure connections and services are provided within the sites they serve.</p> <p>Editor's note—This may require relocation of existing infrastructure connections.</p>
<p>PO3 Boundary realignment results in lots with the appropriate size, dimensions and road access to accommodate uses consistent with the zone, precinct or sub-precinct.</p>	<p>AO3.1 The size of the resulting lots complies with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>
Provisions applicable to all other reconfiguring a lot applications	
Lot design – general	
<p>PO4 Lot reconfiguration is integrated with the surrounding natural, urban and rural environment, having regard to:</p> <ul style="list-style-type: none"> (a) the layout, access and dimensions of streets and lots; (b) connections to surrounding streets and pedestrian and cycle networks and other infrastructure networks; (c) provision for shared use of public facilities; (d) open space networks, retained habitat areas or corridors, landscape features and views and vistas; and (e) connections to centres. 	No acceptable outcome is nominated.
<p>PO5 Lot layout and movement network design protects areas with significant values and generally:</p> <ul style="list-style-type: none"> (a) follows the natural topography, minimising earthworks and avoiding development on steep slopes; (b) avoids crossing or otherwise fragmenting waterways, wetlands, habitat areas or ecological corridors; (c) maintains natural drainage features and hydrological regimes; and (d) retains key site characteristics, landmarks, views and vistas and places of cultural heritage significance. 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>PO6 Street blocks are:</p> <ul style="list-style-type: none"> (a) rectilinear and arranged to provide an efficient neighbourhood pattern that supports walking, cycling and public transport use; and (b) laid out in a grid pattern taking account of topography and minimising cut and fill on steeper land. <p>Editor's note—Smaller lot sizes (below the minimum lot size nominated in Table 9.3.5.3.2) may be considered to achieve the grid pattern layout.</p> <p>Editor's note—Figure 9.3.5.3.1a provides a subdivision design that achieves this performance outcome.</p>	<p>AO6.1 Street block lengths do not exceed 200 metres.</p> <p>AND</p> <p>AO6.2 The use of a cul-de-sac is avoided unless the slope, shape or size of the site provides no alternative. Where provided, a cul-de-sac:</p> <ul style="list-style-type: none"> (a) is less than or equal to eighty (80) metres in length; (b) is straight, with a clear view from the start of the street to the turning head; and (c) provides a pedestrian connection from the head of the cul-de-sac to another road with a minimum width of ten (10) metres.
Lot size and dimension	
<p>PO7 Lots have a regular shape and consistent dimensions to facilitate the efficient development of the land for its intended purpose, and have sufficient area to provide for:</p> <ul style="list-style-type: none"> (a) appropriate buildings and structures; (b) adequate usable open space and landscaping; (c) ventilation and sunlight; (d) privacy for residents; (e) suitable vehicle access and on-site parking where required; and (f) any required on-site services and infrastructure such as effluent disposal areas. 	<p>AO7.1 The dimensions and minimum areas of lots are in accordance with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>
<p>PO8 Rear lots are only created where:</p> <ul style="list-style-type: none"> (a) the lots are not to prejudice future subdivisions or development of adjoining land; (b) it is not practicable for the site to be reconfigured so that all lots have full frontage to the road; (c) the siting of buildings is not likely to be detrimental to the use and amenity of the surrounding area; (d) sufficient width is provided for access for the use of the lot; and (e) infrastructure services to the lot can be easily constructed, monitored and maintained. 	<p>AO8.1 Only one (1) rear lot is provided behind each standard lot.</p> <p>AND</p> <p>AO8.2 No more than two (2) access driveways are located together.</p> <p>AND</p> <p>AO8.3 No more than two (2) rear lots gain access from the head of a cul-de-sac.</p> <p>AND</p> <p>AO8.4 An access strip for a rear lot is in accordance with Table 9.3.5.3.2 — Minimum lot sizes and dimensions.</p>

Performance outcomes	Acceptable outcomes
	<p>AND</p> <p>AO8.5 In a residential category zone, rear lot is capable of containing a building envelope of fourteen (14) metres by twenty (20) metres.</p>
<p>Additional requirements in the low density residential zone, low-medium density residential zone and in the emerging community zone when reconfiguring land for residential development</p>	
<p>PO9 Reconfiguration provides for the development of a range and mix of lot sizes to facilitate a range of housing choices and the creation of walkable neighbourhoods in accordance with the intent of the relevant zone.</p> <p>Editor's note—Smaller lot sizes (below the minimum lot size nominated in Table 9.3.5.3.2) may be considered.</p>	<p>AO9.1 In a development which results in the creation of ten (10) or more lots, at least twenty (20) per cent of the lots are smaller than 450 square metres.</p> <p>Editor's note—For all lots smaller than 450 square metres, and on land steeper than ten (10) per cent, a plan is submitted demonstrating that future development can comply with Queensland Development Code: Part 1, MP 1.1 — Design and siting standard for single detached housing – on lots under 450 square metres.</p> <p>AND</p> <p>AO9.2 Where a row of small lots are located in a development:</p> <ul style="list-style-type: none"> (a) there are no more than eight narrow frontage (less than fifteen (15) metres) lots in a row; and (b) attached (terrace or row) housing lots are arranged in groups of four (4) to six (6) to enable group housing construction and integrated streetscape.
<p>Additional requirements in the emerging community zone</p>	
<p>PO10 Reconfiguring in the emerging community zone does not compromise the future development potential of the area for urban purposes.</p>	<p>AO10.1 Reconfiguring below the minimum lot size specified in Table 9.3.5.3.2 — Minimum lot sizes and dimensions is undertaken only to facilitate new urban development and only in accordance with an approved structure plan prepared in accordance with SC6.19 — Structure plan planning scheme policy.</p>
<p>Climatic response</p>	
<p>PO11 Street and lot orientation and lot size facilitate development that enhances climate responsiveness by minimising sun penetration and maximising cooling breezes into buildings by:</p> <ul style="list-style-type: none"> (a) optimising an east-west orientation for the long axis of street blocks or where north-south street orientation is unavoidable, proportioning lots to allow for appropriate building orientation; (b) creating lots that are generally rectangular in shape; (c) avoiding concentration of small lots where perpendicular to natural air 	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>flows such as south-east prevailing winds; and</p> <p>(d) locating built to boundary walls, where they are proposed, on the west-southwest boundary of lots except where these boundaries are on the higher side of a sloping lot.</p>	
Development near infrastructure corridors	
<p>PO12 Reconfiguration within 100 metres of any trunk gas pipeline does not:</p> <p>(a) affect the long-term operation of the pipe line; or</p> <p>(b) put at risk the safety and lives of people; or</p> <p>(c) put at risk the safety of property.</p>	<p>AO12.1 No additional lots are created within 100 metres of any trunk gas pipeline.</p>
<p>PO13 Lots are designed and oriented to:</p> <p>(a) minimise the visual exposure of electricity transmission lines;</p> <p>(b) facilitate a substantive vegetated buffer adjoining electricity transmission line easements;</p> <p>(c) ensure habitable buildings and recreation areas are well separated from electricity transmission line easements;</p> <p>(d) avoid compromising or adversely impacting upon the efficiency and integrity of the major electricity and bulk water supply infrastructure works; and</p> <p>(e) ensure that access requirements of major electricity and bulk water supply infrastructure are maintained.</p>	<p>AO13.1 Where on land that includes or adjoins a high voltage (above 11kV) electricity easement, lot design and layout incorporates:</p> <p>(a) a vegetated buffer along the boundary of the electricity transmission line easement; and</p> <p>(b) the orientation of the primary lot frontage away from the transmission line easement.</p> <p>AND</p> <p>AO13.2 Lots are designed and oriented to ensure that a habitable building or primary open space areas on each lot can comply with the separation distances set out in Table 9.3.5.3.3 — Separation distances to electricity transmission line easement.</p> <p>AND</p> <p>AO13.3 Residential development including lots and buildings/structures are not located within an easement for, or an area otherwise affected by, a high voltage electricity transmission line as identified on the Regional Infrastructure Corridors Overlay Map OM-18.</p> <p>AND</p> <p>AO13.4 Major electricity or bulk water supply infrastructure traversing or within private land is protected by an easement in favour of the service provider for access and maintenance.</p>
<p>PO14 Lots near a rail corridor or a regional arterial, sub-arterial or distributor road are of sufficient</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
size and depth to ensure that noise attenuation measures can be facilitated to ensure that future dwellings are not exposed to road or rail noise greater than 63dB La10 (18 hours).	
<p>PO15 Reconfiguration does not result in lots being subject to adverse air quality or odour impacts.</p> <p>Editor's note—A report by a suitably qualified person may be required to allow an assessment to be made of the air quality or impacts.</p>	No acceptable outcome is nominated.
Infrastructure	
<p>PO16 Infrastructure, including roads and streets, water supply, stormwater drainage, sewage disposal, waste disposal, electricity and communication facilities are provided in a manner that:</p> <ul style="list-style-type: none"> (a) is adequate for the projected needs of the development; (b) is adaptable to allow for future infrastructure upgrades; (c) minimises risk of adverse environmental or amenity related impacts; and (d) minimises whole of life cycle costs for that infrastructure. 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—Services are provided in accordance with the desired standards of service in Part 4 of this planning scheme.</p> <p>Editor's note—All electrical reticulation in new developments or in new stages of existing developments must be underground unless agreed otherwise with Council.</p>
<p>PO17 Reconfiguration of land in areas unable to be connected to the reticulated sewerage system results in sites that are each able to efficiently dispose of domestic effluent in a manner that:</p> <ul style="list-style-type: none"> (a) minimises any potential adverse ecological impacts, particularly on any nearby sensitive receiving environments; (b) limits any health risks during a system failure; (c) ensures the water quality of existing and/or proposed water supplies remains unaffected; (d) ensures the sustainable disposal of domestic effluent; and (e) does not impose a higher than normal cost to future land owners of the site for the installation and maintenance of pipes, pumps, etcetera, and ensures that systems are easily able to be properly maintained. 	<p>AO17.1 The minimum size of a lot is 4,000 square metres in areas unable to be connected to the reticulated sewerage system.</p>
Movement network design	
<p>PO18 The street and road network has a clear</p>	<p>AO18.1 Roads and streets are designed in</p>

Performance outcomes	Acceptable outcomes
<p>structure, with roads that conform to their function in the network, having regard to:</p> <ul style="list-style-type: none"> (a) convenient and safe movement between local streets and higher order roads; (b) traffic volumes, vehicle speeds and driver behaviour; (c) on street parking; (d) sight distance; (e) provision for public transport routes and stops; (f) permeability and connectivity for vehicles and pedestrians; (g) provision for pedestrian and cyclist movement, prioritising these where appropriate; (h) multiple access points to every neighbourhood; (i) provision for waste collection and emergency vehicles; (j) lot access; (k) convenience; (l) public safety; (m) amenity; (n) the incorporation of public utilities and drainage; and (o) streetscaping and street furniture. 	<p>accordance with Capricorn Municipal Development Guidelines, SC6.15 — Road infrastructure and hierarchy planning scheme policy and SC6.19 — Structure plan planning scheme policy.</p> <p>AND</p> <p>AO18.2 No more than 200 lots are served by any one (1) road access point.</p>
<p>PO19 Local streets do not operate as through traffic routes for externally generated traffic (other than for pedestrians, cyclists and public transport).</p>	<p>No acceptable outcome is nominated.</p>
<p>PO20 Where lot reconfiguration involves the creation of a new street (other than in a rural zone or the rural residential zone), streetscape and landscape treatments are provided that:</p> <ul style="list-style-type: none"> (a) create an attractive and legible environment with a clear character and identity; (b) use and highlight features of the site such as views, vistas, existing vegetation, landmarks and places of cultural heritage significance; (c) enhance safety and comfort, and meet user needs; (d) complement the function of the street in which they are located by reinforcing desired traffic speed and behaviour; (e) assist integration with the surrounding environment; (f) maximise infiltration of stormwater runoff; and (g) minimise maintenance costs through: <ul style="list-style-type: none"> (i) street pavement, parking bays and speed control devices; (ii) street furniture, shading, lighting and utility installations; 	<p>No acceptable outcome is nominated.</p> <p>Editor's note—The following provides guidance (but not limited to):</p> <ul style="list-style-type: none"> (a) SC6.12 — Landscape design and street trees planning scheme policy; (b) SC6.15 — Road infrastructure and hierarchy planning scheme policy; and (c) SC6.19 — Structure plan planning scheme policy.

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> (iii) retention of existing vegetation; and (iv) on-street planting. 	
Road design	
<p>PO21 The geometric design features of each type of road:</p> <ul style="list-style-type: none"> (a) convey its primary function for all relevant design vehicle types; (b) have an adequate horizontal and vertical alignment that is not conducive to excessive speeds; (c) encourage traffic speeds and volumes to levels commensurate with road hierarchy function; (d) ensure unhindered access by emergency and waste collection vehicles and buses; and (e) ensure safe access to lots. 	<p>AO21.1 AO21.1.1 Roads are designed in compliance with the Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO21.1.2 Within the rural residential zone new roads are constructed to a rural minor collector standard or higher.</p> <p>Note—A rural access road does not apply to new subdivisions within the rural residential zone regardless of the vehicles per day as identified by the Capricorn Municipal Development Guidelines Table D.1.21.01.</p>
<p>PO22 Intersections and road crossings for the safe and efficient movement of pedestrians and cyclists are provided at regular intervals.</p>	No acceptable outcome is nominated.
<p>PO23 Access to each lot is designed to minimise impacts on the function, vehicle speeds, safety, efficiency and capacity of streets and roads.</p>	<p>AO23.1 Access arrangements are consistent with the characteristics intended for the particular type of road or street specified in the Capricorn Municipal Development Guidelines.</p>
Pedestrian and cycle networks	
<p>PO24 A network of pedestrian paths and cycle ways is provided which links open space networks, employment areas and community facilities, including public transport stops, centres and schools, and is designed having regard to:</p> <ul style="list-style-type: none"> (a) topography; (b) cyclist and pedestrian safety; (c) cost effectiveness; (d) likely user volumes and types; (e) convenience; and (f) accessibility. <p>Editor's note—The bicycle network is to be in accordance with the SC6.4 — Bicycle network planning scheme policy.</p>	No acceptable outcome is nominated.
<p>PO25 The alignment of pedestrian paths and cycle ways is designed so that they:</p> <ul style="list-style-type: none"> (a) allow for the retention of trees and other significant features; (b) maximise the visual interest provided by views and landmarks where they exist; (c) are well lit and allow for casual surveillance; (d) do not compromise the operation of or access to other infrastructure services; (e) are widened at potential conflict points; 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>and</p> <p>(f) retain existing trees and other features that provide shade.</p> <p>Editor's note—The bicycle network is to be in accordance with the SC6.4 — Bicycle network planning scheme policy.</p>	
Public transport	
<p>PO26</p> <p>The movement network caters for the extension of existing or future public transport routes to provide services that are convenient and accessible to the community.</p>	<p>AO26.1</p> <p>Except in the rural zone and the rural residential zone, at least eighty (80) per cent of proposed lots are within 400 metres safe walking distance from an existing or potential bus route or 500 metres walking distance of an identified bus stop.</p>
<p>PO27</p> <p>Public transport stops are located and designed to:</p> <p>(a) ensure adequate sight distances are available to and for passing traffic;</p> <p>(b) be part of the pedestrian network and allow for safe pedestrian crossing;</p> <p>(c) provide shelter or shade, seats, adequate lighting and timetable information;</p> <p>(d) be in keeping with the character of the locality;</p> <p>(e) be able to be overlooked from nearby buildings where in urban areas; and</p> <p>(f) minimise adverse impacts on the amenity of nearby dwelling units.</p>	<p>No acceptable outcome is nominated.</p>
Open space	
<p>PO28</p> <p>Neighbourhood design and lot layout provides a balanced variety of local park types, including:</p> <p>(a) small local parks, which are designed to:</p> <p>(i) provide a small open space setting for adjoining dwellings;</p> <p>(ii) incorporate and retain existing natural features; and</p> <p>(iii) incorporate landscaping to assist in creating neighbourhood identity and way finding;</p> <p>(b) neighbourhood parks, which are designed to:</p> <p>(i) be centrally located;</p> <p>(ii) support the local community's recreational needs; and</p> <p>(iii) provide opportunities for community and special events;</p> <p>(c) lineal or corridor parks, which are designed to:</p> <p>(i) connect with existing or planned open space in the locality;</p> <p>(ii) incorporate pedestrian and cycle paths;</p> <p>(iii) protect significant natural</p>	<p>AO28.1</p> <p>Open space is provided in accordance with the rates and desired standards of service contained in SC6.14 — Local parks planning scheme policy.</p>

Performance outcomes	Acceptable outcomes
<ul style="list-style-type: none"> features; (iv) convey stormwater; and (v) provide for other recreational needs when not flooded; (d) natural parkland areas which: <ul style="list-style-type: none"> (i) retain locally significant wetlands, regulated vegetation and habitat for fauna; (ii) continue ecological corridors and linkages to areas outside of the neighbourhood; and (iii) maintain important landscape and visual amenity values. 	
<p>PO29 Neighbourhood design and lot layout provides for safe and secure, well distributed and located parkland that:</p> <ul style="list-style-type: none"> (a) provides a clear relationship between the public realm and adjoining land uses through treatments including alignment, fencing and landscaping; (b) enhances the area's local identity and landscape amenity; (c) provides for a range of recreational opportunities to meet community needs; (d) forms a linkage to existing parkland or habitats; (e) respects and retains existing natural elements; and (f) protects biodiversity values and features. <p>Note—The subdivision layout addresses the elements of crime prevention through environmental design described in the Crime Prevention Through Environmental Design (CPTED) Guidelines for Queensland.</p>	<p>No acceptable outcome is nominated.</p>



Figure 9.3.5.3.1a – Subdivision layout

Table 9.3.5.3.2 — Minimum lot sizes and dimensions

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot	
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)
Residential zones							
Note—The character overlay applies to some residential zoned areas, which overrides the requirements within this table.							
Low density residential	Fitzroy River accommodation precinct	No additional lots to be created					
	Residential stables precinct	800	800	20	25	5	40
	Otherwise	300	300 (excluding vehicle access strip)	8			
Low-medium density residential		300	300 (excluding vehicle access strip)	8			
High density residential		1,000	1,000	20			
Centres zones							
Principal centre	All precincts	450	450	10	No acceptable outcome nominated		
Major centre		450	450	10			
District centre		450	450	10			
Local centre		450	450	10			
Neighbourhood centre		450	450	10			

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot	
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)
Environmental zones							
Environmental management and conservation		No additional lots to be created					
Recreation zones							
Sport and recreation	Including precinct	No acceptable outcome nominated					
Open space	Including precinct	No acceptable outcome nominated					
Industry zones							
Low impact industry		1,000	1,000	25	40	8	No acceptable outcome nominated
	South Rockhampton	No additional lots to be created					
Medium impact industry	Including precinct	5,000	5,000	50	50	8	No acceptable outcome nominated
High impact industry	Including precinct	10,000	10,000	125	50	8	
Special industry		10,000	10,000	125	50	8	
Waterfront and marine industry		1,000	1,000	25	40	8	
	Fitzroy River Industry precinct	No additional lots to be created					
Other zones							
Community facilities	Including precinct	600	600	20	No acceptable outcome is nominated		
Emerging community		500,000	500,000	200	No acceptable outcome is nominated		

Zone	Precinct or sub-precinct	Lot size minimum area (square metres)		Lot dimension		Access strip for a rear lot		
		Standard lot	Rear lot (excluding access strip)	Minimum frontage width (metres) (other than for a rear lot)	Minimum depth (metres)	Minimum width (metres)	Maximum driveway length (metres)	
Limited development	Including precinct	No additional lots to be created						
Rural	Alton Downs precinct	80,000	80,000	200	No acceptable outcome nominated	15	No acceptable outcome nominated	
	Cropping and intensive horticulture precinct	400,000	400,000	200				
	Otherwise	1,000,000	1,000,000	200				
Rural residential	Including precinct	4,000	4,000	40	50	8	No acceptable outcome nominated	
Special purpose	All precincts and sub-precincts	600	600	20	No acceptable outcome nominated			
Specialised centre	All precincts and sub-precincts	450	450	10	No acceptable outcome nominated			
Township		600	600	20	25	5	40	
	Kabra and Stanwell precinct	No additional lots to be created						

Note—The overlay codes prevail over the reconfiguring a lot code where a conflict exists. An overlay code may require no additional lots to be created for particular sites.

Editor's note—A structure plan may vary the requirements of Table 9.3.5.3.2 — Minimum lot sizes and dimensions. A structure plan is to be prepared in accordance with SC6.19 — Structure plan planning scheme policy.

Editor's note—Residential lots less than 450 square metres are required to comply with the Queensland Development Code: Part1, MP 1.1 — Design and Siting Standard for Single Detached Housing.

Table 9.3.5.3.3 — Separation distances to electricity transmission line easement

Nominal operating voltage of the transmission line	Separation distance — measured from the edge of the easement
Up to 132 kV	20 metres
275 kV and 330 kV	30 metres
500 kV	40 metres

9.3.6 Stormwater management code

9.3.6.1 Application

This code applies to development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.6.2 Purpose

- (1) The purpose of the stormwater management code is to provide for sustainable stormwater infrastructure which protects water quality, environmental values and maintains or enhances community health, safety and amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) acceptable levels of stormwater run-off quality and quantity are achieved by applying water sensitive urban design principles;
 - (b) public health and safety are protected and development avoids damage or nuisance caused by stormwater flows;
 - (c) development includes a stormwater management system which minimises impacts on natural catchment hydrological processes;
 - (d) development ensures that the environmental values of waterways are protected or enhanced;
 - (e) development maintains or enhances the efficiency and integrity of the stormwater infrastructure network;
 - (f) the whole of life-cycle cost of stormwater infrastructure is minimised; and
 - (g) new development infrastructure is designed to support and complement existing and planned stormwater infrastructure.

9.3.6.3 Specific benchmarks for assessment

Table 9.3.6.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Stormwater management — General	
<p>PO1 Development provides a stormwater management system which achieves the integrated management of stormwater to:</p> <ol style="list-style-type: none"> (a) ensure that flooding impacts do not increase, including upstream or downstream of the development site; (b) avoid net worsening of stormwater peak discharges and runoff volumes; (c) utilises the use of water sensitive urban design principles; and (d) ensure the site maximises opportunities for capture and reuse. <p>Editor's note—A stormwater management plan may be required to demonstrate compliance with the performance outcome.</p>	<p>AO1.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, SC6.10 — Flood hazard planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO1.2 Stormwater is conveyed to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.</p>
<p>PO2 Development provides a stormwater management system which:</p> <ol style="list-style-type: none"> (a) has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments; 	<p>AO2.1 Development provides a stormwater management system which is designed in compliance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines</p>

Performance outcomes	Acceptable outcomes
<p>(b) maximises the use of natural waterway corridors and natural channel design principles; and</p> <p>(c) efficiently integrates with existing stormwater treatments upstream and downstream.</p>	<p>and Australian Rainfall and Runoff</p>
<p>PO3 Development ensures that the location and design of stormwater detention and water quality treatment facilities:</p> <p>(a) minimise risk to people and property;</p> <p>(b) provide for safe access and maintenance; and</p> <p>(c) provide for the safe recreational use of stormwater management features.</p>	<p>AO3.1 Development provides for stormwater detention and water quality treatment facilities which are located outside of a waterway.</p> <p>AND</p> <p>AO3.2 Development provides for stormwater detention in accordance with SC6.18 — Stormwater management planning scheme policy, Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p> <p>AND</p> <p>AO3.3 Development provides a stormwater quality treatment system which is designed in accordance with State Planning Policy – Guideline – Water Quality.</p>
Environmental values	
<p>PO4 Development and drainage works including stormwater channels, creek modification works, bridges, culverts and major drains, protect and enhance the environmental values of the waterway corridors and drainage paths and permit terrestrial and aquatic fauna movement.</p> <p>Editor's note—Compliance with the performance outcomes and acceptable outcomes should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	<p>AO4.1 Development ensures natural waterway corridors and drainage paths are retained.</p> <p>AND</p> <p>AO4.2 Development incorporates the use of natural channel design principles in constructed components to maximise environmental benefits and waterway stability in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff</p> <p>AND</p> <p>AO4.3 Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in accordance with the Queensland Urban Drainage Manual, Capricorn Municipal Development Guidelines and Australian Rainfall and Runoff.</p>
<p>PO5 Development protects and enhances the environmental and water quality values of waterways, creeks and estuaries within or</p>	<p>No acceptable outcome is nominated.</p>

Performance outcomes	Acceptable outcomes
<p>external to the site.</p> <p>Editor's note—The State Planning Policy – Guideline – Water Quality and Section 9 of the <i>Environmental Protection Act 1994</i> define environmental values as 'a quality or physical characteristic of the environment that is conducive to ecological health or public amenity or safety.'</p>	
Overland flow path tenure	
<p>PO6 All overland flow paths are maintained under tenure arrangements that facilitate efficient infrastructure and enhance environmental sustainability.</p> <p>Editor's note—As a guide, Council prefers that the location of Council owned assets are contained within a road reserve, drainage system is contained within a road reserve, drainage easement, drainage reserve, public reserve, public pathway, park or waterway corridor.</p>	No acceptable outcome is nominated.
Detention Systems	
<p>PO7 Detention basins are designed, located and constructed on land solely dedicated for stormwater management.</p>	<p>AO7.1 Detention basins are designed in accordance with SC6.18 Stormwater management planning scheme policy.</p>
<p>PO8 Development ensures that location and design of stormwater detention and water quality treatment:</p> <ul style="list-style-type: none"> (a) minimises risk to people and property; (b) provides for safe access and maintenance; (c) minimises ecological impacts to creeks and waterways. 	<p>AO8.1 Development provides a stormwater management system designed in accordance with SC6.10 Flood hazard planning scheme policy and SC6.18 Stormwater management planning scheme policy.</p>
<p>PO9 Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:</p> <ul style="list-style-type: none"> (a) detention system design does not remove flood plain storage; (b) detention systems continue to operate effectively during a major storm event. 	No acceptable outcome is nominated.
<p>PO10 Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin.</p>	<p>AO10.1 The location of detention basins are in accordance with SC6.18 Stormwater management planning scheme policy.</p>
Efficiency and whole of life cycle cost	
<p>PO11 Development ensures that there is sufficient site area to accommodate an effective stormwater management system.</p> <p>Editor's note—Compliance with the performance outcome should be demonstrated by the submission of a site-based stormwater management plan for development.</p>	No acceptable outcome is nominated.
<p>PO12 Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:</p> <ul style="list-style-type: none"> (a) existing capacity of stormwater infrastructure within and external to the 	No acceptable outcome is nominated.

Performance outcomes	Acceptable outcomes
<p>site, and any planned stormwater infrastructure upgrades;</p> <p>(b) safe management of stormwater discharge from existing and future upslope development; and</p> <p>(c) implications for adjacent and down-slope development.</p>	
<p>PO13 Development provides proposed stormwater infrastructure which:</p> <p>(a) remains fit for purpose for the life of the development and maintains full functionality in the design storm event; and</p> <p>(b) can be safely accessed and maintained in a cost effective way.</p>	<p>No acceptable outcome is nominated.</p>
Erosion and sediment control	
<p>PO14 Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation, revegetation and landscaping to protect:</p> <p>(a) the environmental values and water quality objectives of waters;</p> <p>(b) waterway hydrology; and</p> <p>(c) the maintenance and serviceability of stormwater infrastructure.</p>	<p>AO14.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p>
Water quality within catchment areas	
<p>PO15 For development proposals within the Fitzroy River sub-basin, relevant environmental values are recognised and enhanced, and relevant water quality objectives are addressed.</p> <p>Editor's note—Section 3.2 of Queensland Water Quality Guidelines 2009 identifies values for water quality for waters in the Central Coast Queensland region.</p>	<p>AO15.1 Development complies with the provisions of the State Planning Policy – Guideline – Water Quality.</p> <p>AND</p> <p>AO15.2 Development adjoining the full supply height above the Fitzroy River Barrage includes the provision of an effective buffer that assists in filtering runoff, including:</p> <p>(a) a buffer distance of 100 metres to the water supply height of the barrage which excludes cropping or grazing of a low intensity nature; and</p> <p>(b) fencing and water troughs installed on the land to prevent encroachment of animals within 100 metres of the full supply height above the barrage.</p>
Protecting water quality	
<p>PO16 The development is compatible with the land use constraints of the site for:</p> <p>(a) achieving stormwater design objectives; and</p>	<p>AO16.1 Development is undertaken in accordance with a stormwater management plan that:</p> <p>(a) incorporates stormwater quality control measures to achieve the design</p>

Performance outcomes	Acceptable outcomes
<p>(b) avoiding or minimising the entry of contaminants into, and transport of contaminants in stormwater.</p>	<p>objectives set out in the State Planning Policy – Guideline – Water Quality;</p> <p>(b) provides for achievable stormwater quality treatment measures reflecting land use constraints, such as soil type, landscape features (including landform), nutrient hazardous areas, acid sulfate soil and rainfall erosion potential; and</p> <p>(c) accounts for development type, construction phase, local landscape, climatic conditions and design objectives.</p> <p>Editor's note—A stormwater management plan includes the design, construction, operation, maintenance of the stormwater system.</p> <p>Editor's note—SC6.18 — Stormwater management planning scheme policy provides guidance on preparing a stormwater quality management plan.</p>
Protecting water quality in existing natural waterways	
<p>PO17 The waterway is designed for stormwater flow management, stormwater quality management and the following end use purposes:</p> <p>(a) amenity including aesthetics, (b) landscaping and recreation; (c) flood management; (d) stormwater harvesting as part of an integrated water cycle management plan; (e) as a sustainable aquatic habitat; and (f) the protection of water environmental values.</p>	<p>No acceptable outcome is nominated.</p>
<p>PO18 The waterway is located in a way that is compatible with existing tidal waterways.</p>	<p>AO18.1 Where the waterway is located adjacent to, or connected to, a tidal waterway by means of a weir, lock, pumping system or similar:</p> <p>(a) there is sufficient flushing or a tidal range of more than 0.3 metres; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments.</p>
<p>PO19 The construction phase for the waterway is compatible with protecting water environmental values in existing natural waterways.</p>	<p>AO19.1 Erosion and sediment control measures are incorporated during construction to achieve design objectives set out in State Planning Policy – Guideline – Water Quality.</p> <p>Editor's note—Erosion and sediment control is to be designed and implemented in accordance with the International Erosion Control Association Best Practice Erosion and Sediment Control Guidelines.</p>
<p>PO20 Stormwater overflows from the waterway do not result in lower water quality objectives in existing natural waterways.</p>	<p>AO20.1 Stormwater run-off entering non-tidal waterways is pre-treated prior to release in accordance with the guideline design</p>

Performance outcomes	Acceptable outcomes
	objectives, water quality objectives of local waterways, and any relevant local area stormwater management plan.

9.3.7 Waste management code

9.3.7.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.7.2 Purpose

- (1) The purpose of the waste management code is to ensure that development is provided with on-site waste management facilities including waste collection, storage, disposal and cleaning facilities which maintain public health and streetscape amenity.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development provides for adequate on-site waste management to deal with the expected volume and nature of waste generated by the development;
 - (b) waste facilities are screened from view from adjoining lots, streets and public spaces;
 - (c) waste management is conducted in a safe and ecologically sustainable manner; and
 - (d) waste facilities are located on-site in a manner which facilitates waste removal in a safe and efficient way.

9.3.7.3 Specific benchmarks for assessment

Table 9.3.7.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Design of waste storage areas	
<p>PO1 For on-site waste collection, waste storage areas are located and designed so that:</p> <ol style="list-style-type: none"> (a) they are easily accessed and convenient to use; (b) sufficient space is provided for safe entry and exit and servicing by service vehicles without the need for manual handling; (c) sufficient height clearance is provided for the safe operation of both front and side bin lifting operations; (d) they are clear of car parking bays, loading bays and similar areas; and (e) they are clear of footpaths and pedestrian access. 	<p>AO1.1 Waste storage areas are designed and maintained in accordance with SC6.20 — Waste management planning scheme policy.</p>
Kerbside waste servicing	
<p>PO2 Kerbside collection of waste containers ensures the safety and amenity of road and footpath users.</p>	<p>AO2.1 Waste bins are located on the footpath so that:</p> <ol style="list-style-type: none"> (a) bins are located one (1) metre apart from other bins and obstructions; (b) all bins are accommodated within the street frontage of the site; (c) a clear pedestrian access way two (2) metres wide is retained; and (d) bins are capable of being serviced by the collection vehicle travelling forward, without having to reverse the vehicle.

Performance outcomes	Acceptable outcomes
<p>PO3 Waste storage minimises adverse impacts on adjoining properties.</p>	<p>AO3.1 Waste storage areas are:</p> <ul style="list-style-type: none"> (a) integrated with the building design; or (b) set back a minimum of two (2) metres from any boundary; and (c) screened from neighbouring properties and the street by a fence of 1.8 metres minimum height; and (d) not located directly adjoining dwelling units on the site and on neighbouring properties. <p>AND</p> <p>AO3.2 Waste bins are fitted with lids.</p>
<p>PO4 Waste storage areas:</p> <ul style="list-style-type: none"> (a) have a level area on impermeable, durable materials so that they are easily cleaned; and (b) have adequate clearance between and around waste storage bins to allow for manoeuvring and washing of bins. 	<p>No acceptable outcome is nominated.</p>
Water management	
<p>PO5 Waste storage areas are designed to separate stormwater and wash-down water.</p>	<p>AO5.1 Wash-down water drains to either the reticulated sewerage system or an on-site sewerage facility if not in a sewer area.</p> <p>AND</p> <p>AO5.2 Wash-down areas are:</p> <ul style="list-style-type: none"> (a) provided with a tap and water supply; and (b) provided with a stormwater diversion valve and arrestor trap.

9.3.8 Water and sewer code

9.3.8.1 Application

This code applies to assessing development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3 located in Part 5.

9.3.8.2 Purpose

- (1) The purpose of the water and sewer code is to ensure that development is provided with potable water and sewerage infrastructure in an efficient and sustainable way, which maintains public health.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development facilitates the efficient provision of water, including infrastructure for supply, treatment, storage and reticulation;
 - (b) development facilitates the efficient provision of sewerage infrastructure, including reticulation, treatment, storage and disposal;
 - (c) whole of life cycle costs for water and sewerage infrastructure are minimised; and
 - (d) adverse impacts on the environment and the amenity of the locality are avoided and optimal use of water resources is maintained.

9.3.8.3 Specific benchmarks for assessment

Table 9.3.8.3.1 — Development outcomes for assessable development

Performance outcomes	Acceptable outcomes
Water	
<p>PO1 A water supply is provided that is adequate for the current and future needs of the intended development.</p>	<p>AO1.1 Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO2 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO2.1 Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO2.2 Where within a water supply planning area, staged developments are connected to the water supply network and operational prior to</p>

Performance outcomes	Acceptable outcomes
	the commencement of the use or endorsement of the survey plan.
Sewer	
<p>PO3 Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO3.1 Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO4 Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>AO4.1 Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO4.2 Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>
Point source waste water management	
<p>PO5 The waste water management plan provides that waste water is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> (a) avoids waste water discharge to waterways; or (b) minimises waste water discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater if it is agreed waste water discharge to waterways can not practically and reasonably be avoided. 	<p>AO5.1 A waste water management plan (WWMP) is prepared by a suitably qualified person. The waste water management plan accounts for:</p> <ul style="list-style-type: none"> (a) waste water type; (b) climatic conditions; (c) water quality objectives; and (d) best practice environmental management.

9.3.9 Works code

9.3.9.1 Application

This code applies to requirements for accepted development where the code is identified as applicable in the tables of assessment.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

9.3.9.2 Purpose

- (1) The purpose of the works code is to ensure development is provided with a level of infrastructure which maintains or enhances community health, safety and amenity and which avoids or minimises impacts on the natural environment.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) premises are provided with a level of services which are appropriate to the intended character and function of the zone;
 - (b) risk to life and property is avoided;
 - (c) development does not detract from environmental values or from the desired visual and amenity characteristics of the locality;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and meet the reasonable demands generated by the development;
 - (f) development facilitates an efficient provision of infrastructure and use of resources; and
 - (g) whole of life cycle costs for infrastructure are minimised.

9.3.9.3 Specific benchmarks for assessment

Table 9.3.9.3.1 — Development outcomes for assessable development and requirements for accepted development

Performance outcomes	Acceptable outcomes
Access driveways	
<p>PO1 Access driveways are located to avoid conflicts and designed to operate efficiently and safely, taking into account:</p> <ol style="list-style-type: none"> (a) the size of the parking area; (b) the volume, frequency and type of vehicle traffic; (c) the need for some land uses (for example hospitals) to accommodate emergency vehicle access; (d) the type of use and the implications on parking and circulation for example long-term or short-term car parking; (e) frontage road function and conditions; and (f) the capacity and function of the adjoining street system. 	<p>AO1.1 New access driveways are not located within:</p> <ol style="list-style-type: none"> (a) twenty-five (25) metres of a signalised road intersection; (b) twenty (20) metres of an un-signalised road intersection in an industrial or centres zone or ten (10) metres otherwise; and (c) one (1) metre of any street signage, power poles, street lights, manholes, stormwater gully pits or other Council asset.
<p>PO2 Access driveways do not disrupt existing road or footpath infrastructure.</p>	<p>AO2.1 New access driveways:</p> <ol style="list-style-type: none"> (a) do not require the modification, relocation or removal of any infrastructure including street trees, fire hydrants, water meters and street

Performance outcomes	Acceptable outcomes
	signs; (b) do not front a traffic island, speed control device, car parking bay, bus stop or other infrastructure within the road carriageway; (c) must be sealed and to a formed road; (d) are not constructed over an access point to equipment under the control of a regulatory authority, including stormwater pits, water meters, hydrants and telephone pits; and (e) where an access chamber is to be incorporated within the driveway, are raised or lowered to match the surface level of the driveway and are provided with a trafficable lid.
PO3 Access driveways and cross-falls within the verge are designed and constructed so as to: (a) enable safe and functional vehicular access from the street to the property; and (b) not cause a change in the level of a footpath.	AO3.1 New access driveways and cross-falls within the verge are constructed in compliance with the Capricorn Municipal Development Guidelines.
PO4 An access driveway does not allow water to pond adjacent to any buildings or cause water to enter a building.	AO4.1 New access driveways have a minimum cross fall of one (1) metre (vertical) to 100 metres (horizontal) away from all adjoining buildings.
Parking, access and transport	
PO5 Provision is made for on-site vehicle parking: (a) to meet the demand likely to be generated by the development; and (b) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity. Editor's note—SC6.6 – Car parking contributions planning scheme policy prescribes circumstances under which an applicant can satisfy PO5.	AO5.1 AO5.1.1 On-site car parking is provided at the rates set out in Table 9.3.1.3.2 of the access, parking and transport code. OR AO5.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing number of on-site car parks is retained or increased.
PO6 Car parking areas are designed to: (a) be clearly defined, marked and signed; (b) be convenient and accessible; (c) be safe for vehicles, pedestrians and cyclists; and (d) provide spaces which meet the needs of people with disabilities.	AO6.1 AO6.1.1 The car parking areas are sealed and designed in accordance with Australian Standard AS 2890, as updated from time to time. OR AO6.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of on-site car parks is maintained or improved.

Performance outcomes	Acceptable outcomes
<p>PO7 Parking access arrangements are appropriate for:</p> <ul style="list-style-type: none"> (a) the capacity of the parking area; (b) the volume, frequency and type of vehicle usage; and (c) the function and characteristics of the access road and adjoining road network. 	<p>AO7.1 AO7.1.1 Parking access is provided in accordance with Australian Standard AS 2890, as updated from time to time.</p> <p>OR</p> <p>AO7.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing parking access is maintained or improved.</p>
<p>PO8 Landscaping is provided to soften the visual impact of car parking areas and to provide shading.</p>	<p>AO8.1 AO8.1.1 Shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:</p> <ul style="list-style-type: none"> (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks. <p>Editor's note—SC6.12 — Landscape design and street trees planning scheme policy provides sources for determining appropriate species and planting standards.</p> <p>OR</p> <p>AO8.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing standard of landscaping is maintained or improved.</p>
<p>PO9 Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that:</p> <ul style="list-style-type: none"> (a) is adequate to meet the demands generated by the development; (b) is designed to accommodate service vehicle requirements; (c) is wholly contained within the site; and (d) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the site. 	<p>AO9.1 AO9.1.1 New development is designed to ensure service vehicles do not perform reversing movements onto public roads.</p> <p>AND</p> <p>AO9.1.2 Access and manoeuvring facilities, loading facilities and connections to the transport network are sealed and designed in accordance with Australian Standard AS 2890.</p> <p>OR</p> <p>AO9.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing provision for service vehicles is maintained or improved.</p>
<p>PO10 Development is located on roads that are appropriate for the nature of traffic (including</p>	<p>AO10.1 AO10.1.1 The existing infrastructure fronting the</p>

Performance outcomes	Acceptable outcomes
<p>vehicles, pedestrians and cyclists) generated, having regard to the safety and efficiency of the transport network.</p>	<p>proposed development is upgraded in accordance with SC6.15 — Road infrastructure and hierarchy planning scheme policy and Capricorn Municipal Development Guidelines.</p> <p>OR</p> <p>AO10.1.2 Where a change of use of existing premises is proposed and involves not more than minor building work, the existing infrastructure fronting the proposed development is maintained or improved.</p>
Infrastructure	
<p>PO11 A water supply is provided that is adequate for the current and future needs of the development.</p>	<p>AO11.1 Where within a water supply planning area, the development is connected to Council's reticulated water supply system in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of the water supply planning area to refer to the requirements under the Plumbing Code of Australia.</p>
<p>PO12 Reticulated water supply networks ensure that the installation is sustainable and minimises whole of life cycle costs.</p>	<p>AO12.1 Where within a water supply planning area, water supply systems and connections are designed and constructed in accordance with SC6.21 — Water supply infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO12.2 Where within a water supply planning area, staged developments are connected to the water supply network and operational, prior to the commencement of the use or endorsement of the survey plan.</p>
<p>PO13 Sewerage treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO13.1 Where within a sewer planning area, the development is connected to Council's reticulated waste water system in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>Editor's note—Where development is located outside of</p>

Performance outcomes	Acceptable outcomes
<p>PO14 Reticulated sewer networks ensure that the installation of infrastructure assets is sustainable and minimises whole of life cycle costs.</p>	<p>the sewer planning area to refer to the requirements under the Plumbing Code of Australia.</p> <p>AO14.1 Where within a sewer planning area, waste water systems and connections are designed and constructed in accordance with SC6.17 — Sewerage infrastructure planning scheme policy and the Capricorn Municipal Development Guidelines.</p> <p>Editor's note—A network analysis may be required to demonstrate compliance with this acceptable outcome.</p> <p>AND</p> <p>AO14.2 Where within a sewer planning area, staged developments are connected to the waste water network and operational prior to the commencement of the use or endorsement of the survey plan.</p>
<p>PO15 Development is located and designed in a manner that does not result in adverse flood affects to the site and on adjoining properties.</p>	<p>AO15.1 The development does not result in an increase in flood level, flood water velocity or flood duration on upstream, downstream or adjacent properties.</p> <p>AND</p> <p>AO15.2 Roof and surface water is conveyed to the kerb and channel or an inter-allotment drainage system in accordance with Australian Standard AS/NZ 3500.3.2, and the Queensland Urban Drainage Manual as updated from time to time.</p>
Waste management	
<p>PO16 Provision is made for waste management that is appropriate to the use, protects the health and safety of people and the environment.</p> <p>Editor's note—Applicants should also be aware that any provision for disposal of any trade waste is to be made in accordance Council's Trade Waste Policy supporting the <i>Water Act 2000, Water Supply (Safety and Reliability) Act 2008</i> and <i>Plumbing and Drainage Act 2018</i>.</p>	<p>AO16.1 The development provides a bin container storage area that has a sealed pad and is screened to the height of the bins.</p> <p>AND</p> <p>AO16.2 On sites in an industrial zone that are greater than 2,000 square metres in area, provision is made for refuse collection vehicles to access the collection area and to enter and leave the site in a forward direction without having to make more than a three-point turn.</p>
Erosion and sediment control	
<p>PO17 Development ensures that all reasonable and practical measures are taken to manage the impact of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, to protect water quality and environmental</p>	<p>AO17.1 AO17.1.1 Erosion and sediment control plan is to be designed and implemented in accordance with the Capricorn Municipal Development Guidelines.</p> <p>OR</p>

Performance outcomes	Acceptable outcomes
values.	AO17.1.2 No filling or excavation is occurring on the site.

[Intentionally blank]

Part 10 Other plans

10.1 State development areas — *State Development and Public Works Organisation Act 1971*

10.1.1 Preliminary

Rockhampton region includes one area declared by the state government as State Development Area (SDA). State development areas are clearly defined areas of land established by the Coordinator-General to promote economic development in Queensland.

State development areas are created under section 77 of the *State Development and Public Works Organisation Act 1971*.

The state development areas are listed in the *State Development and Public Works Organisation (State Development Areas) Regulation*, which identifies the regulatory maps for each state development area.

Each state development area is subject to a development scheme that controls land use and infrastructure planning and development in the state development area. The Coordinator-General is responsible for the planning, establishment and ongoing management of state development areas throughout Queensland.

In a state development area the Coordinator-General:

- (1) controls land use activities;
- (2) implements the development scheme; and
- (3) assesses and approves all development or material change of use applications.

Any material change of use within a state development area requires a development approval.

10.1.1.1 Stanwell-Gladstone infrastructure corridor state development area

The Stanwell-Gladstone infrastructure corridor state development area provides land for underground infrastructure purposes to facilitate economic development in Rockhampton and Gladstone.

Further details regarding development within this state development area can be found in the Stanwell-Gladstone infrastructure corridor state development area scheme.

10.2 Priority development area — *Economic Development Act 2012*

10.2.1 Preliminary

The Rockhampton region includes one area declared by the state government as a priority development area under the *Economic Development Act 2012*.

Priority development areas are declared to facilitate the development of land in Queensland for economic development or development for community purposes.

The declarations fast track and streamline the planning for and assessment of development in the declared priority development area.

Development within each priority development area is managed within a development scheme approved by the Minister for Economic Development Queensland.

10.2.1.1 Central Queensland University (CQU) Rockhampton Priority Development Area

Declared in April 2013, the Central Queensland University Rockhampton priority development area is a university based urban development integrating CQUUniversity's learning and other facilities with residential neighbourhoods.

Officers of Economic Development Queensland are the assessment managers for development in this priority development area.

10.3 Land use plan — *Transport Infrastructure Act 1994*

10.3.1 Preliminary

Rockhampton region includes a part of Port Alma that is port land operated by the Gladstone Ports Corporation.

10.3.1.1 Gladstone Ports Corporation land use plan — Port Alma

The *Transport Infrastructure Act 1994* provisions require Gladstone Ports Corporation to gazette a land use plan to facilitate management and assessment of development on port authority land. The Gladstone Ports Corporation Land Use Plan for Port Alma (LUP2012) was gazetted in March 2012.

The purpose of the land use plan LUP2012 is to provide a strategic framework for the management and assessment of development on strategic port land, through identifying land use precincts and appropriate land uses, and defining the outcomes sought to manage growth and development of the port.

Schedule 1 Definitions

SC1.1 Use definitions

Use definitions have a specific meaning for the purpose of the planning scheme.
Any use not listed in Table SC1.1.2 column 1 is an undefined use.

Note—Development comprising a combination of defined uses is not considered to be an undefined use.

A use listed in Table SC1.1.2 column 1 has the meaning set out beside that term in column 2.
Column 3 of Table SC1.1.2 identifies examples of the types of activities which fall within the use identified in column 1.

Column 4 of Table SC1.1.2 identifies examples of activities which do not fall within the use identified in column 1.

Columns 3 and 4 of Table SC1.1.2 are not exhaustive lists.

Uses listed in Table SC1.1.2 columns 3 and 4 which are not listed in column 1 form part of the definition.

The use definitions listed here are the definitions used in this planning scheme.

Table SC1.1.1 — Index of use definitions

<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air service • Animal husbandry • Animal keeping • Aquaculture • Bar • Brothel • Bulk landscape supplies • Caretaker's accommodation • Car wash • Cemetery • Childcare centre • Club • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling house • Dwelling unit • Educational establishment • Emergency services • Environment facility • Extractive industry • Food and drink outlet • Function facility • Funeral parlour • Garden centre • Hardware and trade supplies • Health care service 	<ul style="list-style-type: none"> • High impact industry • Home-based business • Hospital • Hotel • Indoor sport and recreation • Intensive animal industry • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Medium impact industry • Motor sport facility • Multiple dwelling • Nature-based tourism • Nightclub entertainment facility • Non-resident workforce accommodation • Office • Outdoor sales • Outdoor sport and recreation • Outstation • Park • Parking station • Party house • Permanent plantation • Place of worship • Port service 	<ul style="list-style-type: none"> • Relocatable home park • Renewable energy facility • Research and technology industry • Residential care facility • Resort complex • Retirement facility • Roadside stall • Rooming accommodation • Rural industry • Rural workers' accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Special industry • Substation • Telecommunications facility • Theatre • Tourist attraction • Tourist park • Transport depot • Utility installation • Veterinary service • Warehouse • Wholesale nursery • Winery
---	---	--

Table SC1.1.2 — Use definitions

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Adult store	<p><i>Adult store</i> means the use of premises for the primary purpose of displaying or selling—</p> <p>(a) sexually explicit materials; or</p> <p>(b) products and devices that are associated with, or used in, a sexual practice or activity.</p>	Sex shop.	<p>Shop, newsagent, registered pharmacist or video hire, where the primary use of these are concerned with:</p> <ul style="list-style-type: none"> • the sale, display or hire of printed or recorded matter (not of a sexually explicit nature); or • the sale or display of underwear or lingerie; or • the sale or display of an article or thing primarily concerned with or used in association with a medically recognised purpose.
Agricultural supplies store	<p><i>Agricultural supplies store</i> means the use of premises for the sale of agricultural supplies and products.</p>	Animal feed, bulk veterinary supplies, chemicals, farm clothing, fertilisers, irrigation materials, saddlery, seeds.	Bulk landscape supplies, garden centre, outdoor sales, wholesale nursery.
Air service	<p><i>Air service</i> means the use of premises for—</p> <p>(a) the arrival or departure of aircraft; or</p> <p>(b) housing, servicing, refuelling, maintaining or repairing aircraft; or</p> <p>(c) the assembly and dispersal of passengers or goods on or from an aircraft; or</p> <p>(d) training and education facilities relating to aviation; or</p> <p>(e) aviation facilities; or</p> <p>(f) an activity that—</p>	Airport, airstrip, helipad, public or private airfield.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (i) is ancillary to an activity or facility stated in paragraphs (a) to (e); and (ii) directly services the needs of aircraft passengers. 		
Animal husbandry	<p><i>Animal husbandry</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) producing animals or animal products on native or improved pastures or vegetation; or (b) a yard, stable, temporary holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a). 	Cattle studs, grazing of livestock, non-feedlot dairying.	Animal keeping, intensive animal industry, aquaculture, feedlots, piggeries.
Animal keeping	<p><i>Animal keeping</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) boarding, breeding or training animals; or (b) a holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a). 	Aviaries, catteries, kennels, stables, wildlife refuge.	Aquaculture, cattle studs, domestic pets, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, animal husbandry.
Aquaculture	<i>Aquaculture</i> means the use of premises for cultivating, in a confined area, aquatic animals or plants for sale.	Pond farms, tank systems, hatcheries, raceway system, rack and line systems, sea cages.	Intensive animal industry.
Bar	<p><i>Bar</i> means the use of premises, with seating for 60 or less people, for—</p> <ul style="list-style-type: none"> (a) selling liquor for consumption on the premises; or (b) an entertainment activity, or preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). 		Club, hotel, nightclub entertainment facility, tavern.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Brothel	<i>Brothel</i> means premises made available for prostitution by two or more prostitutes at the premises. Note — See the <i>Prostitution Act 1999</i> , schedule 4.		Adult store, club, nightclub entertainment facility, shop.
Bulk landscape supplies	<i>Bulk landscape supplies</i> means the use of premises for the bulk storage and sale of mainly non-packaged landscaping and gardening supplies, including for example, soil, gravel, potting mix or mulch.		Garden centre, outdoor sales, wholesale nursery.
Caretaker's accommodation	<i>Caretaker's accommodation</i> means the use of premises for a dwelling for a caretaker of a non-residential use on the same premises.		Dwelling house.
Car wash	<i>Car wash</i> means the use of premises for the commercial cleaning of motor vehicles.		Service station.
Cemetery	<i>Cemetery</i> means the use of premises for the interment of bodies or ashes after death.	Burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum.	Crematorium, funeral parlour.
Childcare centre	<i>Childcare centre</i> means the use of premises for the care, education and minding, but not residence, of children.	Before or after school care, crèche, early childhood centre, kindergarten, vacation care.	Educational establishment, home based child care, family day care.
Club	<i>Club</i> means the use of premises for— (a) an association established for social, literary, political, sporting, athletic or other similar purposes; or (b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).	Club house, guide and scout clubs, surf lifesaving club, RSL, bowls club.	Hotel, nightclub entertainment facility, place of worship, theatre.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Community care centre	<p><i>Community care centre</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) providing social support to members of the public; or</p> <p>(ii) providing medical care to members of the public, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include the use of premises for providing accommodation to members of the public.</p>	Disability support services, drop in centre, respite centre, integrated indigenous support centre.	Childcare centre, family day care, home based child care, health care services, residential care facility.
Community residence	<p><i>Community residence</i>—</p> <p>(a) means the use of premises for residential accommodation for—</p> <p>(i) no more than—</p> <p>A. 6 children, if the accommodation is provided as part of a program or service under the <i>Youth Justice Act 1992</i>; or</p> <p>B. 6 persons who require assistance or support with daily living needs; and</p> <p>(ii) no more than 1 support worker; and</p> <p>(b) includes a building or structure that is reasonably associated with the use in paragraph (a).</p>	Hospice.	Dwelling house, dwelling unit, residential care facility, rooming accommodation, short-term accommodation.
Community use	<p><i>Community use</i> means the use of premises for—</p> <p>(a) providing artistic, social or cultural facilities or community services to the public; or</p> <p>(b) preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).</p>	Art gallery, community centre, community hall, library, museum.	Cinema, club, hotel, nightclub entertainment facility, place of worship.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Crematorium	<i>Crematorium</i> means the use of premises for the cremation or aquamation of bodies.		Cemetery.
Cropping	<i>Cropping</i> means the use of premises for— (a) growing and harvesting plants, or plant material, that are cultivated in soil, for commercial purposes; or (b) harvesting, storing or packing plants or plant material grown on the premises, if the use is ancillary to the use in paragraph (a); or (c) repairing and servicing machinery used on the premises, if the use is ancillary to the use in paragraph (a).	Fruit, nut, vegetable and grain production, forestry for wood production, fodder and pasture production, plant fibre production, sugar cane growing, vineyard.	Permanent plantations, intensive horticulture, rural industry.
Detention facility	<i>Detention facility</i> means the use of premises for the lawful detention of persons.	Correctional facility, detention centre, prison, youth detention centre.	Police station, court cell complex.
Dual occupancy	<i>Dual occupancy</i> — (a) means a residential use of premises for two households involving— (i) 2 dwellings (whether attached or detached) on a single lot, or 2 dwellings (whether attached or detached) on separate lots that share a common property; and (ii) any domestic outbuilding associated with the dwellings; but (b) does not include a residential use of premises that involves a secondary dwelling.	Duplex, two dwellings on a single lot (whether or not attached), two dwellings within one single community title scheme under the <i>Body Corporate and Community Management Act 1997</i> , two dwellings within the body corporate to which the <i>Building Units and Group Title Act 1980</i> continues to apply.	Dwelling house, multiple dwelling.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Dwelling house	<i>Dwelling house</i> means a residential use of premises involving— (a) 1 dwelling for a single household and any domestic outbuildings associated with the dwelling; or (b) 1 dwelling for a single household, a secondary dwelling, and any domestic outbuildings associated with either dwelling.		Caretaker's accommodation, dual occupancy, multiple dwelling, rooming accommodation, short-term accommodation, student accommodation.
Dwelling unit	<i>Dwelling unit</i> means the use of premises containing a non-residential use for a single dwelling, other than a dwelling for a caretaker of the non-residential use.	"Shop-top" apartment.	Caretaker's accommodation, dwelling house.
Educational establishment	<i>Educational establishment</i> means the use of premises for— (a) training and instruction to impart knowledge and develop skills; or (b) student accommodation, before or after school care, or vacation care, if the use is ancillary to the use in paragraph (a).	College, outdoor education centre, preparatory school, primary school, secondary school, special education facility, technical institute, university.	Child care centre, home based child care, family day care.
Emergency services	<i>Emergency services</i> means the use of premises by a government entity or community organisation to provide— (a) essential emergency services; or (b) disaster management services; or (c) management support facilities for the services.	Ambulance station, evacuation centre, fire station, police station.	Community use, hospital, residential care facility.
Environment facility	<i>Environment facility</i> — (a) means the use of premises for a facility for the appreciation, conservation or	Nature-based attractions, walking tracks, seating, shelters, boardwalks,	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>interpretation of an area of cultural, environmental or heritage value; but does not include the use of premises to provide accommodation for tourists and travellers.</p>	<p>observation decks, bird hides.</p>	
<p>Extractive industry</p>	<p><i>Extractive industry</i> means the use of premises for—</p> <p>(a) extracting or processing extractive resources; and</p> <p>(b) any related activities, including, for example, transporting the resources to market.</p>	<p>Quarry.</p>	
<p>Food and drink outlet</p>	<p><i>Food and drink outlet</i> means the use of premises for—</p> <p>(a) preparing and selling food and drink for consumption on or off the premises; or</p> <p>(b) providing liquor for consumption on the premises, if the use is ancillary to the use in paragraph (a).</p>	<p>Cafe, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, takeaway shop, tea room.</p>	<p>Bar, club, hotel, shop, theatre, nightclub entertainment facility.</p>
<p>Function facility</p>	<p><i>Function facility</i> means the use of premises for—</p> <p>(a) receptions or functions; or</p> <p>(b) preparing and providing food and liquor for consumption on the premises as part of a reception or function.</p>	<p>Conference centre, reception centre.</p>	<p>Community use, hotel.</p>
<p>Funeral parlour</p>	<p><i>Funeral parlour</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) arranging and conducting funerals, memorials and other similar events; or</p> <p>(ii) a mortuary; or</p> <p>(iii) storing and preparing bodies for burial or cremation; but</p>		<p>Cemetery, crematorium, place of worship.</p>

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	(b) does not include the use of premises for the burial or cremation of bodies.		
Garden centre	<i>Garden centre</i> means the use of premises for— (a) selling plants; or (b) selling gardening and landscape products and supplies that are mainly in pre-packaged form; or (c) a food and drink outlet that is ancillary to the use in paragraph (a).	Retail plant nursery.	Bulk landscape supplies, wholesale nursery, outdoor sales.
Hardware and trade supplies	<i>Hardware and trade supplies</i> means the use of premises for selling, displaying or hiring hardware and trade supplies, including, for example, house fixtures, timber, tools, paint, wallpaper or plumbing supplies.	Hardware store.	Shop, showroom, outdoor sales and warehouse.
Health care service	<i>Health care service</i> means the use of premises for medical purposes, paramedical purposes, alternative health therapies or general health care, if overnight accommodation is not provided on the premises.	Dental clinics, medical centres, natural medicine practices, nursing services, physiotherapy clinic.	Community care centre, hospital.
High impact industry	<i>High impact industry</i> means the use of premises for an industrial activity— (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and (b) that a local planning instrument applying to the premises states is a high impact industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number	Abattoirs, concrete batching plant, boiler making and engineering and metal foundry. Note — Additional examples may be shown in Table SC1.1.2.1 industry thresholds.	Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers, service industry, low impact industry, medium impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>of products manufactured or the level of emissions produced by the activity.</p> <p>For the purposes of the planning scheme a high impact industry is an industry activity that—</p> <p>has one or more of the following attributes—</p> <p>(d) potential for significant impacts on sensitive land uses due to off-site emissions including aerosol, fume, particle, smoke, odour and noise;</p> <p>(e) potential for significant off-site impacts in the event of fire, explosion or toxic release;</p> <p>(f) generates high traffic flows in the context of the locality or the road network;</p> <p>(g) generates a significant demand on the local infrastructure network;</p> <p>(h) on-site controls are required for emissions and dangerous goods risks; and</p> <p>(i) complies with any thresholds for the activity stated in SC1.1.2 industry thresholds.</p>		
Home-based business	<i>Home-based business</i> means the use of a dwelling or domestic outbuilding on premises for a business activity that is subordinate to the residential use of the premises.	Bed and breakfast, home office, home based child care.	Hobby, office, shop, warehouse, transport depot.
Hospital	<i>Hospital</i> means the use of premises for— (a) the medical or surgical care or treatment of patients, whether or not the care or		Health care services, residential care facility.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>treatment requires overnight accommodation; or</p> <p>(b) providing accommodation for patients; or</p> <p>(c) providing accommodation for employees, or any other use, if the use is ancillary to the use in paragraph (a) or (b).</p>		
Hotel	<p><i>Hotel</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) selling liquor for consumption on the premises; or</p> <p>(ii) a dining or entertainment activity, or providing accommodation to tourists or travellers, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include a bar.</p>	Pub, tavern.	Bar, nightclub entertainment facility.
Indoor sport and recreation	<p><i>Indoor sport and recreation</i> means the use of premises for a leisure, sport or recreation activity conducted wholly or mainly indoors.</p>	Amusement parlour, bowling alley, gymnasium, squash courts, enclosed tennis courts.	Cinema, hotel, nightclub entertainment facility, theatre.
Intensive animal industry	<p><i>Intensive animal industry</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) the intensive production of animals or animal products, in an enclosure, that requires food and water to be provided mechanically or by hand; or</p> <p>(ii) storing and packing feed and produce, if the use is ancillary to the use in subparagraph (i); but</p>	Feedlots, piggeries, poultry and egg production.	Animal industries, aquaculture, drought feeding, milking sheds, shearing sheds, weaning pens.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	(b) does not include the cultivation of aquatic animals.		
Intensive horticulture	<p><i>Intensive horticulture</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) the intensive production of plants or plant material carried out indoors on imported media; or</p> <p>(ii) the intensive production of plants or plant material carried out outside using artificial lights or containers; or</p> <p>(iii) the storing and packing of plants or plant material grown on the premises, if the use is ancillary to the use in subparagraph (i) or (ii); but</p> <p>(b) does not include the cultivation of aquatic plants.</p>	Greenhouse, hydroponic farm, mushroom farm.	Wholesale nursery.
Landing	<p><i>Landing</i> means the use of premises for a structure—</p> <p>(a) for mooring, launching, storing and retrieving vessels; and</p> <p>(b) from which passengers embark and disembark.</p>	Boat ramp, jetty, pontoon.	Marina.
Low impact industry	<p><i>Low impact industry</i> means the use of premises for an industrial activity—</p> <p>(a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and</p>	<p>Repairing motor vehicles, fitting and turning workshop.</p> <p>Note—Additional examples may be shown in SC1.1.2.1—Industry thresholds.</p>	Panel beating, spray painting or surface coating, tyre recycling, drum re-conditioning, wooden and laminated product manufacturing, service industry, medium impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>(b) that a local planning instrument applying to the premises states is a low impact industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p> <p>For the purpose of the planning scheme a low impact industry is an industry activity that— has one or more of the following attributes—</p> <ul style="list-style-type: none"> • negligible impacts on sensitive land uses due to off-site emissions including aerosol, fume, particle, smoke, odour and noise; • minimal traffic generation and heavy-vehicle usage; • demands imposed upon the local infrastructure network consistent with surrounding uses; • off-site impacts from storage of dangerous goods are negligible; • the use is primarily undertaken indoors; and • complies with any thresholds for the activity stated in SC1.1.2 industry 		

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	thresholds.		
Major electricity infrastructure	<p><i>Major electricity infrastructure</i>—</p> <p>(a) means the use of premises for—</p> <p>(i) a transmission grid or supply network; or</p> <p>(ii) a telecommunication facility, if the use is ancillary to the use in subparagraph (i); but</p> <p>(b) does not include the use of premises for a supply network or private electricity works stated in schedule 6, section 26(5), of the <i>Planning Regulation 2017</i> unless the use involves—</p> <p>(i) a new zone substation or bulk supply substation; or</p> <p>(ii) the augmentation of a zone substation or bulk supply substation that significantly increases the input or output standard voltage.</p>	Powerlines greater than 66kV.	Minor electricity infrastructure, substation.
Major sport, recreation and entertainment facility	<i>Major sport, recreation and entertainment facility</i> means the use of premises for large-scale events, including, for example, major sporting, recreation, conference or entertainment events.	Convention centre, exhibition centre, horse racing facility, sports stadium.	Indoor sport and recreation, local sporting field, motor sport, park, outdoor sport and recreation.
Marine industry	<p><i>Marine industry</i> means the use of waterfront premises for—</p> <p>(a) manufacturing, storing, repairing or servicing vessels or maritime infrastructure; or</p> <p>(b) providing fuel or disposing of waste, if the use is ancillary to the use in paragraph (a).</p>	Boat building, boat storage, dry dock.	Marina.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Market	<p><i>Market</i> means the use of premises on a regular basis for—</p> <p>(a) selling goods to the public mainly from temporary structures, including, for example, stalls, booths or trestle tables; or</p> <p>(b) providing entertainment, if the use is ancillary to the use in paragraph (a).</p>	Flea market, farmers market, car boot sales.	Shop, roadside stall.
Medium impact industry	<p><i>Medium impact industry</i> means the use of premises for an industrial activity—</p> <p>(a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and</p> <p>(b) that a local planning instrument applying to the premises states is a medium impact industry; and</p> <p>(c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p> <p>For the purposes of the planning scheme a medium impact industry is an industry activity that—</p> <p>has one or more of the following attributes—</p> <ul style="list-style-type: none"> • potential for noticeable impacts on sensitive land uses due to off-site emissions including aerosol, fume, 	<p>Spray painting and surface coating, wooden and laminated product manufacturing (including cabinet making, joining, timber truss making or wood working).</p> <p>Note — Additional examples may be shown in Table 1.1.2.1 industry thresholds.</p>	Concrete batching, tyre manufacturing and retreading, metal recovery (involving a fragmentiser), textile manufacture, chemically treating timber and plastic product manufacture, service industry, low impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<p>particle, smoke, odour and noise;</p> <ul style="list-style-type: none"> • potential for noticeable off-site impacts in the event of fire, explosion or toxic release; • generates high traffic flows in the context of the locality or the road network; • generates an elevated demand on the local infrastructure network; • on-site controls are required for emissions and dangerous goods risks; • the use is primarily undertaken indoors; and • complies with any thresholds for the activity stated in SC1.1.2 industry thresholds. 		
Motor sport facility	<p><i>Motor sport facility</i> means the use of premises for—</p> <p>(a) organised or recreational motor sports; or</p> <p>(b) facilities for spectators, including, for example, stands, amenities and food and drink outlets, if the use is ancillary to the use in paragraph (a).</p>	Car race track, go-kart track, lawnmower race track, trail bike park, 4WD and all terrain park, motocross track, motorcycle race track, off road motorcycle facility.	Major sport, recreation and entertainment facility, outdoor sport and recreation.
Multiple dwelling	<p><i>Multiple dwelling</i> means a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.</p>	Apartments, flats, units, townhouses, row housing, triplex.	Rooming accommodation, dual occupancy, duplex, granny flat,

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
			residential care facility, retirement facility.
Nature-based tourism	<i>Nature-based tourism</i> means the use of premises for a tourism activity, including accommodation for tourists, for the appreciation, conservation or interpretation of— (a) an area of environmental, cultural or heritage value; or (b) a local ecosystem; or (c) the natural environment.	Environmentally responsible accommodation facilities including cabins, huts, lodges and tents.	Environment facility.
Nightclub entertainment facility	<i>Nightclub entertainment facility</i> means the use of premises for— (a) providing entertainment that is cabaret, dancing or music; or (b) selling liquor, and preparing and selling food, for consumption on the premises, if the use is ancillary to the use in paragraph (a).		Club, hotel, tavern, pub, indoor sport and recreation, theatre, concert hall.
Non-resident workforce accommodation	<i>Non-resident workforce accommodation</i> means the use of premises for— (a) accommodation for non-resident workers; or (b) recreation and entertainment facilities for persons residing at the premises and their visitors, if the use is ancillary to the use in paragraph (a).	Contractor's camp, construction camp, single person's quarters, temporary workers' accommodation.	Relocatable home park, short-term accommodation, tourist park.
Office	<i>Office</i> — (a) means the use of premises for— (i) providing an administrative, financial, management or secretarial service or function; or (ii) the practice of a profession; or	Bank, real estate agency.	Home-based business, home office, shop, outdoor sales.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (iii) providing business or professional advice or services; but (b) does not include the use of premises for making, selling or hiring goods. 		
Outdoor sales	<p><i>Outdoor sales</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) displaying, selling, hiring or leasing vehicles, boats, caravans, machinery, equipment or other similar products, if the use is mainly conducted outdoors; or (b) repairing, servicing, selling or fitting accessories for the products stated in paragraph (a), if the use is ancillary to the use in paragraph (a). 	Agricultural machinery sales yard, motor vehicles sales yard.	Bulk landscape supplies, market.
Outdoor sport and recreation	<p><i>Outdoor sport and recreation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) a recreation or sporting activity that is carried on outdoors and requires areas of open space; or (b) providing and selling food and drink, change room facilities or storage facilities, if the use is ancillary to the use in paragraph (a). 	Driving range, golf course, swimming pool, tennis courts, football ground, cricket oval.	Major sport, recreation and entertainment facility, motor sport, park, community use.
Outstation	<p><i>Outstation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) cultural or recreation activities by Aboriginal people or Torres Strait Islanders; or (b) facilities for short-term or long-term camping activities, if the use is ancillary to the use in paragraph (a). 	Indigenous camp site.	Dwelling house, hostel, multiple dwelling, relocatable home park, short-term accommodation, tourist park.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Park	<i>Park</i> means the use of premises, accessible to the public free of charge, for sport, recreation and leisure activities and facilities.	Urban common.	Tourist attraction, outdoor sport and recreation.
Parking station	<i>Parking station</i> means the use of premises for parking vehicles, other than parking that is ancillary to another use.	Car park, 'park and ride', bicycle parking.	
Party house	<i>Party house</i> means premises containing a dwelling that is used to provide, for a fee, accommodation or facilities for guests if: <ul style="list-style-type: none"> (a) guests regularly use all or part of the premises for parties (bucks parties, hens parties, raves, or wedding receptions, for example); and (b) the accommodation or facilities are provided for a period of less than 10 days; and (c) the owner of the premises does not occupy the premises during that period. 		
Permanent plantation	<i>Permanent plantation</i> means the use of premises for growing, but not harvesting, plants for carbon sequestration, biodiversity, natural resource management or another similar purpose.		Forestry for wood production, bio-fuel production.
Place of worship	<i>Place of worship</i> means the use of premises for— <ul style="list-style-type: none"> (a) organised worship and other religious activities; or (b) social, education or charitable activities, if the use is ancillary to the use in paragraph (a). 	Church, chapel, mosque, synagogue, temple.	Community use, childcare centre, funeral parlour, crematorium.
Port service	<i>Port service</i> means the use of premises for— <ul style="list-style-type: none"> (a) the arrival and departure of vessels; or 	Marina, ferry terminal.	Landing.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (b) the movement of passengers or goods on or off vessels; or (c) storing, servicing, maintaining or repairing vessels; or (d) ancillary uses that directly service the needs of passengers of the vessels. 		
Relocatable home park	<p><i>Relocatable home park</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) relocatable dwellings for long-term residential accommodation; or (b) amenity facilities, food and drink outlets, a manager’s residence, or recreation facilities for the exclusive use of residents, if the use is ancillary to the use in paragraph (a). 		Tourist park.
Renewable energy facility	<p><i>Renewable energy facility</i>—</p> <ul style="list-style-type: none"> (a) means the use of premises for the generation of electricity or energy from a renewable energy source, including, for example, sources of bioenergy, geothermal energy, hydropower, ocean energy, solar energy or wind energy; but (b) does not include the use of premises to generate electricity or energy that is to be used mainly on the premises. 	Geothermal power, hydroelectric power, solar farm, tidal power, wind farm.	Wind turbine or solar panels supplying energy to domestic or rural activities on the same site.
Research and technology industry	<p><i>Research and technology industry</i> means the use of premises for an innovative or emerging industry that involves designing and researching, assembling, manufacturing, maintaining, storing or testing machinery or equipment.</p>	Aeronautical engineering, biotechnology industries, computer component manufacturing, computer server facilities, energy industries, medical laboratories.	

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Residential care facility	<p><i>Residential care facility</i> means the use of premises for supervised accommodation, and medical and other support services, for persons who—</p> <p>(a) can not live independently; and</p> <p>(b) require regular nursing or personal care.</p>	Convalescent home, nursing home.	Community residence, dwelling house, dual occupancy, hospital, multiple dwelling, retirement facility.
Resort complex	<p><i>Resort complex</i> means the use of premises for—</p> <p>(a) tourist and visitor accommodation that includes integrated leisure facilities; or</p> <p><i>Examples of integrated leisure facilities—</i></p> <p>bars, meeting and function facilities, restaurants, sporting and fitness facilities</p> <p>(b) staff accommodation that is ancillary to the use in paragraph (a); or</p> <p>(c) transport facilities for the premises, including, for example, a ferry terminal or air service.</p>		
Retirement facility	<p><i>Retirement facility</i> means a residential use of premises for—</p> <p>(a) accommodation for older members of the community, or retired persons, in independent living units or serviced units; or</p> <p>(b) amenity and community facilities, a manager's residence, health care and support services, preparing food and drink or staff accommodation, if the use is ancillary to the use in paragraph (a).</p>	Retirement village.	Residential care facility.
Roadside stall	<p><i>Roadside stall</i> means the use of premises for the roadside display and sale of goods in a rural area.</p>	Produce stall.	Market.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Rooming accommodation	<p><i>Rooming accommodation</i> means the use of premises for—</p> <p>(a) residential accommodation, if each resident—</p> <p>(i) has a right to occupy 1 or more rooms on the premises; and</p> <p>(ii) does not have a right to occupy the whole of the premises; and</p> <p>(iii) does not occupy a self-contained unit, as defined under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i>, schedule 2, or has only limited facilities available for private use; and</p> <p>(iv) shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises; or</p> <p>(b) a manager's residence, an office or providing food or other services to residents, if the use is ancillary to the use in paragraph (a).</p>	Boarding house, hostel, monastery, offsite student accommodation.	Hospice, community residence, dwelling house, short-term accommodation, multiple dwelling.
Rural industry	<i>Rural industry</i> means the use of premises for—	Packing shed.	Intensive animal industries, intensive horticulture, roadside stall, wholesale

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (a) storing, processing or packaging products from a rural use carried out on the premises or adjoining premises; or (b) selling products from a rural use carried out on the premises or adjoining premises, if the use is ancillary to the use in paragraph (a). 		nursery, winery, abattoir, agricultural supply store.
Rural workers' accommodation	<p><i>Rural workers' accommodation</i> means the use of premises as accommodation, whether or not self-contained, for employees of a rural use, if—</p> <ul style="list-style-type: none"> (a) the premises, and the premises where the rural use is carried out, are owned by the same person; and (b) the employees are not non-resident workers. 	Farm workers' accommodation.	Short-term accommodation, caretaker's accommodation, dual occupancy, dwelling house, nature or rural based tourist accommodation, non-resident workforce accommodation, multiple dwelling.
Sales office	<p><i>Sales office</i> means the use of premises for the temporary display of land parcels or buildings that—</p> <ul style="list-style-type: none"> (a) are for sale or proposed to be sold; or (b) can be won as a prize in a competition. 	Display dwelling.	Bank, office.
Service industry	<p><i>Service industry</i> means the use of premises for an industrial activity that—</p> <ul style="list-style-type: none"> (a) does not result in off-site air, noise or odour emissions; and (b) is suitable for location with other non-industrial uses. 	Audio visual equipment repair, bicycle repairs, clock and watch repairs, computer repairs, dry cleaning, film processing, hand engraving, jewellery making, laundromat, locksmith, picture framing, shoe repairs, tailor.	Small engine mechanical repair workshop, cabinet making, shop fitting, sign writing, tyre depot, low impact industry, medium impact industry, high impact industry, special industry.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Service station	<i>Service station</i> means the use of premises for— (a) selling fuel, including, for example, petrol, liquid petroleum gas, automotive distillate or alternative fuels; or (b) a food and drink outlet, shop, trailer hire, or maintaining, repairing, servicing or washing vehicles, if the use is ancillary to the use in paragraph (a).	Electric vehicle charging station.	Car wash.
Shop	<i>Shop</i> means the use of premises for— (a) displaying, selling or hiring goods; or (b) providing personal services or betting to the public.	Betting agency, corner store, department store, discount variety store, hair dressing salon, liquor store, supermarket.	Adult store, food and drink outlet, hardware and trade supplies, market, showroom.
Shopping centre	<i>Shopping centre</i> means the use of premises for an integrated shopping complex consisting mainly of shops.		
Short-term accommodation	<i>Short term accommodation</i> — (a) means the use of premises for— (i) providing accommodation of less than 3 consecutive months to tourists or travellers; or (ii) a manager's residence, office, or recreation facilities for the exclusive use of guests, if the use is ancillary to the use in subparagraph (i); but (b) does not include a hotel, nature-based tourism, resort complex or tourist park.	Motel, backpackers accommodation, cabins, serviced apartments, hotel, farm stay.	Hostel, rooming accommodation, tourist park.
Showroom	<i>Showroom</i> means the use of premises for the sale of goods that are of— (a) a related product line; and (b) a size, shape or weight that requires—	Bulk stationary supplies, bulky goods sales, bulk home supplies, motor vehicles sales showroom.	Food and drink outlet, shop, outdoor sales.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (i) a large area for handling, display or storage; and (ii) direct vehicle access to the building that contains the goods by members of the public to enable the loading and unloading of the goods. 		
Special industry	<p><i>Special industry</i> means the use of premises for an industrial activity—</p> <ul style="list-style-type: none"> (a) that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating products; and (b) that a local planning instrument applying to the premises states is a special industry; and (c) that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity. 	<p>Tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers.</p> <p>Note—Additional examples may be shown in SC1.1.2.1 — Industry thresholds.</p>	Low impact industry, medium impact industry, high impact industry, service industry.
Substation	<p><i>Substation</i> means the use of premises—</p> <ul style="list-style-type: none"> (a) as part of a transmission grid or supply network to— <ul style="list-style-type: none"> (i) convert or transform electrical energy from one voltage to another; or (ii) regulate voltage in an electrical circuit; or (iii) control electrical circuits; or 	Substations, switching yards.	Major electricity infrastructure, minor electricity infrastructure.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (iv) switch electrical current between circuits; or (b) for a telecommunications facility for— <ul style="list-style-type: none"> (i) works as defined under the <i>Electricity Act 1994</i>, section 12(1); or (ii) workforce operational and safety communications. 		
Telecommunications facility	<i>Telecommunications facility</i> means the use of premises for a facility that is capable of carrying communications and signals by guided or unguided electromagnetic energy.	Telecommunication tower, broadcasting station, television station.	Aviation facility, “low-impact telecommunications facility” as defined under the <i>Telecommunications Act 1997</i> .
Theatre	<p><i>Theatre</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) presenting movies, live entertainment or music to the public; or (b) the production of film or music; or (c) the following activities or facilities, if the use is ancillary to a use in paragraph (a) or (b)— <ul style="list-style-type: none"> (i) preparing and selling food and drink for consumption on the premises; (ii) facilities for editing and post-production; (iii) facilities for wardrobe, laundry and make-up; (iv) set construction workshops; (v) sound stages. 	Cinema, movie house, concert hall, dance hall, film studio, music recording studio.	Community hall, hotel, indoor sport and recreation facility, temporary film studio.
Tourist attraction	<i>Tourist attraction</i> means the use of premises for—	Theme park, zoo.	Hotel, major sport, recreation and entertainment facility, nightclub entertainment facility.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
	<ul style="list-style-type: none"> (a) providing entertainment to, or a recreation facility for, the general public; or (b) preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). 		
Tourist park	<p><i>Tourist park</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) holiday accommodation in caravans, self-contained cabins, tents or other similar structures; or (b) amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors, or staff accommodation, if the use is ancillary to the use in paragraph (a). 	Camping ground, caravan park, holiday cabins.	Relocatable home park, tourist attraction, short-term accommodation, non-resident workforce accommodation.
Transport depot	<p><i>Transport depot</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) storing vehicles, or machinery, that are used for a commercial or public purpose; or (b) cleaning, repairing or servicing vehicles or machinery, if the use is ancillary to the use in paragraph (a). 	Using premises to store buses, taxis, trucks, heavy vehicles or heavy machinery.	Home-based business, warehouse, low impact industry, service industry.
Utility installation	<p><i>Utility installation</i> means the use of premises for—</p> <ul style="list-style-type: none"> (a) a service for supplying or treating water, hydraulic power or gas; or (b) a sewerage, drainage or stormwater service; or (c) a transport service; or (d) a waste management service; or (e) a maintenance depot, storage depot or other facility for a service stated in paragraphs (a) to (d). 	Sewerage treatment plant, mail depot, pumping station, water treatment plant.	Telecommunications tower, major electricity infrastructure, minor electricity infrastructure, substation, renewable energy facility, transport depot.

Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Veterinary service	<i>Veterinary service</i> means the use of premises for— (a) the medical or surgical treatment of animals; or (b) the short-term stay of animals, if the use is ancillary to the use in paragraph (a).		Animal keeping.
Warehouse	<i>Warehouse</i> means the use of premises for— (a) storing or distributing goods, whether or not carried out in a building; or (b) the wholesale of goods, if the use is ancillary to the use in paragraph (a).	Self-storage facility, storage yards.	Hardware and trade supplies, outdoor sales, showroom, shop.
Wholesale nursery	<i>Wholesale nursery</i> means the use of premises for— (a) the wholesale of plants grown on or next to the premises; or (b) selling gardening materials, if the use is ancillary to the use in paragraph (a).		Bulk landscape supplies, garden centre.
Winery	<i>Winery</i> means the use of premises for— (a) making wine; or (b) selling wine that is made on the premises.		Rural industry.

SC1.1.1 Defined activity groups

There are no defined activity groups for the planning scheme.

SC1.1.2 Industry thresholds

The industry thresholds listed below are to be used in conjunction with the defined uses listed in Table SC1.1.1 for low impact industry, medium impact industry, high impact industry and special industry.

Table SC1.1.2.1 — Industry thresholds

Column 1 Use	Column 2 Additional examples include
Low impact industry	<ul style="list-style-type: none"> (1) Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting; (2) Repairing and servicing lawn mowers and outboard engines; (3) Fitting and turning workshop; (4) Assembling or fabricating products from sheet metal or welding steel, producing less than ten (10) tonnes a year and not including spray painting; (5) Assembling wood products not involving cutting, routing, sanding or spray painting; (6) Dismantling automotive or mechanical equipment, not including debonding brake or clutch components.
Medium impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing less than ten (10) tonnes of metal castings per annum; (2) Boiler making or engineering works producing less than 10,000 tonnes of metal product per annum; (3) Concrete batching and producing concrete products; (4) Facility, goods yard or warehouse for storage and distribution of dangerous goods not involving manufacturing processes and not a major hazard facility under the <i>Work Health and Safety Act 2011</i>; (5) Abrasive blasting facility using less than ten (10) tonnes of abrasive material per annum; (6) Enamelling workshop using less than 15,000 litres of enamel per annum; (7) Galvanising works using less than 100 tonnes of zinc per annum; (8) Anodising or electroplating workshop where tank area is less than 400 square metres; (9) Powder coating workshop using less than 500 tonnes of coating per annum; (10) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using less than 20,000 litres of paint per annum; (11) Scrap metal yard (not including a fragmentiser), dismantling automotive or mechanical equipment including debonding brake or clutch components; (12) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, less than 200 tonnes per annum; (13) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 200 tonnes per annum; (14) Vegetable oil or oilseed processing in works with a design production capacity of less than 1,000 tonnes per annum; (15) Manufacturing wooden products including cabinet making, joinery, wood working, producing less than 500 tonnes per annum;

Column 1 Use	Column 2 Additional examples include
	<ul style="list-style-type: none"> (16) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, less than 250 tonnes per annum; (17) Sawmilling, wood chipping and kiln drying timber and logs, producing less than 500 tonnes per annum; (18) Recycling and reprocessing batteries; (19) Repairing or maintaining boats; (20) Manufacturing substrate for mushroom growing; (21) Manufacturing or processing plaster, producing less than 5,000 tonnes per annum; (22) Recycling or reprocessing tyres including retreading; (23) Printing advertising material, magazines, newspapers, packaging and stationery; Manufacturing fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, less than five (5) tonnes per annum (except fibreglass boats, tanks and swimming pools); (24) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, less than 10,000 tonnes per annum; (25) Reconditioning metal or plastic drums; (26) Glass fibre manufacture less than 200 tonnes per annum; (27) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.
High impact industry	<ul style="list-style-type: none"> (1) Metal foundry producing ten (10) tonnes or greater of metal castings per annum; (2) Boiler making or engineering works producing 10,000 tonnes or greater of metal product per annum; (3) Major hazard facility for the storage and distribution of dangerous goods not involving manufacturing processes; (4) Scrap metal yard including a fragmentiser; (5) Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, greater than 200 tonnes per annum; (6) Processing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, greater than 200 tonnes per annum; (7) Vegetable oil or oilseed processing in works with a design production capacity of greater than 1,000 tonnes per annum; (8) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum; (9) Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, 250 tonnes or greater per annum; (10) Sawmilling, wood chipping and kiln drying timber and logs, producing greater than 500 tonnes per annum; (11) Manufacturing or processing plaster, producing greater than 5,000 tonnes per annum; (12) Enamelling workshop using 15,000 litres or greater of enamel per annum; (13) Galvanising works using 100 tonnes or greater of zinc per annum; (14) Anodising or electroplating workshop where tank area is 400 square metres or greater; (15) Powder coating workshop using 500 tonnes or greater of coating per annum; (16) Spray painting workshop (including spray painting vehicles, plant, equipment or boats) using 20,000 litres or greater of paint per annum; (17) Treating timber for preservation using chemicals including copper, chromium, arsenic, borax and creosote; (18) Manufacturing soil conditioners by receiving, blending, storing, processing, drying or composting organic material or organic

Column 1 Use	Column 2 Additional examples include
	<p>waste, including animal manures, sewage, septic sludges and domestic waste;</p> <p>(19) Manufacturing fibreglass pools, tanks and boats;</p> <p>(20) Manufacturing, fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, five (5) tonnes or greater per annum (except fibreglass boats, tanks and swimming pools);</p> <p>(21) Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products, 10,000 tonnes or greater per annum;</p> <p>(22) Manufacturing tyres, asbestos products, asphalt, cement; glass or glass fibre, mineral wool or ceramic fibre;</p> <p>(23) Abattoir;</p> <p>(24) Recycling chemicals, oils or solvents;</p> <p>(25) Manufacturing batteries;</p> <p>(26) Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum;</p> <p>(27) Abrasive blasting facility using ten (10) tonnes or greater of abrasive material per annum;</p> <p>(28) Crematoria;</p> <p>(29) Glass fibre manufacture producing 200 tonnes or greater per annum;</p> <p>(30) Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum.</p>
Special industry	<p>(1) Oil refining or processing;</p> <p>(2) Producing, refining or processing gas or fuel gas;</p> <p>(3) Distilling alcohol in works producing greater than 2,500 litres per annum;</p> <p>(4) Power station;</p> <p>(5) Producing, quenching, cutting, crushing or grading coke;</p> <p>(6) Waste incinerator;</p> <p>(7) Sugar milling or refining;</p> <p>(8) Pulp or paper manufacturing;</p> <p>(9) Tobacco processing;</p> <p>(10) Tannery or works for curing animal skins, hides or finishing leather;</p> <p>(11) Textile manufacturing, including carpet manufacturing, wool scouring or carbonising, cotton milling, or textile bleaching, dyeing or finishing;</p> <p>(12) Rendering plant;</p> <p>(13) Manufacturing chemicals, poisons and explosives;</p> <p>(14) Manufacturing fertilisers involving ammonia;</p> <p>(15) Manufacturing polyvinyl chloride plastic.</p>

SC1.2 Administrative definitions

- (a) Administrative definitions assist with the interpretation of the planning scheme but do not have a meaning in relation to a use.
- (b) A term listed in Table SC1.2.2 column 1 has the meaning set out beside that term in column 2 under the heading.
- (c) The administrative definitions listed here are the definitions for the purpose of the planning scheme.

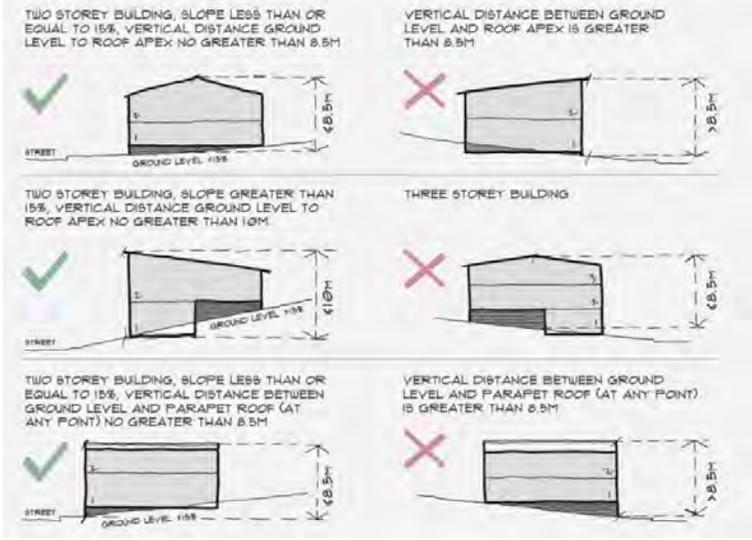
Table SC1.2.1 — Index of administrative definitions

<ul style="list-style-type: none"> • Active frontage • Active transport • Adjoining premises • Advertising device • Affordable housing • Annual exceedance probability (AEP) • Articulation • Average recurrence interval (ARI) • Average width • Aviation facility • Base date • Basement • Boundary clearance • Buffer • Building envelope • Building height • Coastal-dependent development • Council • Crime prevention through environmental design (CPTED) • Defined flood event (DFE) • Defined flood level (DFL) • Defined storm tide event (DSTE) • Demand unit • Demolition work • Development footprint 	<ul style="list-style-type: none"> • Domestic outbuilding • Drainage catchment • Drainage system • Dwelling • Filling or excavation • Floodplain • Formed road • Frontage • Gross floor area • Gross leasable floor area • Ground level • Heavy trailer • Heavy vehicle • Heritage place • Highest astronomical tide (HAT) • Household • Lawful point of discharge • Minor building work • Minor electricity infrastructure • Minor public marine development • Movement network • Net developable area • Non-resident workers • Outermost projection 	<ul style="list-style-type: none"> • Overland flow path • Planning assumption • Plot ratio • Primary street frontage • Projection area • Public open space • Public safety area • Runoff • Secondary dwelling • Self-contained vehicle • Sensitive land use • Service catchment • Setback • Site • Site area • Site cover • Storey • Storm tide • Streetscape • Temporary use • Total floor area • Total use area • Ultimate development • Unacceptable risk • Unrelated person • Urban purpose • Vehicle trip • Verge • Water sensitive urban design • Waterway • Wetland
---	---	---

Table SC1.2.2 — Administrative definitions

Column 1 Term	Column 2 Definition
Active frontage	Are those frontages that are comprised of shopfronts and other ground floor uses that foster a high level of social and business activity on streets and in public places.
Active transport	Non-motorised travel such as walking and cycling.
Adjoining premises	Premises that share a common boundary, including premises that meet at a single point on a common boundary.
Advertising device	<p>a) means a permanent sign, structure or other device used, or intended to be used, for advertising; and</p> <p>b) includes a structure, or part of a building, the primary purpose of which is to support the sign, structure or device.</p>

Column 1 Term	Column 2 Definition
Affordable housing	Housing that is appropriate to the needs of households with low to moderate incomes, if the members of the households will spend no more than thirty (30) per cent of gross income on housing costs.
Annual exceedance probability (AEP)	The likelihood of occurrence of a flood of a given size or larger in any one year, usually expressed as a percentage. For example, if a peak flood discharge of 500 cubic metres per second has an annual exceedance probability of five (5) per cent, it means that there is a five (5) per cent risk, that is the probability of 0.05 or a likelihood of one (1) in twenty (20), of a peak flood discharge of 500 cubic metres per second or larger occurring in any one (1) year. The annual exceedance probability of a flood event gives no indication of when a flood of that size will occur next.
Articulation	Designing a building, or the I of a building, with clearly distinguishable parts.
Average recurrence interval (ARI)	The average, or expected, value of the periods between exceedances of a given rainfall total accumulated over a given duration. It is implicit in this definition that the periods between exceedances are generally random. Editor's note—For example, a 100 year average recurrence interval indicates an average of 100 years between exceedance of a given storm magnitude.
Average width	In regard to a lot, the distance, measured in metres, between the midpoint on each side boundary of the lot.
Aviation facilities	Navigation, communication or surveillance facility provided to assist the safe and efficient movement of aircraft. Such facilities may be located on or off airport.
Base date	The date from which the local government has estimated future infrastructure demand and costs for the local government area.
Basement	A space— a) between a floor level in a building and the floor level that is immediately below it; and b) no part of which is more than one (1) metre above ground level.
Boundary clearance	The distance between a building or structure on premises and the boundary of the premises, measured from the part of the building or structure that is closest to the boundary, other than a part that is— (a) an architectural or ornamental attachment; or (b) a rainwater fitting. <i>Examples—</i> 1 If the fascia of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between the outside of the fascia and the boundary. 2 If a point on the roof of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between that point on the roof and the boundary.
Buffer	An area of land, including waterways, required for maintaining separation distances: (a) between different land uses; or (b) from a major noise source; or (c) from a conservation area or a public recreation area; or (d) from a wetland or waterway.
Building envelope	Identifying the part of the site where building work can occur for a house, garage, outdoor recreation, gazebos, sheds, etcetera, but not including the driveway or septic trenches.
Building height	In regards to a building, means— (a) the vertical distance, measured in metres, between the ground level of the building and the highest point on the roof of the building,

Column 1 Term	Column 2 Definition
	<p>other than a point that is part of an aerial, chimney, flagpole or load-bearing antenna; or</p> <p>(b) the number of storeys in the building above ground level.</p>  <p>Two STOREY BUILDING, SLOPE LESS THAN OR EQUAL TO 15%, VERTICAL DISTANCE GROUND LEVEL TO ROOF APEX NO GREATER THAN 8.5M</p> <p>TWO STOREY BUILDING, SLOPE GREATER THAN 15%, VERTICAL DISTANCE GROUND LEVEL TO ROOF APEX NO GREATER THAN 10M</p> <p>TWO STOREY BUILDING, SLOPE LESS THAN OR EQUAL TO 15%, VERTICAL DISTANCE BETWEEN GROUND LEVEL AND PARAPET ROOF (AT ANY POINT) NO GREATER THAN 8.5M</p> <p>VERTICAL DISTANCE BETWEEN GROUND LEVEL AND ROOF APEX IS GREATER THAN 8.5M</p> <p>THREE STOREY BUILDING</p> <p>VERTICAL DISTANCE BETWEEN GROUND LEVEL AND PARAPET ROOF (AT ANY POINT) IS GREATER THAN 8.5M</p>
Coastal-dependent development	<p>Development that in order to function must be located in tidal waters or be able to access tidal water:</p> <p>(a) (a) may include, but is not limited to:</p> <ul style="list-style-type: none"> (i) industrial and commercial facilities such as ports, public marine development, harbours and navigation channels and facilities, aquaculture involving marine species, desalination plants, tidal generators, coastal protection works, erosion control structures and beach nourishment; (ii) tourism facilities for marine (boating) purposes; (iii) community facilities and sporting facilities which require access to tidal water in order to function, such as surf clubs, marine rescue, rowing and sailing clubs; or (iv) co-located residential and tourist uses that are part of an integrated development proposal (e.g. mixed use development) incorporating a marina, if these uses are located directly landward of the marina and appropriately protected from natural hazards; <p>(b) (b) does not include:</p> <ul style="list-style-type: none"> (i) residential development, including canal development, as the primary use; (ii) waste management facilities, such as landfills, sewage treatment plants; or (iii) transport infrastructure, other than for access to the coast.
Council	The Rockhampton Regional Council.
Crime prevention through environmental design (CPTED)	The use of crime prevention through environmental design is intended to reduce crime and fear by reducing criminal opportunity and fostering positive social interaction among legitimate users of space. The emphasis is on prevention rather than apprehension and punishment.
Defined flood event (DFE)	The flood event adopted by Rockhampton Regional Council for the management of development is the one (1) per cent annual exceedance probability (AEP) flood.
Defined flood level (DFL)	The mapped area of the inundation level of the defined flood event being the one (1) per cent annual exceedance probability (AEP) flood.

Column 1 Term	Column 2 Definition
Defined storm tide event (DSTE)	The event (measured in terms of likelihood of recurrence) and associated inundation level adopted to manage the development of a particular area. The DSTE is equivalent to a one in 100 year average recurrence interval storm event incorporating: <ul style="list-style-type: none"> (a) sea level rise; and (b) an increase in cyclone intensity by ten (10) per cent relative to maximum potential intensity.
Demand unit	A unit of measurement for measuring the level of demand for infrastructure.
Demolition work	Work to demolish or systematically dismantle a structure, or part of a structure, but does not include the systematic dismantling of: <ul style="list-style-type: none"> (a) a part of a structure for alteration, maintenance, remodelling or repair; or (b) formwork, falsework, scaffold or other construction designed or used to provide support, access or containment during construction work.
Development footprint	In regards to development, any part of the premises that, after the development is carried out, will be covered by— <ul style="list-style-type: none"> (a) buildings or structures, measured to their outermost projection; or (b) landscaping or open space; or (c) facilities relating to the development; or (d) on-site stormwater drainage or wastewater treatment; or (e) a car park, road, access track or area used for vehicle movement; or (f) another area of disturbance.
Domestic outbuilding	A non-habitable class 10a building that is— <ul style="list-style-type: none"> (a) a shed, garage or carport; and (b) ancillary to a residential use carried out on the premises where the building is.
Drainage catchment	As defined by the Queensland Urban Drainage Manual.
Drainage system	As defined by the Queensland Urban Drainage Manual.
Dwelling	All or part of a building that— <ul style="list-style-type: none"> (a) is used, or capable of being used, as a self-contained residence; and (b) contains— <ul style="list-style-type: none"> (i) food preparation facilities; and (ii) a bath or shower; and (iii) a toilet; and (iv) a wash basin; and (v) facilities for washing clothes.
Filling or excavation	Removal or importation of material to, from or within a lot that will change the ground level of the land.
Floodplain	A floodplain is defined as the extent of land inundated by the Probable Maximum Flood.
Formed road	A dedicated road that does not have gravel paving but which is formed using a grader so that storm water will drain off laterally.
Frontage	Means a boundary of a lot which abuts a road.
Gross floor area	In regards to a building, the total floor area of all storeys of the building, measured from the outside of the external walls and the centre of any common walls of the building, other than areas used for— <ul style="list-style-type: none"> (a) building services, plant or equipment; or (b) access between levels; or (c) a ground floor public lobby; or (d) a mall; or (e) parking, loading or manoeuvring vehicles; or (f) unenclosed private balconies, whether roofed or not.

Column 1 Term	Column 2 Definition
Gross leasable floor area	The total floor area, inclusive of all internal walls and columns, capable of being occupied by separate tenants for their exclusive use, including basements, mezzanine and toilets.
Ground level	Means— (a) the level of the natural ground; or (b) if the level of the natural ground has changed, the level as lawfully changed.
Heavy trailer	Means a trailer that has a gross vehicle mass of more than 4.5 tonnes.
Heavy vehicle	Means a motor vehicle that has a gross vehicle mass of more than 4.5 tonnes.
Heritage place	Means a site, area, land, landscape, feature, building or work (or group of buildings or works) that is of cultural heritage significance. A heritage place may include: (a) a local heritage place; or (b) Queensland heritage place; or (c) national heritage place; or (d) world heritage property.
Highest astronomical tide (HAT)	The highest tide level that can be predicted to occur under average meteorological conditions and any combination of astronomical conditions. This level will not be reached every year, and is less than extreme levels that can be caused by storm tides.
Household	One (1) or more individuals who— (a) live in a dwelling with the intent of living together on a long-term basis; and (b) make common provision for food and other essentials for living. A household contains one (1) water and sewer connection to the premises.
Lawful point of discharge	As defined by the Queensland Urban Drainage Manual.
Minor building work	Building work that increases the gross floor area of a building by no more than the lesser of the following— (a) fifty (50) square metres; (b) an area equal to five (5) per cent of the gross floor area of the building.
	.
Minor electricity infrastructure	Development stated in the <i>Planning Regulation 2017</i> , schedule 6, section 26(5).
Minor public marine development	Maritime facilities such as boat ramps, pontoons, slipways, wharves and jetties that serve a public purpose.
Movement network	All road, rail, bus, pedestrian and cycle corridors together with passenger transport stations and interchanges that provide access to these corridors.
Net developable area	For premises, means the area of the premises that— (a) is able to be developed; and (b) is not subject to a development constraint, including, for example, a constraint relating to acid sulfate soils, flooding or slope.
Non-resident worker	A person who— (a) performs work as part of— (i) a resource extraction project; or (ii) a project identified in a planning scheme as a major industry or infrastructure project; or (iii) a rural use; and (b) lives, for extended periods, in the locality of the project, but has a permanent residence elsewhere. <i>Example of a non-resident worker—</i>

Column 1 Term	Column 2 Definition
	a person engaged in fly-in/fly-out, or drive in/drive out, working arrangements.
Outermost projection	In regards to a building or structure, is the outermost part of the building or structure, other than a part that is— (a) a retractable blind; or (b) a fixed screen; or (c) a rainwater fitting; or (d) an ornamental attachment.
Overland flow path	Where a piped drainage system exists: it is the path where storm flows in excess of the capacity of the underground drainage system would flow. Where no piped drainage system or other form of defined watercourse exists: it is the path taken by surface runoff from higher parts of the catchment to a watercourse, channel or gully. It does not include a watercourse, channel or gully with well-defined bed and banks.
Planning assumption	An assumption about the type, scale, location and timing of future growth in the local government area.
Plot ratio	The ratio of the gross floor area of a building on a site to the area of the site.
Primary street frontage	Means: (a) where a lot is vacant, the frontage most commonly addressed by other buildings in the block as the front of the lot; or (b) where a lot is not vacant, the frontage to which the front of the existing building addresses the street.
Projection area	A part of the local government area for which the local government has carried out demand growth projection.
Public open space	Outdoor spaces that are generally accessible to the community and provide for a range of sport, recreation, cultural, entertainment or leisure pursuits.
Public safety area	Means the defined area at the end of a strategic airport's runway in which development is restricted in order to protect the safety of people and property on the ground in the event of an aircraft incident during landing or take-off.
Runoff	As defined by the Queensland Urban Drainage Manual.
Secondary dwelling	A dwelling, whether attached or detached, that is used in conjunction with, and subordinate to, a dwelling house on the same lot.
Self-contained vehicle	The vehicle must have installed and/or carry the necessary fit for purpose specifically manufactured equipment. This includes: (a) Water Supply (b) Sink/Shower (c) Grey Water (d) Toilet (e) Rubbish Note – Definition from the <i>Caravan and Motorhome Club of Australia Limited – CMCA Self Contained Vehicle (SCV) Policy</i>
Sensitive land use	Means the following defined uses: (a) caretaker's accommodation; (b) childcare centre; (c) community care centre; (d) community residence; (e) detention facility; (f) dual occupancy; (g) dwelling house; (h) dwelling unit; (i) educational establishment;

Column 1 Term	Column 2 Definition
	(j) health care service; (k) hospital; (l) hotel; (m) multiple dwelling; (n) non-resident workforce accommodation; (o) relocatable home park; (p) residential care facility; (q) resort complex; (r) retirement facility; (s) rooming accommodation; (t) rural workers' accommodation; (u) short-term accommodation; and (v) tourist park.
Service catchment	An area serviced by an infrastructure network.
Setback	For a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
Site	In regards to development, means the land that the development is to be carried out on. <i>Examples—</i> 1 If development is to be carried out on part of a lot, the site of the development is that part of the lot. 2 If development is to be carried out on part of one (1) lot and part of an adjoining lot, the site of the development is both of those parts.
Site area	That part of a lot or lots which is proposed to be used, is currently used, or is the subject of a development application.
Site cover	In regards to development, the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is— (a) in a landscaped or open space area, including, for example, a gazebo or shade structure; or (b) a basement that is completely below ground level and used for car parking; or (c) the eaves of a building; or (d) a sun shade.
Storey	(a) means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than— (i) a space containing only a lift shaft, stairway or meter room; or (ii) a space containing only a bathroom, shower room, laundry, toilet or other sanitary compartment; or (iii) a space containing only a combination of the things stated in subparagraph (i) or (ii); or (iv) a basement with a ceiling that is not more than 1m above ground level; and (b) includes— (i) a mezzanine; and (ii) a roofed structure that is on, or part of, a rooftop, if the structure does not only accommodate building plant and equipment.
Storm tide	The increase in sea level occurring during a cyclone or severe storm resulting from the combined effect of reduced atmospheric pressure and the build-up of water against the shore caused by onshore wind (wind stress).

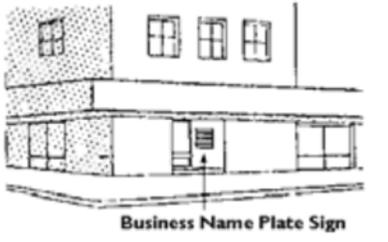
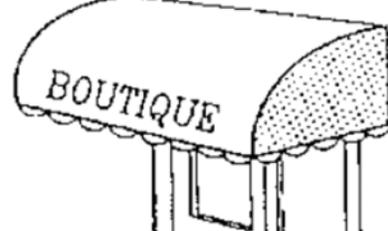
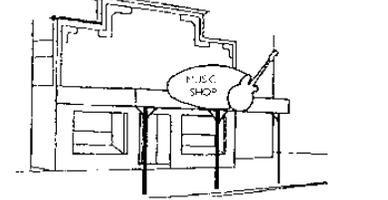
Column 1 Term	Column 2 Definition
Streetscape	The collective combination of urban form elements that constitute the view of a street and its public and private domains. These elements include buildings, roads, footpaths, vegetation, open spaces and street furniture.
Temporary use	<p>A use that—</p> <ul style="list-style-type: none"> (a) is carried out on a non-permanent basis; and (b) does not involve the construction of, or significant changes to, permanent buildings or structures. <p>Editor's note —Council's Local Law No.1 Administration is also applicable to temporary uses.</p>
Total floor area	The total floor area of all storeys of a building (measured from the outside of the external walls or the centre of a common wall). The term includes buildings or structures used for the parking and manoeuvring of motor vehicles.
Total use area	<p>The sum of all the areas (exclusive of all walls and columns) of all storeys of a building which are used or intended for use for a particular purpose, plus any other area of a site which is used, or intended to be used, for the same purpose which are likely to generate car parking demand. The term does not include:</p> <ul style="list-style-type: none"> (a) areas (inclusive of all walls and columns) of any lift wells, lift motor rooms, air conditioning and associated mechanical or electrical plant and equipment rooms; (b) areas of any staircases/access between levels; (c) areas of any public common foyer or lobby where these are not being used for commercial or retail purposes; (d) areas of any public toilets; (e) areas of any staff toilets, washrooms, recreation areas and lunchrooms, provided that such areas are not open to persons other than staff; (f) areas used for the access, parking and associated manoeuvring of motor vehicles; (g) mall/public arcade; and (h) unenclosed private balconies whether roof or not.
Ultimate development	For an area or premises, means the likely extent of development that is anticipated in the area, or on the premises, if the area or premises are fully developed.
Unacceptable risk	A situation where people or property are exposed to a predictable hazard event that may result in serious injury, loss of life, failure of community infrastructure, or property damage that would make a dwelling unfit for habitation.
Unrelated person	A person other than a parent, son, daughter, grandparent, brother, sister, uncle, aunt, nephew, niece, lineal descendant or adopted child of the member or their spouse and a spouse of any of the aforementioned individuals.
Urban purpose	Has the meaning defined in the <i>Planning Regulation 2017</i> , schedule 24.
Vehicle trip	Means one (1) trip arriving to and departing from the site or vice versa.
Verge	That part of the street or road reserve between the carriageway and the boundary of the adjacent lot or other limit to the road reserve. The term may accommodate service provider utility infrastructure, footpaths, stormwater flows, street lighting poles and planting.
Water sensitive urban design	<p>A holistic design approach to the management of stormwater, incorporating:</p> <ul style="list-style-type: none"> a) the protection and enhancement of the environmental values of receiving waters; b) the use of plants as a form of stormwater treatment; c) water conservation using the reuse of stormwater and the planting of native plants that are water efficient;

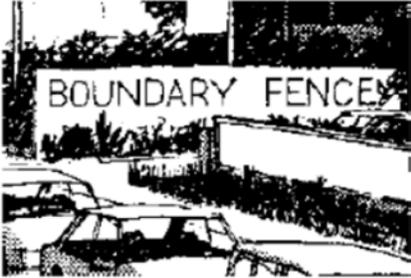
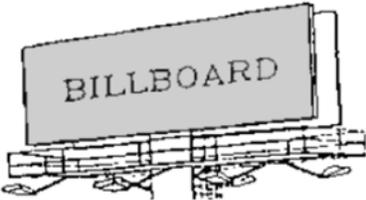
Column 1 Term	Column 2 Definition
	d) a multi-disciplinary approach to the design of stormwater management; and e) best practice environmental management.
Waterway	Means any of the following: (a) a creek, river, stream or watercourse; or (b) an inlet of the sea into which a creek, river, stream or watercourse flows; or (c) a dam or weir.
Wetland	An area shown as a wetland on "Map of referable wetlands", a document approved by the chief executive (environment).

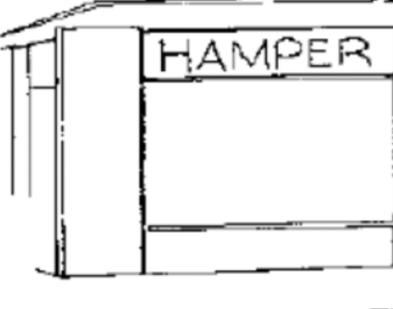
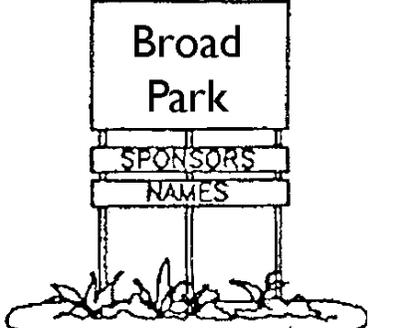
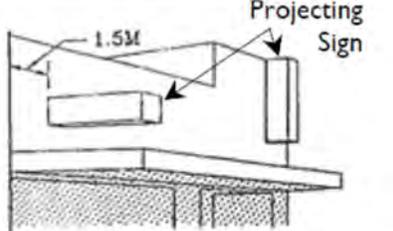
SC1.3 Advertising devices definitions

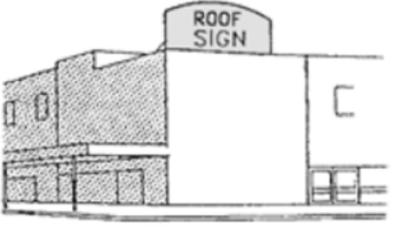
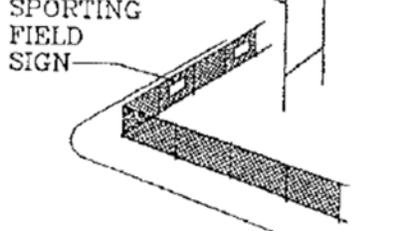
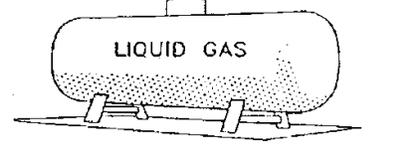
Administrative definitions for advertising devices assist with the interpretation of the planning scheme relative to Part 9.3.2 Advertising devices code.

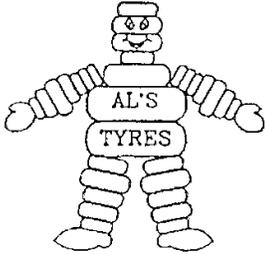
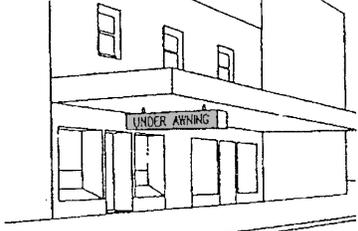
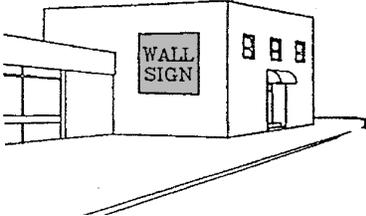
Table SC1.3.1 — Index and definitions of advertising devices

Advertising device type	Specific sign types	Pictorial description
Above awning sign	An above awning sign means any advertising device located on top of and attached to an awning or verandah which is situated over a public roadway.	
Awning fascia sign or return fascia sign	An awning fascia or return fascia sign is any advertising device painted or otherwise attached to the fascia or return fascia of an awning.	
Blind sign	A blind sign is any advertising device painted or applied to a flexible material suspended from an awning, verandah or wall.	
Business name plate sign or home-based business sign	A business name plate sign or home-based business sign is any advertising device intended to display the name and occupation of the business occupant or occupants and may include the hours of operation of the business.	
Canopy sign	A canopy sign is any advertising device painted or applied onto a canopy structure.	
Creative awning sign	A creative awning sign is any advertising device consisting of an advertisement attached to the fascia of an awning, which projects beyond and interrupts the natural line of the awning.	

Advertising device type	Specific sign types	Pictorial description
Fence sign	<p>A fence sign is any advertising device painted or otherwise affixed to a fence, where the fence acts as a permanent partition, screen or barrier normally along the boundary of a property.</p>	 
Flag sign	<p>A flag sign is any advertising device in the form of a flag, which is flown from a masthead, fixed either to or in front of a building or suspended from any structure or pole. Any masthead, structure or pole able at any time to fly a flag is taken to also be part of a flag sign.</p> <p>To remove any doubt this does not include the Australian flag (including armed forces), Queensland flag, Rockhampton Regional Council flag or any other similar type of flag.</p>	
Freestanding sign	<p>A freestanding sign is an advertising device that is typically in the form of a billboard (the width of which is greater than the height) or a pylon (the height of which is greater than the width) and which may be positioned on the ground or mounted to one or more vertical supports.</p>	 

Advertising device type	Specific sign types	Pictorial description
Ground sign	A ground sign is any advertising device, which identifies the site and is normally erected at a driveway entrance on the ground as a permanent structure. This includes any entry statement into a development such as a residential estate, industrial estate and the like.	
Hamper sign	A hamper sign is any advertising device located above the door head or its equivalent height and below the awning level or verandah of a building. It may be painted or otherwise affixed upon the building face.	
Park sign	A park sign is any advertising device that identifies a sporting club associated with the use of an area of public open space as well as their sponsors. To remove any doubt, a park sign does not include any sign or part of a sign that states the name of an area of public open space, that name being the name approved by a resolution of the Council.	
Projected image sign	A projected image sign is any advertising device that is illuminated and projected onto a surface as a static or moving image.	
Projecting sign	A projecting sign is any advertising device mounted to and projecting from the façade of a building.	

Advertising device type	Specific sign types	Pictorial description
Roof sign	A roof sign is an advertising device located on the roof of a building whether or not it has relation to the architectural design or appearance of the building.	
Sign written roof sign	<p>A sign written roof sign is an advertising device painted or otherwise affixed to the roof cladding of a building.</p> <p>These advertising devices do not include an advertising device attached to a roof in the context of a roof sign as otherwise defined.</p>	
Sporting field fence sign	A sporting field fence sign is any advertising device painted or otherwise affixed to a fence marking the boundaries of a playing field.	
Stall board sign		
Stall board sign	A stall board sign is any advertising device located below or at the bottom of a ground floor window. It may be painted or otherwise affixed upon the building face.	
Structure sign	A structure sign is any advertising device painted or otherwise affixed to any structure which is not a building. Structures to which this type of advertising device may be attached include batching plants, conveyor housings storage, liquid or gas tanks and the like.	

Advertising device type	Specific sign types	Pictorial description
Three-dimensional sign	<p>A three-dimensional sign is any advertising device that is designed to replicate or copy a real world object or shape.</p> <p>The replica may be:</p> <ul style="list-style-type: none"> (a) enlarged, miniaturised or equal in scale; and (b) freestanding or form part of a freestanding sign. 	
Under awning sign	<p>An under awning sign is any advertising device attached or suspended under an awning or verandah.</p>	
Wall Sign	<p>A wall sign is any advertising device painted or otherwise affixed to and confined within the limits of a wall of a building. It does not include a real estate sign, public notification sign, trade sign or election sign.</p>	
Window sign	<p>A window sign is any advertising device painted or otherwise affixed to the glazed area of any window. These advertising devices also include signs that may be suspended from the window frame but does not include project displays or showcases to be viewed by pedestrians.</p>	

Schedule 2 Mapping

The table(s) below lists any strategic framework, zoning, local plan and overlay maps applicable to the planning scheme area.

Editor's note—Mapping for the LGIP is contained in Schedule 3 of the planning scheme.

SC2.1 Map index

Table SC2.1.1 — Map index

Map ref	Locality
1	Allenstown
2	Alton Downs
3	Bajool
4	Baree
5	Berserker
6	Boulder Creek
7	Bouldercombe
8	Bushley
9	Dalma
10	Depot Hill
11	Fairy Bower
12	Fletcher Creek
13	Frenchville
14	Garnant
15	Glenroy
16	Gogango
17	Gracemere
18	Hamilton Creek
19	Horse Creek
20	Johnsons Hill
21	Kabra
22	Kalapa
23	Kawana
24	Koongal
25	Lakes Creek
26	Leydens Hill
27	Limestone
28	Limestone Creek
29	Marmor
30	Midgee
31	Moongan
32	Morinish
33	Morinish South
34	Mount Archer
35	Mount Morgan
36	Nine Mile
37	Nine Mile Creek
38	Norman Gardens
39	Oakey Creek
40	Park Avenue
41	Parkhurst
42	Pink Lily
43	Port Alma
44	Port Curtis
45	Ridgeland

Map ref	Locality
46	Rockhampton City
47	South Yaamba
48	Stanwell
49	Struck Oil
50	The Common
51	The Mine
52	The Range
53	Trotter Creek
54	Walmul
55	Walterhall
56	Wandal
57	West Rockhampton
58	Westwood
59	Wura
60	Wycarbah

Table SC2.1.2 — List of maps

Map number	Map title	Gazettal date
Strategic framework maps		
Settlement Pattern		
SFM-1	Strategic Framework Map — Settlement Pattern — Regional	
SFM-2	Strategic Framework Map — Settlement Pattern — Rockhampton	
SFM-3	Strategic Framework Map — Settlement Pattern — Gracemere	
SFM-4	Strategic Framework Map — Settlement Pattern — Mount Morgan	
Environmental		
SFM-5	Strategic Framework Map — Environmental — Regional	
SFM-6	Strategic Framework Map — Environmental — Rockhampton	
SFM-7	Strategic Framework Map — Environmental — Gracemere	
SFM-8	Strategic Framework Map — Environmental — Mount Morgan	
Infrastructure		
SFM-9	Strategic Framework Map — Infrastructure — Regional	
SFM-10	Strategic Framework Map — Infrastructure — Rockhampton	
SFM-11	Strategic Framework Map — Infrastructure — Gracemere	
SFM-12	Strategic Framework Map — Infrastructure — Mount Morgan	
Zone maps		
ZM-0	Zone Map ZM-0 (Regional)	
ZM-1	Zone Map ZM-1 (Allerstown)	
ZM-2	Zone Map ZM-2 (Alton Downs)	
ZM-3	Zone Map ZM-3 (Bajool)	
ZM-4	Zone Map ZM-4 (Baree)	
ZM-5	Zone Map ZM-5 (Berserker)	
ZM-6	Zone Map ZM-6 (Boulder Creek)	
ZM-7	Zone Map ZM-7 (Bouldercombe)	
ZM-8	Zone Map ZM-8 (Bushley)	
ZM-9	Zone Map ZM-9 (Dalma)	
ZM-10	Zone Map ZM-10 (Depot Hill)	
ZM-11	Zone Map ZM-11 (Fairy Bower)	

Map number	Map title	Gazettal date
ZM-12	Zone Map ZM-12 (Fletcher Creek)	
ZM-13	Zone Map ZM-13 (Frenchville)	
ZM-14	Zone Map ZM-14 (Garnant)	
ZM-15	Zone Map ZM-15 (Glenroy)	
ZM-16	Zone Map ZM-16 (Gogango)	
ZM-17	Zone Map ZM-17 (Gracemere)	
ZM-18	Zone Map ZM-18 (Hamilton Creek)	
ZM-19	Zone Map ZM-19 (Horse Creek)	
ZM-20	Zone Map ZM-20 (Johnsons Hill)	
ZM-21	Zone Map ZM-21 (Kabra)	
ZM-22	Zone Map ZM-22 (Kalapa)	
ZM-23	Zone Map ZM-23 (Kawana)	
ZM-24	Zone Map ZM-24 (Koongal)	
ZM-25	Zone Map ZM-25 (Lakes Creek)	
ZM-26	Zone Map ZM-26 (Leydens Hill)	
ZM-27	Zone Map ZM-27 (Limestone)	
ZM-28	Zone Map ZM-28 (Limestone Creek)	
ZM-29	Zone Map ZM-29 (Marmor)	
ZM-30	Zone Map ZM-30 (Midgee)	
ZM-31	Zone Map ZM-31 (Moongan)	
ZM-32	Zone Map ZM-32 (Morinish)	
ZM-33	Zone Map ZM-33 (Morinish South)	
ZM-34	Zone Map ZM-34 (Mount Archer)	
ZM-35	Zone Map ZM-35 (Mount Morgan)	
ZM-36	Zone Map ZM-36 (Nine Mile)	
ZM-37	Zone Map ZM-37 (Nine Mile Creek)	
ZM-38	Zone Map ZM-38 (Norman Gardens)	
ZM-39	Zone Map ZM-39 (Oakey Creek)	
ZM-40	Zone Map ZM-40 (Park Avenue)	
ZM-41	Zone Map ZM-41 (Parkhurst)	
ZM-42	Zone Map ZM-42 (Pink Lily)	
ZM-43	Zone Map ZM-43 (Port Alma)	
ZM-44	Zone Map ZM-44 (Port Curtis)	
ZM-45	Zone Map ZM-45 (Ridgeland)	
ZM-46	Zone Map ZM-46 (Rockhampton City)	
ZM-47	Zone Map ZM-47 (South Yaamba)	
ZM-48	Zone Map ZM-48 (Stanwell)	
ZM-49	Zone Map ZM-49 (Struck Oil)	
ZM-50	Zone Map ZM-50 (The Common)	
ZM-51	Zone Map ZM-51 (The Mine)	
ZM-52	Zone Map ZM-52 (The Range)	
ZM-53	Zone Map ZM-53 (Trotter Creek)	
ZM-54	Zone Map ZM-54 (Walmul)	
ZM-55	Zone Map ZM-55 (Walterhall)	
ZM-56	Zone Map ZM-56 (Wandal)	
ZM-57	Zone Map ZM-57 (West Rockhampton)	
ZM-58	Zone Map ZM-58 (Westwood)	
ZM-59	Zone Map ZM-59 (Wura)	
ZM-60	Zone Map ZM-60 (Wycarbah)	
Local plan maps		
Overlay maps		
OM-1-0	Acid Sulfate Soils Overlay Map OM-1-0 (Regional)	
OM-1-1	Acid Sulfate Soils Overlay Map OM-1-1 (Allentown)	
OM-1-2	Acid Sulfate Soils Overlay Map OM-1-2 (Alton Downs)	
OM-1-3	Acid Sulfate Soils Overlay Map OM-1-3 (Bajool)	

Map number	Map title	Gazettal date
OM-1-5	Acid Sulfate Soils Overlay Map OM-1-5 (Berserker)	
OM-1-7	Acid Sulfate Soils Overlay Map OM-1-7 (Bouldercombe)	
OM-1-10	Acid Sulfate Soils Overlay Map OM-1-10 (Depot Hill)	
OM-1-11	Acid Sulfate Soils Overlay Map OM-1-11 (Fairy Bower)	
OM-1-13	Acid Sulfate Soils Overlay Map OM-1-13 (Frenchville)	
OM-1-14	Acid Sulfate Soils Overlay Map OM-1-14 (Garnant)	
OM-1-15	Acid Sulfate Soils Overlay Map OM-1-15 (Glenroy)	
OM-1-17	Acid Sulfate Soils Overlay Map OM-1-17 (Gracemere)	
OM-1-21	Acid Sulfate Soils Overlay Map OM-1-21 (Kabra)	
OM-1-23	Acid Sulfate Soils Overlay Map OM-1-23 (Kawana)	
OM-1-24	Acid Sulfate Soils Overlay Map OM-1-24 (Koongal)	
OM-1-25	Acid Sulfate Soils Overlay Map OM-1-25 (Lakes Creek)	
OM-1-29	Acid Sulfate Soils Overlay Map OM-1-29 (Marmor)	
OM-1-30	Acid Sulfate Soils Overlay Map OM-1-30 (Midgee)	
OM-1-32	Acid Sulfate Soils Overlay Map OM-1-32 (Morinish)	
OM-1-36	Acid Sulfate Soils Overlay Map OM-1-36 (Nine Mile)	
OM-1-38	Acid Sulfate Soils Overlay Map OM-1-38 (Norman Gardens)	
OM-1-40	Acid Sulfate Soils Overlay Map OM-1-40 (Park Avenue)	
OM-1-41	Acid Sulfate Soils Overlay Map OM-1-41 (Parkhurst)	
OM-1-42	Acid Sulfate Soils Overlay Map OM-1-42 (Pink Lily)	
OM-1-43	Acid Sulfate Soils Overlay Map OM-1-43 (Port Alma)	
OM-1-44	Acid Sulfate Soils Overlay Map OM-1-44 (Port Curtis)	
OM-1-45	Acid Sulfate Soils Overlay Map OM-1-45 (Ridgelands)	
OM-1-46	Acid Sulfate Soils Overlay Map OM-1-46 (Rockhampton City)	
OM-1-47	Acid Sulfate Soils Overlay Map OM-1-47 (South Yaamba)	
OM-1-50	Acid Sulfate Soils Overlay Map OM-1-50 (The Common)	
OM-1-52	Acid Sulfate Soils Overlay Map OM-1-52 (The Range)	
OM-1-56	Acid Sulfate Soils Overlay Map OM-1-56 (Wandal)	
OM-1-57	Acid Sulfate Soils Overlay Map OM-1-57 (West Rockhampton)	
OM-2A-0	Airport Obstacle Limitation Surface Overlay Map OM-2A-0 (Regional)	
OM-2A-1	Airport Obstacle Limitation Surface Overlay Map OM-2A-1 (Allenstown)	
OM-2A-2	Airport Obstacle Limitation Surface Overlay Map OM-2A-2 (Alton Downs)	
OM-2A-5	Airport Obstacle Limitation Surface Overlay Map OM-2A-5 (Berserker)	
OM-2A-7	Airport Obstacle Limitation Surface Overlay Map OM-2A-7 (Bouldercombe)	
OM-2A-10	Airport Obstacle Limitation Surface Overlay Map OM-2A-10 (Depot Hill)	
OM-2A-11	Airport Obstacle Limitation Surface Overlay Map OM-2A-11 (Fairy Bower)	
OM-2A-13	Airport Obstacle Limitation Surface Overlay Map OM-2A-13 (Frenchville)	
OM-2A-17	Airport Obstacle Limitation Surface Overlay Map OM-2A-17 (Gracemere)	
OM-2A-21	Airport Obstacle Limitation Surface Overlay Map OM-2A-21 (Kabra)	
OM-2A-23	Airport Obstacle Limitation Surface Overlay Map OM-2A-23 (Kawana)	
OM-2A-24	Airport Obstacle Limitation Surface Overlay Map OM-2A-24 (Koongal)	

Map number	Map title	Gazettal date
OM-2A-25	Airport Obstacle Limitation Surface Overlay Map OM-2A-25 (Lakes Creek)	
OM-2A-28	Airport Obstacle Limitation Surface Overlay Map OM-2A-28 (Limestone Creek)	
OM-2A-30	Airport Obstacle Limitation Surface Overlay Map OM-2A-30 (Midgee)	
OM-2A-34	Airport Obstacle Limitation Surface Overlay Map OM-2A-34 (Mount Archer)	
OM-2A-36	Airport Obstacle Limitation Surface Overlay Map OM-2A-36 (Nine Mile)	
OM-2A-38	Airport Obstacle Limitation Surface Overlay Map OM-2A-38 (Norman Gardens)	
OM-2A-40	Airport Obstacle Limitation Surface Overlay Map OM-2A-40 (Park Avenue)	
OM-2A-41	Airport Obstacle Limitation Surface Overlay Map OM-2A-41 (Parkhurst)	
OM-2A-42	Airport Obstacle Limitation Surface Overlay Map OM-2A-42 (Pink Lily)	
OM-2A-44	Airport Obstacle Limitation Surface Overlay Map OM-2A-44 (Port Curtis)	
OM-2A-46	Airport Obstacle Limitation Surface Overlay Map OM-2A-46 (Rockhampton City)	
OM-2A-50	Airport Obstacle Limitation Surface Overlay Map OM-2A-50 (The Common)	
OM-2A-52	Airport Obstacle Limitation Surface Overlay Map OM-2A-52 (The Range)	
OM-2A-56	Airport Obstacle Limitation Surface Overlay Map OM-2A-56 (Wandal)	
OM-2A-57	Airport Obstacle Limitation Surface Overlay Map OM-2A-57 (West Rockhampton)	
OM-2B-0	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-0 (Regional)	
OM-2B-11	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-11 (Fairy Bower)	
OM-2B-17	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-17 (Gracemere)	
OM-2B-42	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-42 (Pink Lily)	
OM-2B-52	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-52 (The Range)	
OM-2B-57	Airport Australian Noise Exposure Forecast Contours Overlay Map OM-2B-57 (West Rockhampton)	
OM-2C-0	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-0 (Regional)	
OM-2C-1	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-1 (Allenstown)	
OM-2C-2	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-2 (Alton Downs)	
OM-2C-5	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-5 (Berserker)	
OM-2C-7	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-7 (Bouldercombe)	
OM-2C-10	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-10 (Depot Hill)	
OM-2C-11	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-11 (Fairy Bower)	
OM-2C-13	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-13 (Frenchville)	

Map number	Map title	Gazettal date
OM-2C-17	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-17 (Gracemere)	
OM-2C-21	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-21 (Kabra)	
OM-2C-23	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-23 (Kawana)	
OM-2C-24	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-24 (Koongal)	
OM-2C-25	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-25 (Lakes Creek)	
OM-2C-28	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-28 (Limestone Creek)	
OM-2C-30	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-30 (Midgee)	
OM-2C-34	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-34 (Mount Archer)	
OM-2C-36	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-36 (Nine Mile)	
OM-2C-38	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-38 (Norman Gardens)	
OM-2C-40	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-40 (Park Avenue)	
OM-2C-41	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-41 (Parkhurst)	
OM-2C-42	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-42 (Pink Lily)	
OM-2C-44	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-44 (Port Curtis)	
OM-2C-46	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-46 (Rockhampton City)	
OM-2C-50	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-50 (The Common)	
OM-2C-52	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-52 (The Range)	
OM-2C-56	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-56 (Wandal)	
OM-2C-57	Airport Wildlife Hazard Buffer Area Overlay Map OM-2C-57 (West Rockhampton)	
OM-2D-0	Aviation Facilities Building Restricted Area Overlay Map OM-2D-0 (Regional)	
OM-2D-11	Aviation Facilities Building Restricted Area Overlay Map OM-2D-11 (Fairy Bower)	
OM-2D-21	Aviation Facilities Building Restricted Area Overlay Map OM-2D-21 (Kabra)	
OM-2D-42	Aviation Facilities Building Restricted Area Overlay Map OM-2D-42 (Pink Lily)	
OM-2D-57	Aviation Facilities Building Restricted Area Overlay Map OM-2D-57 (West Rockhampton)	
OM-2E-0	Aviation Public Safety Area Overlay Map OM-2E-0 (Regional)	
OM-2E-42	Aviation Public Safety Area Overlay Map OM-2E-42 (Pink Lily)	
OM-2E-57	Aviation Public Safety Area Overlay Map OM-2E-57 (West Rockhampton)	
OM-2F-0	Airport Light Restriction Zone Overlay Map OM-2F-0 (Regional)	
OM-2F-1	Airport Light Restriction Zone Overlay Map OM-2F-1 (Allenstown)	

Map number	Map title	Gazettal date
OM-2F-2	Airport Light Restriction Zone Overlay Map OM-2F-2 (Alton Downs)	
OM-2F-5	Airport Light Restriction Zone Overlay Map OM-2F-5 (Berserker)	
OM-2F-10	Airport Light Restriction Zone Overlay Map OM-2F-10 (Depot Hill)	
OM-2F-11	Airport Light Restriction Zone Overlay Map OM-2F-11 (Fairy Bower)	
OM-2F-13	Airport Light Restriction Zone Overlay Map OM-2F-13 (Frenchville)	
OM-2F-17	Airport Light Restriction Zone Overlay Map OM-2F-17 (Gracemere)	
OM-2F-23	Airport Light Restriction Zone Overlay Map OM-2F-23 (Kawana)	
OM-2F-36	Airport Light Restriction Zone Overlay Map OM-2F-36 (Nine Mile)	
OM-2F-38	Airport Light Restriction Zone Overlay Map OM-2F-38 (Norman Gardens)	
OM-2F-40	Airport Light Restriction Zone Overlay Map OM-2F-40 (Park Avenue)	
OM-2F-41	Airport Light Restriction Zone Overlay Map OM-2F-41 (Parkhurst)	
OM-2F-42	Airport Light Restriction Zone Overlay Map OM-2F-42 (Pink Lily)	
OM-2F-44	Airport Light Restriction Zone Overlay Map OM-2F-44 (Port Curtis)	
OM-2F-46	Airport Light Restriction Zone Overlay Map OM-2F-46 (Rockhampton City)	
OM-2F-50	Airport Light Restriction Zone Overlay Map OM-2F-50 (The Common)	
OM-2F-52	Airport Light Restriction Zone Overlay Map OM-2F-52 (The Range)	
OM-2F-56	Airport Light Restriction Zone Overlay Map OM-2F-56 (Wandal)	
OM-2F-57	Airport Light Restriction Zone Overlay Map OM-2F-57 (West Rockhampton)	
OM-3A-0	Biodiversity Areas Overlay Map OM-3A-0 (Regional)	
OM-3A-1	Biodiversity Areas Overlay Map OM-3A-1 (Allenstown)	
OM-3A-2	Biodiversity Areas Overlay Map OM-3A-2 (Alton Downs)	
OM-3A-3	Biodiversity Areas Overlay Map OM-3A-3 (Bajool)	
OM-3A-4	Biodiversity Areas Overlay Map OM-3A-4 (Baree)	
OM-3A-5	Biodiversity Areas Overlay Map OM-3A-5 (Berserker)	
OM-3A-6	Biodiversity Areas Overlay Map OM-3A-6 (Boulder Creek)	
OM-3A-7	Biodiversity Areas Overlay Map OM-3A-7 (Bouldercombe)	
OM-3A-8	Biodiversity Areas Overlay Map OM-3A-8 (Bushley)	
OM-3A-9	Biodiversity Areas Overlay Map OM-3A-9 (Dalma)	
OM-3A-10	Biodiversity Areas Overlay Map OM-3A-10 (Depot Hill)	
OM-3A-11	Biodiversity Areas Overlay Map OM-3A-11 (Fairy Bower)	
OM-3A-12	Biodiversity Areas Overlay Map OM-3A-12 (Fletcher Creek)	
OM-3A-13	Biodiversity Areas Overlay Map OM-3A-13 (Frenchville)	
OM-3A-14	Biodiversity Areas Overlay Map OM-3A-14 (Garnant)	
OM-3A-15	Biodiversity Areas Overlay Map OM-3A-15 (Glenroy)	
OM-3A-16	Biodiversity Areas Overlay Map OM-3A-16 (Gogango)	
OM-3A-17	Biodiversity Areas Overlay Map OM-3A-17 (Gracemere)	

Map number	Map title	Gazettal date
OM-3A-18	Biodiversity Areas Overlay Map OM-3A-18 (Hamilton Creek)	
OM-3A-19	Biodiversity Areas Overlay Map OM-3A-19 (Horse Creek)	
OM-3A-20	Biodiversity Areas Overlay Map OM-3A-20 (Johnsons Hill)	
OM-3A-21	Biodiversity Areas Overlay Map OM-3A-21 (Kabra)	
OM-3A-22	Biodiversity Areas Overlay Map OM-3A-22 (Kalapa)	
OM-3A-23	Biodiversity Areas Overlay Map OM-3A-23 (Kawana)	
OM-3A-24	Biodiversity Areas Overlay Map OM-3A-24 (Koongal)	
OM-3A-25	Biodiversity Areas Overlay Map OM-3A-25 (Lakes Creek)	
OM-3A-26	Biodiversity Areas Overlay Map OM-3A-26 (Leydens Hill)	
OM-3A-27	Biodiversity Areas Overlay Map OM-3A-27 (Limestone)	
OM-3A-28	Biodiversity Areas Overlay Map OM-3A-28 (Limestone Creek)	
OM-3A-29	Biodiversity Areas Overlay Map OM-3A-29 (Marmor)	
OM-3A-30	Biodiversity Areas Overlay Map OM-3A-30 (Midgee)	
OM-3A-31	Biodiversity Areas Overlay Map OM-3A-31 (Moongan)	
OM-3A-32	Biodiversity Areas Overlay Map OM-3A-32 (Morinish)	
OM-3A-33	Biodiversity Areas Overlay Map OM-3A-33 (Morinish South)	
OM-3A-34	Biodiversity Areas Overlay Map OM-3A-34 (Mount Archer)	
OM-3A-35	Biodiversity Areas Overlay Map OM-3A-35 (Mount Morgan)	
OM-3A-36	Biodiversity Areas Overlay Map OM-3A-36 (Nine Mile)	
OM-3A-37	Biodiversity Areas Overlay Map OM-3A-37 (Nine Mile Creek)	
OM-3A-38	Biodiversity Areas Overlay Map OM-3A-38 (Norman Gardens)	
OM-3A-39	Biodiversity Areas Overlay Map OM-3A-39 (Oakey Creek)	
OM-3A-40	Biodiversity Areas Overlay Map OM-3A-40 (Park Avenue)	
OM-3A-41	Biodiversity Areas Overlay Map OM-3A-41 (Parkhurst)	
OM-3A-42	Biodiversity Areas Overlay Map OM-3A-42 (Pink Lily)	
OM-3A-43	Biodiversity Areas Overlay Map OM-3A-43 (Port Alma)	
OM-3A-44	Biodiversity Areas Overlay Map OM-3A-44 (Port Curtis)	
OM-3A-45	Biodiversity Areas Overlay Map OM-3A-45 (Ridgeland)	
OM-3A-46	Biodiversity Areas Overlay Map OM-3A-46 (Rockhampton City)	
OM-3A-47	Biodiversity Areas Overlay Map OM-3A-47 (South Yaamba)	
OM-3A-48	Biodiversity Areas Overlay Map OM-3A-48 (Stanwell)	
OM-3A-49	Biodiversity Areas Overlay Map OM-3A-49 (Struck Oil)	
OM-3A-50	Biodiversity Areas Overlay Map OM-3A-50 (The Common)	
OM-3A-51	Biodiversity Areas Overlay Map OM-3A-51 (The Mine)	
OM-3A-52	Biodiversity Areas Overlay Map OM-3A-52 (The Range)	
OM-3A-53	Biodiversity Areas Overlay Map OM-3A-53 (Trotter Creek)	
OM-3A-54	Biodiversity Areas Overlay Map OM-3A-54 (Walmul)	
OM-3A-55	Biodiversity Areas Overlay Map OM-3A-55 (Walterhall)	
OM-3A-56	Biodiversity Areas Overlay Map OM-3A-56 (Wandal)	
OM-3A-57	Biodiversity Areas Overlay Map OM-3A-57 (West Rockhampton)	

Map number	Map title	Gazettal date
OM-3A-58	Biodiversity Areas Overlay Map OM-3A-58 (Westwood)	
OM-3A-59	Biodiversity Areas Overlay Map OM-3A-59 (Wura)	
OM-3A-60	Biodiversity Areas Overlay Map OM-3A-60 (Wycarbah)	
OM-3B-0	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-0 (Regional)	
OM-3B-2	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-2 (Alton Downs)	
OM-3B-3	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-3 (Bajool)	
OM-3B-6	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-6 (Boulder Creek)	
OM-3B-7	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-7 (Bouldercombe)	
OM-3B-8	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-8 (Bushley)	
OM-3B-9	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-9 (Dalma)	
OM-3B-11	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-11 (Fairybower)	
OM-3B-12	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-12 (Fletcher Creek)	
OM-3B-13	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-13 (Frenchville)	
OM-3B-15	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-15 (Glenroy)	
OM-3B-16	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-16 (Gogango)	
OM-3B-18	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-18 (Hamilton Creek)	
OM-3B-19	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-19 (Horse Creek)	
OM-3B-21	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-21 (Kabra)	
OM-3B-22	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-22 (Kalapa)	
OM-3B-25	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-25 (Lakes Creek)	
OM-3B-26	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-26 (Leydens Hill)	
OM-3B-27	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-27 (Limestone)	
OM-3B-28	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-28 (Limestone Creek)	
OM-3B-29	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-29 (Marmor)	
OM-3B-30	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-30 (Midgee)	
OM-3B-31	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-31 (Moongan)	
OM-3B-32	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-32 (Morinish)	
OM-3B-33	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-33 (Morinish South)	
OM-3B-34	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-34 (Mount Archer)	
OM-3B-37	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-37 (Nine Mile Creek)	

Map number	Map title	Gazettal date
OM-3B-38	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-38 (Norman Gardens)	
OM-3B-41	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-41 (Parkhurst)	
OM-3B-42	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-42 (Pink Lily)	
OM-3B-43	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-43 (Port Alma)	
OM-3B-45	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-45 (Ridgeland)	
OM-3B-47	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-47 (South Yaamba)	
OM-3B-48	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-48 (Stanwell)	
OM-3B-49	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-49 (Struck Oil)	
OM-3B-51	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-51 (The Mine)	
OM-3B-52	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-52 (The Range)	
OM-3B-53	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-53 (Trotter Creek)	
OM-3B-56	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-56 (Wandal)	
OM-3B-57	Biodiversity Corridors and Wildlife Habitats Overlay Map OM-3B-57 (West Rockhampton)	
OM-3C-0	Biodiversity Waterways Overlay Map OM-3C-0 (Regional)	
OM-3C-2	Biodiversity Waterways Overlay Map OM-3C-2 (Alton Downs)	
OM-3C-3	Biodiversity Waterways Overlay Map OM-3C-3 (Bajool)	
OM-3C-4	Biodiversity Waterways Overlay Map OM-3C-4 (Baree)	
OM-3C-5	Biodiversity Waterways Overlay Map OM-3C-5 (Berserker)	
OM-3C-6	Biodiversity Waterways Overlay Map OM-3C-6 (Boulder Creek)	
OM-3C-7	Biodiversity Waterways Overlay Map OM-3C-7 (Bouldercombe)	
OM-3C-8	Biodiversity Waterways Overlay Map OM-3C-8 (Bushley)	
OM-3C-9	Biodiversity Waterways Overlay Map OM-3C-9 (Dalma)	
OM-3C-10	Biodiversity Waterways Overlay Map OM-3C-10 (Depot Hill)	
OM-3C-11	Biodiversity Waterways Overlay Map OM-3C-11 (Fairy Bower)	
OM-3C-12	Biodiversity Waterways Overlay Map OM-3C-12 (Fletcher Creek)	
OM-3C-13	Biodiversity Waterways Overlay Map OM-3C-13 (Frenchville)	
OM-3C-14	Biodiversity Waterways Overlay Map OM-3C-14 (Garnant)	
OM-3C-15	Biodiversity Waterways Overlay Map OM-3C-15 (Glenroy)	
OM-3C-16	Biodiversity Waterways Overlay Map OM-3C-16 (Gogango)	
OM-3C-17	Biodiversity Waterways Overlay Map OM-3C-17 (Gracemere)	
OM-3C-18	Biodiversity Waterways Overlay Map OM-3C-18 (Hamilton Creek)	

Map number	Map title	Gazettal date
OM-3C-19	Biodiversity Waterways Overlay Map OM-3C-19 (Horse Creek)	
OM-3C-20	Biodiversity Waterways Overlay Map OM-3C-20 (Johnsons Hill)	
OM-3C-21	Biodiversity Waterways Overlay Map OM-3C-21 (Kabra)	
OM-3C-22	Biodiversity Waterways Overlay Map OM-3C-22 (Kalapa)	
OM-3C-23	Biodiversity Waterways Overlay Map OM-3C-23 (Kawana)	
OM-3C-24	Biodiversity Waterways Overlay Map OM-3C-24 (Koongal)	
OM-3C-25	Biodiversity Waterways Overlay Map OM-3C-25 (Lakes Creek)	
OM-3C-26	Biodiversity Waterways Overlay Map OM-3C-26 (Leydens Hill)	
OM-3C-27	Biodiversity Waterways Overlay Map OM-3C-27 (Limestone)	
OM-3C-28	Biodiversity Waterways Overlay Map OM-3C-28 (Limestone Creek)	
OM-3C-29	Biodiversity Waterways Overlay Map OM-3C-29 (Marmor)	
OM-3C-30	Biodiversity Waterways Overlay Map OM-3C-30 (Midgee)	
OM-3C-31	Biodiversity Waterways Overlay Map OM-3C-31 (Moongan)	
OM-3C-32	Biodiversity Waterways Overlay Map OM-3C-32 (Morinish)	
OM-3C-33	Biodiversity Waterways Overlay Map OM-3C-33 (Morinish South)	
OM-3C-34	Biodiversity Waterways Overlay Map OM-3C-34 (Mount Archer)	
OM-3C-35	Biodiversity Waterways Overlay Map OM-3C-35 (Mount Morgan)	
OM-3C-36	Biodiversity Waterways Overlay Map OM-3C-36 (Nine Mile)	
OM-3C-37	Biodiversity Waterways Overlay Map OM-3C-37 (Nine Mile Creek)	
OM-3C-38	Biodiversity Waterways Overlay Map OM-3C-38 (Norman Gardens)	
OM-3C-39	Biodiversity Waterways Overlay Map OM-3C-39 (Oakey Creek)	
OM-3C-40	Biodiversity Waterways Overlay Map OM-3C-40 (Park Avenue)	
OM-3C-41	Biodiversity Waterways Overlay Map OM-3C-41 (Parkhurst)	
OM-3C-42	Biodiversity Waterways Overlay Map OM-3C-42 (Pink Lily)	
OM-3C-43	Biodiversity Waterways Overlay Map OM-3C-43 (Port Alma)	
OM-3C-44	Biodiversity Waterways Overlay Map OM-3C-44 (Port Curtis)	
OM-3C-45	Biodiversity Waterways Overlay Map OM-3C-45 (Ridglands)	
OM-3C-46	Biodiversity Waterways Overlay Map OM-3C-46 (Rockhampton City)	
OM-3C-47	Biodiversity Waterways Overlay Map OM-3C-47 (South Yaamba)	
OM-3C-48	Biodiversity Waterways Overlay Map OM-3C-48 (Stanwell)	

Map number	Map title	Gazettal date
OM-3C-49	Biodiversity Waterways Overlay Map OM-3C-49 (Struck Oil)	
OM-3C-50	Biodiversity Waterways Overlay Map OM-3C-50 (The Common)	
OM-3C-51	Biodiversity Waterways Overlay Map OM-3C-51 (The Mine)	
OM-3C-53	Biodiversity Waterways Overlay Map OM-3C-53 (Trotter Creek)	
OM-3C-54	Biodiversity Waterways Overlay Map OM-3C-54 (Walmul)	
OM-3C-55	Biodiversity Waterways Overlay Map OM-3C-55 (Walterhall)	
OM-3C-56	Biodiversity Waterways Overlay Map OM-3C-56 (Wandal)	
OM-3C-57	Biodiversity Waterways Overlay Map OM-3C-57 (West Rockhampton)	
OM-3C-58	Biodiversity Waterways Overlay Map OM-3C-58 (Westwood)	
OM-3C-59	Biodiversity Waterways Overlay Map OM-3C-59 (Wura)	
OM-3C-60	Biodiversity Waterways Overlay Map OM-3C-60 (Wycarbah)	
OM-3D-0	Biodiversity Wetlands Overlay Map OM-3D-0 (Regional)	
OM-3D-1	Biodiversity Wetlands Overlay Map OM-3D-1 (Allenstown)	
OM-3D-2	Biodiversity Wetlands Overlay Map OM-3D-2 (Alton Downs)	
OM-3D-7	Biodiversity Wetlands Overlay Map OM-3D-7 (Bouldercombe)	
OM-3D-10	Biodiversity Wetlands Overlay Map OM-3D-10 (Depot Hill)	
OM-3D-11	Biodiversity Wetlands Overlay Map OM-3D-11 (Fairy Bower)	
OM-3D-14	Biodiversity Wetlands Overlay Map OM-3D-14 (Garnant)	
OM-3D-15	Biodiversity Wetlands Overlay Map OM-3D-15 (Glenroy)	
OM-3D-16	Biodiversity Wetlands Overlay Map OM-3D-16 (Gogango)	
OM-3D-17	Biodiversity Wetlands Overlay Map OM-3D-17 (Gracemere)	
OM-3D-29	Biodiversity Wetlands Overlay Map OM-3D-29 (Marmor)	
OM-3D-30	Biodiversity Wetlands Overlay Map OM-3D-30 (Midgee)	
OM-3D-32	Biodiversity Wetlands Overlay Map OM-3D-32 (Morinish)	
OM-3D-36	Biodiversity Wetlands Overlay Map OM-3D-36 (Nine Mile)	
OM-3D-41	Biodiversity Wetlands Overlay Map OM-3D-41 (Parkhurst)	
OM-3D-42	Biodiversity Wetlands Overlay Map OM-3D-42 (Pink Lily)	
OM-3D-43	Biodiversity Wetlands Overlay Map OM-3D-43 (Port Alma)	
OM-3D-44	Biodiversity Wetlands Overlay Map OM-3D-44 (Port Curtis)	
OM-3D-47	Biodiversity Wetlands Overlay Map OM-3D-47 (South Yaamba)	
OM-3D-52	Biodiversity Wetlands Overlay Map OM-3D-52 (The Range)	
OM-3D-57	Biodiversity Wetlands Overlay Map OM-3D-57 (West Rockhampton)	
OM-4-0	Bushfire Hazard Overlay Map OM-4-0 (Regional)	
OM-4-2	Bushfire Hazard Overlay Map OM-4-2 (Alton Downs)	

Map number	Map title	Gazettal date
OM-4-3	Bushfire Hazard Overlay Map OM-4-3 (Bajool)	
OM-4-4	Bushfire Hazard Overlay Map OM-4-4 (Baree)	
OM-4-5	Bushfire Hazard Overlay Map OM-4-5 (Berserker)	
OM-4-6	Bushfire Hazard Overlay Map OM-4-6 (Boulder Creek)	
OM-4-7	Bushfire Hazard Overlay Map OM-4-7 (Bouldercombe)	
OM-4-8	Bushfire Hazard Overlay Map OM-4-8 (Bushley)	
OM-4-9	Bushfire Hazard Overlay Map OM-4-9 (Dalma)	
OM-4-11	Bushfire Hazard Overlay Map OM-4-11 (Fairy Bower)	
OM-4-12	Bushfire Hazard Overlay Map OM-4-12 (Fletcher Creek)	
OM-4-13	Bushfire Hazard Overlay Map OM-4-13 (Frenchville)	
OM-4-14	Bushfire Hazard Overlay Map OM-4-14 (Garnant)	
OM-4-15	Bushfire Hazard Overlay Map OM-4-15 (Glenroy)	
OM-4-16	Bushfire Hazard Overlay Map OM-4-16 (Gogango)	
OM-4-17	Bushfire Hazard Overlay Map OM-4-17 (Gracemere)	
OM-4-18	Bushfire Hazard Overlay Map OM-4-18 (Hamilton Creek)	
OM-4-19	Bushfire Hazard Overlay Map OM-4-19 (Horse Creek)	
OM-4-20	Bushfire Hazard Overlay Map OM-4-20 (Johnsons Hill)	
OM-4-21	Bushfire Hazard Overlay Map OM-4-21 (Kabra)	
OM-4-22	Bushfire Hazard Overlay Map OM-4-22 (Kalapa)	
OM-4-23	Bushfire Hazard Overlay Map OM-4-23 (Kawana)	
OM-4-24	Bushfire Hazard Overlay Map OM-4-24 (Koongal)	
OM-4-25	Bushfire Hazard Overlay Map OM-4-25 (Lakes Creek)	
OM-4-26	Bushfire Hazard Overlay Map OM-4-26 (Leydens Hill)	
OM-4-27	Bushfire Hazard Overlay Map OM-4-27 (Limestone)	
OM-4-28	Bushfire Hazard Overlay Map OM-4-28 (Limestone Creek)	
OM-4-29	Bushfire Hazard Overlay Map OM-4-29 (Marmor)	
OM-4-30	Bushfire Hazard Overlay Map OM-4-30 (Midgee)	
OM-4-31	Bushfire Hazard Overlay Map OM-4-31 (Moongan)	
OM-4-32	Bushfire Hazard Overlay Map OM-4-32 (Morinish)	
OM-4-33	Bushfire Hazard Overlay Map OM-4-33 (Morinish South)	
OM-4-34	Bushfire Hazard Overlay Map OM-4-34 (Mount Archer)	
OM-4-35	Bushfire Hazard Overlay Map OM-4-35 (Mount Morgan)	
OM-4-36	Bushfire Hazard Overlay Map OM-4-36 (Nine Mile)	
OM-4-37	Bushfire Hazard Overlay Map OM-4-37 (Nine Mile Creek)	
OM-4-38	Bushfire Hazard Overlay Map OM-4-38 (Norman Gardens)	
OM-4-39	Bushfire Hazard Overlay Map OM-4-39 (Oakey Creek)	
OM-4-40	Bushfire Hazard Overlay Map OM-4-40 (Park Avenue)	
OM-4-41	Bushfire Hazard Overlay Map OM-4-41 (Parkhurst)	
OM-4-42	Bushfire Hazard Overlay Map OM-4-42 (Pink Lily)	
OM-4-43	Bushfire Hazard Overlay Map OM-4-43 (Port Alma)	
OM-4-44	Bushfire Hazard Overlay Map OM-4-44 (Port Curtis)	
OM-4-45	Bushfire Hazard Overlay Map OM-4-45 (Ridgelands)	
OM-4-47	Bushfire Hazard Overlay Map OM-4-47 (South Yaamba)	
OM-4-48	Bushfire Hazard Overlay Map OM-4-48 (Stanwell)	
OM-4-49	Bushfire Hazard Overlay Map OM-4-49 (Struck Oil)	
OM-4-50	Bushfire Hazard Overlay Map OM-4-50 (The Common)	
OM-4-51	Bushfire Hazard Overlay Map OM-4-51 (The Mine)	
OM-4-52	Bushfire Hazard Overlay Map OM-4-52 (The Range)	
OM-4-53	Bushfire Hazard Overlay Map OM-4-53 (Trotter Creek)	
OM-4-54	Bushfire Hazard Overlay Map OM-4-54 (Walmul)	
OM-4-55	Bushfire Hazard Overlay Map OM-4-55 (Walterhall)	
OM-4-56	Bushfire Hazard Overlay Map OM-4-56 (Wandal)	
OM-4-57	Bushfire Hazard Overlay Map OM-4-57 (West Rockhampton)	

Map number	Map title	Gazettal date
OM-4-58	Bushfire Hazard Overlay Map OM-4-58 (Westwood)	
OM-4-59	Bushfire Hazard Overlay Map OM-4-59 (Wura)	
OM-4-60	Bushfire Hazard Overlay Map OM-4-60 (Wycarbah)	
OM-5-0	Character Overlay Map OM-5-0 (Regional)	
OM-5-1	Character Overlay Map OM-5-1 (Allenstown)	
OM-5-46	Character Overlay Map OM-5-46 (Rockhampton City)	
OM-5-52	Character Overlay Map OM-5-52 (The Range)	
OM-5-56	Character Overlay Map OM-5-56 (Wandal)	
OM-6A-0	Coastal Erosion Prone Area Overlay Map OM-6A-0 (Regional)	
OM-6A-1	Coastal Erosion Prone Area Overlay Map OM-6A-1 (Allenstown)	
OM-6A-2	Coastal Erosion Prone Area Overlay Map OM-6A-2 (Alton Downs)	
OM-6A-3	Coastal Erosion Prone Area Overlay Map OM-6A-3 (Bajool)	
OM-6A-5	Coastal Erosion Prone Area Overlay Map OM-6A-5 (Berserker)	
OM-6A-7	Coastal Erosion Prone Area Overlay Map OM-6A-7 (Bouldercombe)	
OM-6A-10	Coastal Erosion Prone Area Overlay Map OM-6A-10 (Depot Hill)	
OM-6A-11	Coastal Erosion Prone Area Overlay Map OM-6A-11 (Fairy Bower)	
OM-6A-23	Coastal Erosion Prone Area Overlay Map OM-6A-23 (Kawana)	
OM-6A-24	Coastal Erosion Prone Area Overlay Map OM-6A-24 (Koongal)	
OM-6A-25	Coastal Erosion Prone Area Overlay Map OM-6A-25 (Lakes Creek)	
OM-6A-29	Coastal Erosion Prone Area Overlay Map OM-6A-29 (Marmor)	
OM-6A-30	Coastal Erosion Prone Area Overlay Map OM-6A-30 (Midgee)	
OM-6A-40	Coastal Erosion Prone Area Overlay Map OM-6A-40 (Park Avenue)	
OM-6A-41	Coastal Erosion Prone Area Overlay Map OM-6A-41 (Parkhurst)	
OM-6A-42	Coastal Erosion Prone Area Overlay Map OM-6A-42 (Pink Lily)	
OM-6A-43	Coastal Erosion Prone Area Overlay Map OM-6A-43 (Port Alma)	
OM-6A-44	Coastal Erosion Prone Area Overlay Map OM-6A-44 (Port Curtis)	
OM-6A-46	Coastal Erosion Prone Area Overlay Map OM-6A-46 (Rockhampton City)	
OM-6A-50	Coastal Erosion Prone Area Overlay Map OM-6A-50 (The Common)	
OM-6A-56	Coastal Erosion Prone Area Overlay Map OM-6A-56 (Wandal)	
OM-6A-57	Coastal Erosion Prone Area Overlay Map OM-6A-57 (West Rockhampton)	
OM-6B-0	Coastal Hazard Overlay Map OM-6B-0 (Regional)	
OM-6B-1	Coastal Hazard Overlay Map OM-6B-1 (Allenstown)	
OM-6B-2	Coastal Hazard Overlay Map OM-6B-2 (Alton Downs)	
OM-6B-3	Coastal Hazard Overlay Map OM-6B-3 (Bajool)	
OM-6B-5	Coastal Hazard Overlay Map OM-6B-5 (Berserker)	

Map number	Map title	Gazettal date
OM-6B-7	Coastal Hazard Overlay Map OM-6B-7 (Bouldercombe)	
OM-6B-10	Coastal Hazard Overlay Map OM-6B-10 (Depot Hill)	
OM-6B-11	Coastal Hazard Overlay Map OM-6B-11 (Fairy Bower)	
OM-6B-17	Coastal Hazard Overlay Map OM-6B-17 (Gracemere)	
OM-6B-23	Coastal Hazard Overlay Map OM-6B-23 (Kawana)	
OM-6B-24	Coastal Hazard Overlay Map OM-6B-24 (Koongal)	
OM-6B-25	Coastal Hazard Overlay Map OM-6B-25 (Lakes Creek)	
OM-6B-29	Coastal Hazard Overlay Map OM-6B-29 (Marmor)	
OM-6B-30	Coastal Hazard Overlay Map OM-6B-30 (Midgee)	
OM-6B-40	Coastal Hazard Overlay Map OM-6B-40 (Park Avenue)	
OM-6B-41	Coastal Hazard Overlay Map OM-6B-41 (Parkhurst)	
OM-6B-42	Coastal Hazard Overlay Map OM-6B-42 (Pink Lily)	
OM-6B-43	Coastal Hazard Overlay Map OM-6B-43 (Port Alma)	
OM-6B-44	Coastal Hazard Overlay Map OM-6B-44 (Port Curtis)	
OM-6B-46	Coastal Hazard Overlay Map OM-6B-46 (Rockhampton City)	
OM-6B-50	Coastal Hazard Overlay Map OM-6B-50 (The Common)	
OM-6B-52	Coastal Hazard Overlay Map OM-6B-52 (The Range)	
OM-6B-56	Coastal Hazard Overlay Map OM-6B-56 (Wandal)	
OM-6B-57	Coastal Hazard Overlay Map OM-6B-57 (West Rockhampton)	
OM-7-0	Extractive Resources Overlay Map OM-7-0 (Regional)	
OM-7-2	Extractive Resources Overlay Map OM-7-2 (Alton Downs)	
OM-7-22	Extractive Resources Overlay Map OM-7-22 (Kalapa)	
OM-7-28	Extractive Resources Overlay Map OM-7-28 (Limestone Creek)	
OM-7-38	Extractive Resources Overlay Map OM-7-38 (Norman Gardens)	
OM-7-41	Extractive Resources Overlay Map OM-7-41 (Parkhurst)	
OM-7-42	Extractive Resources Overlay Map OM-7-42 (Pink Lily)	
OM-7-48	Extractive Resources Overlay Map OM-7-48 (Stanwell)	
OM-8A-0	Fitzroy River Flood Overlay Map OM-8A-0 (Regional)	
OM-8A-1	Fitzroy River Flood Overlay Map OM-8A-1 (Allenstown)	
OM-8A-2	Fitzroy River Flood Overlay Map OM-8A-2 (Alton Downs)	
OM-8A-5	Fitzroy River Flood Overlay Map OM-8A-5 (Berserker)	
OM-8A-7	Fitzroy River Flood Overlay Map OM-8A-7 (Bouldercombe)	
OM-8A-10	Fitzroy River Flood Overlay Map OM-8A-10 (Depot Hill)	
OM-8A-11	Fitzroy River Flood Overlay Map OM-8A-11 (Fairy Bower)	
OM-8A-17	Fitzroy River Flood Overlay Map OM-8A-17 (Gracemere)	
OM-8A-23	Fitzroy River Flood Overlay Map OM-8A-23 (Kawana)	
OM-8A-24	Fitzroy River Flood Overlay Map OM-8A-24 (Koongal)	
OM-8A-25	Fitzroy River Flood Overlay Map OM-8A-25 (Lakes Creek)	
OM-8A-30	Fitzroy River Flood Overlay Map OM-8A-30 (Midgee)	
OM-8A-36	Fitzroy River Flood Overlay Map OM-8A-36 (Nine Mile)	
OM-8A-40	Fitzroy River Flood Overlay Map OM-8A-40 (Park Avenue)	
OM-8A-41	Fitzroy River Flood Overlay Map OM-8A-41 (Parkhurst)	
OM-8A-42	Fitzroy River Flood Overlay Map OM-8A-42 (Pink Lily)	
OM-8A-44	Fitzroy River Flood Overlay Map OM-8A-44 (Port Curtis)	
OM-8A-46	Fitzroy River Flood Overlay Map OM-8A-46 (Rockhampton City)	
OM-8A-50	Fitzroy River Flood Overlay Map OM-8A-50 (The Common)	

Map number	Map title	Gazettal date
OM-8A-52	Fitzroy River Flood Overlay Map OM-8A-52 (The Range)	
OM-8A-56	Fitzroy River Flood Overlay Map OM-8A-56 (Wandal)	
OM-8A-57	Fitzroy River Flood Overlay Map OM-8A-57 (West Rockhampton)	
OM-8B-0	Floodplain Investigation Area Overlay Map OM-8B-0 (Regional)	
OM-8B-2	Floodplain Investigation Area Overlay Map OM-8B-2 (Alton Downs)	
OM-8B-3	Floodplain Investigation Area Overlay Map OM-8B-3 (Bajool)	
OM-8B-4	Floodplain Investigation Area Overlay Map OM-8B-4 (Baree)	
OM-8B-6	Floodplain Investigation Area Overlay Map OM-8B-6 (Boulder Creek)	
OM-8B-7	Floodplain Investigation Area Overlay Map OM-8B-7 (Bouldercombe)	
OM-8B-8	Floodplain Investigation Area Overlay Map OM-8B-8 (Bushley)	
OM-8B-9	Floodplain Investigation Area Overlay Map OM-8B-9 (Dalma)	
OM-8B-12	Floodplain Investigation Area Overlay Map OM-8B-12 (Fletcher Creek)	
OM-8B-14	Floodplain Investigation Area Overlay Map OM-8B-14 (Garnant)	
OM-8B-15	Floodplain Investigation Area Overlay Map OM-8B-15 (Glenroy)	
OM-8B-16	Floodplain Investigation Area Overlay Map OM-8B-16 (Gogango)	
OM-8B-17	Floodplain Investigation Area Overlay Map OM-8B-17 (Gracemere)	
OM-8B-19	Floodplain Investigation Area Overlay Map OM-8B-19 (Horse Creek)	
OM-8B-21	Floodplain Investigation Area Overlay Map OM-8B-21 (Kabra)	
OM-8B-22	Floodplain Investigation Area Overlay Map OM-8B-22 (Kalapa)	
OM-8B-29	Floodplain Investigation Area Overlay Map OM-8B-29 (Marmor)	
OM-8B-30	Floodplain Investigation Area Overlay Map OM-8B-30 (Midgee)	
OM-8B-32	Floodplain Investigation Area Overlay Map OM-8B-32 (Morinish)	
OM-8B-33	Floodplain Investigation Area Overlay Map OM-8B-33 (Morinish South)	
OM-8B-35	Floodplain Investigation Area Overlay Map OM-8B-35 (Mount Morgan)	
OM-8B-36	Floodplain Investigation Area Overlay Map OM-8B-36 (Nine Mile)	
OM-8B-37	Floodplain Investigation Area Overlay Map OM-8B-37 (Nine Mile Creek)	
OM-8B-39	Floodplain Investigation Area Overlay Map OM-8B-39 (Oakey Creek)	
OM-8B-43	Floodplain Investigation Area Overlay Map OM-8B-43 (Port Alma)	
OM-8B-45	Floodplain Investigation Area Overlay Map OM-8B-45 (Ridgelands)	

Map number	Map title	Gazettal date
OM-8B-47	Floodplain Investigation Area Overlay Map OM-8B-47 (South Yaamba)	
OM-8B-48	Floodplain Investigation Area Overlay Map OM-8B-48 (Stanwell)	
OM-8B-51	Floodplain Investigation Area Overlay Map OM-8B-51 (The Mine)	
OM-8B-53	Floodplain Investigation Area Overlay Map OM-8B-53 (Trotter Creek)	
OM-8B-54	Floodplain Investigation Area Overlay Map OM-8B-54 (Walmul)	
OM-8B-55	Floodplain Investigation Area Overlay Map OM-8B-55 (Walterhall)	
OM-8B-58	Floodplain Investigation Area Overlay Map OM-8B-58 (Westwood)	
OM-8B-59	Floodplain Investigation Area Overlay Map OM-8B-59 (Wura)	
OM-8B-60	Floodplain Investigation Area Overlay Map OM-8B-60 (Wycarbah)	
OM-8C-0	Creek Catchment Flood Overlay Map OM-8C-0 (Regional)	
OM-8C-5	Local Catchment Flood Overlay Map OM-8C-5 (Berserker)	
OM-8C-7	Creek Catchment Flood Overlay Map OM-8C-7 (Bouldercombe)	
OM-8C-13	Local Catchment Flood Overlay Map OM-8C-13 (Frenchville)	
OM-8C-17	Creek Catchment Flood Overlay Map OM-8C-17 (Gracemere)	
OM-8C-21	Creek Catchment Flood Overlay Map OM-8C-21 (Kabra)	
OM-8C-23	Local Catchment Flood Overlay Map OM-8C-23 (Kawana)	
OM-8C-24	Local Catchment Flood Overlay Map OM-8C-24 (Koongal)	
OM-8C-28	Local Catchment Flood Overlay Map OM-8C-28 (Limestone Creek)	
OM-8C-34	Local Catchment Flood Overlay Map OM-8C-34 (Mount Archer)	
OM-8C-38	Local Catchment Flood Overlay Map OM-8C-38 (Norman Gardens)	
OM-8C-40	Local Catchment Flood Overlay Map OM-8C-40 (Park Avenue)	
OM-8C-41	Local Catchment Flood Overlay Map OM-8C-41 (Parkhurst)	
OM-8C-50	Local Catchment Flood Overlay Map OM-8C-50 (The Common)	
OM-9-0	Heritage Place Overlay Map OM-9-0 (Regional)	
OM-9-1	Heritage Place Overlay Map OM-9-1 (Allenstown)	
OM-9-4	Heritage Place Overlay Map OM-9-4 (Baree)	
OM-9-5	Heritage Place Overlay Map OM-9-5 (Berserker)	
OM-9-10	Heritage Place Overlay Map OM-9-10 (Depot Hill)	
OM-9-17	Heritage Place Overlay Map OM-9-17 (Gracemere)	
OM-9-24	Heritage Place Overlay Map OM-9-24 (Koongal)	
OM-9-35	Heritage Place Overlay Map OM-9-35 (Mount Morgan)	
OM-9-39	Heritage Place Overlay Map OM-9-39 (Oakey Creek)	
OM-9-40	Heritage Place Overlay Map OM-9-40 (Park Avenue)	
OM-9-41	Heritage Place Overlay Map OM-9-41 (Parkhurst)	
OM-9-46	Heritage Place Overlay Map OM-9-46 (Rockhampton City)	

Map number	Map title	Gazettal date
OM-9-51	Heritage Place Overlay Map OM-9-51 (The Mine)	
OM-9-52	Heritage Place Overlay Map OM-9-52 (The Range)	
OM-9-56	Heritage Place Overlay Map OM-9-56 (Wandal)	
OM-9-57	Heritage Place Overlay Map OM-9-57 (West Rockhampton)	
OM-10-0	Special Management Area Overlay Map OM-10-0 (Regional)	
OM-10-3	Special Management Area Overlay Map OM-10-3 (Bajool)	
OM-10-5	Special Management Area Overlay Map OM-10-5 (Berserker)	
OM-10-7	Special Management Area Overlay Map OM-10-7 (Bouldercombe)	
OM-10-17	Special Management Area Overlay Map OM-10-17 (Gracemere)	
OM-10-21	Special Management Area Overlay Map OM-10-21 (Kabra)	
OM-10-22	Special Management Area Overlay Map OM-10-22 (Kalapa)	
OM-10-24	Special Management Area Overlay Map OM-10-24 (Koongal)	
OM-10-25	Special Management Area Overlay Map OM-10-25 (Lakes Creek)	
OM-10-29	Special Management Area Overlay Map OM-10-29 (Marmor)	
OM-10-36	Special Management Area Overlay Map OM-10-36 (Nine Mile)	
OM-10-48	Special Management Area Overlay Map OM-10-48 (Stanwell)	
OM-10-50	Special Management Area Overlay Map OM-10-50 (The Common)	
OM-11-0	Steep Land Overlay Map OM-11-0 (Regional)	
OM-11-1	Steep Land Overlay Map OM-11-1 (Allerstown)	
OM-11-2	Steep Land Overlay Map OM-11-2 (Alton Downs)	
OM-11-3	Steep Land Overlay Map OM-11-3 (Bajool)	
OM-11-4	Steep Land Overlay Map OM-11-4 (Baree)	
OM-11-5	Steep Land Overlay Map OM-11-5 (Berserker)	
OM-11-6	Steep Land Overlay Map OM-11-6 (Boulder Creek)	
OM-11-7	Steep Land Overlay Map OM-11-7 (Bouldercombe)	
OM-11-8	Steep Land Overlay Map OM-11-8 (Bushley)	
OM-11-9	Steep Land Overlay Map OM-11-9 (Dalma)	
OM-11-10	Steep Land Overlay Map OM-11-10 (Depot Hill)	
OM-11-11	Steep Land Overlay Map OM-11-11 (Fairy Bower)	
OM-11-12	Steep Land Overlay Map OM-11-12 (Fletcher Creek)	
OM-11-13	Steep Land Overlay Map OM-11-13 (Frenchville)	
OM-11-14	Steep Land Overlay Map OM-11-14 (Garnant)	
OM-11-15	Steep Land Overlay Map OM-11-15 (Glenroy)	
OM-11-16	Steep Land Overlay Map OM-11-16 (Gogango)	
OM-11-17	Steep Land Overlay Map OM-11-17 (Gracemere)	
OM-11-18	Steep Land Overlay Map OM-11-18 (Hamilton Creek)	
OM-11-19	Steep Land Overlay Map OM-11-19 (Horse Creek)	
OM-11-20	Steep Land Overlay Map OM-11-20 (Johnsons Hill)	
OM-11-21	Steep Land Overlay Map OM-11-21 (Kabra)	
OM-11-22	Steep Land Overlay Map OM-11-22 (Kalapa)	
OM-11-23	Steep Land Overlay Map OM-11-23 (Kawana)	
OM-11-24	Steep Land Overlay Map OM-11-24 (Koongal)	
OM-11-25	Steep Land Overlay Map OM-11-25 (Lakes Creek)	

Map number	Map title	Gazettal date
OM-11-26	Steep Land Overlay Map OM-11-26 (Leydens Hill)	
OM-11-27	Steep Land Overlay Map OM-11-27 (Limestone)	
OM-11-28	Steep Land Overlay Map OM-11-28 (Limestone Creek)	
OM-11-29	Steep Land Overlay Map OM-11-29 (Marmor)	
OM-11-30	Steep Land Overlay Map OM-11-30 (Midgee)	
OM-11-31	Steep Land Overlay Map OM-11-31 (Moongan)	
OM-11-32	Steep Land Overlay Map OM-11-32 (Morinish)	
OM-11-33	Steep Land Overlay Map OM-11-33 (Morinish South)	
OM-11-34	Steep Land Overlay Map OM-11-34 (Mount Archer)	
OM-11-35	Steep Land Overlay Map OM-11-35 (Mount Morgan)	
OM-11-36	Steep Land Overlay Map OM-11-36 (Nine Mile)	
OM-11-37	Steep Land Overlay Map OM-11-37 (Nine Mile Creek)	
OM-11-38	Steep Land Overlay Map OM-11-38 (Norman Gardens)	
OM-11-39	Steep Land Overlay Map OM-11-39 (Oakey Creek)	
OM-11-40	Steep Land Overlay Map OM-11-40 (Park Avenue)	
OM-11-41	Steep Land Overlay Map OM-11-41 (Parkhurst)	
OM-11-42	Steep Land Overlay Map OM-11-42 (Pink Lily)	
OM-11-43	Steep Land Overlay Map OM-11-43 (Port Alma)	
OM-11-44	Steep Land Overlay Map OM-11-44 (Port Curtis)	
OM-11-45	Steep Land Overlay Map OM-11-45 (Ridgeland)	
OM-11-46	Steep Land Overlay Map OM-11-46 (Rockhampton City)	
OM-11-47	Steep Land Overlay Map OM-11-47 (South Yaamba)	
OM-11-48	Steep Land Overlay Map OM-11-48 (Stanwell)	
OM-11-49	Steep Land Overlay Map OM-11-49 (Struck Oil)	
OM-11-50	Steep Land Overlay Map OM-11-50 (The Common)	
OM-11-51	Steep Land Overlay Map OM-11-51 (The Mine)	
OM-11-52	Steep Land Overlay Map OM-11-52 (The Range)	
OM-11-53	Steep Land Overlay Map OM-11-53 (Trotter Creek)	
OM-11-54	Steep Land Overlay Map OM-11-54 (Walmul)	
OM-11-55	Steep Land Overlay Map OM-11-55 (Walterhall)	
OM-11-56	Steep Land Overlay Map OM-11-56 (Wandal)	
OM-11-57	Steep Land Overlay Map OM-11-57 (West Rockhampton)	
OM-11-58	Steep Land Overlay Map OM-11-58 (Westwood)	
OM-11-59	Steep Land Overlay Map OM-11-59 (Wura)	
OM-11-60	Steep Land Overlay Map OM-11-60 (Wycarbah)	
OM-12-0	Water Resource Catchments Overlay Map OM-12-0 (Regional)	
OM-12-2	Water Resource Catchments Overlay Map OM-12-2 (Alton Downs)	
OM-12-12	Water Resource Catchments Overlay Map OM-12-12 (Fletcher Creek)	
OM-12-20	Water Resource Catchments Overlay Map OM-12-20 (Johnsons Hill)	
OM-12-23	Water Resource Catchments Overlay Map OM-12-23 (Kawana)	
OM-12-27	Water Resource Catchments Overlay Map OM-12-27 (Limestone)	
OM-12-35	Water Resource Catchments Overlay Map OM-12-35 (Mount Morgan)	
OM-12-40	Water Resource Catchments Overlay Map OM-12-40 (Park Avenue)	
OM-12-41	Water Resource Catchments Overlay Map OM-12-41 (Parkhurst)	
OM-12-42	Water Resource Catchments Overlay Map OM-12-42 (Pink Lily)	

Map number	Map title	Gazettal date
OM-12-47	Water Resource Catchments Overlay Map OM-12-47 (South Yaamba)	
OM-12-49	Water Resource Catchments Overlay Map OM-12-49 (Struck Oil)	
OM-12-56	Water Resource Catchments Overlay Map OM-12-56 (Wandal)	
Overlays for the planning scheme without code(s)		
OM-13-0	Agricultural Land Classification Overlay Map OM-13-0 (Regional)	
OM-13-2	Agricultural Land Classification Overlay Map OM-13-2 (Alton Downs)	
OM-13-3	Agricultural Land Classification Overlay Map OM-13-3 (Bajool)	
OM-13-7	Agricultural Land Classification Overlay Map OM-13-7 (Bouldercombe)	
OM-13-8	Agricultural Land Classification Overlay Map OM-13-8 (Bushley)	
OM-13-9	Agricultural Land Classification Overlay Map OM-13-9 (Dalma)	
OM-13-11	Agricultural Land Classification Overlay Map OM-13-11 (Fairy Bower)	
OM-13-12	Agricultural Land Classification Overlay Map OM-13-12 (Fletcher Creek)	
OM-13-14	Agricultural Land Classification Overlay Map OM-13-14 (Garnant)	
OM-13-15	Agricultural Land Classification Overlay Map OM-13-15 (Glenroy)	
OM-13-16	Agricultural Land Classification Overlay Map OM-13-16 (Gogango)	
OM-13-17	Agricultural Land Classification Overlay Map OM-13-17 (Gracemere)	
OM-13-21	Agricultural Land Classification Overlay Map OM-13-21 (Kabra)	
OM-13-22	Agricultural Land Classification Overlay Map OM-13-22 (Kalapa)	
OM-13-30	Agricultural Land Classification Overlay Map OM-13-30 (Midgee)	
OM-13-32	Agricultural Land Classification Overlay Map OM-13-32 (Morinish)	
OM-13-33	Agricultural Land Classification Overlay Map OM-13-33 (Morinish South)	
OM-13-36	Agricultural Land Classification Overlay Map OM-13-36 (Nine Mile)	
OM-13-42	Agricultural Land Classification Overlay Map OM-13-42 (Pink Lily)	
OM-13-45	Agricultural Land Classification Overlay Map OM-13-45 (Ridglands)	
OM-13-47	Agricultural Land Classification Overlay Map OM-13-47 (South Yaamba)	
OM-13-48	Agricultural Land Classification Overlay Map OM-13-48 (Stanwell)	
OM-13-58	Agricultural Land Classification Overlay Map OM-13-58 (Westwood)	
OM-13-59	Agricultural Land Classification Overlay Map OM-13-59 (Wura)	
OM-13-60	Agricultural Land Classification Overlay Map OM-13-60 (Wycarbah)	

Map number	Map title	Gazettal date
OM-14-0	Bicycle Network Plan Overlay Map OM-14-0 (Regional)	
OM-14-1	Bicycle Network Plan Overlay Map OM-14-1 (Allenstown)	
OM-14-2	Bicycle Network Plan Overlay Map OM-14-2 (Alton Downs)	
OM-14-4	Bicycle Network Plan Overlay Map OM-14-4 (Baree)	
OM-14-5	Bicycle Network Plan Overlay Map OM-14-5 (Berserker)	
OM-14-7	Bicycle Network Plan Overlay Map OM-14-7 (Bouldercombe)	
OM-14-10	Bicycle Network Plan Overlay Map OM-14-10 (Depot Hill)	
OM-14-11	Bicycle Network Plan Overlay Map OM-14-11 (Fairy Bower)	
OM-14-13	Bicycle Network Plan Overlay Map OM-14-13 (Frenchville)	
OM-14-17	Bicycle Network Plan Overlay Map OM-14-17 (Gracemere)	
OM-14-18	Bicycle Network Plan Overlay Map OM-14-18 (Hamilton Creek)	
OM-14-19	Bicycle Network Plan Overlay Map OM-14-19 (Horse Creek)	
OM-14-20	Bicycle Network Plan Overlay Map OM-14-20 (Johnsons Hill)	
OM-14-21	Bicycle Network Plan Overlay Map OM-14-21 (Kabra)	
OM-14-23	Bicycle Network Plan Overlay Map OM-14-23 (Kawana)	
OM-14-24	Bicycle Network Plan Overlay Map OM-14-24 (Koongal)	
OM-14-25	Bicycle Network Plan Overlay Map OM-14-25 (Lakes Creek)	
OM-14-26	Bicycle Network Plan Overlay Map OM-14-26 (Leydens Hill)	
OM-14-28	Bicycle Network Plan Overlay Map OM-14-28 (Limestone Creek)	
OM-14-30	Bicycle Network Plan Overlay Map OM-14-30 (Midgee)	
OM-14-31	Bicycle Network Plan Overlay Map OM-14-31 (Moongan)	
OM-14-34	Bicycle Network Plan Overlay Map OM-14-34 (Mount Archer)	
OM-14-35	Bicycle Network Plan Overlay Map OM-14-35 (Mount Morgan)	
OM-14-36	Bicycle Network Plan Overlay Map OM-14-36 (Nine Mile)	
OM-14-37	Bicycle Network Plan Overlay Map OM-14-37 (Nine Mile Creek)	
OM-14-38	Bicycle Network Plan Overlay Map OM-14-38 (Norman Gardens)	
OM-14-39	Bicycle Network Plan Overlay Map OM-14-39 (Oakey Creek)	
OM-14-40	Bicycle Network Plan Overlay Map OM-14-40 (Park Avenue)	
OM-14-41	Bicycle Network Plan Overlay Map OM-14-41 (Parkhurst)	
OM-14-42	Bicycle Network Plan Overlay Map OM-14-42 (Pink Lily)	
OM-14-44	Bicycle Network Plan Overlay Map OM-14-44 (Port Curtis)	
OM-14-46	Bicycle Network Plan Overlay Map OM-14-46 (Rockhampton City)	
OM-14-48	Bicycle Network Plan Overlay Map OM-14-48 (Stanwell)	
OM-14-50	Bicycle Network Plan Overlay Map OM-14-50 (The Common)	
OM-14-52	Bicycle Network Plan Overlay Map OM-14-52 (The Range)	

Map number	Map title	Gazettal date
OM-14-54	Bicycle Network Plan Overlay Map OM-14-54 (Walmul)	
OM-14-56	Bicycle Network Plan Overlay Map OM-14-56 (Wandal)	
OM-14-57	Bicycle Network Plan Overlay Map OM-14-57 (West Rockhampton)	
OM-14-59	Bicycle Network Plan Overlay Map OM-14-59 (Wura)	
OM-15-0	Coastal Management District Overlay Map OM-15-0 (Regional)	
OM-15-3	Coastal Management District Overlay Map OM-15-3 (Bajool)	
OM-15-5	Coastal Management District Overlay Map OM-15-5 (Berserker)	
OM-15-10	Coastal Management District Overlay Map OM-15-10 (Depot Hill)	
OM-15-24	Coastal Management District Overlay Map OM-15-24 (Koongal)	
OM-15-25	Coastal Management District Overlay Map OM-15-25 (Lakes Creek)	
OM-15-29	Coastal Management District Overlay Map OM-15-29 (Marmor)	
OM-15-30	Coastal Management District Overlay Map OM-15-30 (Midgee)	
OM-15-40	Coastal Management District Overlay Map OM-15-40 (Park Avenue)	
OM-15-43	Coastal Management District Overlay Map OM-15-43 (Port Alma)	
OM-15-44	Coastal Management District Overlay Map OM-15-44 (Port Curtis)	
OM-15-46	Coastal Management District Overlay Map OM-15-46 (Rockhampton City)	
OM-15-50	Coastal Management District Overlay Map OM-15-50 (The Common)	
OM-15-56	Coastal Management District Overlay Map OM-15-56 (Wandal)	
OM-16A-0	Defined Storm Tide Event Level Regional HAT Zone Overlay Map OM-16A-0 (Regional)	
OM-16B-1-0	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-0 (Regional)	
OM-16B-1-1	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-1 (Allentown)	
OM-16B-1-2	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-2 (Alton Downs)	
OM-16B-1-3	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-3 (Bajool)	
OM-16B-1-5	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-5 (Berserker)	
OM-16B-1-7	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-7 (Bouldercombe)	
OM-16B-1-10	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-10 (Depot Hill)	
OM-16B-1-11	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-11 (Fairy Bower)	
OM-16B-1-14	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-14 (Garnant)	
OM-16B-1-17	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-17 (Gracemere)	
OM-16B-1-23	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-23 (Kawana)	

Map number	Map title	Gazettal date
OM-16B-1-24	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-24 (Koongal)	
OM-16B-1-25	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-25 (Lakes Creek)	
OM-16B-1-30	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-30 (Midgee)	
OM-16B-1-36	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-36 (Nine Mile)	
OM-16B-1-40	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-40 (Park Avenue)	
OM-16B-1-41	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-41 (Parkhurst)	
OM-16B-1-42	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-42 (Pink Lily)	
OM-16B-1-43	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-43 (Port Alma)	
OM-16B-1-44	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-44 (Port Curtis)	
OM-16B-1-46	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-46 (Rockhampton City)	
OM-16B-1-47	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-47 (South Yaamba)	
OM-16B-1-50	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-50 (The Common)	
OM-16B-1-52	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-52 (The Range)	
OM-16B-1-56	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-56 (Wandal)	
OM-16B-1-57	Defined Storm Tide Event Level Rockhampton HAT Zone Overlay Map OM-16B-1-57 (West Rockhampton)	
OM-16C-2-0	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-0 (Regional)	
OM-16C-2-3	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-3 (Bajool)	
OM-16C-2-29	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-29 (Marmor)	
OM-16C-2-43	Defined Storm Tide Event Level Port Alma HAT Zone Overlay Map OM-16C-2-43 (Port Alma)	
OM-17-0	Mining Leases Overlay Map OM-17-0 (Regional)	
OM-17-2	Mining Leases Overlay Map OM-17-2 (Alton Downs)	
OM-17-3	Mining Leases Overlay Map OM-17-3 (Bajool)	
OM-17-6	Mining Leases Overlay Map OM-17-6 (Boulder Creek)	
OM-17-7	Mining Leases Overlay Map OM-17-7 (Bouldercombe)	
OM-17-8	Mining Leases Overlay Map OM-17-8 (Bushley)	
OM-17-9	Mining Leases Overlay Map OM-17-9 (Dalma)	
OM-17-15	Mining Leases Overlay Map OM-17-15 (Glenroy)	
OM-17-17	Mining Leases Overlay Map OM-17-17 (Gracemere)	
OM-17-21	Mining Leases Overlay Map OM-17-21 (Kabra)	
OM-17-29	Mining Leases Overlay Map OM-17-29 (Marmor)	
OM-17-32	Mining Leases Overlay Map OM-17-32 (Morinish)	
OM-17-33	Mining Leases Overlay Map OM-17-33 (Morinish South)	
OM-17-35	Mining Leases Overlay Map OM-17-35 (Mount Morgan)	
OM-17-36	Mining Leases Overlay Map OM-17-36 (Nine Mile)	
OM-17-41	Mining Leases Overlay Map OM-17-41 (Parkhurst)	
OM-17-43	Mining Leases Overlay Map OM-17-43 (Port Alma)	
OM-17-45	Mining Leases Overlay Map OM-17-45 (Ridglands)	
OM-17-48	Mining Leases Overlay Map OM-17-48 (Stanwell)	

Map number	Map title	Gazettal date
OM-17-49	Mining Leases Overlay Map OM-17-49 (Struck Oil)	
OM-17-51	Mining Leases Overlay Map OM-17-51 (The Mine)	
OM-17-55	Mining Leases Overlay Map OM-17-55 (Walterhall)	
OM-17-58	Mining Leases Overlay Map OM-17-58 (Westwood)	
OM-17-60	Mining Leases Overlay Map OM-17-60 (Wycarbah)	
OM-18-0	Regional Infrastructure Corridors Overlay Map OM-18-0 (Regional)	
OM-18-1	Regional Infrastructure Corridors Overlay Map OM-18-1 (Allentown)	
OM-18-2	Regional Infrastructure Corridors Overlay Map OM-18-2 (Alton Downs)	
OM-18-3	Regional Infrastructure Corridors Overlay Map OM-18-3 (Bajool)	
OM-18-5	Regional Infrastructure Corridors Overlay Map OM-18-5 (Berserker)	
OM-18-6	Regional Infrastructure Corridors Overlay Map OM-18-6 (Boulder Creek)	
OM-18-7	Regional Infrastructure Corridors Overlay Map OM-18-7 (Bouldercombe)	
OM-18-8	Regional Infrastructure Corridors Overlay Map OM-18-8 (Bushley)	
OM-18-9	Regional Infrastructure Corridors Overlay Map OM-18-9 (Dalma)	
OM-18-10	Regional Infrastructure Corridors Overlay Map OM-18-10 (Depot Hill)	
OM-18-11	Regional Infrastructure Corridors Overlay Map OM-18-11 (Fairy Bower)	
OM-18-12	Regional Infrastructure Corridors Overlay Map OM-18-12 (Fletcher Creek)	
OM-18-15	Regional Infrastructure Corridors Overlay Map OM-18-15 (Glenroy)	
OM-18-16	Regional Infrastructure Corridors Overlay Map OM-18-16 (Gogango)	
OM-18-17	Regional Infrastructure Corridors Overlay Map OM-18-17 (Gracemere)	
OM-18-18	Regional Infrastructure Corridors Overlay Map OM-18-18 (Hamilton Creek)	
OM-18-19	Regional Infrastructure Corridors Overlay Map OM-18-19 (Horse Creek)	
OM-18-20	Regional Infrastructure Corridors Overlay Map OM-18-20 (Johnsons Hill)	
OM-18-21	Regional Infrastructure Corridors Overlay Map OM-18-21 (Kabra)	
OM-18-22	Regional Infrastructure Corridors Overlay Map OM-18-22 (Kalapa)	
OM-18-23	Regional Infrastructure Corridors Overlay Map OM-18-23 (Kawana)	
OM-18-24	Regional Infrastructure Corridors Overlay Map OM-18-24 (Koongal)	
OM-18-25	Regional Infrastructure Corridors Overlay Map OM-18-25 (Lakes Creek)	
OM-18-26	Regional Infrastructure Corridors Overlay Map OM-18-26 (Leydens Hill)	
OM-18-29	Regional Infrastructure Corridors Overlay Map OM-18-29 (Marmor)	
OM-18-30	Regional Infrastructure Corridors Overlay Map OM-18-30 (Midgee)	

Map number	Map title	Gazettal date
OM-18-32	Regional Infrastructure Corridors Overlay Map OM-18-32 (Morinish)	
OM-18-33	Regional Infrastructure Corridors Overlay Map OM-18-33 (Morinish South)	
OM-18-35	Regional Infrastructure Corridors Overlay Map OM-18-35 (Mount Morgan)	
OM-18-36	Regional Infrastructure Corridors Overlay Map OM-18-36 (Nine Mile)	
OM-18-37	Regional Infrastructure Corridors Overlay Map OM-18-37 (Nine Mile Creek)	
OM-18-38	Regional Infrastructure Corridors Overlay Map OM-18-38 (Norman Gardens)	
OM-18-39	Regional Infrastructure Corridors Overlay Map OM-18-39 (Oakey Creek)	
OM-18-40	Regional Infrastructure Corridors Overlay Map OM-18-40 (Park Avenue)	
OM-18-41	Regional Infrastructure Corridors Overlay Map OM-18-41 (Parkhurst)	
OM-18-42	Regional Infrastructure Corridors Overlay Map OM-18-42 (Pink Lily)	
OM-18-44	Regional Infrastructure Corridors Overlay Map OM-18-44 (Port Curtis)	
OM-18-45	Regional Infrastructure Corridors Overlay Map OM-18-45 (Ridgeland)	
OM-18-46	Regional Infrastructure Corridors Overlay Map OM-18-46 (Rockhampton City)	
OM-18-48	Regional Infrastructure Corridors Overlay Map OM-18-48 (Stanwell)	
OM-18-49	Regional Infrastructure Corridors Overlay Map OM-18-49 (Struck Oil)	
OM-18-50	Regional Infrastructure Corridors Overlay Map OM-18-50 (The Common)	
OM-18-51	Regional Infrastructure Corridors Overlay Map OM-18-51 (The Mine)	
OM-18-52	Regional Infrastructure Corridors Overlay Map OM-18-52 (The Range)	
OM-18-53	Regional Infrastructure Corridors Overlay Map OM-18-53 (Trotter Creek)	
OM-18-54	Regional Infrastructure Corridors Overlay Map OM-18-54 (Walmul)	
OM-18-56	Regional Infrastructure Corridors Overlay Map OM-18-56 (Wandal)	
OM-18-57	Regional Infrastructure Corridors Overlay Map OM-18-57 (West Rockhampton)	
OM-18-58	Regional Infrastructure Corridors Overlay Map OM-18-58 (Westwood)	
OM-18-59	Regional Infrastructure Corridors Overlay Map OM-18-59 (Wura)	
OM-19-0	Road Hierarchy Overlay Map OM-19-0 (Regional)	
OM-19-1	Road Hierarchy Overlay Map OM-19-1 (Allenstown)	
OM-19-2	Road Hierarchy Overlay Map OM-19-2 (Alton Downs)	
OM-19-3	Road Hierarchy Overlay Map OM-19-3 (Bajool)	
OM-19-4	Road Hierarchy Overlay Map OM-19-4 (Baree)	
OM-19-5	Road Hierarchy Overlay Map OM-19-5 (Berserker)	
OM-19-6	Road Hierarchy Overlay Map OM-19-6 (Boulder Creek)	
OM-19-7	Road Hierarchy Overlay Map OM-19-7 (Bouldercombe)	
OM-19-8	Road Hierarchy Overlay Map OM-19-8 (Bushley)	
OM-19-9	Road Hierarchy Overlay Map OM-19-9 (Dalma)	

Map number	Map title	Gazettal date
OM-19-10	Road Hierarchy Overlay Map OM-19-10 (Depot Hill)	
OM-19-11	Road Hierarchy Overlay Map OM-19-11 (Fairy Bower)	
OM-19-13	Road Hierarchy Overlay Map OM-19-13 (Frenchville)	
OM-19-14	Road Hierarchy Overlay Map OM-19-14 (Garnant)	
OM-19-15	Road Hierarchy Overlay Map OM-19-15 (Glenroy)	
OM-19-16	Road Hierarchy Overlay Map OM-19-16 (Gogango)	
OM-19-17	Road Hierarchy Overlay Map OM-19-17 (Gracemere)	
OM-19-18	Road Hierarchy Overlay Map OM-19-18 (Hamilton Creek)	
OM-19-19	Road Hierarchy Overlay Map OM-19-19 (Horse Creek)	
OM-19-20	Road Hierarchy Overlay Map OM-19-20 (Johnsons Hill)	
OM-19-21	Road Hierarchy Overlay Map OM-19-21 (Kabra)	
OM-19-22	Road Hierarchy Overlay Map OM-19-22 (Kalapa)	
OM-19-23	Road Hierarchy Overlay Map OM-19-23 (Kawana)	
OM-19-24	Road Hierarchy Overlay Map OM-19-24 (Koongal)	
OM-19-25	Road Hierarchy Overlay Map OM-19-25 (Lakes Creek)	
OM-19-26	Road Hierarchy Overlay Map OM-19-26 (Leydens Hill)	
OM-19-27	Road Hierarchy Overlay Map OM-19-27 (Limestone)	
OM-19-28	Road Hierarchy Overlay Map OM-19-28 (Limestone Creek)	
OM-19-29	Road Hierarchy Overlay Map OM-19-29 (Marmor)	
OM-19-30	Road Hierarchy Overlay Map OM-19-30 (Midgee)	
OM-19-31	Road Hierarchy Overlay Map OM-19-31 (Moongan)	
OM-19-32	Road Hierarchy Overlay Map OM-19-32 (Morinish)	
OM-19-33	Road Hierarchy Overlay Map OM-19-33 (Morinish South)	
OM-19-34	Road Hierarchy Overlay Map OM-19-34 (Mount Archer)	
OM-19-35	Road Hierarchy Overlay Map OM-19-35 (Mount Morgan)	
OM-19-36	Road Hierarchy Overlay Map OM-19-36 (Nine Mile)	
OM-19-37	Road Hierarchy Overlay Map OM-19-37 (Nine Mile Creek)	
OM-19-38	Road Hierarchy Overlay Map OM-19-38 (Norman Gardens)	
OM-19-39	Road Hierarchy Overlay Map OM-19-39 (Oakey Creek)	
OM-19-40	Road Hierarchy Overlay Map OM-19-40 (Park Avenue)	
OM-19-41	Road Hierarchy Overlay Map OM-19-41 (Parkhurst)	
OM-19-42	Road Hierarchy Overlay Map OM-19-42 (Pink Lily)	
OM-19-43	Road Hierarchy Overlay Map OM-19-43 (Port Alma)	
OM-19-44	Road Hierarchy Overlay Map OM-19-44 (Port Curtis)	
OM-19-45	Road Hierarchy Overlay Map OM-19-45 (Ridgelands)	
OM-19-46	Road Hierarchy Overlay Map OM-19-46 (Rockhampton City)	
OM-19-47	Road Hierarchy Overlay Map OM-19-47 (South Yaamba)	
OM-19-48	Road Hierarchy Overlay Map OM-19-48 (Stanwell)	
OM-19-49	Road Hierarchy Overlay Map OM-19-49 (Struck Oil)	
OM-19-50	Road Hierarchy Overlay Map OM-19-50 (The Common)	
OM-19-51	Road Hierarchy Overlay Map OM-19-51 (The Mine)	
OM-19-52	Road Hierarchy Overlay Map OM-19-52 (The Range)	
OM-19-53	Road Hierarchy Overlay Map OM-19-53 (Trotter Creek)	
OM-19-54	Road Hierarchy Overlay Map OM-19-54 (Walmul)	
OM-19-55	Road Hierarchy Overlay Map OM-19-55 (Walterhall)	
OM-19-56	Road Hierarchy Overlay Map OM-19-56 (Wandal)	
OM-19-57	Road Hierarchy Overlay Map OM-19-57 (West Rockhampton)	
OM-19-58	Road Hierarchy Overlay Map OM-19-58 (Westwood)	
OM-19-59	Road Hierarchy Overlay Map OM-19-59 (Wura)	
OM-19-60	Road Hierarchy Overlay Map OM-19-60 (Wycarbah)	
OM-20-0	Sewer Planning Area Overlay Map OM-20-0 (Regional)	

Map number	Map title	Gazettal date
OM-20-1	Sewer Planning Area Overlay Map OM-20-1 (Allenstown)	
OM-20-5	Sewer Planning Area Overlay Map OM-20-5 (Berserker)	
OM-20-10	Sewer Planning Area Overlay Map OM-20-10 (Depot Hill)	
OM-20-13	Sewer Planning Area Overlay Map OM-20-13 (Frenchville)	
OM-20-17	Sewer Planning Area Overlay Map OM-20-17 (Gracemere)	
OM-20-19	Sewer Planning Area Overlay Map OM-20-19 (Horse Creek)	
OM-20-21	Sewer Planning Area Overlay Map OM-20-21 (Kabra)	
OM-20-23	Sewer Planning Area Overlay Map OM-20-23 (Kawana)	
OM-20-24	Sewer Planning Area Overlay Map OM-20-24 (Koongal)	
OM-20-25	Sewer Planning Area Overlay Map OM-20-25 (Lakes Creek)	
OM-20-35	Sewer Planning Area Overlay Map OM-20-35 (Mount Morgan)	
OM-20-38	Sewer Planning Area Overlay Map OM-20-38 (Norman Gardens)	
OM-20-40	Sewer Planning Area Overlay Map OM-20-40 (Park Avenue)	
OM-20-41	Sewer Planning Area Overlay Map OM-20-41 (Parkhurst)	
OM-20-46	Sewer Planning Area Overlay Map OM-20-46 (Rockhampton City)	
OM-20-50	Sewer Planning Area Overlay Map OM-20-50 (The Common)	
OM-20-51	Sewer Planning Area Overlay Map OM-20-51 (The Mine)	
OM-20-52	Sewer Planning Area Overlay Map OM-20-52 (The Range)	
OM-20-55	Sewer Planning Area Overlay Map OM-20-55 (Walterhall)	
OM-20-56	Sewer Planning Area Overlay Map OM-20-56 (Wandal)	
OM-20-57	Sewer Planning Area Overlay Map OM-20-57 (West Rockhampton)	
OM-21-0	Transport Noise Corridors Overlay Map OM-21-0 (Regional)	
OM-21-1	Transport Noise Corridors Overlay Map OM-21-1 (Allenstown)	
OM-21-2	Transport Noise Corridors Overlay Map OM-21-2 (Alton Downs)	
OM-21-3	Transport Noise Corridors Overlay Map OM-21-3 (Bajool)	
OM-21-4	Transport Noise Corridors Overlay Map OM-21-4 (Baree)	
OM-21-5	Transport Noise Corridors Overlay Map OM-21-5 (Berserker)	
OM-21-7	Transport Noise Corridors Overlay Map OM-21-7 (Bouldercombe)	
OM-21-8	Transport Noise Corridors Overlay Map OM-21-8 (Bushley)	
OM-21-10	Transport Noise Corridors Overlay Map OM-21-10 (Depot Hill)	
OM-21-11	Transport Noise Corridors Overlay Map OM-21-11 (Fairy Bower)	
OM-21-16	Transport Noise Corridors Overlay Map OM-21-16 (Gogango)	
OM-21-17	Transport Noise Corridors Overlay Map OM-21-17 (Gracemere)	

Map number	Map title	Gazettal date
OM-21-18	Transport Noise Corridors Overlay Map OM-21-18 (Hamilton Creek)	
OM-21-19	Transport Noise Corridors Overlay Map OM-21-19 (Horse Creek)	
OM-21-20	Transport Noise Corridors Overlay Map OM-21-20 (Johnsons Hill)	
OM-21-21	Transport Noise Corridors Overlay Map OM-21-21 (Kabra)	
OM-21-22	Transport Noise Corridors Overlay Map OM-21-22 (Kalapa)	
OM-21-23	Transport Noise Corridors Overlay Map OM-21-23 (Kawana)	
OM-21-24	Transport Noise Corridors Overlay Map OM-21-24 (Koongal)	
OM-21-25	Transport Noise Corridors Overlay Map OM-21-25 (Lakes Creek)	
OM-21-26	Transport Noise Corridors Overlay Map OM-21-26 (Leydens Hill)	
OM-21-28	Transport Noise Corridors Overlay Map OM-21-28 (Limestone Creek)	
OM-21-29	Transport Noise Corridors Overlay Map OM-21-29 (Marmor)	
OM-21-30	Transport Noise Corridors Overlay Map OM-21-30 (Midgee)	
OM-21-35	Transport Noise Corridors Overlay Map OM-21-35 (Mount Morgan)	
OM-21-37	Transport Noise Corridors Overlay Map OM-21-37 (Nine Mile Creek)	
OM-21-38	Transport Noise Corridors Overlay Map OM-21-38 (Norman Gardens)	
OM-21-39	Transport Noise Corridors Overlay Map OM-21-39 (Oakey Creek)	
OM-21-40	Transport Noise Corridors Overlay Map OM-21-40 (Park Avenue)	
OM-21-41	Transport Noise Corridors Overlay Map OM-21-41 (Parkhurst)	
OM-21-42	Transport Noise Corridors Overlay Map OM-21-42 (Pink Lily)	
OM-21-43	Transport Noise Corridors Overlay Map OM-21-43 (Port Alma)	
OM-21-44	Transport Noise Corridors Overlay Map OM-21-44 (Port Curtis)	
OM-21-45	Transport Noise Corridors Overlay Map OM-21-45 (Ridgelands)	
OM-21-46	Transport Noise Corridors Overlay Map OM-21-46 (Rockhampton City)	
OM-21-48	Transport Noise Corridors Overlay Map OM-21-48 (Stanwell)	
OM-21-49	Transport Noise Corridors Overlay Map OM-21-49 (Struck Oil)	
OM-21-50	Transport Noise Corridors Overlay Map OM-21-50 (The Common)	
OM-21-52	Transport Noise Corridors Overlay Map OM-21-52 (The Range)	
OM-21-53	Transport Noise Corridors Overlay Map OM-21-53 (Trotter Creek)	
OM-21-54	Transport Noise Corridors Overlay Map OM-21-54 (Walmul)	

Map number	Map title	Gazettal date
OM-21-56	Transport Noise Corridors Overlay Map OM-21-56 (Wandal)	
OM-21-57	Transport Noise Corridors Overlay Map OM-21-57 (West Rockhampton)	
OM-21-58	Transport Noise Corridors Overlay Map OM-21-58 (Westwood)	
OM-21-59	Transport Noise Corridors Overlay Map OM-21-59 (Wura)	
OM-21-60	Transport Noise Corridors Overlay Map OM-21-60 (Wycarbah)	
OM-22-0	Water Supply Planning Area Overlay Map OM-22-0 (Regional)	
OM-22-1	Water Supply Planning Area Overlay Map OM-22-1 (Allentown)	
OM-22-5	Water Supply Planning Area Overlay Map OM-22-5 (Berserker)	
OM-22-10	Water Supply Planning Area Overlay Map OM-22-10 (Depot Hill)	
OM-22-13	Water Supply Planning Area Overlay Map OM-22-13 (Frenchville)	
OM-22-17	Water Supply Planning Area Overlay Map OM-22-17 (Gracemere)	
OM-22-19	Water Supply Planning Area Overlay Map OM-22-19 (Horse Creek)	
OM-22-21	Water Supply Planning Area Overlay Map OM-22-21 (Kabra)	
OM-22-23	Water Supply Planning Area Overlay Map OM-22-23 (Kawana)	
OM-22-24	Water Supply Planning Area Overlay Map OM-22-24 (Koongal)	
OM-22-25	Water Supply Planning Area Overlay Map OM-22-25 (Lakes Creek)	
OM-22-35	Water Supply Planning Area Overlay Map OM-22-35 (Mount Morgan)	
OM-22-38	Water Supply Planning Area Overlay Map OM-22-38 (Norman Gardens)	
OM-22-40	Water Supply Planning Area Overlay Map OM-22-40 (Park Avenue)	
OM-22-41	Water Supply Planning Area Overlay Map OM-22-41 (Parkhurst)	
OM-22-46	Water Supply Planning Area Overlay Map OM-22-46 (Rockhampton City)	
OM-22-50	Water Supply Planning Area Overlay Map OM-22-50 (The Common)	
OM-22-51	Water Supply Planning Area Overlay Map OM-22-51 (The Mine)	
OM-22-52	Water Supply Planning Area Overlay Map OM-22-52 (The Range)	
OM-22-55	Water Supply Planning Area Overlay Map OM-22-55 (Walterhall)	
OM-22-56	Water Supply Planning Area Overlay Map OM-22-56 (Wandal)	
OM-22-57	Water Supply Planning Area Overlay Map OM-22-57 (West Rockhampton)	

SC2.2 Strategic framework maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC2.3 Zone maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC2.4 Local plan maps

Not applicable.

SC2.5 Overlay maps

To view the maps refer to the hard copy mapping folder/s or Rock e Plan online mapping service.

SC3.1 Planning assumption tables

SC3.1.1 Existing and projected population

1. The predicted existing and future population in the local government area is stated in **Table SC3.1.1.1** for the following:
 - a) local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b) the development category in column 2 (totals are shown for estimated resident population (ERP) and non-resident population (NRP)); and
 - c) the population per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.1.1: Existing and projected population

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected population					
		Existing (2017)	2021	2026	2031	2036	Ultimate development
Allenstown	Dwelling House	2,583	2,586	2,546	2,546	2,543	2,743
	Dual Occupancy	113	113	113	117	117	508
	Multiple Dwelling	597	597	597	597	597	752
	Other Dwelling	85	85	85	85	85	85
	Total ERP	3,379	3,381	3,341	3,344	3,342	4,088
	Total NRP	892	914	914	915	915	1,226
Berserker	Dwelling House	6,698	6,760	6,793	6,793	6,805	6,159
	Dual Occupancy	237	241	245	245	245	2,188
	Multiple Dwelling	702	769	810	812	813	1,601
	Other Dwelling	51	51	51	51	51	51
	Total ERP	7,687	7,821	7,899	7,901	7,914	10,000
	Total NRP	252	252	227	227	157	147
Depot Hill	Dwelling House	1,263	1,261	1,261	1,261	1,261	1,143
	Dual Occupancy	3	16	16	16	16	259
	Multiple Dwelling	7	7	7	7	7	6

Koongal	Dwelling House	3,992	3,999	3,999	3,999	3,994	3,570
	Dual Occupancy	171	174	174	174	174	1,561
	Multiple Dwelling	256	256	256	256	256	298
	Other Dwelling	0	0	0	0	0	0
	Total ERP	4,419	4,430	4,430	4,430	4,424	5,430
	Total NRP	27	27	27	27	27	16
Lakes Creek	Dwelling House	203	218	218	218	218	125
	Dual Occupancy	0	0	0	0	0	157
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total ERP	203	218	218	218	218	282
	Total NRP	0	0	0	0	0	0
Mount Morgan	Dwelling House	1,905	1,900	1,900	1,947	1,942	2,150
	Dual Occupancy	18	18	18	98	101	1,932
	Multiple Dwelling	43	43	43	43	43	86
	Other Dwelling	0	0	0	0	0	0
	Total ERP	1,966	1,961	1,961	2,088	2,086	4,167
	Total NRP	23	23	23	24	26	108
Norman Gardens	Dwelling House	8,415	9,161	9,179	9,179	9,256	7,730
	Dual Occupancy	539	604	604	604	604	3,471
	Multiple Dwelling	642	693	693	693	693	652
	Other Dwelling	86	86	86	86	86	86
	Total ERP	9,682	10,543	10,561	10,561	10,638	11,939
	Total NRP	262	262	262	262	262	168
Park Avenue	Dwelling House	4,977	4,984	4,984	4,984	4,984	3,859
	Dual Occupancy	277	280	280	280	280	2,518
	Multiple Dwelling	290	290	290	290	290	264

The Range	Dwelling House	4,456	4,459	4,459	4,459	4,464	3,722
	Dual Occupancy	126	132	132	132	139	2,138
	Multiple Dwelling	868	868	868	868	869	1,017
	Other Dwelling	0	0	0	0	0	0
	Total ERP	5,450	5,459	5,459	5,459	5,472	6,877
	Total NRP	417	497	524	552	581	564
Walterhall	Dwelling House	63	63	63	81	81	124
	Dual Occupancy	0	0	0	10	10	45
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total ERP	63	63	63	91	91	169
	Total NRP	0	0	0	0	0	0
Wandal	Dwelling House	4,020	4,029	4,029	4,029	4,029	4,403
	Dual Occupancy	69	75	75	75	75	1,062
	Multiple Dwelling	395	395	395	395	395	457
	Other Dwelling	0	0	0	0	0	0
	Total ERP	4,484	4,499	4,499	4,499	4,499	5,923
	Total NRP	0	0	0	0	0	0
West Rockhampton	Dwelling House	2,002	2,005	2,005	2,005	2,005	1,453
	Dual Occupancy	92	105	105	105	105	1,299
	Multiple Dwelling	39	39	39	39	39	51
	Other Dwelling	0	0	0	0	0	0
	Total ERP	2,134	2,149	2,149	2,149	2,149	2,803
	Total NRP	0	0	0	0	0	0
Total Inside PIA	Dwelling House	65,910	68,450	71,167	74,960	78,262	74,057
	Dual Occupancy	2,491	2,863	3,050	3,457	3,584	28,665
	Multiple Dwelling	5,127	5,332	5,841	6,466	6,826	13,189

	Other Dwelling	290	290	290	290	290	287
	Total ERP	73,818	76,934	80,348	85,173	88,960	116,199
	Total NRP	4,316	4,493	5,328	5,829	6,111	20,442
	Total Population	78,134	81,427	85,676	91,002	95,071	136,641
Total Outside PIA	Dwelling House	8,863	9,006	9,111	9,111	9,113	14,753
	Dual Occupancy	4	7	7	7	7	454
	Multiple Dwelling	138	138	138	138	138	492
	Other Dwelling	18	18	18	18	18	18
	Total ERP	9,023	9,169	9,275	9,275	9,277	15,716
	Total NRP	35	35	35	35	35	47
	Total Population	9,058	9,204	9,310	9,310	9,312	15,763
Total Regional Area	Dwelling House	74,772	77,456	80,278	84,071	87,376	88,809
	Dual Occupancy	2,496	2,870	3,057	3,465	3,592	29,119
	Multiple Dwelling	5,265	5,470	5,980	6,604	6,964	13,681
	Other Dwelling	308	308	308	308	308	306
	Total ERP	82,841	86,104	89,623	94,448	98,237	131,915
	Total NRP	4,352	4,528	5,363	5,864	6,146	20,489
	Total Population	87,193	90,631	94,986	100,312	104,383	152,404

SC3.1.2 Existing and projected employees

1. The predicted existing and future employees in the local government area are stated in Table SC3.1.2.1 for the following:
 - a) local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b) the development category in column 2; and
 - c) the number of employees per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.2.1: Existing and projected employees

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected employees					
		Existing (2017)	2021	2026	2031	2036	Ultimate development
Allenstown	Retail	886	918	1,020	1,036	1,070	6,134
	Commercial	515	523	523	526	526	683
	Industrial	162	162	162	162	162	873
	Community Purposes	310	365	383	402	422	422
	Total Employment	1,874	1,968	2,089	2,127	2,182	8,114
Berserker	Retail	2,352	2,469	2,553	2,618	2,878	19,500
	Commercial	1,428	1,521	1,557	1,574	1,712	6,645
	Industrial	157	135	135	135	129	986
	Community Purposes	315	368	386	404	424	432
	Total Employment	4,252	4,493	4,631	4,732	5,142	27,562
Depot Hill	Retail	49	49	49	49	49	0
	Commercial	331	331	331	331	331	326
	Industrial	362	362	362	362	362	364

	Community Purposes	21	25	26	27	29	29
	Total Employment	764	767	768	770	771	719
Frenchville	Retail	206	206	206	206	206	1,160
	Commercial	204	204	204	204	204	16
	Industrial	8	8	8	8	8	0
	Community Purposes	413	486	509	535	561	572
	Total Employment	832	904	928	953	979	1,748
Gracemere	Retail	507	507	838	929	956	7,397
	Commercial	150	153	172	189	197	1,104
	Industrial	454	569	848	1,068	1,425	9,109
	Community Purposes	189	221	232	243	255	371
	Total Employment	1,300	1,450	2,089	2,430	2,833	17,982
Kabra	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	101	2,028
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	101	2,028
Kawana	Retail	346	346	346	346	346	1,547
	Commercial	387	387	387	387	387	113
	Industrial	1,624	1,651	1,709	1,802	2,051	4,697
	Community Purposes	375	448	472	498	525	525
	Total Employment	2,733	2,833	2,915	3,033	3,309	6,881
Koongal	Retail	117	117	117	117	117	0
	Commercial	49	49	49	49	49	0
	Industrial	17	17	17	17	20	24
	Community Purposes	103	121	126	132	139	141

	Total Employment	286	304	310	316	325	166
Lakes Creek	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	159	159	159	159	159	288
	Community Purposes	39	47	49	52	55	55
	Total Employment	198	206	208	211	214	343
Mount Morgan	Retail	326	326	327	354	397	2,462
	Commercial	105	105	105	112	121	101
	Industrial	2	2	2	2	2	0
	Community Purposes	326	326	326	326	326	326
	Total Employment	759	759	759	793	846	2,888
Norman Gardens	Retail	974	1,014	1,014	1,014	1,263	15,722
	Commercial	151	170	170	170	170	60
	Industrial	62	62	62	62	62	0
	Community Purposes	1,009	1,204	1,268	1,336	1,408	1,408
	Total Employment	2,196	2,450	2,514	2,582	2,903	17,190
Park Avenue	Retail	2,208	2,501	2,501	2,501	2,501	13,025
	Commercial	1,031	1,031	1,051	1,051	1,051	199
	Industrial	1,382	1,382	1,382	1,382	1,382	1,910
	Community Purposes	254	297	312	327	343	343
	Total Employment	4,875	5,211	5,245	5,260	5,276	15,476
Parkhurst	Retail	390	390	390	390	390	1,708
	Commercial	103	103	103	103	103	230
	Industrial	1,380	1,380	1,380	1,469	1,518	5,023
	Community Purposes	119	141	148	155	163	163
	Total Employment	1,992	2,014	2,021	2,118	2,174	7,125

Rockhampton City	Retail	3,482	4,209	4,836	5,208	5,413	22,973
	Commercial	4,614	5,145	5,661	5,972	6,188	14,028
	Industrial	1,057	1,057	1,057	1,057	1,057	1,429
	Community Purposes	995	951	987	1,025	1,065	1,079
	Total Employment	10,148	11,362	12,541	13,262	13,722	39,508
The Common	Retail	7	7	7	7	7	7
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	28	28	28	28	28	28
	Total Employment	35	35	35	35	35	35
The Mine	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	0	0
The Range	Retail	97	97	97	97	97	50
	Commercial	206	206	206	206	206	110
	Industrial	0	0	0	0	0	0
	Community Purposes	3,016	3,606	3,801	4,007	4,224	4,234
	Total Employment	3,319	3,909	4,104	4,310	4,526	4,394
Walterhall	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total Employment	0	0	0	0	0	0
Wandal	Retail	185	185	185	185	185	414

	Commercial	111	111	111	111	111	108
	Industrial	36	36	36	36	36	32
	Community Purposes	423	482	501	522	543	543
	Total Employment	754	813	832	853	874	1,097
West Rockhampton	Retail	40	40	40	40	40	284
	Commercial	94	94	94	94	94	614
	Industrial	34	34	34	34	34	26
	Community Purposes	48	57	60	64	67	459
	Total Employment	215	225	228	231	235	1,383
Total Inside PIA	Retail	12,173	13,380	14,525	15,097	15,915	92,382
	Commercial	9,479	10,134	10,725	11,080	11,450	24,337
	Industrial	6,895	7,015	7,352	7,754	8,505	26,790
	Community Purposes	7,984	9,172	9,615	10,082	10,575	11,130
	Total Employment	36,532	39,702	42,218	44,013	46,447	154,639
Total Outside PIA	Retail	159	159	159	159	159	63
	Commercial	174	176	182	189	196	45
	Industrial	675	675	675	675	675	64,644
	Community Purposes	246	263	270	277	284	430
	Total Employment	1,254	1,274	1,286	1,300	1,314	65,183
Total Regional Area	Retail	12,333	13,540	14,685	15,257	16,075	92,446
	Commercial	9,653	10,310	10,907	11,269	11,646	24,382
	Industrial	7,570	7,690	8,027	8,428	9,180	91,434
	Community Purposes	8,230	9,436	9,885	10,359	10,860	11,560
	Total Employment	37,786	40,976	43,504	45,313	47,760	219,822

SC3.1.3 Existing and projected dwellings

1. The predicted existing and future dwellings in the local government area are stated in Table SC3.1.3.1 for the following:
 - a. local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b. the development category in column 2; and
 - c. the number of dwellings per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.3.1 Existing and projected dwellings

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected residential dwellings					
		Existing (2017)	2021	2026	2031	2036	Ultimate
Allenstown	Dwelling House	1,033	1,033	1,017	1,017	1,017	1,097
	Dual Occupancy	81	81	81	83	83	318
	Multiple Dwelling	460	460	460	460	460	502
	Other Dwelling	751	768	768	769	769	943
	Total Dwellings	2,325	2,342	2,326	2,329	2,329	2,860
Berserker	Dwelling House	2,679	2,703	2,716	2,716	2,722	2,464
	Dual Occupancy	169	172	174	174	174	1,368
	Multiple Dwelling	540	585	612	614	614	1,067
	Other Dwelling	233	233	214	214	160	113
	Total Dwellings	3,621	3,692	3,716	3,718	3,670	5,011
Depot Hill	Dwelling House	505	505	505	505	505	457
	Dual Occupancy	2	10	10	10	10	162
	Multiple Dwelling	5	5	5	5	5	4

	Other Dwelling	11	11	11	11	11	0
	Total Dwellings	523	531	531	531	531	623
Frenchville	Dwelling House	3,280	3,307	3,310	3,311	3,322	2,888
	Dual Occupancy	252	276	276	277	277	1,860
	Multiple Dwelling	196	197	204	204	204	206
	Other Dwelling	0	0	0	0	0	33
	Total Dwellings	3,728	3,780	3,790	3,791	3,802	4,987
Gracemere	Dwelling House	3,805	4,163	4,760	5,464	5,887	4,937
	Dual Occupancy	109	168	209	251	276	3,616
	Multiple Dwelling	168	198	244	328	378	669
	Other Dwelling	45	45	50	56	57	435
	Total Dwellings	4,127	4,574	5,263	6,099	6,599	9,658
Kabra	Dwelling House	1	1	1	1	0	0
	Dual Occupancy	0	0	0	0	0	0
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	1	1	1	1	0	0
Kawana	Dwelling House	1,441	1,454	1,454	1,454	1,454	1,284
	Dual Occupancy	198	212	212	212	212	801
	Multiple Dwelling	188	189	189	189	189	105
	Other Dwelling	13	13	13	13	13	0
	Total Dwellings	1,840	1,868	1,868	1,868	1,868	2,190
Koongal	Dwelling House	1,597	1,598	1,598	1,598	1,598	1,428
	Dual Occupancy	122	124	124	124	124	976
	Multiple Dwelling	197	197	197	197	197	199
	Other Dwelling	21	21	21	21	21	12

	Total Dwellings	1,937	1,940	1,940	1,940	1,940	2,615
Lakes Creek	Dwelling House	81	87	87	87	87	50
	Dual Occupancy	0	0	0	0	0	98
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	81	87	87	87	87	148
Mount Morgan	Dwelling House	1,003	1,000	1,000	1,022	1,020	1,024
	Dual Occupancy	8	8	8	58	60	1,207
	Multiple Dwelling	48	48	48	48	48	57
	Other Dwelling	18	18	18	19	20	83
	Total Dwellings	1,077	1,074	1,074	1,147	1,148	2,371
Norman Gardens	Dwelling House	3,365	3,633	3,671	3,671	3,702	3,091
	Dual Occupancy	385	425	425	425	425	2,170
	Multiple Dwelling	494	528	528	528	528	434
	Other Dwelling	268	268	268	268	268	195
	Total Dwellings	4,512	4,854	4,892	4,892	4,923	5,890
Park Avenue	Dwelling House	1,991	1,994	1,994	1,994	1,994	1,544
	Dual Occupancy	198	200	200	200	200	1,574
	Multiple Dwelling	223	223	223	223	223	176
	Other Dwelling	93	93	93	93	93	0
	Total Dwellings	2,505	2,510	2,510	2,510	2,510	3,293
Parkhurst	Dwelling House	706	913	1,357	2,096	2,941	4,637
	Dual Occupancy	23	82	157	310	361	917
	Multiple Dwelling	0	6	132	264	365	597
	Other Dwelling	164	164	164	164	164	172
	Total Dwellings	893	1,165	1,811	2,834	3,831	6,323

Rockhampton City	Dwelling House	742	762	757	747	742	661
	Dual Occupancy	46	46	44	44	44	4
	Multiple Dwelling	492	518	659	816	908	3,759
	Other Dwelling	1,606	1,663	2,299	2,656	2,813	13,401
	Total Dwellings	2,886	2,988	3,758	4,263	4,507	17,825
The Common	Dwelling House	0	0	0	0	0	0
	Dual Occupancy	0	0	0	0	0	0
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	0	0	0	0	0	0
The Mine	Dwelling House	9	9	9	9	9	31
	Dual Occupancy	0	0	0	2	2	6
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	9	9	9	11	11	38
The Range	Dwelling House	1,782	1,783	1,783	1,783	1,786	1,489
	Dual Occupancy	90	94	94	94	98	1,336
	Multiple Dwelling	668	668	668	668	668	678
	Other Dwelling	321	383	403	424	447	434
	Total Dwellings	2,861	2,928	2,948	2,970	2,999	3,937
Walterhall	Dwelling House	33	33	33	42	42	59
	Dual Occupancy	0	0	0	6	6	28
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	33	33	33	48	48	87
Wandal	Dwelling House	1,608	1,612	1,612	1,612	1,612	1,761

	Dual Occupancy	49	53	53	53	53	664
	Multiple Dwelling	304	304	304	304	304	305
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	1,961	1,969	1,969	1,969	1,969	2,730
West Rockhampton	Dwelling House	801	802	802	802	802	581
	Dual Occupancy	66	74	74	74	74	812
	Multiple Dwelling	30	30	30	30	30	34
	Other Dwelling	0	0	0	0	0	0
	Total Dwellings	897	906	906	906	906	1,427
Total Inside PIA	Dwelling House	26,461	27,391	28,465	29,930	31,240	29,483
	Dual Occupancy	1,798	2,026	2,143	2,397	2,480	17,916
	Multiple Dwelling	4,011	4,154	4,502	4,877	5,121	8,793
	Other Dwelling	3,543	3,679	4,321	4,707	4,835	15,821
	Total Dwellings	35,814	37,250	39,431	41,911	43,676	72,013
Total Outside PIA	Dwelling House	3,571	3,623	3,664	3,664	3,667	5,850
	Dual Occupancy	3	5	5	5	5	284
	Multiple Dwelling	106	106	106	106	106	328
	Other Dwelling	41	41	41	41	41	36
	Total Dwellings	3,722	3,776	3,816	3,816	3,819	6,498
Total Regional Area	Dwelling House	30,033	31,015	32,129	33,594	34,906	35,333
	Dual Occupancy	1,801	2,031	2,148	2,402	2,485	18,199
	Multiple Dwelling	4,118	4,260	4,608	4,983	5,227	9,121
	Other Dwelling	3,584	3,720	4,362	4,748	4,876	15,857
	Total Dwellings	39,536	41,026	43,247	45,727	47,495	78,511

SC3.1.4 Existing and projected non-residential floor space

1. The predicted existing and future non-residential floor space in the local government area are stated in Table SC3.1.4.1 for the following:
 - a. local government infrastructure plan localities within (and total outside of) the priority infrastructure area in column 1;
 - b. the development category in column 2; and
 - c. the number of gross floor area per time period in column 3.

Editor's note—Sum of data may not equal total due to rounding.

Table SC3.1.4.1 Existing and projected non-residential floor space

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected non-residential floor space (m ² GFA)					
		Existing (2017)	2021	2026	2031	2036	Ultimate
Allenstown	Retail	42,074	43,483	48,185	48,918	50,473	276,539
	Commercial	33,018	34,718	34,718	34,828	34,828	16,521
	Industrial	16,248	16,248	16,905	16,905	17,942	87,330
	Community Purposes	25,531	29,360	30,624	31,957	33,363	33,363
	Total GFA	116,871	123,809	130,432	132,607	136,606	413,753
Berserker	Retail	98,304	103,563	107,262	110,203	122,228	880,896
	Commercial	41,315	45,033	46,582	47,262	51,077	264,024
	Industrial	16,067	13,889	13,889	15,170	16,570	98,571
	Community Purposes	25,246	28,723	29,870	31,080	32,422	33,136

	Total GFA	180,932	191,207	197,602	203,715	222,297	1,276,627
Depot Hill	Retail	2,412	2,412	2,412	2,412	2,412	9
	Commercial	8,278	8,278	8,278	8,278	8,278	8,149
	Industrial	39,000	39,000	39,000	39,000	39,000	36,408
	Community Purposes	2,239	2,482	2,563	2,647	2,737	2,737
	Total GFA	51,929	52,172	52,253	52,337	52,427	47,303
Frenchville	Retail	8,479	8,479	8,479	8,479	8,479	52,206
	Commercial	10,850	10,850	10,850	10,850	10,850	0
	Industrial	792	792	792	792	792	0
	Community Purposes	31,119	35,929	37,517	39,192	40,959	41,701
	Total GFA	51,240	56,051	57,639	59,313	61,081	93,907
Gracemere	Retail	22,412	22,412	37,301	41,400	42,617	332,886
	Commercial	11,147	11,548	12,194	12,806	13,063	44,155
	Industrial	48,353	59,872	87,752	109,733	145,451	907,356
	Community Purposes	15,091	17,222	17,925	18,667	19,449	27,009
	Total GFA	97,004	111,054	155,172	182,606	220,580	1,311,406
Kabra	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	10,142	202,848

	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	10,142	202,848
Kawana	Retail	18,146	18,146	18,146	18,146	18,146	69,613
	Commercial	15,773	15,773	15,773	15,773	15,773	8,627
	Industrial	167,527	170,204	176,017	185,256	210,146	453,834
	Community Purposes	26,433	31,550	33,239	35,020	36,900	36,900
	Total GFA	227,879	235,673	243,175	254,196	280,965	568,974
Koongal	Retail	4,892	4,892	4,892	4,892	4,892	3
	Commercial	1,994	1,994	1,994	1,994	1,994	0
	Industrial	1,704	1,704	1,704	1,704	1,969	700
	Community Purposes	8,633	9,826	10,220	10,635	11,073	11,259
	Total GFA	17,223	18,416	18,810	19,225	19,928	11,962
Lakes Creek	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	23,840	23,840	23,840	23,840	23,840	28,804
	Community Purposes	2,723	3,268	3,448	3,637	3,837	3,837
	Total GFA	26,564	27,108	27,288	27,478	27,678	32,641
Mount Morgan	Retail	13,606	13,611	13,611	14,858	16,804	111,214
	Commercial	5,999	5,999	5,999	6,233	6,598	1,895

	Industrial	174	174	174	174	174	0
	Community Purposes	24,027	24,027	24,027	24,027	24,027	24,027
	Total GFA	43,807	43,812	43,812	45,292	47,603	137,136
Norman Gardens	Retail	62,470	73,494	73,494	73,494	84,707	707,863
	Commercial	20,143	20,893	20,893	20,893	20,893	7,099
	Industrial	6,172	6,172	6,172	6,172	6,172	0
	Community Purposes	74,252	87,883	92,381	97,126	102,133	102,133
	Total GFA	163,038	188,443	192,941	197,686	213,905	817,094
Park Avenue	Retail	86,000	100,142	100,142	100,142	91,744	586,109
	Commercial	35,940	35,940	36,640	36,640	36,640	7,947
	Industrial	91,970	91,970	91,970	91,970	91,970	154,923
	Community Purposes	22,919	25,955	26,957	28,014	29,129	29,129
	Total GFA	236,828	254,007	255,709	256,766	249,483	778,108
Parkhurst	Retail	22,803	22,803	22,803	22,803	22,803	82,275
	Commercial	14,387	14,387	14,387	14,387	14,387	9,202
	Industrial	157,543	157,543	157,543	166,454	171,273	501,371
	Community Purposes	8,109	9,220	9,587	9,974	10,382	10,382
	Total GFA	202,842	203,953	204,320	213,617	218,844	603,230
Rockhampton City	Retail	138,949	170,640	198,847	215,642	224,761	958,048

	Commercial	165,524	185,010	193,060	198,117	201,483	453,049
	Industrial	100,618	102,105	102,105	102,249	102,611	102,175
	Community Purposes	50,413	50,570	52,123	53,758	55,479	56,379
	Total GFA	455,503	508,325	546,135	569,766	584,335	1,569,651
The Common	Retail	674	674	674	674	674	674
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	7,032	7,032	7,032	7,032	7,032	7,032
	Total GFA	7,706	7,706	7,706	7,706	7,706	7,706
The Mine	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	0	0
The Range	Retail	3,637	3,637	3,637	3,637	3,637	1,735
	Commercial	27,085	27,085	27,085	27,085	27,085	17,605
	Industrial	0	0	0	0	0	0
	Community Purposes	115,878	138,198	145,564	153,335	161,533	162,286
	Total GFA	146,599	168,919	176,285	184,056	192,254	181,626

Walterhall	Retail	0	0	0	0	0	0
	Commercial	0	0	0	0	0	0
	Industrial	0	0	0	0	0	0
	Community Purposes	0	0	0	0	0	0
	Total GFA	0	0	0	0	0	0
Wandal	Retail	10,190	10,190	10,190	10,190	10,190	20,989
	Commercial	8,028	8,028	8,028	8,028	8,028	4,309
	Industrial	4,106	4,106	4,106	4,106	4,106	3,206
	Community Purposes	51,772	55,867	57,218	58,644	60,147	60,147
	Total GFA	74,096	78,191	79,542	80,968	82,472	88,652
West Rockhampton	Retail	1,512	1,512	1,512	1,512	1,512	12,768
	Commercial	2,350	2,350	2,350	2,350	2,350	25,537
	Industrial	3,350	3,350	3,350	3,350	3,350	1,508
	Community Purposes	3,472	4,133	4,351	4,581	4,823	30,190
	Total GFA	10,685	11,345	11,563	11,793	12,036	70,003
Total Inside PIA	Retail	536,560	600,089	651,587	677,402	706,080	4,093,827
	Commercial	401,831	427,886	438,830	445,524	453,326	868,118
	Industrial	677,466	690,971	725,321	766,877	845,510	2,579,035
	Community Purposes	494,890	561,246	584,644	609,326	635,427	671,648

	Total GFA	2,110,747	2,280,192	2,400,382	2,499,128	2,640,342	8,212,627
Total Outside PIA	Retail	9,438	9,438	9,438	9,438	9,438	4,612
	Commercial	21,810	21,810	21,810	21,810	21,810	8,581
	Industrial	87,893	87,893	87,893	87,893	87,893	6,464,252
	Community Purposes	31,899	33,404	33,901	34,426	34,979	46,914
	Total GFA	151,040	152,546	153,043	153,567	154,120	6,524,360
Total Regional Area	Retail	545,998	609,528	661,025	686,840	715,518	4,098,439
	Commercial	423,641	449,696	460,641	467,334	475,136	876,699
	Industrial	765,359	778,864	813,214	854,770	933,403	9,043,287
	Community Purposes	526,789	594,650	618,545	643,751	670,405	718,562
	Total GFA	2,261,787	2,432,738	2,553,425	2,652,695	2,794,462	14,736,987

SC3.1.5 Planned density and demand generation

1. Table SC3.1.5.1 stipulates the planned density and demand each residential zone and precinct has on trunk infrastructure networks.
2. Table SC3.1.5.2 stipulates the planned density and demand each non-residential zone and precinct has on trunk infrastructure networks.

Table SC3.1.5.1 – Residential planned density and demand generation rate for a trunk infrastructure network

<i>Planning scheme identification</i>			<i>Planned Density</i>	<i>Demand rate</i>				
<i>Zone</i>	<i>Precinct</i>	<i>Category</i>	<i>Residential density (dwellings/net dev ha)</i>	Water supply (ET/net dev ha)	Sewerage (ET/net dev ha)	Parks (Persons/net dev ha)	Transport (daily vehicle trips/net dev ha)	Stormwater (% impervious area)
Residential zones category								
Low density residential	All	Dwelling house	13.6	13.6	13.6	35.36	122.4	50%
		Dual occupancy	0.8	0.8	0.8	1.28	4.2	50%
		Multiple dwelling	1.6	0.8	1.6	2.4	8.4	50%
		Totals	16	15.2	16	39.04	135	50%
Low-medium density residential		Dwelling house	14.64	14.64	14.64	38.064	131.76	75%
		Dual occupancy	4.88	4.88	4.88	7.808	25.62	75%
		Multiple dwelling	4.88	2.44	4.88	7.32	25.62	75%
		Totals	24.4	21.96	24.4	53.192	183	75%
High density residential		Multiple dwelling, Other dwelling	560	280	560	840	2940	100%
Centres zones category								
Principal centre*	Business services (12 metres and 3 storeys)	Multiple dwelling, Other dwelling	96	48	96	144	504	90%
	Business services (18 metres and 5 storeys)	Multiple dwelling, Other dwelling	180	90	180	270	945	90%

	Business services (45 metres and 12 storeys)	Multiple dwelling, Other dwelling	240	120	240	360	1260	90%
	Core (2 storeys and 9 metres)	Other dwelling	80	40	80	104	560	100%
	Core (3 storeys and 12 metres)	Other dwelling	120	60	120	156	840	100%
	Core (5 storeys and 18 metres)	Other dwelling	200	100	200	260	1400	100%
	Core (10 storeys and 35 metres)	Other dwelling	192	96	192	249.6	1344	100%
	Core (12 storeys and 45 metres)	Other dwelling	224	112	224	291.2	1568	100%
	Denison Street	Other dwelling	48	24	48	62.4	336	90%
	Quay Street	Other dwelling	80	40	80	104	560	100%
District centre*		Other dwelling	16	8	16	20.8	112	90%
Local Centre		Other dwelling	8	4	8	10.4	56	90%
Specialised centre	Gladstone Road and George Street Residential and Food Services Sub-Precinct*	Other dwelling	112	56	112	145.6	784	90%
	Musgrave Street Mixed Use Sub-Precinct*	Multiple dwelling	40	20	40	60	210	90%
Other zones category								

Emerging community		Dwelling house	13.6	13.6	13.6	35.36	122.4	50%
		Dual occupancy	0.8	0.8	0.8	1.28	4.2	50%
		Multiple dwelling	1.6	0.8	1.6	2.4	8.4	50%
		Totals	16	15.2	16	39.04	135	50%
Rural residential		Dwelling house	2.5	2.5	2.5	6.5	22.5	20%
	Baree and Walterhall Precinct	Dwelling house	2.5	2.5	2.5	4	13.125	20%
Township	All	Dwelling house	16.67	16.67	16.67	43.342	150.03	50%

Table SC3.1.5.2 – Non-residential planned density and demand generation rate for a trunk infrastructure network

<i>Planning scheme identification</i>			<i>Planned Density</i>		<i>Demand rate</i>				
<i>Zone</i>	<i>Precinct</i>	<i>Category</i>	<i>Non-residential plot ratio</i>	<i>Non-residential density (GFA m²/net dev ha)</i>	<i>Water supply (ET/net dev ha)</i>	<i>Sewerage (ET/net dev ha)</i>	<i>Parks (ET/net dev ha)</i>	<i>Transport (daily vehicle trips/net dev ha)</i>	<i>Stormwater (% impervious area)</i>
Residential zones category									
High density residential*		Retail	0.8	8000	16	12	N/A	3,600	100%
Centres zones category									
Principal centre*	Business services (12 metres and 3 storeys)	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Total	1.44	14400	33.6	24	N/A	4,728	90%
	Business services (18 metres and 5 storeys)	Retail	1.8	18000	36	27	N/A	8,100	100%
		Commercial	0.9	9000	27	18	N/A	765	100%
		Total	2.7	27000	63	45	N/A	8,865	100%
	Business services (45 metres and 12 storeys)	Retail	2.4	24000	48	36	N/A	10,800	100%
		Commercial	1.2	12000	36	24	N/A	1020	100%
		Total	3.6	36000	84	60	N/A	11,820	100%
	Core (2 storeys and 9 metres)	Retail	0.8	8000	16	12	N/A	3,600	100%
		Commercial	0.4	4000	12	8	N/A	340	100%
		Total	1.2	12000	28	20	N/A	3,940	100%
		Retail	1.2	12000	24	18	N/A	5,400	100%

	Core (3 storeys and 12 metres)	Commercial	0.6	6000	18	12	N/A	510	100%
		Total	1.8	18000	42	30	N/A	5,910	100%
	Core (5 storeys and 18 metres)	Retail	2	20000	40	30	N/A	9,000	100%
		Commercial	1	10000	30	20	N/A	850	100%
		Total	3	30000	70	50	N/A	9,850	100%
	Core (10 storeys and 35 metres)	Retail	1.92	19200	38.4	28.8	N/A	8,640	100%
		Commercial	0.96	9600	28.8	19.2	N/A	816	100%
		Total	2.88	28800	67.2	48	N/A	9,456	100%
	Core (12 storeys and 45 metres)	Retail	2.24	22400	44.8	33.6	N/A	10,080	100%
		Commercial	1.12	11200	33.6	22.4	N/A	952	100%
		Total	3.36	33600	78.4	56	N/A	11,032	100%
	Denison Street	Retail	0.72	7200	14.4	10.8	N/A	3,240	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Industrial	0.72	7200	28.8	25.2	N/A	324	90%
		Total	1.92	19200	57.6	45.6	N/A	3,972	90%
	Quay Street	Retail	0.8	8000	16	12	N/A	3,600	100%
		Commercial	0.4	4000	12	8	N/A	340	100%
		Total	1.2	12000	28	20	N/A	3,940	100%
Major centre		Retail	1.6	16000	32	24	N/A	7,200	90%
District centre*		Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.16	1600	4.8	3.2	N/A	136	90%
		Total	1.44	14400	30.4	22.4	N/A	5,896	90%

Local centre		Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.24	2400	7.2	4.8	N/A	204	90%
		Total	1.52	15200	32.8	24	N/A	5,964	90%
Neighbourhood centre		Retail	1.12	11200	22.4	16.8	N/A	5,040	90%
		Commercial	0.28	2800	8.4	5.6	N/A	238	90%
		Total	1.4	14000	30.8	22.4	N/A	5,278	90%
Specialised centre	Gladstone Road and George Street Precinct	Retail	1.28	12800	25.6	19.2	N/A	5,760	90%
		Commercial	0.32	3200	9.6	6.4	N/A	272	90%
		Total	1.6	16000	35.2	25.6	N/A	6,032	90%
	Gladstone Road and George Street Precinct - Outdoor Sales and Services Sub-Precinct	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Industrial	0.64	6400	25.6	22.4	N/A	288	90%
		Total	1.6	16000	44.8	36.8	N/A	4,608	90%
	Gladstone Road and George Street – Residential and food services sub-precinct*	Retail	0.48	4800	9.6	7.2	N/A	2,160	90%
	Yaamba Road	Retail	1.6	16000	32	24	N/A	7,200	90%
	Musgrave Street – Mixed Use Sub-Precinct*	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.64	6400	19.2	12.8	N/A	544	90%
		Total	1.6	16000	38.4	27.2	N/A	4,864	90%
	Musgrave Street – Outdoor Sales and Services Sub-Precinct	Retail	0.96	9600	19.2	14.4	N/A	4,320	90%
		Commercial	0.64	6400	19.2	12.8	N/A	544	90%

		Total	1.6	16000	38.4	27.2	N/A	4,864	90%
Industry zones category									
Low impact industry	South Rockhampton				No further development				
	All other low impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
Medium impact industry	Gracemere Saleyards	Industrial	0.4	4000	16	14	N/A	180	90%
		Retail	0.1	1000	2	1.5	N/A	450	90%
		Total	0.5	5000	18	15.68	N/A	630	90%
High impact industry	All other medium impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
	Lakes Creek				No further development				
	All other high impact industry	Industrial	0.5	5000	20	17.5	N/A	225	90%
Special industry		Industrial	0.5	5000	20	17.5	N/A	225	90%
Water front and marine		Industrial	0.5	5000	20	17.5	N/A	225	90%
Other zones category									
Special purpose	Rockhampton airport – Business services sub-precinct	Retail	0.24	2400	4.8	3.6	N/A	1,080	90%
		Commercial	0.48	4800	14.4	9.6	N/A	408	90%
		Community Purposes	0.48	4800	24	19.2	N/A	19.2	90%
		Total	1.2	12000	43.2	32.4	N/A	1,507	90%
	CQU				As per CQU Rockhampton Priority Development Area Development Scheme				
All other Special purpose				No further development					

Table SC3.1.5.3: Existing and projected demand for the water supply network

Service catchment*	Existing and projected demand (ET)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	1,570	1,845	2,429	3,424	4,392	8,188
North Rockhampton	20,149	20,854	21,008	21,115	21,343	32,595
South Rockhampton	12,159	12,581	13,108	13,482	13,723	26,135
Gracemere	4,362	4,854	5,669	6,561	7,225	14,480
Mount Morgan	1,252	1,249	1,249	1,342	1,347	2,774

* The service catchments for the water supply network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.4 – Existing and projected demand for the sewerage network

Service catchment*	Existing and projected demand (ET)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	1,540	1,816	2,463	3,519	4,535	8,261
North Rockhampton	20,764	21,457	21,601	21,691	21,855	31,795
South Rockhampton	13,808	14,241	15,130	15,746	16,100	34,545
Gracemere	4,400	4,901	5,723	6,646	7,311	14,239
Mount Morgan	1,248	1,245	1,245	1,337	1,342	2,763

*Column 1. The service catchments for the sewerage network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.5 – Existing and projected demand for the stormwater network

Service catchment*	Existing and projected demand (Imp Ha)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	126	133	158	207	241	596
North Rockhampton	815	846	857	859	871	923
South Rockhampton	413	415	416	417	417	434
Gracemere	206	225	271	317	342	2,038
Mount Morgan	66	66	66	68	69	107

* Column 1. The service catchments for the stormwater network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.6 - Existing and projected demand for the transport network

Service catchment*	Existing and projected demand (Trips)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	28,143	30,613	35,756	44,391	53,108	113,747
North Rockhampton	348,601	374,289	379,473	384,003	395,076	1,330,183
South Rockhampton	266,497	292,204	315,701	330,434	340,485	912,275
Gracemere	52,781	57,556	71,649	81,751	88,778	279,974
Mount Morgan	22,229	22,208	22,208	23,378	24,281	73,400

*Column 1. The service catchments for the transport network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

Table SC3.1.5.7 - Existing and projected demand for the parks and land for community facilities network

Service catchment*	Existing and projected demand (Population)					
	2017	2021	2026	2031	2036	Ultimate development
Parkhurst	2,086	2,727	4,192	6,554	8,984	14,643
North Rockhampton	43,216	44,366	44,538	44,543	44,598	51,038
South Rockhampton	23,794	24,111	25,118	25,825	26,196	48,127
Gracemere	10,360	11,436	13,143	15,175	16,390	20,192
Mount Morgan	2,824	2,818	2,818	2,992	2,990	5,077

*Column 1. The service catchments for the parks and land for community facilities network are identified on Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 in Schedule 3 (local government infrastructure mapping and tables).

SC3.2 Priority Infrastructure Area

Local Government Infrastructure Plan Map PIA-1 to PIA-4 Priority infrastructure area and projection areas map

Local Government Infrastructure Plan Map PIA-SC-1 to PIA-SC-6 Service catchment map

SC3.3 Plans for Trunk Infrastructure maps

Local Government Infrastructure Plan Map 1-0 to 1-29 Plan for trunk water supply infrastructure

Local Government Infrastructure Plan Map 2-0 to 2-18 Plan for trunk sewerage infrastructure

Local Government Infrastructure Plan Map 3-0 to 3-14 Plan for trunk transport infrastructure

Local Government Infrastructure Plan Map 4-0 to 4-17 Plan for trunk stormwater infrastructure

Local Government Infrastructure Plan Map 5-0 to 5-2+2 Plan for trunk parks and land for community facilities infrastructure

SC3.4 Schedules of works

Table SC3.4.1 – Water supply network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
1-7	WAT-2	300mm Lucas Street to Macquarie Street/Middle Road - 1.8km	Constructed	\$833,125
1-7	WAT-5	200mm Somerset Road (Stewart Street to Overpass) - 1.3km	Constructed	\$534,846
1-7	WAT-35	Lucas Street Water Pump Station Upgrade	Constructed	\$565,702
1-20	WAT-38	300mm McLaughlin Street (William Palfrey Road to Birkbeck Reservoir) - 1.25km	Constructed	\$578,045
1-20	WAT-40	200mm Olive Street	Constructed	\$197,482
1-20	WAT-41	200mm Norman Road (Olive Street to Southern Boundary of Lot 100 on SP261800) - 210m	Constructed	\$43,198

1-20	WAT-42	200mm Mason Avenue	Constructed	\$166,625
1-20	WAT-45	450mm main - Western extension of Olive Street (Western Boundary SP238731/5 to McLaughlin Street) - 750m	2026	\$827,117
1-4	WAT-47	375mm Rockhampton to Gracemere Duplication	Constructed	\$5,142,746
1-20	WAT-48	200mm Olive Street (Norman Road to McMillan Avenue) - 450m	Constructed	\$185,139
1-7	WAT-49	200mm main - Lucas Street (Chatterton Boulevard to Allen Road) - 970m	2031	\$454,737
1-7	WAT-50	200mm main - Allen Road (Lucas Street to Gavial - Gracemere Road) - 780m	2031	\$365,664
1-20	WAT-51	450mm main - Western extension of Olive Street (Yaamba Road to Western Boundary SP238731/5) - 1350m	2036	\$1,488,810
1-7	WAT-52	300mm main (Old Capricorn Highway Pump Station to Lucas Street Reservoir) - 5.2km	2026	\$3,366,051
1-7	WAT-53	Lucas Street Reservoir duplication	2036	\$3,937,044
1-7	WAT-60	300mm main - Middle Road (Macquarie Street to Stewart Street) - 1.2km	2036	\$776,781
1-7	WAT-61	200mm main - Stewart Street (Middle Road to Somerset Road) - 1.1 km	2036	\$712,049
1-7	WAT-63	200mm main - Somerset Road (Overpass to Western boundary of Lot 54 on P4030) - 1.3 km	2036	\$609,441
1-20	WAT-68	200mm Norman Road (Extension from WAT-41 to Mason Avenue) - 350m	Constructed	\$143,997
1-20	WAT-69	300mm main - Western extension of Olive Street (Yaamba Road to Western Boundary SP238731/5) - 1350m	2036	\$1,047,816
1-20	WAT-70	Glenmore Water Treatment Plant - High Lift Pump Station Upgrade	Constructed	\$11,314,043
1-4	WAT-71	750mm main - Rockhampton Ring Road (Glenmore Water Treatment Plant to Capricorn Highway)	2031	\$36,044,870
1-7	WAT-72	150mm main - Capricorn Street Alignment (Capricorn Highway to Somerset Road) - 190m	2026	\$75,800
1-7	WAT-73	200mm main - Webster Street (Victoria Street to Eastern Boundary of Lot253 on P4014) - 250m	2026	\$117,200
1-7	WAT-74	200mm main - Webster Street (Eastern Boundary of Lot253 on P4014 to Eastern Boundary of Lot 252 on P4013) - 400m	2031	\$187,520
1-7	WAT-75	200mm main - Washpool Road (Cherryfield Road to Eastern Boundary of Lot 1 on RP848973) - 1.4km	2026	\$656,321

1-7	WAT-76	200mm main - Washpool Road (Eastern Boundary of Lot 1 on RP848973 to Lucas Street) - 1.2km	2036	\$562,561
1-26	WAT-77	Agnes Street Water Pump Station - Pump and switchboard upgrade to also supply Gracemere	2021	\$1,687,300
1-7	WAT-79	450mm main - Laurie Street (Laurie Street bridge across railway line) - 130m	2031	\$119,467
Total				\$72,741,497

Table SC3.4.2 – Sewerage network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
2-13	SEW-2	Bruce Highway Sewerage Pump Station	Constructed	\$332,222
2-13	SEW-3	Limestone Creek Sewage Pump Station	2031	\$1,124,870
2-13	SEW-6	McLaughlin Street Sewage Pump Station	2026	\$731,165
2-13	SEW-8	200mm Rising Main (Bruce Highway Sewerage Pump Station to Olive Street) - 1.3km	Constructed	\$534,846
2-13	SEW-9	300mm Gravity Main (Western Boundary of Lot 2 on RP617657 to Bruce Highway Sewerage Pump Station) - 670m	Constructed	\$503,991
2-13	SEW-11	225mm Gravity Main - Parallel to Yaamba Road (Northern Boundary of Lot 2 on RP617657 to Bruce Highway Sewerage Pump Station) - 620m	Constructed	\$314,736
2-13	SEW-14	300mm Rising Main - Norman Road (Limestone Creek Sewage Pump Station to Nagle Drive) - 2.2km	2031	\$1,270,419
2-13	SEW-28	225mm Gravity Main (Discharge chamber for SEW-132 from Springbrook Close Sewage Pump Station to McLaughlin Street Sewer Pump Station) - 500m	2026	\$203,354
2-13	SEW-29	300mm Gravity Main (From Lot 37 on RP600698 to McLaughlin Street Sewer Pump station) - 800m	2036	\$423,473
2-3	SEW-30	South Rockhampton STP augmentation	2031	\$18,747,826
2-6	SEW-32	Gracemere STP - New bioreactor and secondary clarifier to be constructed using designs developed for SRSTP interim upgrade and existing clarifier design to achieve at least 20,000 EP capacity	2021	\$7,499,130
2-15	SEW-35	50% of ultimate augmentation to 75,000 EP commencing 2021	2026	\$23,434,783
2-6	SEW-39	375mm and 300mm Gravity Main (Breakspear Street to Lucas Street) - 1.1km	Constructed	\$654,158
2-6	SEW-40	450mm Gravity Main - Breakspear Street to Sewerage Pump Station FS6 - 80m	Constructed	\$66,857
2-6	SEW-41	300mm Rising Main (Rahima Court Sewage Pump Station to Gracemere Sewage Treatment Plant) - 2.4km	2021	\$1,385,911
2-6	SEW-42	150mm Rising Main (Webster Street Sewage Pump Station to James Street) - 1250m	2026	\$498,683
2-6	SEW-43	300mm Gravity Main - Washpool Road (Western Boundary of Lot 5 on SP101498 to Sewerage Pump Station FS15) - 550m	Constructed	\$237,596

2-6	SEW-44	225mm Gravity Main (Western Boundary of Lot 3 on SP198267 to Western Boundary of Lot 5 on SP101498) - 400m	Constructed	\$129,597
2-6	SEW-45	100mm Rising Main (Sewerage Pump Station FS16 to Southern Boundary of Lot 13 on RP604012 Macquarie Street) -780m	Constructed	\$140,911
2-6	SEW-46	300mm Gravity Main - Somerset Road (Western Side of Lot 49 on P4030 to Somerset Road Sewerage Pump Station No1) - 1.1km	2036	\$582,275
2-6	SEW-47	200mm Gravity Main (Sewerage Pump Station FS17 to Eastern Boundary of Lot 1 on SP260358) - 400m	Constructed	\$164,568
2-6	SEW-48	200mm Rising Main (Sewerage Pump Station FS17 to Sewerage Pump Station FS4) - 4.0km	Constructed	\$1,616,880
2-6	SEW-87	Armstrong Street - Sewerage Pump Station FS1 Augmentation	Constructed	\$462,847
2-6	SEW-88	Fisher Street Sewerage Pump Station - Pump augmentation to match new rising main (SEW-120)	2036	\$281,217
2-6	SEW-90	Rahima Court Sewerage Pump Station - Pump augmentation to match new rising main (SEW-41)	2021	\$281,217
2-6	SEW-91	Capricorn Street Sewerage Pump Station - Pump augmentation to match new rising main (SEW-103)	2031	\$56,243
2-6	SEW-93	Somerset Road - Sewerage Pump Station FS17	Constructed	\$462,846
2-13	SEW-100	Ellida Sewerage Pump Station	2031	\$562,435
2-13	SEW-101	150mm Rising Main (Ellida Sewerage Pump Station to Mason Avenue) - 900m	2031	\$359,052
2-13	SEW-106	300mm Gravity Main - Olive Street (Norman Road to Yaamba Road) - 480m	Constructed	\$359,992
2-6	SEW-107	Gracemere - Webster Street Sewerage Pump Station	2026	\$506,191
2-6	SEW-108	225mm Gravity Main (Macquarie Street to Capricorn Street) - 750m	2031	\$309,098
2-6	SEW-109	225mm Gravity Main (Northern Boundary of Lot 3 on SP119672 to Capricorn Sewerage Pump Station) - 350m	2021	\$112,466
2-6	SEW-110	Washpool South Sewerage Pump Station (South of Washpool Road on Lot 1 on RP848973)	2026	\$393,704
2-6	SEW-111	100mm Rising Main (Washpool South Sewerage Pump Station to Head of Reticulated gravity network) - 500m	2026	\$108,662
2-6	SEW-114	200mm Gravity Main (SEW-47 to Southern Boundary of Lot 2 on RP613519) - 570m	Constructed	\$365,135
2-3	SEW-115	South Rockhampton STP Process upgrade and PLC renewal with capacity of approximately 35,000 EP	Constructed	\$805,602

2-4	SEW-118	200mm effluent rising main from Gracemere Sewage Treatment Plant to Rockhampton Golf Course	2021	\$3,390,629
2-15	SEW-119	North Rockhampton STP upgrade design	2021	\$374,957
2-6	SEW-120	250mm Rising Main (Fisher Street Sewage Pump Station to James Street) - 710m	2036	\$359,300
2-6	SEW-124	300mm Rising Main (Armstrong Street Sewerage Pump Station FS1 to Gracemere Sewage Treatment Plant) - 1.4km	Constructed	\$658,273
2-6	SEW-126	225mm Gravity Main (Southern Boundary of Lot 2 on SP119672 to Northern Boundary of Lot 3 on SP119672) - 550m	2031	\$223,689
2-13	SEW-132	100mm Rising Main (Divert Springbrook Close Sewage Pump Station discharge from Belmont Road Sewage Pump Station to gravity network prior to McLaughlin Street Sewage Pump Station) - 1.0km	2026	\$193,419
2-13	SEW-133	200mm Rising Main (McLaughlin Street Sewage Pump Station to Sturt Street) - 3.4km	2026	\$1,366,973
2-13	SEW-135	300mm Gravity Main Rachel Drive (Beal Avenue to Norman Road) - 190m	2031	\$143,636
2-13	SEW-136	450mm Gravity Main Norman Road (Rachel Drive to Limestone Creek Sewer Pump Station) - 550m	2031	\$598,497
2-13	SEW-137	375mm Gravity Main Norman Road (Mason Street to Rachel Drive) - 700m	2031	\$506,367
2-6	SEW-138	225mm Gravity Main- (Webster Street Sewage Pump Station) - 400m	2026	\$162,683
2-13	SEW-139	375mm Gravity Main (Discharge chamber for rising main under Mason Street) - 160m	2031	\$115,741
2-13	SEW-140	Springbrook Close Sewer Pump Station upgrade	2026	\$33,746
2-10	SEW-141	225mm Gravity Main (Railway Parade - Little James street to William St) - 660m	Constructed	\$296,343
2-10	SEW-142	Railway Parade Sewage Pump Station	2021	\$337,461
2-10	SEW-143	100mm Rising Main (Railway Parade to Dee River Sewage Pump Station) - 300m	2021	\$65,197
2-6	SEW-144	Gracemere STP Inlet works to meet at least 20,000EP. Completed in 2017.	Constructed	\$779,683
2-6	SEW-145	Gracemere STP Mechanical dewatering to improve sludge handling in line with future capacity. Completed in 2018.	Constructed	\$45,369
2-3	SEW-146	Construction of recycled water pump station and distribution mains to supply recycled water to nearby customers and irrigate SRFL	2021	\$1,874,783

		grassed embankments. Installation of mechanical dewatering for improved biosolids handling and storage post construction of the SRFL.		
2-6	SEW-147	150mm Rising main (Capricorn Street Sewage Pump Station to existing 200mm Rising main on Somerset Road) - 490m	2031	\$195,484
Total				\$77,747,188

Table SC3.4.3 - Transport network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
3-6	T-2	Intersection Upgrade	2021	\$1,427,071
3-6	T-3	(Stage 1) Upgrade Alexandra Street between Farm Street and Maloney Street to four lane Urban Arterial	2031	\$3,066,302
3-6	T-4	Alexandra Street - (Stage 2) Upgrade Alexandra Street between Maloney Street and Werribee Street to four lane Urban Arterial	2036	\$4,926,605
3-6	T-5	Alexandra Street - (Stage 3) Upgrade Alexandra Street between Werribee Street and Limestone Creek to four lane Urban Arterial	2036+	\$3,682,275
3-10	T-6	Alexandra Street - Bridge Duplication on Alexandra Street over Limestone Creek.	2036+	\$13,157,104
3-10	T-7	Alexandra Street - (Stage 4) Upgrade Alexandra Street between Limestone Creek and Wade street to four lane Urban Arterial	2036+	\$1,868,726
3-10	T-8	Alexandra Street - (Stage 5) Upgrade Alexandra Street between Wade Street and Birkbeck Drive to tow lane Urban Sub-Arterial	2031	\$6,439,087
3-10	T-9	Boundary Road - Upgrade Boundary Road (East) between Kidd Street and Norman Road to Major Urban Collector	2021	\$1,066,029
3-10	T-10	Norman Road - Upgrade to Major Urban Collector from Boundary Road to Olive Street	2036	\$5,075,948
3-4	T-15	Breakspear Street - Upgrade to Major Urban Collector (from Johnson Road to Rosewood Avenue)	2026	\$2,402,734
3-4	T-17	Lucas Street - Upgrade to Major Urban Collector (from Johnson Road to Allen Road)	2026	\$3,424,381
3-4	T-18	Cherryfield Road - Upgrade to Major Urban Collector (from Johnson Road to Washpool Road)	2021	\$685,663
3-4	T-19	Allen Road - Upgrade to Major Urban Collector (from Gavial-Gracemere Road to Lucas Street)	2026	\$2,514,856
3-9	T-22	Alexandra St / Main St Intersection Upgrade	2036	\$1,068,331
3-6	T-23	Farm St / Hinchliff St Intersection Upgrade	2031	\$1,190,035
3-8	T-34	Norman Road - (Stage 1) Construct additional lanes and associated works, between Nagle Drive and Foulkes Street intersections, upgrade to Urban Arterial Standard.	2036	\$4,238,414

3-8	T-35	Norman Road - (Stage 2) Construct additional lanes and associated works, between Foulkes Street and Rockhampton-Yeppoon Road intersections, upgrade to Urban Arterial standard.	2036	\$1,402,337
3-10	T-36	Olive Street - (Stage 1) Upgrade Olive Street between Norman Road and Bruce Highway to Major Urban Collector, with a 40m wide corridor	2036+	\$2,471,697
3-4	T-46	James Street - Upgrade to Major Urban Collector (from Platen Street to Viney Street)	2026	\$2,046,945
3-4	T-47	Middle Road - Upgrade to Major Urban Collector (from Johnson Road to Capricorn Street)	2031	\$2,183,385
3-4	T-49	Somerset Road - Upgrade to Industrial Collector (from 117 Somerset Road to Stewart Street)	Constructed	\$584,888
3-4	T-51	Macquarie Street - Upgrade to Industrial Collector (from Somerset Road to Middle Road)	2021	\$3,630,868
3-4	T-53	Capricorn Street - Upgrade to Industrial Collector (from Somerset Road to Middle Road)	2031	\$3,419,642
3-4	T-56	Douglas Street - (Stage 2) Construct extension of Douglas Street (from Gracemere Overpass to Douglass Street/Somerset Road link) Build as Industrial Collector.	2036	\$7,190,681
3-5	T-57	Douglas Street - (Stage 3) Construct extension of Douglas Street (from Douglas Street/Somerset Road link to Morgan Street) Build as Industrial Collector	2036+	\$6,236,793
3-4	T-58	Somerset Road - (Stage 1) Construct extension of Somerset Road (from Gracemere Overpass to Douglas Street/Somerset Road link) Build as Industrial Collector	2036	\$4,813,129
3-5	T-59	Somerset Road - (Stage 2) Construct extension of Somerset Road (from Douglas Street/Somerset Road link to Wiseman Street) Build as Industrial Collector	2036+	\$3,563,016
3-5	T-61	Boongary Road - Designate as Rural Arterial (from Halfpenny Road to Kabra Road)	2021	\$918,197
3-5	T-62	Construct new road link between Somerset Road and Douglas Street opposite Kabra-Scrubby Creek Road	2036+	\$6,079,472
3-4	T-66	Johnson Road / Middle Road Intersection Upgrade	2031	\$496,914
3-4	T-67	Johnson Road / Breakspear Street Intersection Upgrade	2026	\$1,061,004
3-4	T-68	Johnson Road / Lucas Street Intersection Upgrade	2036+	\$1,061,004

3-10	T-69	Norman Road - Construct one lane in each direction to establish a new Major Collector link between the Norman Road/Rockhampton-Yeppoon Road Intersection and Norman Road/Boundary Road Intersection	2036+	\$5,158,356
3-4	T-73	Webster Street - Upgrade to Major Urban Collector (from Riley Drive to Victoria Street)	2026	\$314,736
3-4	T-74	Webster Street - Extend Webster Street eastward as Major Urban Collector	2031	\$3,859,329
3-10	T-81	McMillan Avenue - Construct extension of McMillan Avenue south from Olive Street extended for 100m (approx.). Build as Major Urban Collector, with a 30m wide corridor.	2036+	\$830,640
3-10	T-82	McMillan Avenue -Construct extension of McMillan Avenue (from T-81 to existing McMillan Avenue Construction). Build as Major Urban Collector, with a 30m wide corridor.	2036+	\$418,378
3-4	T-84	Allen Road - New Major Urban Collector (from Lucas Street to Deaves Avenue, and second entry into future development on Lot 1 on LN1538)	2036	\$3,303,008
3-4	T-86	Middle Road - Built to Major Urban Collector standard (from Capricorn Street to Macquarie Street)	Constructed	\$3,587,922
3-4	T-90	Somerset Road - Upgrade to Industrial Collector (from 117 Somerset Road to 31 Somerset Road (Pacific National))	2036	\$2,905,256
3-10	T-92	McMillan Avenue - Upgrade to Major Urban Collector (from T-82 to T-690, with a 30m wide corridor.	2036+	\$3,135,512
3-4	T-93	Washpool Road - Upgrade to Major Urban Collector from Cherryfield road to Future Intersection for Lot 4 on SP119672	2021	\$2,100,492
3-4	T-94	Washpool Road Connector Stage 1 - Connect Washpool Road to Washpool Creek as Major Urban Collector	2026	\$2,000,083
3-4	T-95	Washpool Road Connector Stage 2 - Connect Washpool Creek to Allen Road as Major Urban Connector	2036+	\$860,290
3-10	T-96	Alexandra St / Birckbeck Dr / Belmont Rd Intersection - Major upgrade to roundabout configuration and associated works	2026	\$2,210,385
3-10	T-97	Alexandra Street Extended - Stage 1 Construct extension of Alexandra Street (from Birkbeck Drive / Belmont Road intersection to William Palfrey Road). Build as Major Urban Collector.	2026	\$8,935,831
3-10	T-98	William Palfrey Road - Upgrade to Major Urban Collector	2031	\$5,439,845

3-10	T-99	William Palfrey Road - Deviation of William Palfrey Road to join at Olive Street. Build as Major Urban Collector, with a 40m wide corridor (to cater for future Urban Arterial)	2021	\$2,284,154
3-10	T-100	William Palfrey Rd / Olive St Intersection - Construct three-leg signalised intersection at new William Palfrey Road / Olive Street intersection	2026	\$1,573,877
3-10	T-101	William Palfrey Road - Deviation of William Palfrey Road to join at Olive Street. Build as Major Urban Collector, with a 30m wide corridor.	2026	\$2,863,932
3-10	T-102	William Palfrey Road - Upgrade to Major Urban Collector, with a 30m wide corridor	2031	\$4,718,888
3-10	T-103	McLaughlin Street Extended - Acquire road corridor for post-2031 link. Future link will be an Urban Arterial with a 40m wide corridor, existing corridor is 20m.	2036+	\$434,000
3-4	T-104	Allen Road - Upgrade to Sub-Arterial for the first 550m (approx.) from Gavial-Gracemere Road to possible new intersection for Lot 1 on LN1538.	2031	\$2,312,207
3-4	T-105	Washpool Road - Upgrade to Major Urban Collector from T-93 to 136 Washpool Road	2026	\$3,884,184
3-10	T-106	Alexandra St Extended / William Palfrey Rd Intersection - Construct intersection (roundabout configuration) and associated works	2031	\$2,754,330
3-10	T-107	McMillan Avenue - Upgrade to Major Urban Collector (from T-10 to T-92), with a 30m wide corridor.	2036+	\$3,452,852
3-1	T-108	Canning Street / Denham Street Intersection Upgrade	2031	\$2,219,428
3-1	T-109	Canning Street / Fitzroy Street Intersection Upgrade	2031	\$2,407,515
3-12	T-110	Canning Street / Albert Street Intersection Upgrade	2026	\$2,313,471
3-8	T-111	Norman Road / Moores Creek Road Intersection Improvements	2031	\$815,641
3-6	T-112	Alexandra Street / Werribee Street Intersection Upgrade	2031	\$2,407,515
3-4	T-113	Washpool Creek Bridge - Construct 2 lane bridge over Washpool Creek	2036+	\$4,645,711
Total				\$187,541,306

Table SC3.4.4 – Stormwater network schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
4-12	D-1	Parkhurst East Drainage Scheme (Stage 1) - Construct major drainage network from northern extent of Bean Avenue toward Olive Street	2021	\$644,149
4-12	D-2	Norman Road cross-drainage - Construct new cross-drainage under Norman Road	2021	\$316,936
4-12	D-3	McMillan Avenue cross-drainage - Upgrade cross-drainage in McMillan Avenue	2021	\$665,945
4-12	D-4	Parkhurst East Drainage Scheme (Stage 2) - Establish major drainage network upstream from McMillan Avenue cross-drainage	2021	\$679,824
4-5	D-5	Drainage Path North of Washpool Road - Establish major drainage system corridor parallel to Washpool Road	2026	\$1,817,507
4-5	D-6	Gracemere Industrial Area drainage (Gracemere Creek) - Establish major drainage system corridor	2021	\$1,600,000
4-5	D-25	Gracemere Drainage Path (Middle Road to Railway Line) - Establish major drainage system corridor from Middle Road to northern boundary of Lot 242 on LN837879	2021	\$780,000
4-5	D-26	Gracemere Industrial Area - West of Overpass - Establish major drainage system corridor	2026	\$700,000
4-5	D-27	Gracemere Industrial Area - East of Overpass - Establish major drainage system corridor	2026	\$50,000
4-5	D-28	Reigel Drive to Washpool Road - Establish major drainage system corridor	2026	\$7,616,663
4-12	D-29	North of Olive Street to Yaamba Road - Establish major drainage system corridor	2026	\$245,000
4-12	D-31	North of Olive Street across Yaamba Road downstream of D-29 - Establish major drainage system corridor	2031	\$60,000
4-5	D-33	North of Reigel Drive toward Cherryfield Road - Establish major drainage system corridor	2026	\$677,045
4-5	D-36	Victoria Street and Webster Street Drainage - Establish major drainage system corridor	2031	\$150,000
4-5	D-37	Gracemere Industrial Area Regional Detention Basin	2026	\$6,672,303
Total				\$22,675,372

Table SC3.4.5 – Parks and land for community facilities schedule of works

Map reference	LGIP ID	Trunk Infrastructure	Estimated timing	Establishment cost (2017\$)
5-6	PCL501	District sports park - Land and embellishments	2026	\$4,317,588
5-6	PCL503	District park - Land and embellishments	2026	\$1,698,691
5-6	PCL505	District sports park - Land and embellishments	2031	\$4,317,588
5-14	PCL513	District park -Land and embellishments	2021	\$3,393,691
5-14	PCL514	Regional community facility - Land	2021	\$248,158
5-14	PCL515	District sports park - Embellishments	2026	\$3,560,088
5-12	PCL516	District park - Land and embellishments	2026	\$5,753,691
5-13	PCL518	Regional park - Embellishments	Completed	\$11,918,570
5-10	PCL520	District park - Embellishments	2026	\$2,709,107
5-5	PCL521	District park - Embellishments	2026	\$596,846
5-9	PCL522	District park - Embellishments	2026	\$596,846
5-20	PCL523	District park - Embellishments	2026	\$596,846
5-16	PCL524	District park - Embellishments	2026	\$1,193,691
5-16	PCL525	Regional park - Land and Embellishments	Completed	\$34,590,265
Total				\$75,491,666

Schedule 4 Notations required under the *Planning Act 2016*

SC4.1 Notation of decisions affecting the planning scheme under section 89 of the Act

Table SC4.1.1 — Notation of decisions affecting the planning scheme under section 89 of the Act

Date of decision	Location (real property description)	Decision type	File/Map reference
13/10/2015	274, 276-278 and 280-282 George Street, ROCKHAMPTON QLD 4700 (Lots 2-4 RP600286; Lots 1-4 RP600287; Lot 13 RP600293)	Material change of use for a vehicle depot	D/39-2015
10/11/2015	9 Belmont Road, PARKHURST QLD 4702 (Lot 28 RP618145)	Reconfiguring a Lot (one lot into two lots)	D/103-2015
27/01/2016	179 Somerset Road, GRACEMERE QLD 4702 (Lot 1 RP616167)	Material change of use for a vehicle depot	D/25-2015
08/03/2016	1014-1016 Yaamba Road, PARKHURST QLD 4702 (Lot 3 RP619710)	Material change of use for short-term accommodation (six units)	D/155-2015
24/05/2016	16 Alan Drive, FRENCHVILLE QLD 4701 (Lot 25 SP238738)	Material change of use for a child care centre	D/151-2015
26/05/2016	Lot 2330 South Yaamba Road, SOUTH YAAMBA QLD 4702 (Lot 2330 LIV40846)	Material change of use for an undefined use (Rural entertainment and function facility with ancillary accommodation)	D/106-2015
09/06/2016	241 Bolsover Street, ROCKHAMPTON QLD 4700 (Lot 3 RP600250)	Material change of use for an educational establishment	D/177-2015
26/07/2016	72 McMillan Avenue, PARKHURST QLD 4702 (Lot 3 SP264078)	Material change of use for outdoor sport and recreation	D/176-2015
27/09/2016	110 and 112 Clifton Street, BERSERKER QLD 4701 (Lot 13 RP603409; Lot 15 RP603409)	Material change of use for a multiple dwelling (ten units)	D/3-2016
21/10/2016	32 Reaney Street, BERSERKER QLD 4701 (Lot 2 RP603338)	Material change of use for a dwelling house	D/138-2016

Date of decision	Location (real property description)	Decision type	File/Map reference
04/11/2016	19 Eucalyptus Crescent, NORMAN GARDENS QLD 4701 (Lot 4 SP163932)	Material change of use for a dwelling house	D/84-2016
08/11/2016	63 Farm Street, KAWANA QLD 4701 (Lot 1 RP607631)	Material change of use for a transport depot	D/110-2016
08/11/2016	3 O'Shanesy Street, GRACEMERE QLD 4702 (Lot 1 RP602231)	Material change of use for health care services and a shop and operational works for advertising services (awning facia sign, wall sign and billboard sign)	D/131-2016
28/07/2017	Lot 503 Nagle Drive, NORMAN GARDENS QLD 4701 (Lot 503 SP266441)	Reconfiguring a Lot (one lot into thirty-one lots)	D/191-2016
15/09/2017	169 Gladstone Road, ALLENSTOWN QLD 4700 (Lot 1 RP600990)	Material Change of Use for a Telecommunication Facility	D/42-2017
15/09/2017	143 Stanley Street and 66 Gladstone Road, ALLENSTOWN QLD 4700 (Lot 23 RP603294, Lots 2, 3 and 7 RP603294 and Lots 1 and 2 RP603161)	Material Change of Use for an Agricultural Supplies Store (ancillary car park)	D/43-2017
10/11/2017	54077 Burnett Highway, GRACEMERE QLD 4702 (Lot 240 P4050)	Material Change of Use for a Dwelling House	D/98-2017
28/11/2017	116 and 124 William Street, ROCKHAMPTON QLD 4700 (Lot 0 GTP60042 and Lot 5 GTP60042)	Material Change of Use for a Food and Drink Outlet	D/77-2017
14/12/2017	263A Belmont Road, PARKHURST QLD 4702, Lot 138, 139, 1743 and 1918 D Berrys Road PARKHURST QLD 4702 and Lot 2 Belmont Road, GLENLEE QLD 4711 (Lot 91 SP224420, Lot 1743 LIV40543, Lot 1918 LIV40627, Lot 2 RP601957, Lot 138 and Lot 139 PL4021)	Material Change of Use for an Extractive Industry, High Impact Industry and Warehouse Extractive Industry, High Impact Industry, Warehouse, Environmentally Relevant Activity 16 (Extractive and Screening Activities) and Environmentally Relevant Activity 53 (Composting and Soil Conditioner Manufacturing)	D/158-2016
14/12/2017	277 Yeppoon Road and 66 Alfred Road, PARKHURST QLD 4702	Reconfiguring a Lot (two lots into five lots) and Access Easement	D/19-2017

Date of decision	Location (real property description)	Decision type	File/Map reference
	(Lot 1844 LIV 40662 and Lot 485 LIV 40112)		
20/02/2018	138 Denham Street, ALLENSTOWN QLD 4700 (Lot 1-2 RP600326)	Material Change of Use for a Hotel (Extensions for an Ancillary car Park and Beer Garden)	D/125-2017
27/02/2018	128 Western Street, WEST ROCKHAMPTON QLD 4700 (Lot 101 SP123574)	Building Works Assessable against a Planning Scheme for Outdoor Sport and Recreation	D/13-2018
10/04/2018	Lot 93 and Lot 96 Nine Mile Road, PINK LILY QLD 4702 (Lot 93 and Lot 96 PL4022)	Material Change of Use for a Transport Depot and Extractive Industry	D/90-2017
26/04/2018	9 Kelly Road, GRACEMERE QLD 4702 (Lot 2 RP885689)	Reconfiguring a Lot (one lot into two lots)	D/136-2017
27/07/2018	Lot 1 Capricorn Highway, GRACEMERE QLD 4702 (Lot 1 and Lot 2 on RP617280)	Material Change of Use for a Service Station and Ancillary Food and Drink Outlet	D/146-2017
17/08/2018	135 and 143 Alma Street, Rockhampton City QLD 4700 (Lot 11 on RP602506 and Lot 307 on R1675)	Material Change of Use for a Parking Station	D/45-2018
28/08/2018	342-350 Holt Street, Frenchville (Lot 153 on RP866052)	Material Change of Use for a House	D/90-2015
13/11/2018	59793 Bruce Highway, Midgee (Lot 2 on RP888747)	Material Change of Use for Extractive Industry, Medium Impact Industry and a Warehouse	D/79-2017
20/06/2019	346A Archer Road, Mount Morgan (Lot 16 on SP208184)	Material Change of Use for a Telecommunications Facility	D/120-2018
11/11/2019	608 Montgomerie Street, Lakes Creek (Lot 75 on RP603370)	Material Change of Use for a Dwelling House	D/65-2019
13/12/2019	140 William Street, Rockhampton City (Lot 2 and 3 on RP606144)	Material Change of Use for Health Care Services	D/82-2019
19/02/2020	4 Featherstone Street, Parkhurst (Lot 1 on RP617306)	Material Change of Use for a High Impact Industry and Environmentally Relevant Activity 62 (Resource Recovery and Transfer Facility Operation)	D/102-2019
20/02/2020	15 Jellicoe Street, Port Curtis (Lots 27 & 28 on RP600807)	Material Change of Use for a Place of Worship (Samadhi Buddhist Temple)	D/105-2019

Date of decision	Location (real property description)	Decision type	File/Map reference
21/02/2020	56 Emmert Lane, Ridglands (Lot 19 on P4052)	Material Change of Use for a High Impact Industry (Poultry Abattoir)	D/78-2019
03/04/2020	998-1002 and 1014-1016 Yaamba Road, Parkhurst (Lot 3 and Lot 4 on SP316476)	Short Term Accommodation and Relocatable Home Park	D/99-2019
09/04/2020	59793 Bruce Highway, Midgee	High Impact Industry and Environmentally Relevant Activity	D/83-2019
07/10/2020	392C Alexandra Street and 17 Bush Crescent, Parkhurst	Reconfiguring a Lot (two lots into two lots)	D/103-2020
19/10/2020	162 Middle Road, Gracemere	Material Change of Use for Special Industry (manufacturing liquid fertiliser (urea-ammonium nitrate) and Environmentally Relevant Activity 7 – Chemical Manufacturing	D/69-2020
20/11/2020	20-26 Albert Street and 34 Kent Street, Rockhampton City	Material Change of Use for a Service Station and Operational Works for Advertising Devices (Two (2) Freestanding Signs, one (1) Canopy Sign and one (1) Fascia Sign)	D/28-2020
14/12/2020	4 Phoebe Street, Lakes Creek	Material Change of Use for a Dwelling House	D/88-2020
15/12/2020	123 Von Allmen Road, Pink Lily	Material Change of Use for a Dwelling House (building envelope)	D/50-2020
1/02/2021	452 Lakes Creek Road, Lakes Creek	Material Change of Use for a Dual Occupancy	D/120-2020
12/03/2021	40-44 Albert Street, Rockhampton City	Material Change of Use for a Food and Drink Outlet (Drive-Through Coffee Shop) and Operational Works for an Advertising Device (Wall Sign and Projecting Sign)	D/127-2020
23 March 2021	540 Weir Park Road, Gogango	Material Change of Use for Extractive Industry and High Impact Industry (concrete batching) and Environmentally Relevant Activity 16 (Extractive and Screening Activities)	D135-2020
11 June 2021	625 Montgomerie Street, Lakes Creek	Material Change of Use for a Dwelling House (Building Envelope)	D91-2020
25 June 2021	24 Murphy Road, Kabra	Material Change of Use for Animal Keeping (Horse Training for four (4) horses)	D15-2021
19 October 2022	3 Sturt Street, Parkhurst (Lot 6 on SO216432)	Material Change of Use for Medium Impact Industry	D39-2022

Date of decision	Location (real property description)	Decision type	File/Map reference
		(Spray Painting and Abrasive Blasting)	
1 November 2022	127 East Street, Mount Morgan (Lot 2 on RP605219)	Material Change of Use for Dwelling House (Within Existing Building)	D92-2022
20 December 2022	3 Glenmore Road, Park Avenue (Lot 43 on LN1499 & Lot 1 on CP848924)	Material Change of Use for Outdoor Sales (Caravan and Recreational Vehicle Sales)	D19-2022
2 June 2023	150 Port Curtis Road, Port Curtis (Lot 3 on LN1187)	Material Change of Use for Medium Impact Industry (Industrial Spray-painting Facility) and Building Works Assessable against the Planning Scheme (Industrial Spray-Painting Facility)	D23-2023
21 June 2023	452-488 Yaamba Road, Norman Gardens (Lot 25 on RP610513)	Material Change of Use for Shopping Centre, Showroom and Multiple Dwellings (12 Townhouses)	D77-2022
27 June 2023	1018-1038 Yaamba road, Parkhurst (Lot 81 on SP300144)	Material Change of Use for Service Station, Reconfiguring a Lot (one lot into two lots and access easements) and Operational Works for Advertising Devices (Pylon Sign x 1, Wall Sign x 2 and Canopy Sign x 3)	D25-2020
18 July 2023	227 Somerset Road, Gracemere (Lot 1 on RP609889)	Material Change of Use for Non-Resident Workforce Accommodation	D34-2021
18 July 2023	304 Quay Street, Rockhampton City (Lot 1 on RP608441)	Material Change of Use for Special Industry (Microbrewery, Hotel and Shop)	D2-2023

Editor's note—This schedule must include details of:

- (1) development approvals that are substantially inconsistent with the planning scheme;
- (2) variation approvals; and
- (3) decisions agreeing to a superseded planning scheme request to apply to a superseded scheme to a particular development.

SC4.2 Notation of resolution(s) under Chapter 4, Part 2, Division 2 of the Act

Table SC4.2.1 — Notation of resolutions under Chapter 4, Part 2, Division 2 of the Act

Date of resolution	Date of effect	Details	Contact information
12 August 2014	25 August 2014	Adopted Infrastructure Charges Resolution (No. 4) 2014	Available on Council's website, or by calling 1300 22 55 77

28 September 2015	28 September 2015	Adopted Infrastructure Charges Resolution (No. 5) 2015	Available on Council's website, or by calling 1300 22 55 77
25 January 2022	1 July 2022	Charges Resolution No.1 of 2022	Available on Council's website, or by calling 1300 22 55 77

Editor's note—This schedule should provide details regarding the adopted infrastructure charges for the local government and where a copy of the adopted charges can be obtained, including a link to the local government website where a copy of the infrastructure charges resolution can be viewed or downloaded.

SC4.3 Notation of registration for urban encroachment provisions under section 267 of the Act

Table SC4.3.1 — Notation of registrations made under section 267 of the Act

Date of registration of the premises	Date of effect	Details	Contact information

Schedule 5 Designation of premises for development

Table SC5.1 — Designation of premises for development of infrastructure under section 42 of the Act

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
PRE- 2008:			
8/09/2000	RP612339/1 RP612339/2	2-78 Canning Street, The Range QLD 4700	(h) hospitals and associated institutions: Rockhampton Hospital.
<p>Designation matters: Designation details number: 169 Effective: 8/09/2000 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
30/04/1999	LN1609/207	25 Yeppoon Road, Parkhurst QLD 4702	(s) any other facility not mentioned in paragraphs (a) to (r) and intended primarily to accommodate government functions: Department of Primary Industries – Central Office.
<p>Designation matters: Designation details number: 226 Effective: 30/04/1999 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
11/05/2001	SP104414/2	163-171 Robinson Street, Frenchville QLD 4701	(s) any other facility not in (a) to (r) and intended to accommodate government functions: North Rockhampton Police Station
<p>Designation matters: Designation details number: Unknown Effective: 11/05/2001 Designation method: Ministerial designation Designation status: Current Designation requirements: Unknown</p>			
POST 15 MARCH 2008:			
22/08/2008	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland	Various – refer to table gazetted in Queensland Government Gazette No. 116 on 22/08/2008	(k) operating works under the <i>Electricity Act 1994</i> : Powerlink Queensland's proposed Bouldercombe to

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
	Government Gazette No. 116 on 22/08/2008		Pandoin 132 KV transmission line, Pandoin Substation and upgraded Bouldercombe Substation.
<p>Designation matters: Designation details number: 613 Effective: 22/08/2008 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
07/08/2009	RP606218/25	214 Richardson Road, Park Avenue QLD 4701	(r) storage and works depot and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure): A mechanical workshop for plant, equipment and vehicles used by the Department Transport and Main Roads as well as other government departments in the central Queensland area; office accommodation for various groups of staff who work on roads; storage of supplies used in road making activities; and a laboratory for testing of soil, asphalt and other raw road making material.
<p>Designation matters: Designation details number: 665 Effective: 07/08/2009 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
02/09/2011	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland	Various – refer to table gazetted in Queensland Government Gazette No. 3 on 02/09/2011	(11) operating works under the <i>Electricity Act 1994</i> : Banana Shire Council and Rockhampton

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
	Government Gazette No. 3 on 02/09/2011		Regional Council – see Gazette notice.
<p>Designation matters: Designation details number: 767 Effective: 02/09/2011 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
26/08/2011	The land consists of a corridor of easements and areas of land described in the table gazetted in Queensland Government Gazette No. 122 on 26/08/2011	Various – refer to table gazetted in Queensland Government Gazette No. 122 on 26/08/2011	(11) operating works under the <i>Electricity Act 1994</i> : A new 10.2km 132kV single circuit concrete pole transmission line from the Stanwell Substation to the proposed Queensland Rail National Wycarbah Substation.
<p>Designation matters: Designation details number: 768 Effective: 26/08/2011 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
20/07/2012	CP888751/239	128 Berserker Street, Berserker QLD 4701	(4) community and cultural facilities, including facilities where a child-care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries; (6) education facilities; and (15) storage and works depots and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure Berserker Street State School and Rockhampton Children and Family Centre.
<p>Designation matters: Designation details number: 818 Effective: 20/07/2012</p>			

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
<p>Designation method: Ministerial designation Designation status: Current – re-affirms the current use of the land and facilitates future development of the site for its given purposes Designation requirements: NO, designation <u>does not</u> include requirements about the works or use of the land for the community infrastructure</p>			
16/08/2013	LN1929/196	55 Johnson Road, Gracemere QLD 4702	(4) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National Law (Queensland) is operated or a child care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries; (6) education facilities; and (15) storage and works depot and the like including administrative facilities associated with the provision or maintenance of the following community infrastructure; Waraburra State School and Kindergarten and associated facilities
<p>Designation matters: Designation details number: 860 Effective: 16/08/2013 Designation method: Ministerial designation Designation status: Current Designation requirements: NO, designation does not include requirements about the works or use of the land for the community infrastructure</p>			
<u>07/07/2017</u>	<u>R26334/7</u> <u>RP602438/10</u> <u>RP602438/11</u>	<u>91-115 William Street, Rockhampton City QLD 4700</u>	4) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National Law (Queensland) is operated or a child care service under the <i>Child Care Act 2002</i> is conducted, community centres, meeting halls, galleries and libraries;

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
			(6) educational facilities; and (15) storage and works depots and similar facilities, including administrative facilities associated with the provision or maintenance of the following community infrastructure: Rockhampton Special School
<p>Designation matters: Designation details number: Unknown Effective: 07/07/2017 Designation method: Ministerial designation Designation status: Current Designation requirements: Unknown</p>			
<u>25/10/19</u>	The designation allows for the construction of the approximately 8.7 kilometres long levee across 58 properties as described in the table gazetted in Queensland Government Gazette No. 56 on 25/10/2019	Various – refer to table gazetted in Queensland Government Gazette No. 56 on 25/10/2019	<u>(17)</u> water cycle management infrastructure
<p>Designation matters: Designation details number: MID-0119-0321 Effective: 25/10/19 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>17/1/2020</u>	P4031/410	9 Russell Street Gracemere 4702	(8) emergency services facilities
<p>Designation matters: Designation details number: MID-1019-0378 Effective: 17/1/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>29/5/2020</u>	SP318433/10 (previously SP304742/100 RP606826/1)	11 Mason Avenue, Parkhurst, QLD, 4702	(6) educational facilities (9) facilities at which an education and care service under the Education Care Services National Law (Queensland) is operated

Date the designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street address (including the relevant local government area if the notation is outside the planning scheme area)	Type of infrastructure
			(10) facilities at which a QEC approved service under the Education and Care Services Act 2013 is operated.
<p>Designation matters: Designation details number: MID-1219-0393 Effective: 29/5/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>17/7/2020</u>	SP318492/1	12 Nuttall Street, Parkhurst (previously 607-701 Yaamba Road, Parkhurst, QLD, 4702)	(12) hospitals and health care services (19) any other facility not stated in this part that is intended mainly to accommodate government functions
<p>Designation matters: Designation details number: MID-0520-0419 Effective: 17/7/2020 Designation method: Ministerial designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			
<u>25/10/2022</u>	CP816738/1	2 Murray Street, Wandal QLD, 4700	Education (Hall State School)
<p>Designation matters: Designation details number: MID-0222-0570 Effective: 25/10/2022 Designation method: Ministerial infrastructure designation Designation status: Current Designation requirements: YES, designation <u>does</u> include requirements about the works or use of the land for the community infrastructure</p>			

Note—The Act requires a local government to note any community infrastructure designation outside and near the planning scheme area.

[Intentionally blank]

SC6 Planning scheme policies

SC6.1 Planning scheme policy index

The Table SC6.1.1 below lists all the planning scheme policies applicable to the planning scheme area.

Table SC6.1.1 — Planning scheme policy index

Planning scheme No.	Planning scheme policy title
SC6.2	Advertising devices planning scheme policy
SC6.3	Air, noise and hazard assessments planning scheme policy
SC6.4	Bicycle network planning scheme policy
SC6.5	Bushfire management planning scheme policy
SC6.6	Car parking contributions planning scheme policy
SC6.7	Coastal protection management planning scheme policy
SC6.8	Ecological assessment planning scheme policy
SC6.9	Economic impact assessment planning scheme policy
SC6.10	Flood hazard planning scheme policy
SC6.11	Geotechnical report planning scheme policy
SC6.12	Landscape design and street trees planning scheme policy
SC6.13	Local heritage planning scheme policy
SC6.14	Local parks planning scheme policy
SC6.15	Road infrastructure and hierarchy planning scheme policy
SC6.16	Scenic amenity planning scheme policy
SC6.17	Sewerage infrastructure planning scheme policy
SC6.18	Stormwater management planning scheme policy
SC6.19	Structure plan planning scheme policy
SC6.20	Waste management planning scheme policy
SC6.21	Water supply infrastructure planning scheme policy

SC6.2 Advertising devices planning scheme policy

SC6.2.1 Application

This planning scheme policy is used for all development requiring an application to Council made under the *Planning Act 2016* and the planning scheme if involving an advertising device.

SC6.2.2 Purpose

The purpose of this planning scheme policy is to:

- (1) Assist in the administration of the advertising devices code; and
- (2) Advise how to calculate maximum total sign face area under this planning scheme.

SC6.2.3 Advice for calculating maximum total sign face area

This planning scheme policy provides advice on how to calculate the maximum total sign face area for advertising devices at any given site. Compliance with the maximum total sign face area for advertising devices based on the calculation methodology stated below will assist in demonstrating that the design of the advertising device does not visually dominate the premises or streetscape.

The maximum sign face area for an advertising device at any given site is the higher of the areas calculated using the following two (2) calculation methods:

- (1) The boundary length calculation method; or
- (2) The building elevation calculation method.

Total sign face area for a premises = the sum of all sign face areas of existing advertising devices on the premises.

To establish maximum sign face area, the applicant must subtract the total sign face area to establish the remaining sign face area permitted for a premise.

For advertising devices that advertise on the front and back, the sign face area of only one side of the advertising device contributes to the total sign face area.

To remove any doubt, decorating lines, stripes and architectural trims whether illuminated or non-illuminated (that are not part of a logo, trademark, etcetera), do not form part of the calculated total sign face area.

For a site with more than one (1) tenancy or business, the maximum total sign face area is increased by twenty-five (25) per cent. For a site with more than one (1) street frontage (for example corner sites) the maximum total sign face area for each street frontage shall be calculated separately and all advertising devices shall be positioned so as to face the relevant street for which the calculation has been made. Sign face area can not be transferred from one frontage to another.

SC6.2.3.1 Boundary length calculation method

The boundary length calculation method is based on the length of the site fronting the street on which the advertising device is to be located.

Under this method the maximum sign face area is calculated as follows:

Maximum sign face area = the length of the site frontage multiplied by one (1) square metre.
Maximum sign face area – total sign face area = remaining sign face area of the premises.

Editor's note—If located on a corner site that has been truncated, measure from the point created by extending both property boundaries facing the street through each other as if there was no truncation. Should the advertising device be proposed on both frontages (e.g. curved signs) and they differ in length; an average of each frontage that the advertising device is located on is used to establish maximum sign face area.

SC6.2.3.2 Building elevation calculation method

The building elevation calculation method is based on the height and width of the building fronting the street on which the advertising device is to be located or to which the advertising device will refer to (or more specifically a business, group or organisation within the building).

Table SC6.2.3.2.1 below provides the basis for calculating the maximum sign face area for a site containing a single or multistorey building. For the purposes of Table SC6.2.3.2.1, the building width of a storey in a building is calculated by projecting the floor area of each storey onto a horizontal plane, then measuring the horizontal width of the frontage of each storey to the street frontage to which the advertising device will face. To remove any doubt, a mezzanine or partial storey is a storey for the purposes of Table SC6.2.3.2.1.

Table SC6.2.3.2.1 — Basis for calculating total sign face area for a site

Sign face area per metre of building width	Storey
1.0 square metres of sign face area per metre of building width	The ground level storey
0.5 square metres of sign face area per metre of building width	The first storey above the ground level storey
0.25 square metres of sign face area per metre of building width	For each additional storey

The manner in which the total sign face area is calculated is demonstrated using Figure SC6.2.3.2.2 and Figure SC6.2.3.2.3 below.

For a building such as that shown below in Figure SC6.2.3.2.2, the process is to look at the development in plan view and to then project the width of the building towards the street that the total sign face area is being calculated for, as shown in Figure SC6.2.3.2.3.

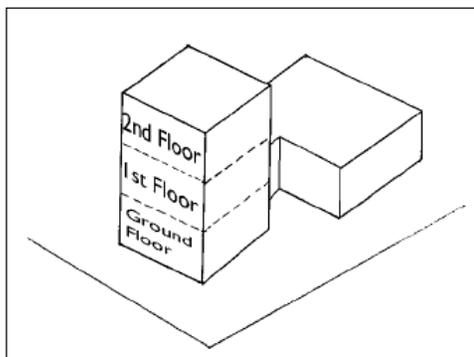


Figure SC6.2.3.2.2 — Schematic 3-D view of building for calculating total sign face area

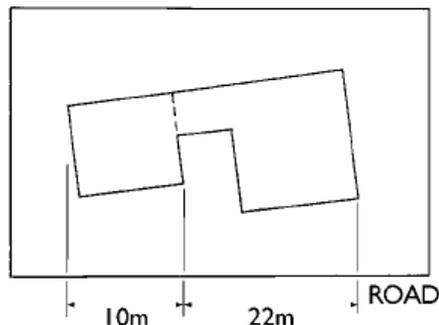


Figure SC6.2.3.2.3 — Plan view of building for calculating total sign face area

Based on Figure SC6.2.3.2.3 above, the total ground floor building width is thirty-two (32) metres, while the width for the first floor and the second floor is ten (10) metres each. Using these figures with the figures in Table SC6.2.3.2.1 above, the total sign face area for the building is:
 $(32 * 1) + (10 * 0.5) + (10 * 0.25)$ which equals 39.5 square metres.

SC6.2.3.3 Examples

Example 1: A site having a single tenant

A two storey building has a street frontage building width of 17.5 metres and is located on a lot having a site frontage to the street of thirty-two (32) metres.

By using the boundary length calculation method:

Maximum total sign face area = 32 metres * 1 square metre

Maximum total sign face area = 32 square metres

By using the building elevation calculation method:

Maximum total sign face area = (17.5 metres * 1 square metre) for the ground floor
+ (17.5 metres * 0.5 square metres) for the first floor

Maximum total sign face area = 26.25 square metres

In this example the boundary length calculation method would be used to determine the maximum total sign face area for the site.

Example 2: A site having multiple advertising devices when using the boundary length calculation method

The premise already has two (2) existing signs and a third advertising device is proposed.

By using the boundary length calculation method:

Existing sign 1 = 12.5 square metres

Existing sign 2 = 3 square metres

Total sign face area = 12.5 + 3 = 15.5 square metres

Boundary length = 40m

$40 \times 1 = 40\text{m}$ square metres (maximum sign face area)

maximum sign face area – total sign face area

40 square metres – 15.5 square metres = 24.5 square metres

Therefore the maximum sign face area for proposed new sign 3 is 24.5 square metres. Refer to Figure SC6.2.3.3.1 for guidance.

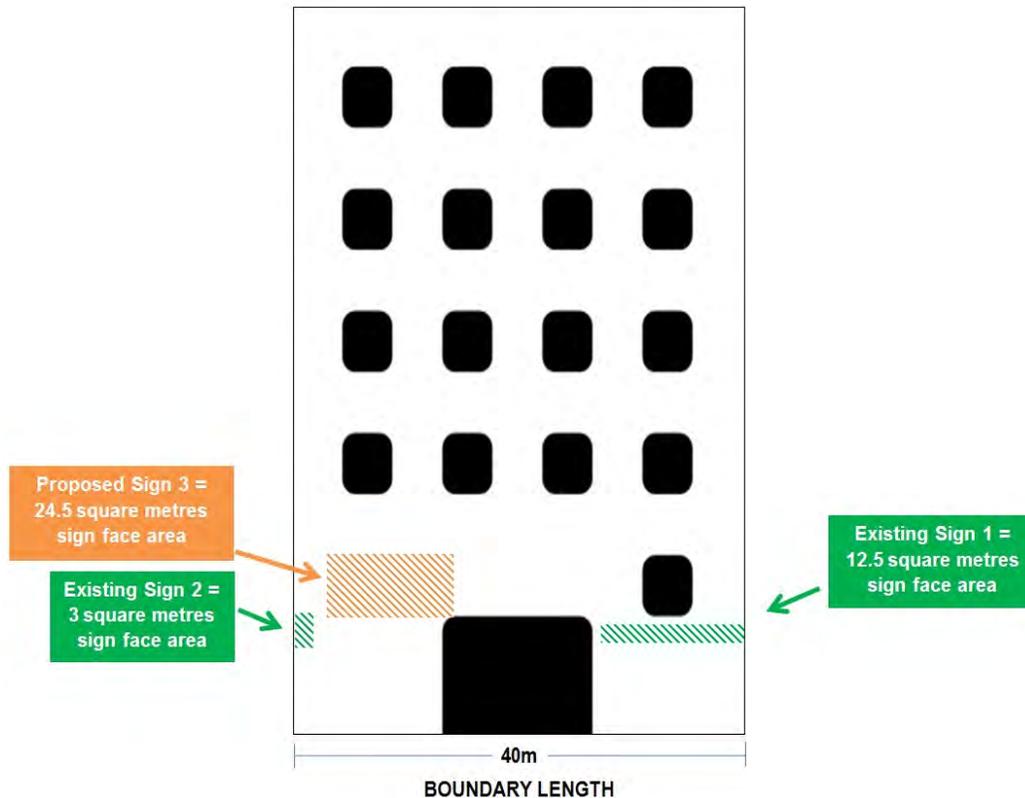


Figure SC6.2.3.3.1 — Front view of building for calculating total sign face area

Example 3: A site having multiple tenants

A site has a frontage of twenty (20) metres and multiple tenancies.

By using the boundary length calculation method:

Total sign face area = 20 metres * 1 square metre

Total sign face area = 20 square metres

Total sign face area = 20 square metres * 1.25 (25 per cent increase allowable)

Total sign face area = 25 square metres

SC6.2.3.4 Advertising on the face of a building where the building face does not adjoin a street

Where a building is visible from a nearby street but does not front or have direct access to that street, the building may contain advertising devices which are visible to the street. The maximum total sign face area for an advertising device is to be calculated using the building elevation calculation method identified in Figure SC6.2.3.2.2, with the width calculations being based only on the floors of the building visible from the street.

SC6.3 Air, noise and hazard assessments planning scheme policy

SC6.3.1 Air impact assessment requirements

SC6.3.1.1 Application

- (1) This planning scheme policy is used to provide methodologies for assessing the impacts of industrial air emissions on sensitive land use(s), typically involving the following steps:
 - (a) gathering information to make a qualitative assessment of air quality impacts;
 - (b) assessing the characteristics of the existing environment; and
 - (c) assessing the cumulative air quality impacts.
- (2) The scope of an air impact assessment should be appropriate to the scale and level of impact that a sensitive land use may be exposed to. This guideline supports a two-tiered approach to reflect the likely level of impact. The two (2) tiers are:
 - (a) Tier 1 — a preliminary assessment to identify whether there is likely to be significant air quality impacts and if further assessment is required; and
 - (b) Tier 2 — a largely quantitative assessment with increased complexity in modelling and reliance on site-specific data.

SC6.3.1.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking an air impact assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses, or within a special management area; or
- (2) proposed industrial uses that are to be located near existing, or future sensitive land use(s).

SC6.3.1.2.1 Tier 1 assessment

The Tier 1 assessment is a qualitative assessment. The purpose of this assessment is to identify and scope the key issues and determine if further assessment is required.

A Tier 1 assessment should involve:

- (1) A description of the surrounding environment, as well as the nature and scale of any surrounding industry uses, focussing on the following:
 - (a) the proximity of the proposed development to industry uses;
 - (b) whether surrounding industry uses will release air emissions as part of manufacturing processes;
 - (c) the types of emissions that are likely to be released from the surrounding industrial land uses;
 - (d) the physical geography of the receiving environment; and
 - (e) the types of industry uses that may be supported by this planning scheme or regional plan.
- (2) A qualitative description of the potential effects, taking into account the emissions and the receiving environment. This should include consideration of the air quality objectives in the *Environmental Protection (Air) Policy 2019*, or where an emission does not have a relevant air quality objective, any other objective in a relevant national or international standard (for example, the World Health Organization Air Quality Guidelines 2005).
- (3) Further air impact assessment under Tier 2 is not required if:
 - (a) there are no actual or potential air emissions (like the air quality indicators listed in the *Environmental Protection (Air) Policy 2019*) released by surrounding industrial land uses; and
 - (b) actual or potential discharges to the air from surrounding or likely industry uses are considered to be well below the air quality objectives in the *Environmental Protection (Air) Policy 2019* or other relevant objective.

SC6.3.1.2.2 Tier 2 assessment

The purpose of a Tier 2 assessment is to undertake dispersion modelling to predict the likely ground level concentrations that a proposed sensitive land use may be exposed to.

A Tier 2 assessment should:

- (1) After consideration of the information gathered in Tier 1 assessment, identify all industries or future industries that may result in air emissions.
- (2) Describe the potential damaging/emergency conditions from those industries identified in Step 1.
- (3) Undertake dispersion modelling to estimate the ground level air concentrations. This modelling should take into account potential damaging/emergency conditions and be carried out by an appropriate method. Specifically this should include consideration of the following elements:
 - (a) emissions inventory;
 - (b) meteorological data;
 - (c) background air quality, terrain, sensitive receptors and building wake effects;
 - (d) dispersion modelling; and
 - (e) interpretation of dispersion modelling results.

An example of an appropriate method is the Approved Methods for the Modelling and Assessment of Air Pollutants in New South Wales prepared by the Department of Environment and Conservation.

Editor's note—The modelled ground level concentrations should be compared against the air quality objectives in the *Environmental Protection (Air) Policy 2019* or in the absence of an air quality objective, any relevant national or international objective (for example, the World Health Organisation Air Quality Guidelines 2005).

SC6.3.2 Noise impact assessment requirements

SC6.3.2.1 Application

This planning scheme policy is used to provide a methodology for assessing the noise impacts from industry uses on sensitive land use(s).

SC6.3.2.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking a noise impact assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses, or within a special management area; or
- (2) proposed industry uses that are to be located near existing or future sensitive land use(s).

SC6.3.2.3 Requirements

A noise impact assessment should, at a minimum, include the following:

- (1) Description of the project and the surrounding environment:
 - (a) A description of the proposed sensitive land use or proposed industry uses;
 - (b) A description of the types of industries supported by this planning scheme instrument that may impact on sensitive land use(s);
 - (c) A site plan showing:
 - (i) the location of the proposed sensitive land use or industry uses;
 - (ii) the location of surrounding noise generating industries or sensitive land use(s);
 - (iii) any other existing or proposed structures likely to affect the transmission of noise, including, but not limited to, buildings, barriers, walls and fences; and
 - (iv) any earth mounding, cuttings or other significant topographical features;
 - (d) A description about the nature of the surrounding industrial land uses, including:
 - (i) their general hours of operation;
 - (ii) whether manufacturing and processing is undertaken indoors or outdoors;
 - (iii) allowable hours of operation in this planning scheme; and

- (iv) the type of noise (for example intermittent, ongoing); and
 - (e) A description of the relevant acoustic quality objectives in the *Environmental Protection (Noise) Policy 2008*.
- (2) Measurement:
- (a) A background sound level should be used that adequately anticipates the background sound from existing and potential industries or from a developed industrial area of the same size and nature. The Australian Standard AS 1055.3-2018 — Acoustics – Description and measurement of environmental noise part 3: Acquisition of data pertinent to land use provides an example of how this can be achieved;
 - (b) Instrumentation should be set up and operated to provide an adequate and representative measure of the impacts that will be experienced at the most sensitive locations of the proposed development. The Australian Standard AS 1055.3-2018 — Acoustics – Description and measurement of environmental noise part 3: General procedures provide an example of how this can be achieved. Documentation of noise monitoring equipment and procedures, including:
 - (i) location of noise monitors, including distance to noise emitting sources;
 - (ii) site photographs identifying the noise monitor(s) and its position;
 - (iii) type of instrument used; and
 - (iv) results of field calibration checks;
 - (c) Documentation of noise monitoring results, including:
 - (i) sample times and measurement intervals (both attended and unattended);
 - (ii) weather conditions during measurement, including wind speed, wind direction and rainfall;
 - (iii) adjustments for nearby reflecting surfaces;
 - (iv) a table summarising the measured noise levels; and
 - (v) methodology for determining existing noise levels.
- (3) Conclusion:
- (a) The conclusion should include a description about:
 - (i) the current industry noise impacts;
 - (ii) forecast noise impacts from the proposed development;
 - (iii) proposed mitigation measures; and
 - (iv) discussion of the likely effectiveness in achieving the objectives in the *Environmental Protection (Noise) Policy 2019*.
 - (b) This will include:
 - (i) an explanation of noise mitigation measures used to achieve the indoor noise objectives of the *Environmental Protection (Noise) Policy 2008*; and
 - (ii) a statement of limitation of noise mitigation treatments and, if applicable, explanation of why some treatments may not be reasonable, feasible or cost effective.

SC6.3.3 Hazard and risk assessment requirements for industrial uses

SC6.3.3.1 Application

This planning scheme policy is used to assist in undertaking a hazard and risk assessment of the impact of industry uses on sensitive land use(s).

SC6.3.3.2 Purpose

The purpose of this planning scheme policy is to provide an assessment methodology for undertaking a hazard and risk assessment for either:

- (1) sensitive land use(s) that are proposed near existing or future industry uses; or
- (2) proposed industry uses that are to be located near existing or future sensitive land use(s).

For the purpose of a hazard and risk assessment, hazard and risk are defined as the following:

- (1) Hazard — a situation or an intrinsic property with the potential to cause harm to people, property or the environment; and
- (2) Risk — the likelihood of a level of harm occurring from a hazard.

The basis for a hazard and risk assessment is that within society there are risks that are considered tolerable. For example, driving, rock climbing and playing a range of sports. The concept of acceptability of risk is that it should be low relative to other known and tolerated risks.

SC6.3.3.3 Preliminary hazard analysis

A preliminary hazard analysis should be undertaken as the first stage of a hazard and risk assessment. The purpose of this assessment is to determine if a full hazard and risk assessment is required.

- (1) A preliminary hazard analysis should include the following at a minimum:
 - (a) a description of the proposed sensitive land use or industry use;
 - (b) a site plan showing:
 - (i) the location of the proposed sensitive land use or industry use in relation to surrounding hazardous industries;
 - (ii) the location of all surrounding hazardous industries. This should include discussion with the Explosives Inspectorate, Safety and Health, Department of Natural Resources and Mines and the Hazardous Industries and Chemicals Branch within Workplace Health and Safety Queensland, Department of Environmental and Resource Management and the environmental health unit;
 - (c) a description of the types of industry uses that are consistent with this planning scheme. This should specifically include discussion about the potential for future hazardous industries with Council; and
 - (d) a qualitative analysis of the worst possible incident that could result from any surrounding hazardous industry. This should include consideration of the type, quantity and use of the chemicals being stored.
- (2) Where the preliminary hazard analysis demonstrates that the risk to sensitive land use(s) is low or less, a full hazard and risk analysis is not necessary. The risk is considered to be low or minor in nature if each of the following criteria is met:
 - (a) the materials or chemicals used are relatively non-hazardous for example, non-flammable or non-reactive;
 - (b) the quantities of the materials are relatively low; and
 - (c) there are no foreseeable major off-site consequences from the surrounding industries.

SC6.3.3.4 Hazard and risk analysis

A hazard and risk analysis should be undertaken after a preliminary hazard analysis has demonstrated that proposed sensitive land use or the proposed industrial use could potentially be exposed to major off-site impacts. The main quantitative criteria considered are fatality, injury, property and environmental damage.

SC6.4 Bicycle network planning scheme policy

SC6.4.1 Application

This planning scheme policy applies throughout the Rockhampton Region and will be considered when assessing development applications for material change of use and reconfiguring of lots.

SC6.4.2 Purpose

The purpose of this planning scheme policy is to:

- (1) outline a strategic network of existing and proposed on-road and off-road bicycle routes, in the form of a bicycle network;
- (2) specify standards of construction, upgrading, reservation for bikeways and bicycle facilities when development is over or adjacent to part of the bicycle network, and is considered to link with the network or is likely to attract or generate bicycle trips; and
- (3) ensure the design of new roadworks and the upgrade of existing roads in the Rockhampton region appropriately caters for bicycle movements.

SC6.4.3 Context

This planning scheme policy has been prepared to provide a mechanism for the construction of the bicycle network, in accordance with the bicycle network plan, and to ensure the provision of appropriate bikeway and bicycle facilities in new development.

Implementation of this policy will improve the physical network of bikeways in the Rockhampton region, and consequently encourage increased bicycle usage in the region by providing an alternative mode of transport to the private car.

This policy will ensure that bikeways and bicycle facilities are addressed at the planning stage of new development and accordingly provision for bikeways and facilities will be made at the earliest possible stage.

An integrated bicycle network will also:

- (1) provide an alternative mode of transport to the private vehicle and thereby reduce the associated pollution of a car dependant society;
- (2) help reduce the number of trips of private vehicles and therefore reduce traffic congestion and pressures to augment the road system in the future;
- (3) promote the Rockhampton region as a cycle friendly destination;
- (4) provide an inexpensive and efficient transport alternative;
- (5) provide an alternative choice for people who cannot or are unable to access a private vehicle; and
- (6) offer a safe, alternative recreational and healthy experience.

SC6.4.4 Development on or adjacent to the bicycle network

If development is proposed for land that is on or adjoining a proposed bikeway, as identified on the bicycle network plan, the proponent is required to give due consideration to the bicycle network and where reasonable and relevant the Council will require as a condition of approval the construction of that part of the proposed bicycle network which traverses or adjoins the subject land and provision of appropriate onsite bicycle facilities. In the event that physical or other constraints prevent the construction of that part of the proposed bicycle network, the condition may require the construction of an alternative bikeway that satisfies the intent of this Bicycle Network Planning Scheme Policy.

SC6.4.5 Provision of local bicycle network

In new residential subdivisions, in addition to addressing any relevant bikeways as identified on the bicycle network plan, the Council will require identification and construction of appropriate local bicycle networks. These local networks should provide access to schools, community facilities, parkland, shops, higher order roads and off-road connections to the Rockhampton region wide network.

In new residential subdivisions, the proposed plan of layout must identify the proposed local bicycle network and where reasonable and relevant, the construction of the local bicycle network and provision of appropriate on-site bicycle facilities will be required as a condition of approval.

SC6.4.6 Provision of bikeways on new roads and road upgrades and other infrastructure

Bicycle movements must be considered on all new roads and road upgrades in the Rockhampton region. Dedicated bikeways should be included in the design and construction of the following road types, in accordance with the local government infrastructure plan – desired standards of service:

- (1) Urban arterial roads;
- (2) Urban sub-arterial roads;
- (3) Major urban collector roads; and
- (4) Minor urban collector roads.

Safe bicycle movement should also be provided for in the design and construction of infrastructure works such as bridges, pedestrian overpasses/underpasses, local area traffic management devices and streetscape improvements.

SC6.4.7 Provision of bicycle facilities (end of trip facilities)

Appropriate bicycle parking facilities are required to be incorporated into uses likely to attract or generate significant numbers of bicycle trips.

New uses of land that are involving new building works (other than minor building works as defined in the planning scheme) are required to provide bicycle parking facilities in convenient and accessible locations to an appropriate standard that are close to entrances and exits to the site and visible to promote safety. These standards are outlined in the tables below.

Table SC6.4.7.1 — Bicycle parking facilities provision rates

Use	Required number of employee or resident parking spaces	Class	Required number of visitor or shopper parking spaces	Class
Bar	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	1	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	3
Community use for a library	1 per 500m ² GFA	2	4, plus 2 per 200m ² GFA	3
Community use - other	For an art gallery – 1 per 1,500m ² GFA For a youth club, scout hall, or similar – Nil	2	For an art gallery – 2, plus 1 per 1,500m ² GFA For a youth club, scout hall, or similar – Nil	3
Educational establishment	For primary and secondary schools – 1 per 5 students over year 4 For a tertiary school – 1 per 100 part time students and 2 per 100 full time students	2	Nil	N/A
Emergency services	Nil	2	Nil	N/A
Food and drink outlet	1 per 100m ² GFA	1 or 2	For a restaurant – 2 For a take-away store – 1 per 50m ² GFA	3
Health care service	1 per 400m ² GFA	1 or 2	1 per 200m ²	3
High impact industry	1 per 150m ² GFA	2	Nil	N/A
Hotel	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	1	1 per 25m ² bar floor area and 1 per 100m ² lounge, beer garden floor area	3
Indoor sport and recreation	1 per 4 employees	2	For an amusement gaming parlour 2 plus 1 per 50m ² GFA All others – 1 per 200m ² GFA	3
Low impact industry	1 per 1,000m ² GFA	2	Nil	N/A
Major sport, recreation and entertainment facility	1 per 1,500 spectator seats	1 or 2	1 per 250 spectator seats	3
Market	Nil	N/A	1 per 10 stalls	3
Medium impact industry	1 per 150m ² GFA	2	Nil	N/A
Multiple dwelling	1 per 3 dwellings	1	1 per 12 dwellings	3

Use	Required number of employee or resident parking spaces	Class	Required number of visitor or shopper parking spaces	Class
Non-resident workforce accommodation	1 per 4 accommodation units or rooms	1	Nil	N/A
Office	1 per 200m ² GFA	1 or 2	Where not a bank – 1 per 750m ² GFA over 1,000m ² GFA For a bank – 2	3
Outdoor sport and recreation	Nil	N/A	For a swimming pool – 2 per 20m ² of pool area All others – Nil	3
Rooming accommodation	For a hostel or backpackers - 1 per 4 accommodation units or rooms For a boarding house – 1 per 3 accommodation units or rooms	1	For a hostel or backpackers - 1 per 16 accommodation units or rooms For a boarding house 1 per 12 accommodation units or rooms	3
Shop	1 per 300m ² GFA	1 or 2	1 per 500m ² GFA over 1,000m ² GFA	3
Shopping centre	1 per 300m ² GFA	1	1 per 500m ² GFA	3
Short-term accommodation	1 per 40 accommodation units or rooms	1	Nil	N/A
Showroom	1 per 750m ² GFA	1 or 2	1 per 1,000m ² GFA	3
Warehouse	1 per 1,000m ² GFA	2	Nil	N/A
Any other use not specified in this table	Nil	N/A	Nil	N/A

Table SC6.4.7.2 — Classification of bicycle facilities

Class	Security level	Description	Duration of parking	Main user type
1	High	Fully enclosed individual locker	All day and night	Bike and ride commuters
2	Medium	Lockable enclose, shelter or compound fitted with class 3 facilities where the cyclist is responsible for locking the bicycle within the communal enclosure	All day	Employees, students, and bike and ride commuters
3	Low	Bicycle rails or racks to which both the bicycle frame and wheels can be locked	Short to medium term	Shoppers, visitors, and employees of workplaces where security supervision of the facility is provided

SC6.4.8 Cycleway planning standards

The Austroads Guide to Road Design-Part 6A (Pedestrian and Cyclist Paths) and the 'Cycling Aspects of Austroads Guides' (a summation of all aspects of cycling in Austroads) – set out guidelines for on-road and off-road cycle ways. The following are based on the above guides, and are recommended as suitable for application in Rockhampton for cycleway planning standards.

SC6.4.8.1 On-road cycleways (including arterial routes)

Table SC6.4.8.1.1 — Exclusive bicycle lane/sealed shoulder

Road posted speed limit (km/h)	Lane width (m)		
	60	80	100
Desirable	1.5	2	2.5
Acceptable range	1.2 - 2.5	1.8 - 2.7	2.0 - 3.0

Table SC6.4.8.1.2 — Wide kerbside lane

Road posted speed limit (km/h)	Lane width (m)	
	60	80
Desirable	4.2	4.5
Acceptable range	3.7 - 4.5	4.3 - 5.0

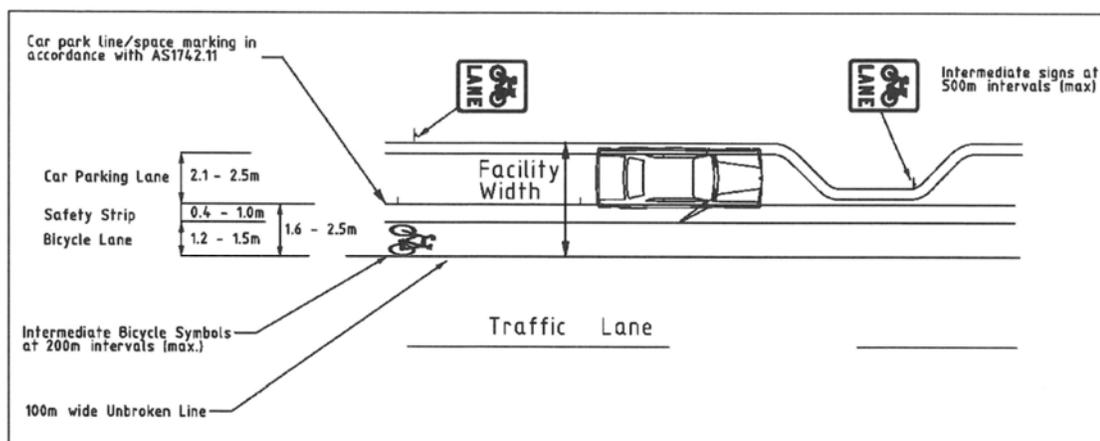
Editor's note—While a 'Wide Kerbside Lane' may be permissible at posted speeds of 80km/h, it is Council's preference to use an exclusive bicycle lane in this situation.

Shared bicycle/car parking lanes

Bicycle/car parking lanes should be used where there is a demand for parking and the street widths are relatively wide. It is important that all users of the road be accommodated and that there is adequate room for the parked vehicle to have an opened door (for access and egress) and the cyclist is able to safely pass.

Table SC6.4.8.1.3 — With parallel parking

Road posted speed limit (km/h)	Overall facility width (m)	
	60	80
Desirable	4.0	4.5
Acceptable range	3.7 - 4.5	4.0 - 4.7



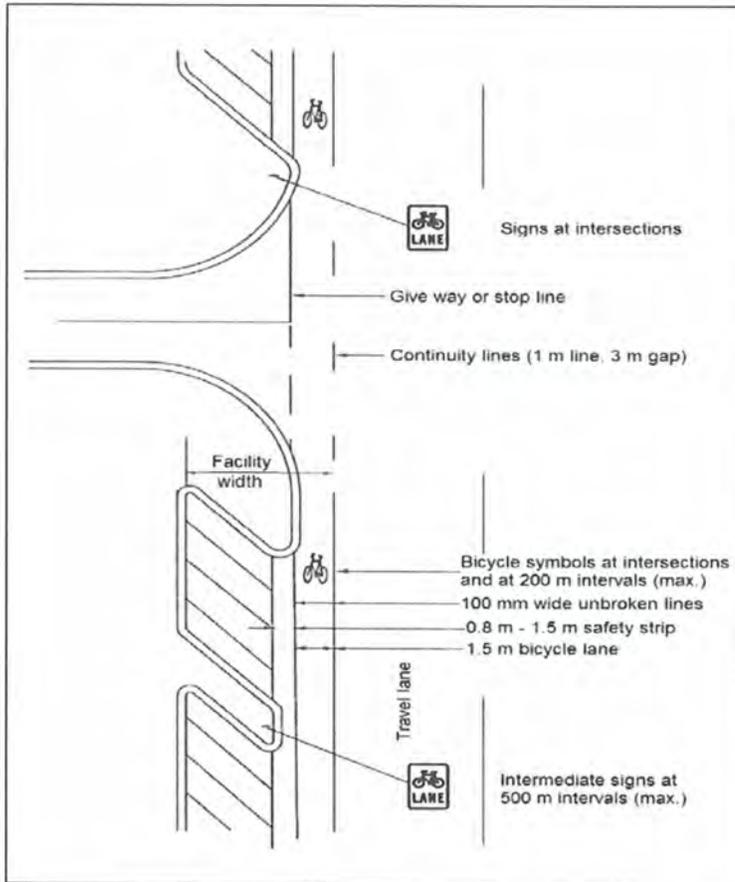
Source: Austroads (2010b) Figure 4.27.

Figure SC6.4.8.1.4 — Typical bicycle/car parking lanes layout – parallel parking

Table SC6.4.8.1.5 — With angle parking

Parking angle (degrees)	Overall facility width (m)		
	45	60	90
Desirable	7.3	7.6	8.0
Acceptable range	7.1 - 7.8	7.4 - 8.1	7.8 - 8.5

All dimensions stated are allowing for a 0.6 metre overhang of the parked vehicle to a low obstacle (kerb and channel) if this is not possible then 0.6 metre must be added the overall facility width.



Source: Austroads (2010b) Figure 4.28.

Figure SC6.4.8.1.6 — Typical bicycle/car parking lanes layout – angle parking

SC6.4.8.2 Off-road cycleways

Where the areas beside the path are relatively flat a lateral clearance of at least one (1) metre (0.5 metre absolute minimum) should be provided between the edge of the path and the obstacle. However, on high-speed paths it is desirable to have clearances of more than one (1) metre.

Where there is a vertical drop or steep batter beside the path then a partial barrier fence may need to be provided as per the Austroads standards.

Table SC6.4.8.2.1 — Shared paths

	Path width (m)		
	Local access	Commuter path	Recreational path
Desirable	2.5	3.0	3.5
Acceptable range	2.5 - 3.0	2.5 - 4.0	3.0 - 4.0

Table SC6.4.8.2.2 — Bicycle paths

	Path width (m)	
	Local access	Major path
Desirable	2.5	3.0
Acceptable range	2.5 - 3.0	2.5 - 4.0

SC6.5 Bushfire management planning scheme policy

SC6.5.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by the bushfire hazard overlay map OM-4 and the bushfire hazard overlay code where:

- (1) a bushfire mapping reliability assessment is required; or
- (2) the development application cannot meet all the requirements of the bushfire hazard overlay code and a bushfire management plan is required.

SC6.5.2 Purpose

The purpose of this planning scheme policy is to:

- (1) define how to conduct a bushfire mapping reliability assessment where the reliability of the bushfire hazard overlay map OM-4 is in question;
- (2) define when a bushfire management plan is required and to provide guidance on how to minimise bushfire risk by addressing the items required for a bushfire management plan; and
- (3) provide other information to further mitigate the risk of bushfire on development, such as the application of appropriate building siting, road and lot layout, landscaping and buffer zones.

SC6.5.3 Bushfire mapping reliability assessment

Bushfire hazard mapping is prepared by the Queensland Government, and a simplified version of the methodology used to prepare this mapping is provided below:

Step 1

Vegetation hazard classes and potential fuel loads are calculated based on a combination of regional ecosystem maps, foliage project cover maps, land use maps, water body maps and tree plantation maps.

Step 2

Slope maps are created from a twenty-five (25) metre resolution digital terrain model by calculation the maximum slope (in degrees) from the central pixel in a group of nine by nine cells to the eight adjoining cells in that group.

Step 3

Creation of potential severe fire weather maps.

Step 4

Creation of potential fireline intensity maps by using the above three inputs.

Step 5

Creation of potential bushfire intensity maps.

Step 6

Completion of a reliability assessment.

Council recognises that the accuracy of the bushfire mapping will continue to be improved over time. This may be due to land use changes such as clearing, or due to the currency of the underlying layers such as vegetation classifications. If applicants do not agree with the accuracy of the bushfire hazard mapping they can undertake a reliability assessment of the bushfire hazard mapping and provide this information to Council. The methodology for undertaking a bushfire mapping reliability assessment and the information required to support the outcome is contained in State Planning Policy - State interest guideline – Natural hazards, risk and resilience.

SC6.5.4 Bushfire management plans

- (1) The bushfire management plan identifies strategies for mitigating the impacts of bushfire on life, property and the environment. This includes identifying specific risk factors associated with the development, planning for the separation of at-risk elements and potential hazards and providing access and treatments to facilitate an effective response to bushfire.
- (2) The bushfire management plan is prepared by a suitably qualified professional person with appropriate technical expertise in the identification and mitigation of bushfire hazard.
- (3) At a minimum, Queensland Fire and Emergency Services and/or responsible rural fire brigades and managers of adjacent parks or reserves should be consulted. It is also desirable to consult with other agencies or individuals, such as the previous owners of the land or neighbours, who may have local knowledge of the severity and nature of the bushfire hazard.
- (4) A bushfire management plan:
 - (a) includes a risk assessment of the nature and severity of the bushfire hazard affecting the site, including the Bushfire Attack Level (BAL)⁴ rating and other relevant factors as detailed below;
 - (b) addresses other site specific factors that are important in devising suitable bushfire mitigation strategies. These factors could include matters such as:
 - (i) likely direction of bushfire attack;
 - (ii) environmental values that may limit mitigation options;
 - (iii) locations of evacuation routes and/or safety zones; and
 - (iv) identification of the risks on site and from nearby sites;
 - (c) assesses the specific risk factors associated with the development proposal, including matters such as:
 - (i) the intended future population size and characteristics including exposure, tolerability and vulnerability;
 - (ii) the likely usage patterns on the site;
 - (iii) the estimated traffic generation;
 - (iv) the nature of activities and materials to be conducted/stored on the premises;
 - (v) the use of the site for emergency services or disaster response purposes;
 - (vi) the total extent of clearing, revegetation and landscaping proposed for the site, which is to be indicated on a site plan; and
 - (vii) warning and/or evacuation requirements;
 - (d) addresses mitigation measures identified for the development that addresses major factors in bushfire attack, including embers and burning debris, radiant heat, direct flame contact and wind;
 - (e) addresses each of the performance and acceptable outcomes in the bushfire hazard overlay code and recommends mitigation actions for the proposed development including:
 - (i) road and lot layout for reconfiguration;
 - (ii) site layout including identification of proposed locations of buildings or building protection zones;
 - (iii) fire trails and fire breaks;
 - (iv) accessways, driveways and evacuation routes;
 - (v) appropriate land uses;
 - (vi) warning and evacuation procedures, plans and routes including capability of public roads especially perimeter roads and traffic management treatments and responsibility for their maintenance;
 - (vii) fire resistant landscaping, fuel reduction areas and buffers;
 - (viii) fire fighting requirements including infrastructure and water supply;
 - (ix) any other specific measures such as external sprinkler systems and alarms; and
 - (x) ongoing purchaser or resident education and awareness programs.

⁴ Determination of the Bushfire Attack Level is a requirement under the National Construction Code and is calculated in accordance with the methodology described in Australian Standard AS3959 Construction of buildings in bushfire-prone areas.

SC6.5.5 Bushfire hazard mitigation options

SC6.5.5.1 Building siting and building location envelope

- (1) The way a building is sited on land is a basic factor influencing the ability to protect people and property. As the pattern of fires is predictable, it is possible to determine the most favourable areas to minimise impacts. For example:
 - (a) check data about previous fires in the area to determine the possible directions a fire would travel;
 - (b) be aware that most bushfires occur during dry conditions, particularly in hot temperatures and low humidity, and are often accompanied by strong winds;
 - (c) remember fires accelerate going up-hill and decrease in speed travelling down-hill;
 - (d) hanging a building out over the hazard will increase the risk, such as a pole house with timber decks will be much more exposed than one set into the slope;
 - (e) siting the structures down-hill from the hazard reduces the risk; and
 - (f) setbacks are still necessary to avoid falling trees and debris rolling down-hill.
- (2) There are two (2) key principles to be considered in siting a building in a bushfire hazard area:
 - (a) avoiding higher risk situations, particularly locations with a combination of slope and certain aspects; and
 - (b) maximising the setbacks from hazardous vegetation.
- (3) On larger lots it may be possible to site buildings in an area depicted on bushfire hazard assessment maps as being subject to a lower bushfire risk.
- (4) Irrespective of the hazard severity, combinations of slope and aspect on individual sites should be considered. Figure SC6.5.5.1.1 illustrates the relative bushfire safety of building site locations based on slope and aspect considerations.

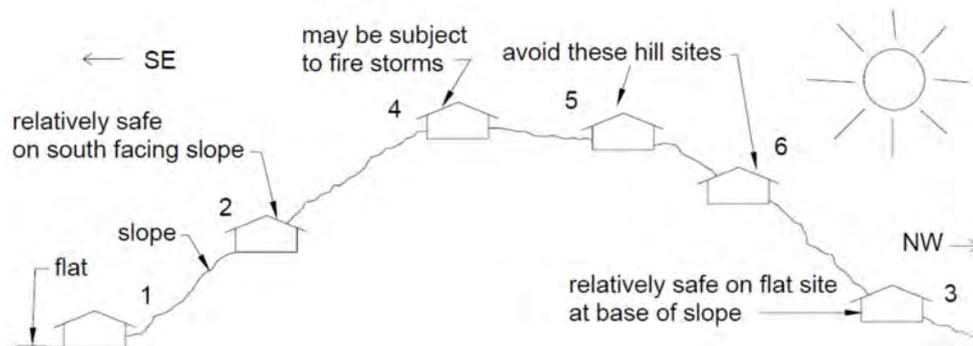


Figure SC6.5.5.1.1 — Bushfire safety based on slope and orientation

Editor's note—House sites numbered in order of degree of fire safety, 1 being the safest and 6 being the most hazardous.

- (5) The order of preference is low flat sites, sites set into southerly or south-east slopes and sites at the bottom of more exposed west and north-west slopes. The most dangerous sites being on or at the top of west or north-west slopes. Building sites should also avoid the head of gullies with westerly aspects, because fire winds funnel up such sites.
- (6) Although fires may tend to come from a particular direction, local variations are always likely and protection for the southern and eastern side of developments must never be overlooked.
- (7) Siting should also:
 - (a) avoid ridge tops;
 - (b) avoid steep slopes, particularly upper slopes and narrow ridge crests;
 - (c) avoid locations where adequate fuel reduction areas and buffers can not be provided within the property;

- (d) locate buildings where vehicular access from two directions can be provided away from identified hazard areas wherever possible;
- (e) build on level ground wherever possible;
- (f) incorporate cut-in benches rather than elevated or above fill, where buildings must be constructed on sloping land;
- (g) avoid raised floors in preference to concrete slabs;
- (h) keep services underground, particularly electricity;
- (i) locate on-site water storage near buildings; and
- (j) locate the building near the property entrance for easier access, or egress, refer to Figure SC6.5.5.1.2.

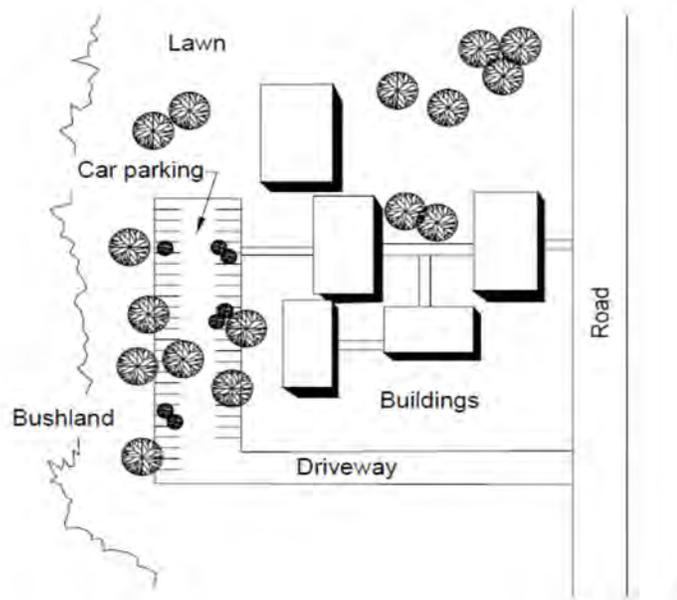


Figure SC6.5.5.1.2 — Preferred site layout

Editor's note—Consideration should be given to placing least susceptible land uses closer to the likely direction of fire.

- (8) Development envelopes should be sited in the same manner to the above; and
- (9) Development envelope shape and size is designed to allow for the allocation of fuel reduction areas and buffers to assets within the building envelopes.

SC6.5.5.2 Road and lot layout

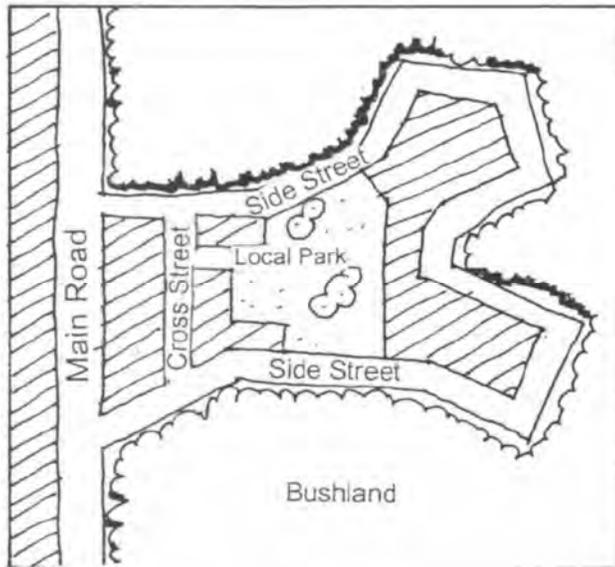


Figure SC6.5.5.2.1 — Preferred road layout in and adjoining bushfire hazard areas

Editor's note—Acceptable perimeter road system provides separation between hazard and assets, access for fire fighters, and two directions for evacuation.

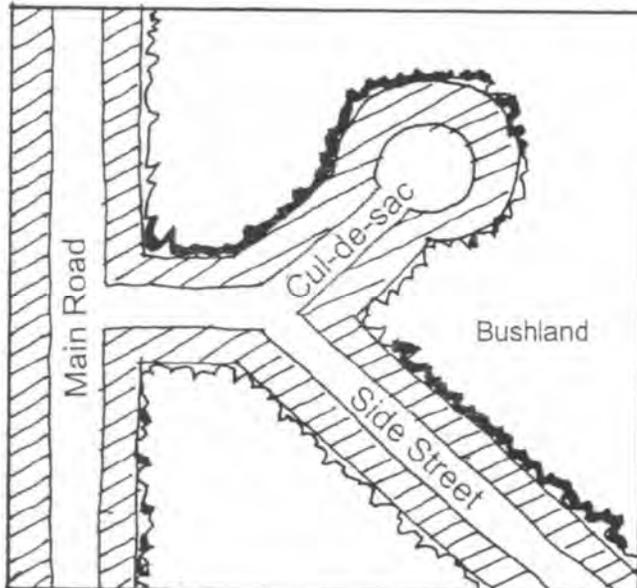


Figure SC6.5.5.2.2 — Unacceptable road layout in and adjoining bushfire hazard areas

SC6.5.5.3 Construction of buildings in bushfire hazard areas

- (1) Building design can have a significant impact on the likelihood of damage occurring due to bushfire.
- (2) Construction standards dependent on the Bushfire Attack Level are contained in the Australian Standard AS 3959:2018 — Construction of Buildings in Bushfire Prone Areas. Development in bushfire hazard overlay areas must be constructed to this standard.

SC6.5.5.4 Landscaping

- (1) Landscaping should be designed to assist in creation of buffers and fuel reduction areas. Fuel reduction areas require the gradual removal of fuel between a development and a hazard and are located to provide:
 - (a) areas of reduced fuel to slow advancing fire;
 - (b) adequate access for fire fighting and other emergency vehicles; and
 - (c) for the retention of environmental values.
- (2) Consideration should be given to surrounding isolated buildings with a wide driveway or paths of gravel, concrete, pavers etcetera or mown areas.
- (3) Landscaping, particularly using mulch, adjacent to buildings can facilitate spot fires.
- (4) Low flammability plant species indigenous to the planning scheme area should be used.

SC6.5.5.5 Buffers

- (1) Barriers and buffer zones around buildings will assist in slowing bushfire. Barriers may include planting suitable trees, vegetation and building permanent barriers such as low stone or masonry walls. These barriers or buffers assist in protecting buildings from possible attack by burning debris, heat radiation and direct flame contact.
- (2) Between the barriers and buildings, a 'buffer zone' (approximately twenty (20) metres minimum) is created by reducing the number of combustible items, refer to Figure SC6.5.5.5.1. This means that if burning debris passes through the barriers, there is minimal opportunity to create further outbreaks and provides an opportunity to put out spot fires. The buffer zone comprises of two (2) areas being the:
 - (a) Inner area: should consist of a ten (10) metre wide zone that is directly adjacent to the main development being protected. This area should be able to be easily maintained to be free of litter, and may be paved or concreted, gravel or lawn. The performance of the inner area must be such that:
 - (i) there is minimal fine fuel at ground level which could be set alight by a bushfire; and
 - (ii) woodpiles, wooden sheds, combustible material storage areas, large areas/quantities of garden mulch, stacked flammable building materials etcetera are not located in the inner area.
 - (b) Outer area: is also a ten (10) metre wide zone. In this area shrubs may be planted but not under trees and trees and shrubs may be retained or planted in a manner that ensures there will be no continuous canopy across or into a site. The presence of a few shrubs or trees in the outer area is acceptable provided that they:
 - (i) do not touch or overhang the building;
 - (ii) are well spread out and do not form a continuous canopy;
 - (iii) are not species that retain dead material or deposit excessive quantities of ground fuel in a short period or in a danger period; and
 - (iv) are located far enough away from the house so that they will not ignite the house by direct flame contact or radiant heat emission.
- (3) Consideration should be given to providing a grassed area or gravel, concrete or paved driveway in proximity to isolated buildings or mown areas.

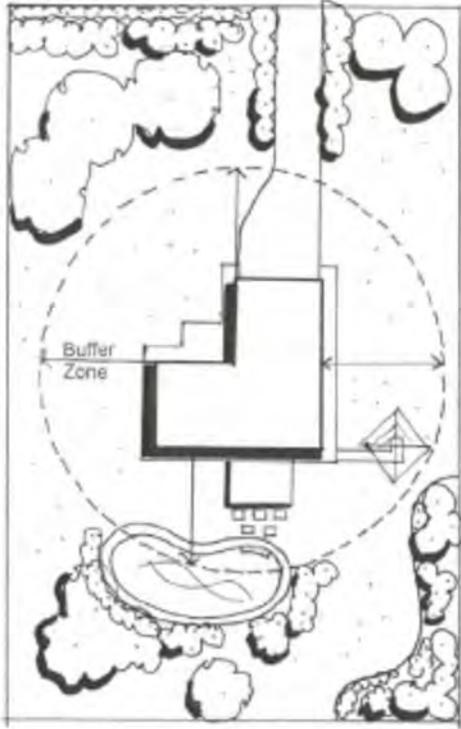


Figure SC6.5.5.5.1 — Creation of buffer zones between buildings and hazardous materials

SC6.6 Car parking contributions planning scheme policy

SC6.6.1 Application

- (1) This policy applies to non-residential development:
 - (a) identified within a contribution area as shown in Table SC6.6.4.1 — Contribution charge rates; or
 - (b) other areas as resolved by the Council from time to time.
- (2) Council will only consider applying this policy to development in the areas identified above where:
 - (a) access to the lot(s) will not be granted by the local government or State Government agencies; or
 - (b) in the opinion of the local government, it is impractical or undesirable to provide the full number of car parking spaces on-site; or
 - (c) the developer reduces the amount of on-street parking through the creation of permanent site access or other associated works; or
 - (d) a portion, or the entire car parking requirement, as specified in the access, parking and transport code:
 - (i) is not proposed to be provided on the site of the proposed development; or
 - (ii) is deemed by the local government to be inappropriate.

SC6.6.2 Purpose

The purpose of this policy is to:

- (1) prescribe those circumstances under which a developer can satisfy the relevant performance outcomes contained in the access, parking and transport code where the proposed development does not provide on-site car parking as required under the code;
- (2) provide details for the cash-in-lieu contribution rates and the procedure for determining the amount of contribution payable by agreement where the performance outcomes contained in the access, parking and transport code are to be satisfied under this policy by way of an infrastructure agreement;
- (3) state the time for payment of the cash-in-lieu contributions where the performance outcomes contained in the access, parking and transport code are to be satisfied under this policy by way of an infrastructure agreement; and
- (4) state information Council may request in relation to car parking for a development application.

SC6.6.3 General provisions

- (1) The policy does not replace a developer's obligation to provide on-site parking.
- (2) The policy adopts, as the requirement for a car parking space on a development site, the provisions of Australian Standard AS 2890: 2009 – Parking Facilities Set.
- (3) Any car parking spaces from cash-in-lieu contributions paid pursuant to an infrastructure agreement or constructed by a developer pursuant to a condition imposed under the *Planning Act 2016* shall remain available to the public and be administered by the Council.
- (4) The car parking cash-in-lieu contribution rates set forth in Table 6.6.4.1 of this policy for determining the payment are subject to review by the local government.

SC6.6.4 Procedure

- (1) Determining the number of parking spaces required:
 - (a) If a proposal provides the number of required on-site car parking spaces as described in Table 9.3.1.3.2 of the access, parking and transport code, the proposal satisfies the on-site car parking requirements and no further regard needs to be had to this policy;
 - (b) Council's assessment of the required number of car parking spaces will take into account the following considerations, among other things:
 - (i) whether there will be an adverse impact on the streetscape;

- (ii) whether the number or size of vehicles will create a traffic hazard or create on-street parking congestion; and
 - (iii) whether there will be any adverse impact on the amenity of the surrounding locality.
- (c) When assessing a development application Council may request the following information:
- (i) an empirical assessment of car parking demand in the locality;
 - (ii) a quantitative assessment of any car parking deficiencies or surplus associated with the existing use of the locality;
 - (iii) the availability of public transport in proximity to the development including an assessment of whether the public transport results in a reduced demand for parking for the development;
 - (iv) an assessment of any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;
 - (v) an assessment of the peak demand for the proposed use and whether it would be staggered with existing uses in the locality;
 - (vi) on-site movement including the location of vehicle and pedestrian ingress and egress and circulation within the site;
 - (vii) design, layout and construction standards of Australian Standard AS 2890: 2009 – Parking Facilities Set; and
 - (viii) any site specific matters considered relevant.
- (2) Following the assessment of a development application, Council may, in order to ensure the development satisfies the performance outcomes of the access, parking and transport code:
- (a) enter into an infrastructure agreement to allow the applicant to make a cash-in-lieu contribution of some or all of the required on-site car parks. The contribution would be set aside in a fund to upgrade parking, fund measures that will reduce parking congestion in the identified areas or carry out planning for future parking strategies. That may include additional parking in the road reserve, improved public transport measures or other measures aimed at reducing congestion. Any infrastructure agreement including requiring the payment of a cash-in-lieu contribution will require the contribution to be paid to Council prior to the commencement of the use, with the Certificate of Classification only being issued after the contribution has been paid;
 - (b) enter into an infrastructure agreement to require the applicant to undertake the construction of car parking or streetscape improvements in the reserve in another location suitable to Council to a value equivalent to the 'in lieu' contribution that would be payable for the development under this policy, particularly where it is not possible or desirable to undertake streetscape improvements in the immediate road reserve. The location would be in the same contribution area (shown in Table SC6.6.4.1) as the development;
 - (c) impose a condition on the development requiring the applicant to supply onsite car parking infrastructure; and
 - (d) impose a condition on the development under the *Planning Act 2016* requiring the applicant to supply public car parking infrastructure.
- (3) If Council considers that it is appropriate for it to enter into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution, the rates set out in Table SC6.6.4.1 herein shall apply:

Table SC6.6.4.1 — Contribution charge rates

Contribution area	Rate
Contribution Area 1 <ul style="list-style-type: none"> • Principal centre zone • Major centre zone • Within 800 metres of a principal centre or major centre zone 	\$11,500 per parking space

Contribution area	Rate
Contribution Area 2 <ul style="list-style-type: none"> • Local centre zone • Neighbourhood centre zone • District centre zone • Community facilities zone – Rockhampton health services precinct only • Sport and recreation zone – Rockhampton major sports precinct only 	\$3,000 per parking space

Note—The rates are indexed to the producer price index (PPI) – road and bridge construction index for Queensland on an annual basis from the commencement date of this planning scheme. Further studies are to be carried out to review these rates to appropriately reflect current land values and construction costs. Council may amend this policy to reflect these outcomes in the future at the total discretion of Council.

Editor's note—The abovementioned car parking cash-in-lieu contribution rates reflect the rates recommended by the Parsons Brinckerhoff Rockhampton Car Parking Strategy Review conducted in 2009, indexed to 2013.

SC6.7 Coastal protection management planning scheme policy

SC6.7.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by the coastal erosion prone area overlay map OM-6A and the coastal hazard overlay map OM-6B and the coastal protection overlay code where a coastal hazard risk assessment or a shoreline erosion management plan is required.

SC6.7.2 Purpose

The purpose of this planning scheme policy is to:

- (1) define the process to be followed in carrying out a coastal hazard assessment to determine the severity of coastal hazard risk, for development that may be exposed to storm tide inundation or located in erosion prone areas;
- (2) provide guidance on how to minimise coastal hazard risk by addressing the items required for a coastal hazard risk assessment;
- (3) ensure development is sited, designed and managed to minimise the risk of coastal hazards to people and property; and
- (4) detail the requirements for preparing a shoreline erosion management plan (SEMP) to proactively plan for erosion management in erosion prone areas.

SC6.7.3 Background information

A high proportion of Queensland's urban development is located in the coastal zone, with some development located in areas vulnerable to coastal hazards. Climate change is projected to increase sea-levels and storm intensity, and change rainfall patterns. This will compound the vulnerability of Queensland's low-lying coastal areas to coastal hazard impacts. These effects can be felt in some cases well up into major river systems. Such is the case here with the Fitzroy River.

The Queensland Government has mapped coastal hazard areas along the Queensland coast. These maps are used as overlays in this planning scheme and are indicative of the extent of Queensland's coastal areas projected to be at risk from coastal hazards to the year 2100.

Each map shows:

- (1) erosion prone area — due to storm impact and long-term trends of channel migration; and
- (2) a defined storm tide inundation area — medium hazard and high hazard temporary inundation areas.

The erosion prone areas and storm tide inundation areas are indicative only and a field survey is recommended to be undertaken by an applicant to verify feature boundaries and the extent of the erosion prone area at a site specific level. The storm tide inundation areas are derived from adopting the storm tide inundation level of two (2) metres above highest astronomical tide including a projected climate change impact to 2100 (0.8 metre increase in sea level).

SC6.7.4 Coastal hazard mapping

The overlay maps (coastal erosion prone area overlay map OM-6A and coastal hazard overlay map OM-6B) are supplied by the Queensland Government and are a guide only to trigger assessment. Field surveys are recommended to verify feature boundaries.

SC6.7.4.1 Erosion prone area (coastal erosion prone area overlay)

Permanent inundation due to storm impact and long-term trends of channel migration will be experienced as shoreline erosion events in which the original extent of the foreshore may never recover. While sea-level rise is projected to accelerate over the next 100 years as a consequence of climate change, the permanent loss of land from a rise in sea-level may become apparent as accelerated coastal erosion.

SC6.7.4.2 Temporary inundation (coastal hazard overlay)

Temporary inundation (storm tides) is an infrequent event but it is not rare in Queensland and the effects on life and property can be dramatic. Unlike coastal erosion and permanent loss of land from sea-level rise, storm tides do not permanently inundate areas and can generally be measured in terms of hours or days. The frequency, depth and longevity of inundation changes with elevation above the highest astronomical tide level (HAT), in simple terms highest astronomical tide level is the highest point a tide reaches during the year. People and development located on land that is flooded to a depth of a metre or more during a defined storm tide event are at significant risk. This is due to the water depth being sufficient to generate damaging waves and the strength of tidal flows.

SC6.7.5 Coastal hazard risk assessment

In accordance with the coastal protection overlay code a site specific coastal hazard risk assessment may be required and risk mitigation measures proposed before development in erosion prone or coastal hazard areas can be approved.

A risk assessment must demonstrate that adverse coastal hazard impacts that affect the safety of people and the operational and structural integrity of the development are avoided. This includes ensuring the development is able to continue to function and maintain its design lifespan without maintenance or repair beyond the normal requirements for a development of its type. The risk assessment must outline how these impacts are avoided through location, design, construction and operating standards, including any coastal protection works.

SC6.7.5.1 Coastal hazard risk assessment process

- (1) Identify if the development site is located in an erosion prone or coastal hazard area by referring to the overlay maps contained within this planning scheme. The same mapping is provided on the Queensland State Government State Planning Policy interactive mapping website which provides a search function enabling specific lot and plan searches. Local scale mapping which takes into account local conditions may be used to establish whether the site is affected by coastal hazards. If the site is not identified as being in an erosion prone or coastal hazard area then a risk assessment is not required.
- (2) If the site is located in an erosion prone or coastal hazard area then the nature of the hazard (temporary or permanent inundation) and the extent of inundation (depth and area) on the site needs to be determined. A survey of the site, by a registered surveyor should be undertaken to create a property scale plan with the contours and topography at a scale to show the depths of inundation across the site.
- (3) Determine the level of risk assessment required for the development being either a minor, moderate or high level of intensification. Table SC6.7.5.1.1 outlines the steps for determining the scope of risk assessment required when considering development within a coastal hazard area. The proponent will need to provide sufficient information to support the scope of risk assessment chosen for their development proposal.

Table SC6.7.5.1.1 — Classification of development intensification

Step 3 — Classify the scale of development intensification			
	Minor intensification	Moderate intensification	High intensification
Description	<ul style="list-style-type: none">• Small number of additional persons living or working on site• Development does not involve constructing new community infrastructure such as roads or sewerage treatment plants	<ul style="list-style-type: none">• Moderate number of additional persons living or working on site• Development may involve small scale community infrastructure such as a new local road	<ul style="list-style-type: none">• Large number of additional persons living or working on site• Development involves construction of new community infrastructure such as local and feeder roads, major intersection upgrades, new railway stations, etcetera

Step 3 — Classify the scale of development intensification			
	Minor intensification	Moderate intensification	High intensification
Examples	<ul style="list-style-type: none"> • Single residential dwelling • Small-scale residential development (average one (1) to five (5) additional dwelling units on an existing land parcel) with no associated infrastructure such as a road • Home business • Retail business such as a restaurant • Cattery, dog keeping or other animal shelter • Other small-scale accommodation such as small tourist development 	<ul style="list-style-type: none"> • Residential unit development of between five (5) and thirty (30) additional dwelling units on existing land parcel • Subdivision of an existing parcel up to ten (10) new lots for residential, commercial or industrial purposes that involves the opening of a new local road • Tourist accommodation 	<ul style="list-style-type: none"> • Large subdivisions that involve new local and feeder roads or major intersection upgrades • Residential or mixed use development with greater than thirty (30) additional dwelling units • High-rise residential or mixed use development • Large educational institution such as a university campus • Other essential community infrastructure (for example hospitals, nursing home) • Sewage treatment plant • Sports stadium • Future mixed use development identified in local government infrastructure or strategic plans

- (4) Determine the impact of the hazard on the proposed development. The nature and extent of a coastal hazard is measured assuming no mitigation measures are employed. The measure of the impact of the hazard on the development must consider its structural integrity over the life of the development, the safety and well-being of people, effect on short-term and long-term operations and whether the development is an essential community service.
- (5) Identify potential measures that mitigate the risks to the development (including its operation) from exposure to adverse coastal hazard impacts for the life of the use of the site or to at least the year 2100. There may be different responses should the hazard be permanent inundation compared to temporary inundation above a defined storm tide event (DSTE). This may include design, siting and response options such as:
- (a) filling land above inundation level (or partial filling combined with other actions);
 - (b) locating the habitable rooms of the built structure above the assessed inundation level;
 - (c) making a safe refuge available for people within the development site (appropriate for a temporary inundation event);
 - (d) providing a safe evacuation route above the inundation level;
 - (e) locating essential operational services (electricity, switchboards, pumps, hot water systems) so that they are not inundated during a defined storm tide event; and
 - (f) locating and constructing associated infrastructure such as roads so that they are not permanently inundated.
- (6) Assess the viability of mitigation measures both onsite and offsite, taking into account environmental, social and financial factors. This includes considering the impact of the options on the development itself, associated infrastructure, neighbouring land use and development and public amenity taking into account long-term environmental, social and financial considerations. Assessing the viability of potential mitigation measures should also consider the most cost-effective manner in which to mitigate the risk. The cost of setting back the development, filling the development site, constructing coastal

protection structures or building design measures should be weighed against the value, use and vulnerability of the development.

- (7) After assessing the viability of potential mitigation measures, the preferred option(s) are to be identified, described and incorporated as part of the development proposal (see example Figure 6.7.5.1.2 below).

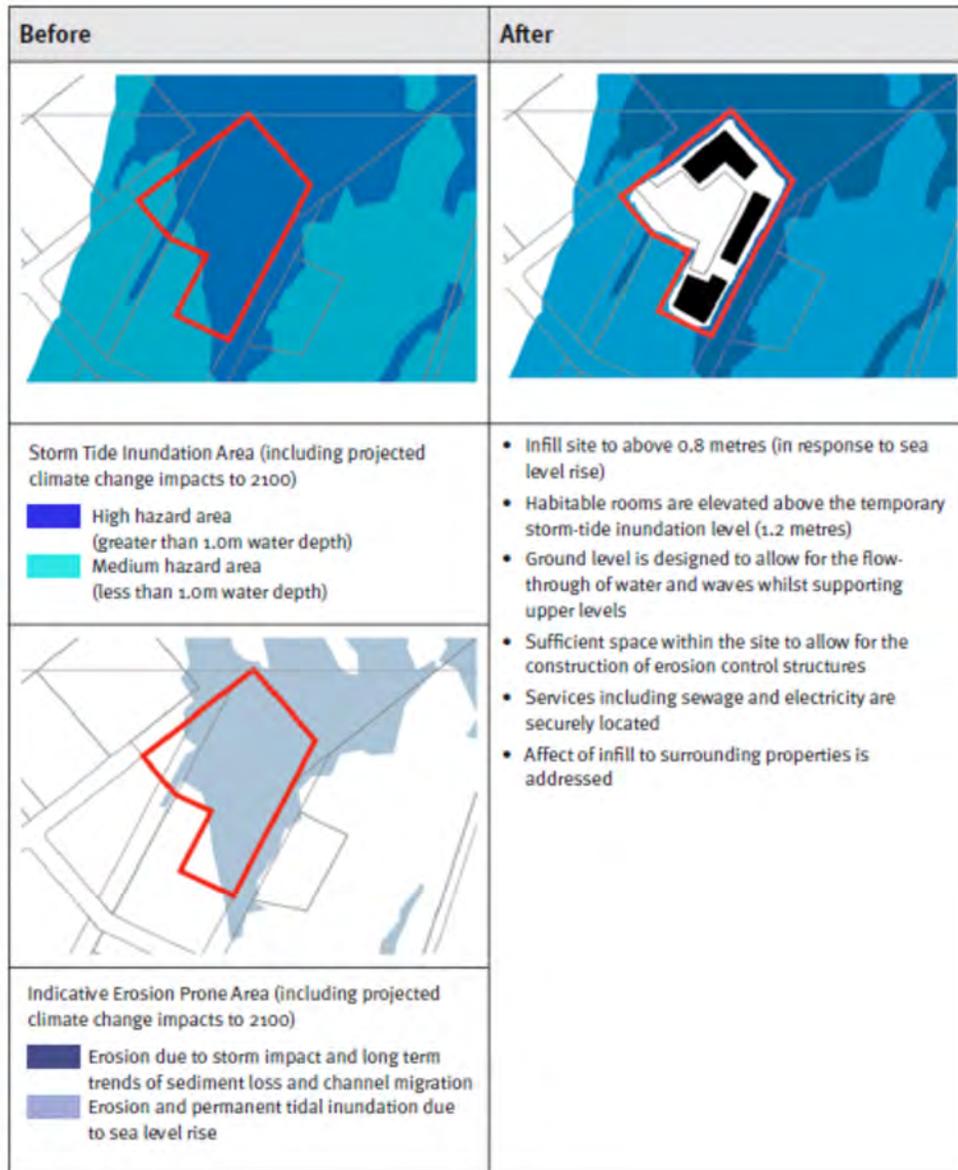


Figure SC6.7.5.1.2 — Example of acceptable mitigation measures for minor intensification in a high coastal hazard area

SC6.7.6 Preparing a shoreline erosion management plan

SC6.7.6.1 Purpose of a shoreline erosion management plan

In accordance with the coastal protection overlay code a shoreline erosion management plan may be required to proactively plan for erosion management in erosion prone areas. The purpose of a shoreline erosion management plan is to:

- (1) enable Council and developers to proactively plan for erosion management where development proposals may negatively impact on erosion prone areas;

- (2) investigate and address the underlying causes of shoreline erosion and likely future progression, at the local scale; and
- (3) determine cost-effective and sustainable erosion management strategies that maintain natural coastal processes and resources, and consider community needs in both the short-term and the long-term.

SC6.7.6.2 Benefits of a shoreline erosion management plan

A shoreline erosion management plan may be beneficial when:

- (1) natural coastal processes in an area pose a threat to existing development, such as roads and other community infrastructure or multiple private properties, along a coastal sector; or
- (2) existing or proposed land uses are disrupting natural coastal processes, or are increasing the erosion risk by destroying native vegetation, removing sand or altering land levels, or changing currents and wave actions which transfer erosion to other areas; or
- (3) natural coastal processes need to be allowed to proceed by managing an area as an erosion buffer zone or by maintaining areas free of permanent development.

SC6.7.6.3 Inclusions in a shoreline erosion management plan

A shoreline erosion management plan may include:

- (1) An assessment, identification and review of factors comprising risk, physical coastal processes, implementation strategies and responses including:
 - (a) an assessment, analysis and documentation of the severity of shoreline erosion and the subsequent risks posed for the community and development within the area;
 - (b) a description of the local and regional coastal processes impacting the area (specifically sediment transport processes, hydrodynamic regimes and the role of plants in erosion control and land building);
 - (c) identification of the cause of shoreline erosion, the geomorphic system responses and likely future trends, in a manner that can be understood by all stakeholders; and
 - (d) a review of the effectiveness and suitability of existing erosion responses and strategies being implemented (including an analysis of the structural integrity and effectiveness of any existing protection works) to determine if these are consistent with government policy. The identification of any knowledge gaps that may limit the management of shoreline erosion.
- (2) Management options and strategies including:
 - (a) the provision of technical descriptions of shoreline erosion or buffer zone management options;
 - (b) a ranking of management options with regard to environmental, social and economic cost benefits, sequentially prioritising options having regard to:
 - (i) minimising adverse impacts on coastal processes and biodiversity;
 - (ii) the preservation of areas of high conservation or ecological values with specific reference to areas of state significance (natural resources), coastal wetlands, biodiversity, environmental values and water quality objectives, and any relevant marine park zoning plan or declared fish habitat area. Other international, national, state and regional designations may also be relevant and should be identified and considered;
 - (iii) maintaining or enhancing buffer zones (dunal, mangrove or riparian);
 - (iv) maintaining foreshore access and recreational amenity of the site;
 - (v) minimising the threat to permanent development;
 - (vi) minimising the risk within storm tide coastal hazard areas; and
 - (vii) a recommendation of the preferred management strategy based on the ranking.
- (3) Budgetary information, including:
 - (a) an outline of the estimated costs associated with the preferred management strategy and possible funding sources; and

- (b) a summary of potential sources and costs of materials should a preferred management strategy require the use of sand for nourishment or rock for seawalls.
- (4) Implementation strategies, including:
 - (a) a program or strategy to implement preferred erosion and buffer zone management works;
 - (b) details of all federal, state and local government development approvals and requirements that may be required to undertake works associated with the recommended management strategies; and
 - (c) a summary of how the preferred management strategy complies with all relevant legislation particularly the *Coastal Protection and Management Act 1995* and relevant Queensland Government coastal planning provisions.

SC6.7.6.4 Stakeholder roles in preparing a shoreline erosion management plan

Stakeholder roles in preparation of a shoreline erosion management plan may entail Council, the developer and the Queensland State Government working together to develop and manage the shoreline erosion management plan (SEMP). Council and the developer may administer the shoreline erosion management plan and be responsible for ensuring erosion mitigation measures are delivered once the details of the shoreline erosion management plan are agreed upon during the development approval process. The Queensland State Government may be able to provide technical direction and expert coastal advice to proponents to ensure the objectives of the *Coastal Protection and Management Act 1995* are met. If the shoreline erosion management plan will impact on the local community they should also be consulted and asked to provide feedback on the management options provided. If the shoreline erosion management plan will impact on the broader community and is required to address more than one erosion prone area the development of the shoreline erosion management plan should generally be based on the following methodology:

- (1) If the shoreline erosion management plan is to address more than one erosion prone area, divide the coastal section into logical units or localities for individual investigation. This could be based on physical boundaries, such as headlands or river entrances or administrative boundaries.
- (2) Identify coastal resources, including wildlife and vegetation communities (such as shoreline vegetation, migratory shorebirds, nesting turtles, and intertidal communities), environmental values and water quality objectives of waters in each locality and their relative importance with regards to biodiversity conservation, water quality protection and maintenance of coastal processes. Identify and describe the physical coastal processes at work in each locality.
- (3) Determine the threats within each coastal locality and describe present and emerging risks to people, property and the environment from shoreline erosion. In addition, the benefits of the coastal areas to the community should be outlined.
- (4) This information is then used to outline the processes required to retain coastal resources and maintain or return a stable coastline. This should be based on a planning period of up to twenty (20) years and would comprise:
 - (a) mapping the erosion prone areas showing the various land uses with particular emphasis on property, infrastructure (including roads and access points), existing coastal protection works and areas of high environmental significance; and
 - (b) identifying or mapping existing coastal resources (such as wetlands, inshore and wildlife habitats).

SC6.8 Ecological assessment planning scheme policy

SC6.8.1 Application

The provisions of this policy apply to any assessable development where the application or proposal is subject to biodiversity values (including areas identified on the biodiversity overlay maps) and is to be supported by either of the following:

- (1) an Ecological Assessment Report; or
- (2) an Environmental Management Plan; or
- (3) a Rehabilitation Plan.

SC6.8.2 Purpose

The purpose of this planning scheme policy is to:

- (1) encourage more ecologically sustainable development;
- (2) outline ecological information about a site in order to inform the development assessment process;
- (3) provide direction on how to minimise any adverse impacts caused by development and to maximise any beneficial impacts of the development; and
- (4) provide guidance on the preparation and assessment of ecological assessment reports, environmental management plans and rehabilitation plans.

SC6.8.3 Protecting biodiversity values

- (1) The protection of biodiversity values can be ensured through:
 - (a) effective management and protection of areas of environmental significance;
 - (b) rehabilitation of biodiversity corridors and strategic rehabilitation areas so that ecological connectivity is improved and habitat extent increased; and
 - (c) development in or adjacent to wetlands of high environmental significance in Great Barrier Reef catchments being planned, designed, constructed and operated to minimise or prevent the loss or degradation of the wetlands and their values, or enhance these values.
- (2) Measures to protect biodiversity values from adverse impacts of development during construction and operation include:
 - (a) retaining native vegetation to the greatest extent possible through integration with development of the site and minimising edge effects;
 - (b) sequencing vegetation clearing in the presence of a qualified fauna spotter to provide opportunities for fauna to vacate affected land;
 - (c) rehabilitating with local endemic plants in undeveloped areas of the site where practicable before, during or immediately following completion of the development;
 - (d) allowing native vegetation to regenerate in cleared or disturbed areas of the site except for fire breaks and building envelopes;
 - (e) landscaping with local endemic plants;
 - (f) locating and designing public access to avoid disturbance to areas of environmental significance through measures such as exclusion devices, legal covenants, signage and designated access points;
 - (g) avoiding or minimising alterations to the natural landform, hydrology and drainage patterns and groundwater recharge processes so that development on the site does not negatively affect areas of environmental significance;
 - (h) incorporating measures that avoid or minimise the disruption of wildlife and their habitat and allow for their safe movement through or around the site. Appropriate measures may include vegetated buffers, fauna-friendly fencing, wildlife underpasses and overpasses, road signs alerting motorists to fauna movement and associated speed restrictions, access restriction, exclusion or guide fencing, noise control, sensitive lighting, and use of nest boxes in retained or nearby vegetation;
 - (i) implementing effective measures to prevent disturbance or predation of native fauna from domestic and pest species, such as exclusion zones which prevent physical entry to identified areas (where practicable);

- (j) implementing effective measures to anticipate and prevent the entry or spread of pest plants and animals in the areas of environmental significance relevant to the development;
 - (k) retaining biodiversity corridor values;
 - (l) minimising potential changes in fire regimes and the need for fire breaks on areas outside building envelopes;
 - (m) clustering development lots and building envelopes and minimising development footprints to maximise the ecological connectivity of native vegetation within the subject site and on adjoining properties;
 - (n) minimising edge effects on retained areas of environmental significance by retaining vegetation in the largest possible patches with the smallest possible perimeter to area ratios; and
 - (o) collocating required infrastructure, building envelopes and service and access corridors and locating in existing cleared areas where possible to minimise impacts on areas of environmental significance.
- (3) Where urban development or other activities occur adjacent to areas with environmental significance impacts must be avoided using measures by:
- (a) setting back buildings and structures as far away from the areas with environmental significance as possible. Particular attention should be given to the future operation of the structure or facility and ensure any potential impacts of nuisance (such as noise, light, vibration) are minimised;
 - (b) retaining native vegetation to the greatest extent possible adjacent to the area with environmental values;
 - (c) allowing for the regeneration of native vegetation to the area or rehabilitating with local endemic plants in non-vegetated areas of the site adjacent to the area of environmental significance, immediately following practical completion of the development, and landscaping with local endemic plant species;
 - (d) locating and designing public access to avoid disturbance of ecological values in the adjacent area of environmental significance;
 - (e) avoiding or minimising alterations to the natural landform, hydrology and drainage patterns and groundwater recharge processes so that development on the site does not negatively affect areas of environmental significance (as far as possible, natural topography must be maintained);
 - (f) incorporating measures that avoid the disruption of threatened wildlife and their habitat and allows for their safe movement through the site to the adjacent area of environmental significance. Appropriate measures may include vegetated buffers, fauna-friendly fencing, wildlife underpasses or overpasses, road signs alerting motorists to fauna movement, noise control and sensitive lighting, and use of nest boxes in retained or nearby vegetation (for example ensuring artificial lighting as seen from a turtle nesting beach is not increased);
 - (g) implementing effective measures to prevent disturbance or predation of native fauna from domestic and pest animal species;
 - (h) implementing effective measures to prevent the entry or spread of pest plants;
 - (i) minimising potential changes in fire regimes and the need for fire breaks on areas outside building envelopes and fire trails;
 - (j) minimising the need for local government mosquito and biting midge control measures;
 - (k) ensuring structures as a result of the development minimise shading of areas of environmental significance;
 - (l) rehabilitating undeveloped areas of the site where practicable before, during and immediately following completion of the development;
 - (m) retaining and enhancing ecological corridor values;
 - (n) clustering development lots and building envelopes and minimising development footprints to maximise the ecological connectivity of native vegetation within the subject site and with vegetation on adjoining properties, and minimise edge effects on retained areas of environmental value by retaining vegetation in the largest possible patches with the smallest possible perimeter to area ratios; and
 - (o) collocating required infrastructure, building envelopes and service and access corridors and locating in existing cleared areas where possible to minimise impacts on areas of environmental significance.

- (4) Within biodiversity corridors protection of wildlife movement can be enhanced by:
 - (a) incorporating fauna-friendly fencing;
 - (b) fencing to exclude domestic, livestock and pest species;
 - (c) encouraging the regeneration of native vegetation;
 - (d) including wildlife underpasses and overpasses;
 - (e) installing road signs alerting motorists of fauna movement;
 - (f) retaining habitat trees;
 - (g) using nest boxes and other supporting measures;
 - (h) applying appropriate buffers and setbacks;
 - (i) applying appropriate levels of access, lighting and noise;
 - (j) fencing to exclude domestic and pest species, encourage revegetation and prevent predation;
 - (k) ensuring that development (for example roads, pedestrian access, in-stream structures) both during construction and operation does not create barriers to the movement of fauna along or within biodiversity corridors;
 - (l) providing wildlife movement infrastructure where necessary and directing fauna to locations where wildlife movement infrastructure has been provided to enable fauna to safely negotiate a development area;
 - (m) separating fauna from potential hazards (for example through fencing); and
 - (n) using exclusion fencing that does not result in a barrier or hazard to the movement of fauna to manage the threat of pest species and to prevent stock from carrying weeds and exotic plants into the corridor.
- (5) During construction and operation of development, corridor biodiversity values are protected from impacts associated with noise, light or visual disturbance in the following ways:
 - (a) lighting is managed to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice;
 - (b) noise is managed to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice; and
 - (c) visual disturbance is controlled to ensure it does not have an adverse effect on the fauna values of a biodiversity corridor, in accordance with expert ecological advice. Visual disturbance may be controlled through exclusion of activities in certain areas (for example, line of sight buffers, exclusion fencing) and the use of visual screens, or similar, during sensitive periods such as breeding and roosting periods.

SC6.8.4 Preparation of an ecological assessment report

An ecological assessment report is a tool used to provide detailed information about the proposal, the potential ecological impacts of the proposal and the measures proposed to avoid or minimise adverse impacts. As a result each ecological assessment report is specific to the individual proposal.

Where a development site is subject to the provisions of this policy, the proponent is strongly encouraged to meet with Council officers prior to lodgement of the application; this will assist in determining and clarifying the relevant items to be addressed in the report. As a general guide the following format and content description indicates the items required to be detailed in the report.

SC6.8.4.1 Ecological assessment report format and content

- (1) Introduction:
 - (a) title and address of proposed development; and
 - (b) qualifications of author:
The ecological assessment report should be prepared by a suitably qualified person. Persons preparing the report must have tertiary qualifications in ecology, conservation biology, environmental planning or other appropriate disciplines. In addition persons undertaking this report must be suitably experienced in the survey, assessment and reporting of the ecosystems, flora, fauna and threatening processes occurring in the Rockhampton region. References and

experience of the author (such as other similar reports prepared by the consultant or consultants) should also be included.

- (2) State interests:
The report should address and reference any applicable legislation (both at federal and state level), state planning policies, local government policies and codes, other relevant plans and associated guidelines.
- (3) Overview:
The aim of the overview is to provide a clear and concise summary of what is discussed in the report, leaving the reader with a clear understanding of the reports, detailed assessment of the proposals potential impacts and measures to minimise the potential adverse impacts. The following may assist in conveying this information:
 - (a) background and scope of proposal — summarise the proposed development including the purpose and objectives, addressing the construction and operation of the project and associated infrastructure developments;
 - (b) existing environment — summarise the features of the physical, biophysical and built environment relating to the proposed development and associated infrastructure;
 - (c) potential impacts of the proposed development — summarise the main potential impacts of the project (direct, indirect and cumulative), both beneficial and detrimental, and any alternatives, on the existing environment;
 - (d) impact monitoring, protection and management procedures;
 - (e) summarise the safeguards, standards and management procedures proposed to protect the environment, including environmental monitoring and the methods proposed to ameliorate or alleviate the potential impacts; and
 - (f) conclusions — summarise the key strategies and measures to the proposal to address any adverse environmental impacts.
- (4) Background and scope of proposal:
 - (a) outline in detail the purpose and objectives of the proposed development;
 - (b) discuss the following to illustrate the background of the proposal:
 - (i) the need for the proposed development or works;
 - (ii) the history of the proposal's formulation;
 - (iii) any alternatives considered and reasons for choosing the preferred option; and
 - (iv) action already taken to minimise potential adverse impacts;
 - (c) provide a description of the project, addressing:
 - (i) the precise nature and scale of works;
 - (ii) the location and site requirements;
 - (iii) the plant and/or building layout, size and design and the development staging program;
 - (iv) the range and quantity of materials to be produced;
 - (v) the production process;
 - (vi) possible waste discharges;
 - (vii) on-site works and operations;
 - (viii) off-site works and operations;
 - (ix) transport systems;
 - (x) infrastructure requirements (water, sewerage, energy, waste disposal);
 - (xi) the workforce;
 - (xii) project life and time scale for completion; and
 - (xiii) the possible future expansion of associated development/works; and
 - (d) resource utilisation:
 - (i) detail the implications of the proposal for the use of natural resources, including the quantity and source of water, raw materials and energy to be used.
- (5) Existing environment:
The existing environment of the site and surrounding areas should be described in sufficient detail to allow the ecological impacts of the proposal to be accurately and adequately assessed, and to provide a baseline against which predicted and future changes can be assessed. This section shall address features such as the physical, biophysical and built environment relating to the proposed development and associated infrastructure. The following provides a comprehensive, but not exhaustive, list of

elements, which may need to be discussed to enable an adequate assessment of potential ecological impacts.

- (a) site and locality;
- (b) physical features including:
 - (i) landform, geology and geomorphology; and
 - (ii) hydrology (surface water and groundwater);
- (c) climate;
- (d) water quality;
- (e) air quality;
- (f) noise environment;
- (g) coastal processes (if applicable);
- (h) waterways, including:
 - (i) details of adjacent waterways;
 - (ii) nature of the waterway (fresh/salt water);
 - (iii) riparian vegetation;
 - (iv) existing disturbances; and
 - (v) plans showing tidal levels or banks;
- (i) ecological status/significance including:
 - (i) types, structure and location of vegetation associations on the site and surrounding areas, including measures of foliage cover, health and natural regeneration;
 - (ii) species of flora and fauna (aquatic and terrestrial, native and introduced), weed and pest species, including the location and abundance of each species, especially the presence of rare or endangered species;
 - (iii) conservation significance — local, regional and national status; and
 - (iv) special ecological values of the site such as refuge habitat, breeding habitat, corridor for wildlife movement and use by migratory species;
- (j) social cultural and economic characteristics;
- (k) indigenous and cultural history, including consultation with the environmental protection agency indigenous sites database and traditional owners regarding potential impacts to cultural heritage values;

Editor's note—Where an information request requires a cultural heritage survey to be submitted for assessment, it is recommended the survey be undertaken in consultation with the relevant indigenous owners and by a cultural heritage practitioner under a permit issued by the Environmental Protection Agency pursuant to the Aboriginal Cultural Heritage Act 2003.

- (l) landscape character and visual amenity; and
- (m) infrastructure, addressing items such as:
 - (i) transport;
 - (ii) water supply;
 - (iii) effluent treatment and disposal;
 - (iv) solid waste;
 - (v) public amenity and access; and
 - (vi) power and communications.
- (6) Potential impacts of the development on the existing environment:
Identify and detail the nature of any potential impacts, including cumulative impacts of the development on the existing environment including joint resolution of conflicts between economic, social and environmental impacts. These may be adverse or beneficial, direct or indirect, short- or long-term or incremental and are to be considered for both the construction and operation phases of the development. Detail any irreversible commitment of resources that would be involved if the proposed development is implemented. Discussion on the potential impacts of the development on the existing environment should include potential impacts on:
 - (a) physical features including:
 - (i) landform, geology and geomorphology; and
 - (ii) hydrology (surface and groundwater);
 - (b) ecological status/significance;
 - (c) air quality;
 - (d) water quality;
 - (e) noise levels;

- (f) coastal processes (if applicable);
 - (g) waterways, including:
 - (i) proposed disturbance to waterways;
 - (ii) reasons for the disturbance; and
 - (iii) disturbance of any marine or riparian vegetation;
 - (h) infrastructure; and
 - (i) safety and risk assessment including:
 - (i) potential events; and
 - (ii) safety program.
- (7) Mitigation strategies:
Prepare proposal plans and management plans detailing the location, extent and nature of all measures designed to prevent, avoid, mitigate and/or manage the identified impacts. Information must clearly demonstrate how the proposed mitigation strategies will enable the proposal to meet the nature conservation obligations as described in the relevant statutory planning mechanisms.
- (8) Biodiversity survey principles:
Observe the following principles when undertaking a biodiversity survey for flora and fauna species and/or vegetation communities:
- (a) any survey program should account for the life histories and habitat requirements of native wildlife known or likely to inhabit the site. A survey program must provide adequate coverage of all habitat types within the subject site, including ecotones, as well as use survey techniques that are suited to the flora and fauna species and vegetation communities being surveyed and to the site characteristics;
 - (b) identify aspects of the survey program that may affect the quality of data collected and adequately address these aspects. This may include the following influencing factors:
 - (i) seasonal and daily variation in fauna breeding, foraging and migration patterns;
 - (ii) prevailing weather conditions on survey days for example temperature, humidity, rainfall or wind;
 - (iii) general weather conditions prior to survey;
 - (iv) habitat coverage;
 - (v) duration of the surveys for example number of trap nights;
 - (vi) timing of the surveys for example diurnal, nocturnal or early morning; and
 - (vii) observer skill and experience;
 - (c) assess and redress the accuracy and validity of survey findings when these aspects are taken into account;
 - (d) ensure data is collected in a consistent format and is transparent and repeatable; and
 - (e) always employ practices that avoid or minimise environmental impacts or disturbances when undertaking any ecological investigation or survey.
- (9) Impact monitoring, protection, risk management and post development management procedures:
An environmental management plan should be prepared for the development to outline measures to maintain or monitor potential impacts of a proposal (refer to section SC6.8.5 of this policy for detail on an environmental management plan).
- (10) Consultation:
The applicant/consultant should consult with relevant interest groups and parties likely to be affected by the proposal, and issues generated should be documented along with any proposed measures to address these issues.
- (11) References:
- (a) list other reference material and literature used;
 - (b) list authorities consulted and contributors to the report; and
 - (c) cross-reference the reference material in the text to allow easier access to information.
- (12) Appendices:
- (a) include detailed technical information collected through the investigation; and
 - (b) include relevant documents or correspondence from Government authorities.

SC6.8.5 Environmental management plans

- (1) An environmental management plan (EMP) seeks to ensure that the potential impacts of development on the environment are adequately controlled. An environmental management plan is a written description of what levels of environmental impact are intended to be achieved or maintained and how it is proposed to achieve or maintain them. This can include the construction, operational and decommissioning stages of a development.
- (2) Environmental management plans will vary for each site or location based on the different characteristics and issues for each proposal. The environmental management plan allows the Council to assess how the issues associated with a proposal on site will be managed to maintain or enhance its environmental values. The range of issues that may be addressed in an environmental management plan include, but are not limited to, the following:
 - (a) acid sulfate soil;
 - (b) air quality;
 - (c) biting insects;
 - (d) buffer area management;
 - (e) building/structure conservation or retention;
 - (f) bushfire risk management;
 - (g) energy efficiency and management;
 - (h) erosion and sediment control;
 - (i) fauna;
 - (j) land stability;
 - (k) loss of topsoil and associated dust problems;
 - (l) management of activities and events, including monitoring and corrective action;
 - (m) management of the impacts of land uses on surrounding sites;
 - (n) natural and cultural heritage preservation/management;
 - (o) noise control;
 - (p) rehabilitation/landscaping;
 - (q) rehabilitation of sites;
 - (r) remnant vegetation;
 - (s) resource and waste management;
 - (t) stormwater management;
 - (u) vegetation management;
 - (v) visual amenity;
 - (w) water quality/waterway health/hydrological change;
 - (x) weed control; and
 - (y) wetlands.
- (3) Essential components of an environmental management plan:
 - (a) identify all aspects of the project that require environmental management;
 - (b) establishment of agreed performance criteria in relation to environmental and social impacts;
 - (c) detailed practical and achievable prevention, minimisation and mitigation strategies (including design standards) for controlling environmental impacts of the proposal at specific sites;
 - (d) details of the proposed monitoring of the effectiveness of remedial measures against the agreed performance criteria based on legislative requirements and government policies. The frequency of monitoring for each parameter and proposed location of monitoring sites should be shown to allow consideration of monitoring in a risk assessment;
 - (e) detail the features of alternatives investigated and the reasons for choosing the preferred option;
 - (f) identify the authority and their responsibility for implementing management measures during both construction and operational stages of a proposal;
 - (g) timing (milestones) of environmental management initiatives;
 - (h) reporting requirements and auditing responsibilities for meeting environmental performance criteria;
 - (i) establish procedures for monitoring and reporting incidents;

- (j) detail courses of action (and responsibility) for responding to incidents or non-compliance and emergency events which may be detailed or arise;
- (k) corrective actions to rectify any deviation from performance standards; and
- (l) provision of accurate maps to support/illustrate any of the above.

SC6.8.5.1 Suggested environmental management plan format

- (1) Introduction:
 - (a) description of the development proposal;
 - (b) the need for the environmental management plan in relation to the development; and
 - (c) structure and scope.
- (2) Aims of the environmental management plan:
 - (a) provide a framework for practically addressing and monitoring the significant environmental impacts of the proposal;
 - (b) ensure compliance with legislative requirements and government policies; and
 - (c) provide evidence that the works and operations are being conducted in an environmentally responsible manner.
- (3) Identification of environmental issues or environmentally impacting activities and associated management actions:
 - (a) for each issue or environmentally impacting activity outline the following:
 - (i) policy for addressing the issue/activity;
 - (ii) performance criteria;
 - (iii) implementation strategy;
 - (iv) monitoring program; and
 - (v) details of how reporting will influence mitigation measures and how reporting is to take place.

SC6.8.6 Rehabilitation plans

A rehabilitation plan must be prepared where rehabilitation of a site(s) is undertaken. A rehabilitation plan must address the following:

- (1) Methodology — describe the process used to develop the plan. Include all field surveys, mapping data and literature used. Provide background information and describe the complexity of the project.
- (2) Environmental values — describe the key environmental values within and adjoining the rehabilitation area. Environmental values may include but not be limited to fauna or flora, vegetation communities, cultural heritage, geological, habitat, environmental corridors or biophysical values.
- (3) Ecosystem threats — describe the current and future threats to ecosystem and environmental values. Threats may include but not be limited to weed infestation, illegal access, erosion, grazing, inappropriate fire or hydrological regimes, inappropriate access, sedimentation or salinity.
- (4) Ecosystem condition — identify the condition of ecosystems within the rehabilitation area. The condition assessment will be used to determine management objectives and activities. The current condition should be accompanied by a series of photographs taken from established reference points.
- (5) Rehabilitation targets — determine appropriate and realistic rehabilitation targets based on assessment of ecosystem threats and condition.
- (6) Overall rehabilitation goals — provide an overarching statement of the desired outcome(s) for the rehabilitation plan.
- (7) Rehabilitation objectives — develop objectives to meet rehabilitation goals. The objectives will form the basis of the rehabilitation plan. Objectives can be used to set milestones and determine rehabilitation progression.
- (8) Rehabilitation activities — identify and describe all activities that are required to meet the objectives. It must be clear what activities will be undertaken during the project and how they will be implemented.
- (9) Performance criteria — performance criteria must be measurable, specific and relate directly to rehabilitation goals, objectives and activities. The performance criteria may include but not be limited to floristic and structural vegetation parameters, weed

abundance, erosion, natural revegetation, recruitment, vegetation condition and fauna populations.

- (10) Management zones — for clarity it is important to identify management zones based on rehabilitation activities. Define which parts of the rehabilitation area will be retained, regenerated and revegetated. The management zones must be provided in a geographical information system spatial layer or a clearly annotated site map/aerial photograph.
- (11) Implementation schedule — determine an appropriate implementation schedule stating what activities will be undertaken during development and what activities need to be continued once transferred to Council. To improve the handover process to Council it is necessary to identify at what stage Council will need to continue with rehabilitation activities.
- (12) Monitoring and reporting — provide a monitoring and reporting schedule that will be implemented over the duration of the project. Work records of all activities including photos of the works must be submitted to Council quarterly for the duration of the project (includes the maintenance period).

SC6.9 Economic impact assessment planning scheme policy

SC6.9.1 Application

This planning scheme policy applies to a development application for a material change of use of premises where an economic impact assessment report is required to demonstrate compliance with the planning scheme for:

- (1) development that is above the gross floor area threshold outlined in the tables of assessment; or
- (2) a significant in-centre or out-of-centre development of a commercial nature; or
- (3) development where there is a potential conflict with the planning scheme; or
- (4) impact assessable development of a commercial nature in any zone.

SC6.9.2 Purpose

The purpose of this planning scheme policy is to:

- (1) protect the economic viability and the intended role and successful functioning of centres;
- (2) provide applicants with direction on how to undertake an economic impact assessment to demonstrate that the development will meet the requirements and intentions expressed in the planning scheme; and
- (3) specify the information requirements expected to be incorporated within an economic impact assessment report.

SC6.9.3 Economic impact assessment report

SC6.9.3.1 Purpose

The purpose of an economic impact assessment report is to:

- (1) demonstrate that there is a community, economic and planning need for the development;
- (2) demonstrate that the development is of an appropriate size;
- (3) identify and address the economic impacts associated with the development and the effects on existing and designated centres; and
- (4) demonstrate there are no other sites available in a designated centre or sequentially closer to a designated centre that could accommodate the proposed development.

SC6.9.3.2 Information required in the report

The economic impact assessment report should contain information to adequately address the requirements listed below and must be prepared by a suitably qualified professional.

SC6.9.3.2.1 Community, economic and planning need

The economic impact assessment report must demonstrate the community, economic and planning need for the development within the next five (5) years and must provide:

- (1) an estimate of the demand, or likely future demand, for floor space in the primary trade area of the centre;
- (2) an estimate of the existing population and demographics of the primary trade area having particular regards to:
 - (a) the existing population;
 - (b) household sizes and structures;
 - (c) the number of approved and vacant serviced lots;
 - (d) the median household income and the projected household expenditure patterns;
 - (e) the land potentially available for residential use and any development that would increase the catchment population; and
 - (f) forecasts of future population and household numbers; and

Editor's note—Assumptions about future population and employment projections are contained within Part 4—Local government infrastructure plan.

- (3) an analysis of the necessary turnover and productivity levels required to support the proposed development. For existing centres the estimated current turnover and productivity levels should be benchmarked against industry averages.

SC6.9.3.2.2 Size

The economic impact assessment report must demonstrate that the development is of an appropriate size and must provide:

- (1) identification of and justification of the primary trade area and the projected secondary trade area of the proposed development and proposed existing centres within the trade areas by:
 - (a) undertaking a shopper survey; and
 - (b) measuring driving times;
- (2) identification of existing retail gross leasable area and designated/approved new retail gross leasable area in the primary trade area of the proposed development;
- (3) for an existing centre, an assessment of the current market share the centre is achieving and for both existing and new developments, an assessment of the market share that the proposed development is likely to achieve;
- (4) details as to the major prospective tenants and their commitments; and
- (5) an assessment of the level of escape expenditure (if any) from trade areas.

SC6.9.3.2.3 Economic impacts

The economic need and impact assessment report must provide:

- (1) an estimate of the total available spending by existing and projected future residents of the primary trade area, taking into consideration the demographic characteristics of the population and potential for real expenditure growth; and
- (2) an estimate of the impact of the development on:
 - (a) the turnover and productivity levels and market share of existing, designated and planned retail uses within and adjacent to the trade areas;
 - (b) the vitality and viability of existing, designated and proposed centres;
 - (c) the extent to which the development would alter the role and function of centres in the centre hierarchy; and
 - (d) changes to the range of shops and services provided by these centres.

SC6.9.3.2.4 Sequential site selection

The economic impact assessment report must provide:

- (1) a sequential site selection analysis that identifies:
 - (a) designated centres within the primary trade areas; and
 - (b) available sites in the centres that are sequentially closer to the centre that could accommodate the proposed development, taking into account potential disaggregation of the proposed uses;
- (2) an analysis of the identified sites' availability, suitability and viability; and
- (3) a comparison and assessment of the identified sites against the proposed development site.

SC6.10 Flood hazard planning scheme policy

SC6.10.1 Application

This planning scheme policy applies when a proposed development is situated on land affected by:

- (1) the Fitzroy River flood overlay map OM-8A; or
- (2) floodplain investigation area overlay map OM-8B; or
- (3) local catchment overlay map OM-8C.

Development within these areas will need to address the flood hazard overlay code and may require a flood hazard risk assessment, flood impact and/or a flood study to be submitted as part of a development application.

SC6.10.2 Purpose

The purpose of this planning scheme policy is to provide information, advice and design criteria to support the outcomes required by the flood hazard overlay code. The policy provides guidance on:

- (1) the process to be followed in carrying out a flood hazard risk assessment to determine the severity of flood risk a site may be exposed to;
- (2) how to minimise flood risk by addressing the items required for either a hydrologic and hydraulic assessment report or a flood study; and
- (3) ensuring that development is compatible with the flood risk inherent on site, and is designed and situated to minimise the risk of flooding to people and property.

SC6.10.3 Flood hazard risk assessment

The safety of people and the susceptibility of development and infrastructure to flood damage are primarily linked to flood behaviour, which varies across the floodplain, watercourse and overland flow paths, between flood events of different sizes, and across different floodplains. Therefore, in order to manage flood risk, it is pertinent to understand the full range of potential flood behaviour within the floodplain to comprehend the vulnerability of the community to flooding.

A flood hazard risk assessment is a formal means of identifying and managing the existing, future and residual risks of flooding. The aim is to ensure that risks, including safety, environmental, social and economic associated with the proposed development are compatible with the flood hazard and level of flood immunity at the site. Council has adopted a risk-based approach to managing flooding and coastal related risks which accords with the international standard AS/NZS ISO 31000:2018. This approach establishes a four (4) step process to risk assessment, as follows:

- (1) Risk identification;
- (2) Risk analysis;
- (3) Risk evaluation; and
- (4) Risk treatment.

Stage one (1) involves the identification of the nature and extent of flood and coastal hazards by undertaking an extensive suite of technical investigations, covering both catchment flooding and storm tide inundation. The entire local government area is captured by these investigations.

Stage two (2) involves the preparation of Risk Management Studies for both riverine/creek flooding and storm tide inundation which have analysed the risk associated with a range of events. In accordance with AS/NZS ISO 31000:2018 risk is defined as the combination of likelihood of occurrence of an event and the consequence if the event occurs. For these studies, likelihood is interpreted as the frequency of the flood or storm tide event, while hydraulic hazard categories were used to define the flood behaviour characteristics, which provide an indicative measure of the consequences of flooding and inundation.

Stage three (3) involves the determination of acceptable, tolerable and intolerable risks, while Stage four (4) involves the implementation of risk treatment measures that will reduce risks from a tolerable or intolerable level down to a level considered acceptable to Council and the community. Council has adopted the following risk categorisation consistent with the State Planning Policy – State Interest Guideline: Natural Hazards Risk and Resilience –

- Acceptable risk – A risk that, following an understanding of the likelihood and consequences, is sufficiently low to require no new treatments or actions to reduce risk further. Individuals and society can live with this risk without feeling the necessity to reduce the risks any further.
- Tolerable risk – A risk that, following an understanding of the likelihood and consequences, is low enough to allow the exposure to continue, and at the same time high enough to require new treatments or actions to reduce risk. Society can live with this risk but believe that as much as is reasonably practical should be done to reduce the risks further.
- Intolerable risk – A risk that, following an understanding of the likelihood and consequences, is so high that it requires actions to avoid or reduce the risk. Individuals and society will not accept this risk and measures must be put in place to reduce risks to at least a tolerable level. For the purpose of this document and alignment with State Government terminology, unacceptable risk is considered to also be intolerable risk.

In accordance with the flood hazard overlay code, site specific flood hazard risk assessment may be required to facilitate assessment of development on flood prone land to ensure the proposal is located on land with the least risk, and where management of the hazard can be lowered to an acceptable risk level.

A flood hazard risk assessment can be achieved in two forms:

- (1) through the preparation of a hydrologic and hydraulic assessment report (where the nature of flooding at a specific site is low or medium risk or uncertain); or
- (2) through the preparation of a flood study (where the flood risk is determined to be medium, high or extreme, or for areas disputed by the applicant as being at risk of flood).

A suitably qualified professional specialising in hydrology, hydraulics, and floodplain management is required to undertake the flood hazard risk assessment in accordance with the framework outlined in Australian Standard/New Zealand Standard AS/NZ ISO 31000:2018 — Risk management — Guidelines. This would be a Registered Professional Engineer of Queensland, specialising in hydrology and hydraulics.

Prior to the preparation of either report or study, the proponent must first identify the flood level (in metres at Australian Height Datum), flood depth, and velocity (if applicable) of the site.

SC6.10.3.1 Council's flood information

A number of recent flood studies have been undertaken throughout the Rockhampton Regional Council local government area. These flood studies and associated mapping have been used to determine the flood hazard classification, depth and the flood velocity of a site, and can be accessed on Council's website. Applicants can obtain detailed information for a particular site by applying to Rockhampton Regional Council for a flood records search. A nominal fee is applicable for the flood search, and applicants receive the requisite information within five (5) business days. Flood models prepared as part of Council's flood studies are also available, and applicants can access these models by paying a nominal fee and entering into a data sharing agreement with Council.

If Council has insufficient site information to determine the flood level, depth, and velocity, then the applicant will need to provide a qualified surveyor's report detailing:

- (1) surface levels for the subject site (including details of the highest and lowest points);

- (2) levels at each property corner; and
- (3) adjacent road surface levels.

All levels are to be in terms of Australian Height Datum and the report or survey plan shall identify the survey reference point(s) used to determine those levels.

This information may be supplemented by anecdotal information relating to the site or the immediate locality, such as extracts from newspapers at the time of previous floods, statutory declarations from persons who were present at the time of such floods, photographs, and records of water marks or debris deposits at peak heights in the area. If this information is considered by the assessment manager to be sufficient to prove that the proposed development is not at risk of flood, and that pre- and post-development flood impacts are at an acceptable level of risk, then no further action is required by the applicant.

SC6.10.3.2 Factors determining flood hazard

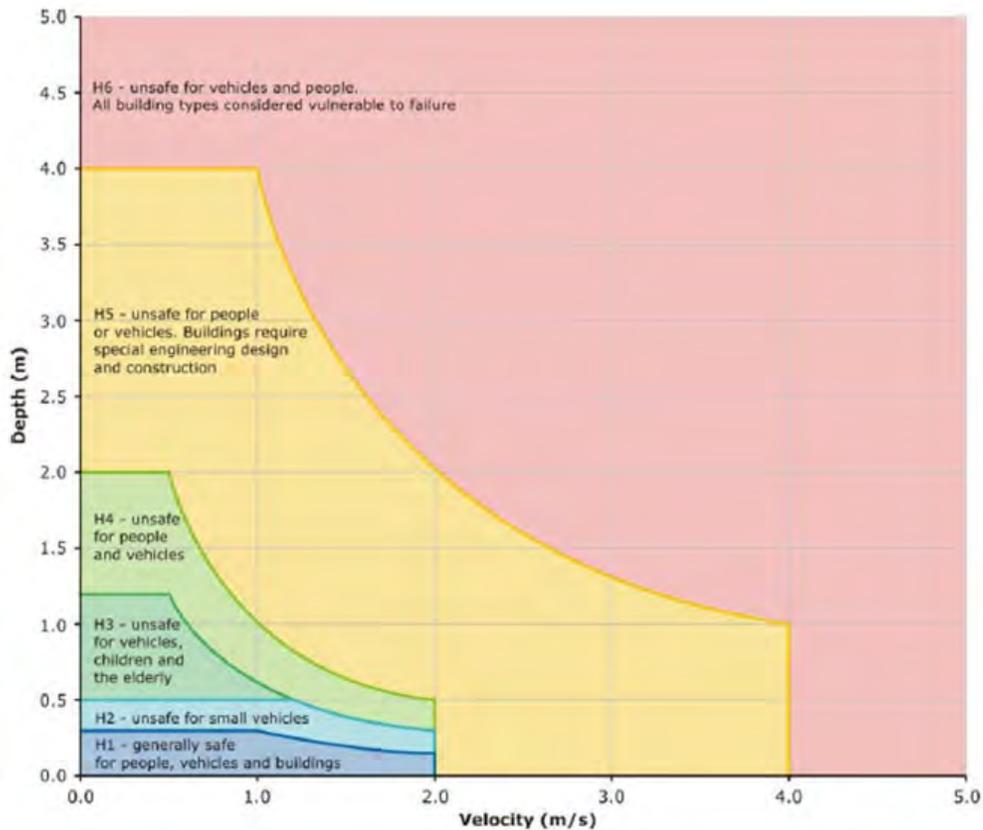
Factors which determine flood hazard include:

- (1) the size and extent of flood;
- (2) depth and velocity of flood waters as determined by the size of the flood and the hydraulic characteristics of the river, local catchments and drainage features located within the floodplain;
- (3) effective warning time and rate of rise of floodwaters, which is influenced by catchment characteristics and the rainfall event(s) which caused the flood;
- (4) duration of flooding, and the length of time people and property are isolated or cut off by floodwaters;
- (5) site topography;
- (6) the presence of obstructions such as buildings, embankments, bridges, built-up lands and fences blocked with debris which may affect the conveyance of floodwater;
- (7) flood awareness in the community, as a high degree of community awareness leads to greater resilience and quicker response times by members of the community when flood warnings are issued;
- (8) flood free or low flood hazard access, by way of trafficable roads to facilitate evacuation or provision of supplies;
- (9) availability of emergency evacuation options including the ability to leave the flood affected land on foot (wading) or by vehicle, distance from flood free ground, and degree of isolation, as these may be affected by depth and velocity of floodwaters; and
- (10) potential for damage, which is influenced by the amount and type of development in a flood prone area.

SC6.10.3.3 Flood hazard mapping methodology

The flood hazard mapping methodology involves determining the peak hazard. Peak flood hazard is the relationship between the velocity depth product and maximum flood depth to define safe and unsafe floodwater conditions with respect to people, vehicles and property.

Peak flood hazard is related to the direct action of floodwaters during the flood event. The peak hazard contours presented on the overlay maps are based upon recommendations outlined in Australian Rainfall and Runoff 2016. Figure SC6.10.3.3.1 and tables SC6.10.3.3.2, and SC6.10.3.3.3 below presents the adopted hazard category relationship.



(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

Figure SC6.10.3.3.1 General flood hazard vulnerability curves

Table SC6.10.3.3.2 Combined hazard curves - vulnerability thresholds

Hazard Vulnerability Classification	Description
H1	Generally safe for vehicles, people and buildings.
H2	Unsafe for small vehicles.
H3	Unsafe for vehicles children and the elderly.
H4	Unsafe for vehicles and people.
H5	Unsafe for vehicles and people. All buildings vulnerable to structural damage. Some less robust buildings subject to failure.
H6	Unsafe for vehicles and people. All building types considered vulnerable to failure.

(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

Table SC6.10.3.3.3 Combined hazard curves - vulnerability thresholds classification limits

Hazard Vulnerability Classification	Classification Limit (D and V in combination) (m ² /s)	Limiting Still Water Depth (D) (m)	Limiting Velocity (V) (m/s)
H1	$D \cdot V \leq 0.3$	0.3	2.0
H2	$D \cdot V \leq 0.6$	0.5	2.0
H3	$D \cdot V \leq 0.6$	1.2	2.0
H4	$D \cdot V \leq 1.0$	2.0	2.0
H5	$D \cdot V \leq 4.0$	4.0	4.0
H6	$D \cdot V > 4.0$	-	-

(Source: Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors), 2016, Australian Rainfall and Runoff: A Guide to Flood Estimation, Commonwealth of Australia)

SC6.10.4 Development within Flood Management Areas

For properties falling within a flood management area, such as the North Rockhampton Flood Management Area (as identified in the Fitzroy Flood Overlay Map OM-8A), a number of mitigation measures designed to improve the flood immunity and provide protection from Fitzroy River flood events up to and including the one (1) per cent annual exceedance probability (AEP) event are being implemented to reduce the impacts of flooding. These measures include:

- (1) a permanent earth and concrete block levee to protect residential properties in Fraser Street and Dowling Street against Fitzroy River flood events up to the one (1) per cent annual exceedance probability. These works will also incorporate backflow prevention devices to prevent flood waters entering a flood management area through the stormwater system;
- (2) a temporary flood barrier system (approximately 377 metres long) that is installed during periods of flooding along Ellis and Rodboro Streets, to prevent flood water from Frenchman's Creek entering properties behind the barrier during Fitzroy River flooding. Backflow prevention devices have also been installed to prevent flood waters entering the flood management area through the stormwater system;
- (3) backflow prevention devices installed on stormwater outlets on the southern side of Lakes Creek Road and the railway line to prevent flood water entering the flood management area through the stormwater system. The elevation of Lakes Creek Road is above the one (1) per cent annual exceedance probability, which allows it to act as levee for the area during Fitzroy River flooding; and
- (4) sealing sewerage access chambers within the flooded area, outside the flood management area and to the south of Lakes Creek Road, to reduce the risk of the backflow of flood water through the sewerage reticulation system.

SC6.10.4.1 Levees

It must be noted that levees are a mitigation measure to protect property, not lives or people's safety. Levees are not an intrinsic solution to flooding of a development and should not be used to justify new development in areas of high flood risk, such as the flood management areas. The presence of the above mitigation measures in the North Rockhampton Flood Management Area does not negate the residual risk.

SC6.10.4.2 Residual risk

Unless a levee has been built to protect the probable maximum flood (PMF), it will overtop at some stage. Levees that overtop in extreme floods can produce a much higher flood hazard to people and structures than if they had not been built in the first place. This can lead to an increase in flood damage, and subsequently greater potential for damage. Levee failure can also occur through other mechanisms, such as piping failure. If or when a levee fails, potentially large numbers of houses could be affected by flooding to significant depths. If the levee breaches, the velocity of the water in the vicinity of the breach can also be substantial. Also, areas protected from riverine and creek flooding can still be subject to stormwater flooding as a result of a large thunderstorm bringing heavy rain beyond the capacity of the local drainage system.

Hence, due to the residual risk of flooding inherent within the North Rockhampton Flood Management Area, the provisions of the Flood Hazard Overlay Code, will still apply. As Council gains greater awareness and understanding of the residual risk, Council may revise aspects of the planning scheme to reflect the capability of flood mitigation measures to manage the residual risks for a site.

SC6.10.5 Technical Reports

The technical reports that are required to be prepared by the assessment benchmarks of the Coastal hazard overlay code, Flood hazard overlay code, and Stormwater Management code are outlined in the following sections.

SC6.10.5.1 Development assessment requirements

The level of detail required to describe proposed works may vary depending on the level of development approval sought, and the flood hazard risk inherent for the site. A suitably qualified Registered Professional Engineer of Queensland (RPEQ) specialising in hydrology and hydraulics should be involved in scoping the requirements to ensure an appropriate assessment of the flooding and overland stormwater flow impacts and proposed works is provided for the development.

SC6.10.5.2 Hydrologic and hydraulic assessment report

Council may require applicants to prepare a hydrologic and hydraulic assessment report for low and medium risk development applications, where the average velocities are low, and flow depths are shallow, and where the primary concern is related to flood immunity.

SC6.10.5.2.1 Purpose

The purpose of the hydrologic and hydraulic report is to provide an assessment of the flood impacts and flood immunity with regard to:

- (1) buildings and ancillary structures on flooding and overland flow;
- (2) any development within a waterway corridor; and
- (3) the effect of filling and excavation on flood storage, flow conveyance, and flood immunity for the development, to ensure no adverse impacts to downstream and adjacent properties.

SC6.10.5.2.2 Hydrologic and Hydraulic assessment report outline

A hydrologic and hydraulic assessment report may contain (where appropriate) the following information:

- (1) an assessment of flood level, flow or velocity with a view to ensuring that no adverse off-site impacts occur;
- (2) an assessment of any impacts of the development upon the uses identified in the flood hazard overlay code of the planning scheme;

- (3) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;
- (4) details of all flood level and flow calculation made in the assessment of the existing site and the proposed development impact;
- (5) details of the methodology (including justification of assumptions used and any limitations) and results;
- (6) tables showing differences between existing and proposed scenarios for water level, velocity and flow discharge;
- (7) cross sections with existing/design levels, design flood level, and energy grade line;
- (8) a plan of ground levels, along with volumetric flood storage calculations for any filling or excavation works, to confirm no loss of flood storage. A separate filling and excavation plan may be requested by Council depending on the extent of proposed earthworks;
- (9) flow calculations to confirm flow velocities, flood immunity, and no worsening to downstream or adjacent properties; and
- (10) hydraulic gradeline analysis of any proposed pipeline and other hydrological calculations.

SC6.10.5.2.3 Supporting information

Council may also request the following as supporting information to accompany the Hydrologic and Hydraulic assessment report:

- (1) Existing site survey plan from a registered surveyor to scale with cadastral boundaries, ground levels, existing structures, trees, fences, kerb and road levels, pipe invert levels and pit surface levels shown.
- (2) Plan and sections of the development proposal clearly showing habitable, non-habitable levels, proposed fill levels and extent and relevant ground levels.
- (3) Catchment plan to scale with hydrological calculations.
- (4) Plan to scale, showing the location of all hydraulic model cross sections.
- (5) Drawings showing the cross sections of any filling or excavation.

A person with acceptable qualifications and experience to prepare the hydrologic and hydraulic assessment report would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.3 Flood study

Where the nature of flooding at a specific site is uncertain, or development is proposed in medium, high or extreme flood hazard areas, Council may request applicants to submit a written assessment of the nature of flooding at the site of the proposed development, as part of an information request under the Development Assessment rules (DA rules). This assessment, known as a flood study, will need to contain details of the assessed flood characteristics at the site, and how the proposed development will address drainage, overland flow and/or flooding and/or a defined flood event (DFE) to determine the potential flood damage caused by the proposal, the potential impact on adjacent property and infrastructure and the impact of the proposal on catchment flows and flood levels. The flood study will also need to provide recommendations outlining how the flood impacts will be reduced or mitigated.

SC6.10.5.3.1 Purpose

The primary purposes of a flood study for development assessment are:

- (1) to reliably assess if there are any off-site impacts of the development on adjacent property and infrastructure;
- (2) to assess the on-site impacts and how the development will manage these (mitigation, resilience etcetera); and
- (3) to assess access associated risks including access and evacuation routes.

In some instances this may be a relatively simple hydrologic and one dimensional hydraulic assessment (for example, for overland flow paths) and in some instances this may be comprehensive two dimensional flood modelling.

SC6.10.5.3.2 Flood study outline

A flood study involves hydrological and hydraulic assessments to estimate catchment flows, flood levels, or to demonstrate that the development or any flood mitigation work would not adversely impact on flooding upstream, downstream or adjacent property or infrastructure. An operational work application for filling or excavation may require the carrying out of a flood study.

A flood study may include following information:

- (1) an assessment of the catchment, as pertaining to the development area, for the full range of design flood events, specifically, the thirty nine (39), twenty (20), ten (10), five (5), two (2) and one (1) per cent annual exceedance probability events (and lower probability flood events, if applicable) to the type of development proposed;
- (2) if falling within the coastal zone, the provisions made for storm surge;
- (3) for developments within the Fitzroy River floodplain, details of the tail water level (five (5), two (2) and one (1) per cent annual exceedance probability flood levels (and lower annual exceedance probability events, if applicable) adopted during the assessment of the catchment;
- (4) details of sensitivity analysis undertaken, assessing the influence of, but not limited to:
 - (a) variation of all Mannings 'n' values by ten (10) per cent to twenty (20) per cent;
 - (b) variation of the tail water level; and
 - (c) blockage considerations as outlined in the Queensland Urban Drainage Manual and Australian Rainfall and Runoff Project 11 Blockage of Hydraulic Structures;
- (5) details of, where possible, calibration of the model to known and recorded flood levels within the catchment or waterway or equivalent;
- (6) an assessment of flood level, flow or velocity with a view to ensuring that no adverse off-site impacts occur;
- (7) an assessment demonstrating that no significant or sudden change in distribution of the defined flood event flow, flood level or velocity shall occur which may result in:
 - (a) the failure of a levee;
 - (b) blockage and/ or breakout;
 - (c) excessive scour;
 - (d) realignment of the waterway;
 - (e) sedimentation;
 - (f) bank instability and collapse;
 - (g) a reduction in flood warning times;
 - (h) extension of the duration of inundation;
 - (i) hindrance to emergency evacuation routes;
 - (j) disruption to critical infrastructure, services, or access routes;
 - (k) exacerbation of risk to people, property and community infrastructure; and
 - (l) general decrease in amenity;
- (8) an assessment of any impacts of the development upon the uses identified in the flood hazard overlay code of the planning scheme;
- (9) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;
- (10) details of all flood level and flow calculations made in the assessment of the existing site and the proposed development impact;
- (11) details of the methodology and input data for any hydraulic or hydrologic modelling undertaken;
- (12) provision of flood maps depicting the following:
 - (a) flood extents for the full range of annual exceedance probability storm events modelled for various scenarios including pre-developed (existing case), developed case and, if applicable, ultimate developed case;
 - (b) velocity-depth profiles;
 - (c) flood hazard mapping;
 - (d) flood velocity range and vectors;

- (e) shear stress;
 - (f) the effects of sensitivity analyses;
 - (g) impact maps portraying effects of various increment levels to demonstrate compliance with the flood hazard overlay code;
 - (h) current natural surface levels (in metres Australian height datum) with respect to the defined flood event;
 - (i) any proposed adjustment to natural surface levels, with respect to the defined flood event; and
 - (j) estimated flood depths and velocity on the site and on adjoining or impacted properties both pre-development and post-development;
- (13) consideration of flood resilient design;
 - (14) details of any hazardous goods, mitigation measures for this, and associated environmental impacts;
 - (15) an evacuation plan;
 - (16) details of flood depths and velocities along evacuation route(s) from the proposed development to high ground;
 - (17) number of people likely to be evacuated;
 - (18) effective flood warning time;
 - (19) source(s) of information;
 - (20) qualifications and experience of the author of the flood impact report/statement; and
 - (21) any other matters which are considered relevant by the assessment manager on behalf of Rockhampton Regional Council.

A person with acceptable qualifications and experience to prepare the flood study would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.3.3 Additional flood study requirements

In certain instances, Council may require the flood study to also include information in addition to the above requirements. These may include (where applicable) some or all of the following:

- (1) site survey plan showing the location of buildings and underground stormwater infrastructure (line and level);
- (2) a catchment plan detailing internal and external drainage catchments and their respective areas;
- (3) the location and details of drainage easements associated with underground drainage, open channel drainage or overland flow paths;
- (4) a scaled drawing showing the hydraulic model layout (cross sections) or digital elevation model (DEM) over a cadastral background, also noting details of relevant structures (hydraulic controls);
- (5) scaled drawings showing a comparison of existing and proposed flood inundation extents;
- (6) flood afflux and Manning's roughness maps, when using two-dimensional modelling techniques;
- (7) assessment of the cumulative impacts of the proposed development on floodplain storage;
- (8) detailed plans for any proposed waterway structures;
- (9) detailed earthwork plans for any channel works or flow path modifications proposed by the development;
- (10) location of waterway corridors and relevant flood hazard areas;
- (11) cross sections of existing or proposed basins, embankments, spillways and any other structures that may act as hydraulic controls; and
- (12) all information used in the preparation of the study, including, but not limited to:
 - (a) source/s of information;
 - (b) methodology;
 - (c) hydrologic and hydraulic models;
 - (d) calibration techniques for mathematical models;
 - (e) model accuracy; and
 - (f) qualifications and experience of the author of the flood study.

As mentioned above, the flood study is to be supervised and certified by a suitably qualified professional with demonstrated expertise in hydrology, hydraulic modelling and stormwater engineering. This would be a suitably qualified Registered Professional Engineer of Queensland (RPEQ) with relevant experience in the field of hydraulic engineering and floodplain management.

SC6.10.5.4 Structural Engineering Design Report (coastal and flooding hazards)

A Structural Engineering Design Report is a requirement for development which is at a medium, high, or extreme risk of impact from flood or coastal hazards. Specifically, a Structural Engineering Design Report is required to accompany a development application at the building works stage for the following activities:

- (a) development of a new building in a medium, high, or extreme risk area, as defined in the Flood hazard overlay or Coastal hazard overlay;
- (b) redevelopment of a building in the erosion prone area, as defined in the Coastal hazard overlay; and
- (c) minor building works (extensions) in a medium, high, or extreme risk area, as defined in the Flood hazard overlay or Coastal hazard overlay.

The structural engineering design of the proposed new building, redevelopment or extension is to ensure the building or structure is capable of withstanding the nature of the hazards to which it will be subject. In this regard, the Structural Engineering Design Report is to identify and document the following:

- (a) the flood or coastal hazards that can potentially occur at the development site;
- (b) the structural design approach utilised to accommodate the flood or coastal hazards; and
- (c) how the structural design satisfies the relevant overall outcomes and performance outcomes outlined in the Flood hazard overlay code and in the Coastal hazard overlay code.

The consideration of the impact of the flood or coastal hazards on the development is to include, but not be limited to the following:

- (a) hydrostatic loading due to water depth;
- (b) hydrodynamic loading associated with both depth and water velocity;
- (c) potential debris impact loading;
- (d) potential wave impact loading (wind waves, storm wave overtopping);
- (e) erosion and scour around the development; and
- (f) any combination of the above.

The Structural Engineering Design Report is to demonstrate appropriate design of the following:

- (a) structural members to accommodate building loads;
- (b) floor levels relative to design flood conditions as specified in the relevant overlay code;
- (c) footings to maintain foundation requirements including allowance for scour;
- (d) flood resistant building materials;
- (e) integration of utilities; and
- (f) emergency egress from the building.

The design intent is for new development to remain structurally sound for all events up to and including the most extreme events. Reference is made to the following standards and guidelines:

- Australian Building Construction Board standard for *Construction of Buildings in Flood Hazard Areas*;
- Mandatory Part 3.5 of the Queensland Development Code (QDC) *Construction of buildings in flood hazard areas*; and
- Fact Sheet: Water Resilient Products and Building Techniques for Rebuilding After a Flood.

The Structural Engineering Design Report is to be prepared by a Registered Professional Engineer of Queensland (RPEQ) with appropriate expertise in structural engineering and design.

SC6.10.5.5 Site Based Overland Flow Report

A Site Based Overland Flow Report may be required for development that is located in an overland flow path.

The purpose of the Site Based Overland Flow Report is to demonstrate that the development:

- (a) will not result in a material increase in flood level or flood hazard on upstream, downstream or surrounding properties; and
- (b) will provide acceptable management of flood risk with appropriate development levels to ensure the safety of people.

The Site Based Overland Flow Report differs from a flood report in that overland flows are shallow surface flows that discharge to the piped drainage system or a natural waterway. Overland flows are difficult to establish through computer models, given the fine resolution of the flow paths and controlling structures and topographic features. Rather, flow paths are defined based on general landform characteristics, built structures (including fences, retaining walls and landscaping) and the existing stormwater network. In contrast, the site based Hydrologic and Hydraulic Assessment/Flood Report is more targeted at defined watercourses that can have significant increase in water levels in response to catchment rainfall and runoff.

In preparing the Site Based Overland Flow Report, the following considerations are required:

- (a) the proposed development is to take account of existing or created overland flow paths and make due provision in the design of the site stormwater system;
- (b) maximum overland flow velocity should not exceed 2m/s with a depth not exceeding three-hundred (300) millimetres;
- (c) overland flow paths should be located along roads and reserves rather than across private property;
- (d) development of the site should preserve existing overland flow paths as far as practical; and
- (e) design is to be in accordance with the Queensland Urban Drainage Manual.

The Site Based Overland Flow Report may contain (where appropriate) calculations and other necessary evidence to demonstrate the following:

- (a) impacts of the proposed development on localised flooding are mitigated and surrounding properties (upstream and downstream) are not adversely affected;
- (b) habitable floor levels for the development are higher than the one (1) per cent average exceedance probability (AEP) overland flow level plus freeboard requirement;
- (c) relevant overall outcomes and performance outcomes of the Stormwater Management (Overland flow path) code have been achieved.

A Site Based Overland Flow Report may contain (where appropriate) the following information:

- (1) an assessment of existing or created overland flow paths in terms of flood level, flow, or velocity to make due provision in the design of the site stormwater system to confirm that habitable floor levels for the development are higher than the one (1) per cent average exceedance probability (AEP) overland flow level plus freeboard requirement, and ensure that no adverse off-site impacts occur;
- (2) details of the general landform characteristics, built structures (including fences, retaining walls and landscaping), and the existing stormwater network
- (3) an assessment of any impacts of the development upon the uses identified in the Flood hazard overlay and/or Stormwater code of the planning scheme;
- (4) details of safe access and egress for the development, including the calculation and documentation of access road flood depths and depth*velocity products;

- (5) details of all flood level and flow calculations made in the assessment of the existing site and the proposed development impact;
- (6) details of the methodology (including justification of assumptions used and any limitations) and results;
- (7) tables showing differences between existing and proposed scenarios for water level, velocity and flow discharge;
- (8) cross sections with existing/design levels, design flood level, and energy grade line;
- (9) a plan of ground levels, along with volumetric flood storage calculations for any filling or excavation works, to confirm no loss of flood storage or obstruction of the overland flow path. A separate filling and excavation plan may be requested by Council depending on the extent of proposed earthworks;
- (10) flow calculations to confirm flow velocities, flood immunity, and no worsening to downstream or adjacent properties; and
- (11) hydraulic gradeline analysis of any proposed pipeline and other hydrological calculations.

The following supporting information may accompany the Site Based Overland Flow report:

- (1) Existing site survey plan from a registered surveyor to scale with cadastral boundaries, ground levels, existing structures, trees, fences, kerb and road levels, pipe invert levels and pit surface levels shown.
- (2) Plan and sections of the development proposal clearly showing habitable, non-habitable levels, proposed fill levels and extent and relevant ground levels.
- (3) Catchment plan to scale with hydrological calculations.
- (4) Plan to scale, showing the location of all hydraulic model cross sections.
- (5) Drawings showing the cross sections of any filling or excavation.

The piping of all overland flows as a solution is impractical and generally not permitted, as:

- the provision of an overland flow path to account for larger flows or blockages and the piped network extending downstream to a suitable outlet will be required;
- the proposed design will need to conduct a HGL analysis based on downstream two (2) per cent average exceedance probability (AEP) or one (1) per cent average exceedance probability (AEP) flows (e.g. top of kerb HGL assumption at the next downstream pit);
- surcharging of flows back into an overland flow path is not permissible as it concentrates flow and may result in sedimentation problems in the pipe; and
- capturing surface flows is unlikely without a detention basin as blockage will occur.

The Site Based Overland Flow Report may be a standalone document or accompany a broader flood planning study conducted for the development.

The Site Based Overland Flow Report is to be prepared in accordance with the current industry practice for overland flow impact assessments. The Site Based Overland Flow Report is to be prepared and certified by a Registered Professional Engineer of Queensland (RPEQ) with appropriate expertise such as hydrology, hydraulic modelling and stormwater engineering.

SC6.10.5.6 Environmental harm

In assessing an application to develop on flood prone land, Council will take into consideration whether any adverse environmental impacts may occur as a result of flooding of the development. Council may refuse a development application that produces adverse environmental impacts as a result of flooding and not achieving compliance with the flood hazard overlay code.

SC6.10.5.7 Filling or excavation

In assessing an application involving the filling or excavation of land in the flood prone area, the applicant is required to demonstrate through a filling and excavation plan that any proposed cut and fill works within the floodplain will not:

- (1) adversely affect flood behaviour, including increasing the depth and velocity of overland water flows; or
- (2) interrupt or materially change the surface water drainage from or onto adjoining land; or
- (3) create, in the event of a major flood event, a sudden change in flow distributions, flood level or velocity that could result in:
 - (a) breaking of a levee; or
 - (b) establishment or blockage of a breakout; or
 - (c) excessive scour; or
 - (d) possible channel realignment; or
 - (e) sedimentation; or
 - (f) worsening of emergency access; or
 - (g) increased flood hazard; or
 - (h) any adverse effect on existing structures or buildings in the locality.

SC6.10.5.7.1 Filling and excavation plan

The applicant shall submit to Council a filling and excavation plan containing the following information:

- (1) a plan showing:
 - (a) existing and finished surface level contours (to Australian height datum) of the development site, including survey point density and accuracy in accordance with Council standards;
 - (b) the compensatory free-draining excavation area for any proposed filling within the flood plain;
 - (c) the alignment of the toe of the batter slope which is proposed to retain the fill;
 - (d) the grading of the proposed cut and fill surfaces demonstrating the finished surface is free draining; and
 - (e) level notations that identify the line of the defined flood event and the proposed area of filling and excavation (before and after filling);
- (2) section drawings showing level notations which identify the line of the defined flood event and the proposed area of filling and excavation (before and after filling); and
- (3) details of:
 - (a) the hydraulic design of the development, using topographic data which includes at least one surveyed cross-section of the floodway aligned through the proposed fill area;
 - (b) pre- and post-development finished surface level and the defined flood event level;
 - (c) the flood modelling undertaken;
 - (d) any adverse effects on the behaviour of a flood in excess of the defined flood event;
 - (e) any proposed batter slopes and retaining walls on the premises;
 - (f) the provisions for stormwater run-off from any proposed area of filling and excavation;
 - (g) how the natural drainage of adjacent premises has been catered for;
 - (h) calculations of the cut, fill and balance to confirm compensatory earthworks and loss of floodplain storage;
 - (i) plots of pre- and post-earthworks flood storage against depth;
 - (j) plots of pre- and post-earthworks conveyance against depth; and
 - (k) cross-sections at regular intervals showing the extent of cut and fill works to confirm earthworks and if applicable no loss of floodplain storage.

SC6.10.5.7.2 Works within a Defined Flood Event area of inundation

Works within the area of inundation for the Defined Flood Event do not involve any of the following:

- (a) any physical alteration to a watercourse, floodway, or overland flow path affecting its flow capacity;
- (b) any native vegetation clearing;

- (c) any increase in the rate of release of stormwater runoff from the premises to the area of inundation for the Defined Flood Event;
- (d) altering the existing surface levels to adversely impact flood immunity of surrounding properties;
- (e) filling or excavation below the Defined Flood Event inundation level inclusive of any previous occurrences of filling or excavation on the site that reduces the flood storage volume or increases flow velocities resulting in erosion, except for compensatory earthworks which are permitted to occur within a Defined Flood Event area of inundation but only under limited circumstances; or
- (f) any physical alteration of the watercourse or floodway within thirty (30) metres of its top of bank.

SC6.10.5.7.3 Compensatory earthworks impact within a Defined Flood Event area of inundation

Compensatory earthworks seek to allow for limited cut and fill to occur, at the same incremental level, within the Defined Flood Event and achieving a nil impact on the hydraulic characteristics of the waterway or floodway. Where compensatory earthworks occur within the Defined Flood Event, such earthworks are only acceptable where they do not adversely impact upon the hydraulic characteristics of a waterway or floodway. Adverse impacts can be actual, potential or cumulative, and can result in adverse impacts downstream from where the earthworks occur.

Earthworks which are not compensatory can result in:

- (a) a reduction in the flood-capacity of a waterway or floodway;
- (b) a reduction in flood storage;
- (c) altering of the hydraulic control (flow, velocity and direction) of a watercourse; and
- (d) an increased or new scouring and sedimentation.

Compensatory earthworks are generally acceptable if:

- (a) it can be demonstrated that there is a net balance in the total volume of “cut to fill”, and any filling (including any imported fill) (in m³) does not exceed the volume of cut (in m³);
- (b) any physical alteration of the waterway or floodway occurs no closer than 30m from the top of the bank; and
- (c) the fill area is free draining.

SC6.10.5.8 Numerical modelling requirements

All survey data and modelling used to demonstrate compliance with Council's flood plain management requirements shall be provided to Council on suitable electronic media (CD, external hard drive, etcetera) with the development application. Applicants are to refer to Council's Modelling and Management Standards document to understand Council's modelling information requirements prior to submitting models to Council.

SC6.11 Geotechnical report planning scheme policy

SC6.11.1 Application

This planning scheme policy applies to development involving works which:

- (1) has slopes generally greater than fifteen (15) per cent; or
- (2) is in an area identified on the steep land overlay map OM-11; or
- (3) in Council's opinion, may be subject to land instability.

This policy applies as above unless:

- (4) the Council is satisfied that the development is of a nature that is unlikely to affect land stability; or
- (5) a previous geotechnical report addressing geotechnical aspects for development on the land is available to the Council and is relevant to the proposed development.

The preparation of a geotechnical report provides Council with the relevant information for assessing an application or proposal.

SC6.11.2 Purpose

The purpose of this planning scheme policy is to:

- (1) ensure development on land which is steep (has slopes generally greater than fifteen (15) per cent), erosion prone, or prone to slip properly addresses factors affecting land stability;
- (2) ensure on-site disposal of wastewater can be sustainably managed within the boundaries of the lot; and
- (3) provide guidance on the preparation and assessment of geotechnical reports.

SC6.11.3 Preparation of a geotechnical report

The main aim of a geotechnical report is to ensure development on steep land has had appropriate regards to the geological elements of the site. The report should outline issues such as the sites suitability for the proposal on the chosen site, having regard to its impacts on the environment while highlighting any measures to ensure stability of the site.

- (1) The report is to be prepared by a suitably qualified person:
 - (a) the geotechnical investigation is required to be directed by a professional, qualified in geological and/or geotechnical engineering, and being a registered professional engineer. It is desirable that the person has local experience with steep land, land slip areas and/or erosion prone areas and the mitigation of possible adverse effects;
 - (b) laboratory testing is required to be undertaken by a National Association of Testing Authority (NATA) certificated laboratory; and
 - (c) all investigations, testing and design should be undertaken in accordance with industry standard practice and the provisions of relevant Australian Standards.
- (2) Where a development site is subject to the provisions of this policy, the proponent is strongly encouraged to meet with Council officers prior to lodgement of the application. This will assist in determining and clarifying the relevant items, identified below, to be addressed in the report. As a general guide the following format and contents description indicates the depth of detail required.

SC6.11.4 Geotechnical report template

Table SC6.11.4.1 — Geotechnical report template

Introduction	
(a)	Details of the proposed development, such as site location and description including the real property description;
(b)	Method and scope of investigations; and
(c)	Qualifications of responsible individual(s) and/or company.
Description of existing conditions	
(a)	Existing research material (if any) including: <ul style="list-style-type: none"> (i) aerial photographs; (ii) geological maps; (iii) geological reports; and (iv) site classification;
(b)	Geology (local and regional), including: <ul style="list-style-type: none"> (i) surface and subsurface materials; and (ii) geomorphology (slopes, ground contours, natural features, terrain analysis, landslip features);
(c)	Groundwater, including: <ul style="list-style-type: none"> (i) water table; and (ii) springs and seepage areas in the local area of interest;
(d)	Surface drainage patterns;
(e)	Vegetation cover on and around site; and
(f)	Buildings, other structures, earthworks, etcetera.
Assessment of land stability/suitability	
(a)	Site history: <ul style="list-style-type: none"> (i) location and classification of any existing slips (type, severity and likely mode of failure); (ii) extent and type of any existing occurrences of erosion; and (iii) information on hazards (of rock fall, landslip, etcetera) on land above the site;
(b)	Proposed development components;
(c)	Potential geotechnical effects – from field and/or laboratory testing or assessment, classification of surface and subsurface materials to determine: <ul style="list-style-type: none"> (i) erosion potential; (ii) foundation conditions that could affect structural performance; (iii) suitability for wastewater disposal; and (iv) any other relevant characteristics.
Assessment of development impacts	
(a)	Site layout;
(b)	Roadworks, driveways and other pavements;
(c)	Earthworks (excavation, materials usage);
(d)	Foundations;
(e)	Surface drainage;
(f)	Wastewater (treatment and disposal);
(g)	Detail existing stability of subject land and of geotechnical constraints on building(s) and/or other development works on the site as well as on land above and below the site;
(h)	Overall effect of development on the stability of the land as well as on land above and below the site; and
(i)	Overall effect on any on-site sewerage disposal system on: <ul style="list-style-type: none"> (i) surface and groundwater integrity; (ii) surrounding land uses; and (iii) slope stability due to reduced cohesiveness, increased pore water pressure, increased lubrication of bedding planes, etcetera.
Measures recommended to mitigate impacts	
(a)	Recommendations on appropriate measures required to avoid or minimise risks of instability, or other adverse environmental effects, on the subject site as well as land above or below the site, including:

- (i) preferred locations for buildings, other structures, driveways, etcetera;
- (ii) foundation requirements such as bearing pressures, piling parameters, special techniques for expansive clays, etcetera;
- (iii) pavement types and designs;
- (iv) construction methods to avoid problem areas associated with loose materials and groundwater seepage;
- (v) preferred excavation/retention/stabilisation techniques and suitability of excavated materials for use in on-site earthworks;
- (vi) surface and subsurface drainage requirements;
- (vii) preferred methods of wastewater disposal; and

Editor's note—If addressing the suitability of land for effluent disposal, the geotechnical report is to follow Australian Standard/New Zealand Standard AS/NZS 1547:2012 On-site domestic wastewater management and must comply with the *Plumbing and Drainage Act 2018*.

- (viii) vegetation protection and revegetation requirements.

Summary and conclusions about the overall suitability of the land for the proposed development

Appendix

- (a) Field and laboratory test results, including the location and level of field investigations such as boreholes, trench pits and core penetrometer soundings.

SC6.12 Landscape design and street trees planning scheme policy

SC6.12.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the relevant zone code, works code and landscape code.

SC6.12.2 Purpose

The purpose of this planning scheme policy is to:

- (1) promote the increased use of local provenance Australian native species in landscaping;
- (2) promote the use of appropriate species for the right locations;
- (3) encourage the use of water efficient plants;
- (4) improve the quality of potential wildlife habitats and corridors through the process of landscaping the urban environment;
- (5) improve the visual amenity of the built environment;
- (6) place a high priority on the use of shade trees and screening plants to enhance or even transform the city and town environments;
- (7) promote the retention and enhancement of vegetation within development through proper integration; and
- (8) protect locally significant trees, stands of trees and other vegetation.

SC6.12.3 Minimum planting requirements

- (1) Existing trees and shrubs over four (4) metres in distance from any building work or approved car parking area or access thereto must be retained and included in a landscape plan. Appropriate action must be taken to minimise disturbance to this vegetation during on-site building work.
- (2) Trees are to be planted in planting beds of a minimum of 1.5 metres width and in mulch/planting areas a minimum of six (6) square metres in size.
- (3) All planting requirements must comply with Capricorn Municipal Development Guidelines — C273 Landscaping construction specifications.

SC6.12.4 Parks and landscaping plan specification

A landscape plan outlining specifications must accompany the operational work submission for approval. The specifications are required to reflect best practices and incorporate modifications as required by this policy and the conditions of approval, Council's local laws, policies and codes and the relevant Australian Standard Codes of Practices and applicable authorities (for example, Australian Standards, Department of Transport and Main Roads Landscape Manual).

SC6.12.5 Landscaping softworks

SC6.12.5.1 Topsoil and garden soil

- (1) Topsoils must be retained and improved.
- (2) Natural topsoils may require blending or conditioning to attain required specifications for use in landscaped areas.
- (3) Necessary measures are taken to prevent the importation of fire ants or any stages of the fire ant life cycle to the work site. If fire ants are suspected contact the relevant state government department immediately.
- (4) Imported soil must comply with Australian Standard AS 4419 — Soils for landscaping and garden use and the Capricorn Municipal Development Guidelines – C273 Landscape construction specifications.

SC6.12.5.2 Planting specifications

- (1) Containerised plant stock must be installed in compliance with the following requirements:
 - (a) minor root prune to ensure plant roots are growing laterally immediately prior to planting;
 - (b) minor formative prune where required in accordance with Australian Standard AS 4373 — Pruning of amenity trees;
 - (c) excavate sufficient size planting holes, and backfill with suitable soil, to promote strong establishment growing conditions, whilst allowing for normal long-term root development;
 - (d) position plant to ensure that upon settlement the top of the root ball is level with the final grade;
 - (e) stake plants as specified or where required and allow for stake removal prior to completion of maintenance period;
 - (f) fertilise and maintain so as to promote vigorous growth;
 - (g) nursery stakes, ties and labels are removed immediately after planting; and
 - (h) planting must be positioned to avoid and minimise encroachment of plants onto walkways, roads, car parking areas or similar pedestrian or vehicle circulation areas.
- (2) Street trees must conform to the following specifications at planting:
 - (a) NATSPEC: Specifying Trees or 'FCRC Generic Nursery Stock Standards for the Supply of Container Grown or Bare Rooted Urban and Amenity Trees';
 - (b) minimum separation distance for single trunk clearance — one (1) metre (streets), 1.7 metre (roundabouts);
 - (c) appropriate tree size indices as per NATSPEC to meet these minimum clean stem heights;
 - (d) any pruning is undertaken in accordance with Australian Standard AS 4373— Pruning of amenity trees; and
 - (e) minimum distance of 1,000 millimetres behind the back of any kerb or adjoining pathway.
- (3) Transplanting ex-ground stock must be carried out with the following provisions:
 - (a) plant material is authorised for removal under statutory requirements;
 - (b) root pruning is carried out to eliminate any girdled root systems or faults;
 - (c) specimens will require repeat treatments of rooting hormones and/or anti-evapotranspirant to stabilise plants and stimulate regrowth;
 - (d) root ball is wrapped and adequately protected to prevent disturbance throughout procedure;
 - (e) specimens will require substantial guying to minimise root ball movement through establishment; and
 - (f) standard maintenance program is upgraded to accommodate for careful monitoring throughout establishment.
- (4) Any pruning must be undertaken in accordance with Australian Standard AS 4373 — Pruning of amenity trees.

SC6.12.5.3 Revegetation

- (1) Species, density and relative abundance are consistent with an appropriate regional ecosystem and/or vegetation association for the site. The following densities will be required: Forests: 1.5 to two (2) metre centres, Heathlands: two (2) plants per square metre, Sedgeland communities: as per the south-east Queensland Healthy Waterways Technical Design Guidelines. The revegetation planting is designed to achieve rapid canopy closure and 'site capture' to reduce short-term to medium-term maintenance requirements.
- (2) Revegetation works consider the appropriate limitations to successful revegetation works including but not limited to: soil types, soil contamination and soil amelioration/management, appropriate mulching, pests and disease, hydrology, roughness coefficient and layout when planting within floodplains, weeds, past and present site and adjoining land uses, ecosystem processes, fire regimes and management/maintenance requirements to ensure successful vegetation establishment.
- (3) Direct seeding for rehabilitation of native vegetation preservation areas may be approved where:
 - (a) ground preparation is suitable;
 - (b) sound technical expertise is employed; and
 - (c) required plant species seed is available.

SC6.12.6 Landscaping hardworks

SC6.12.6.1 Edge treatments

- (1) Edge treatments must comply with the following requirements:
 - (a) edge treatments must be a minimum of seventy-five (75) millimetres wide and mountable, for ease of mowing and maintenance;
 - (b) turf or mulch must be twenty-five (25) millimetres below top grade of adjoining edge;
 - (c) a minimum curvature radius at three (3) metres;
 - (d) the minimum access between edges and other treatments must be three (3) metres; and
 - (e) avoid restricting access into narrow corners.
- (2) Materials acceptable for paver (clay or concrete) edge treatments are:
 - (a) minimum sixty (60) millimetres width;
 - (b) minimum 110 millimetres width (230 millimetres preferred);
 - (c) mortar base and exposed edges (20 mega pascals); and
 - (d) no cracking.
- (3) Materials acceptable for timber edge treatments are:
 - (a) minimum 150 millimetres log (winged) or 200 millimetres by eighty (80) millimetres sleeper (bevel edges);
 - (b) suitably treated for in ground use (H4 treated or durability class 1 or 2 hardwood);
 - (c) finish end and joints neatly; and
 - (d) securely pin and fix.
- (4) Materials acceptable for continuous concrete:
 - (a) minimum width 150 millimetres;
 - (b) minimum depth 100 millimetres;
 - (c) minimum twenty (20) mega pascals;
 - (d) may be coloured or patterned;
 - (e) finish ends neatly and flush;
 - (f) bolster cut control joints where required; and
 - (g) no cracking.

SC6.12.6.2 Paving and concreting

- (1) Where a paved or plain or textured concrete surface finishing must be used, appropriate consideration must be given to its long-term skid resistance.
- (2) Construction details must clearly specify, and reference, particulars of paving and concrete works including:
 - (a) colours;
 - (b) patterns;
 - (c) paver material, where applicable;
 - (d) exposed aggregate (size, colour and surface texture);
 - (e) widths, thickness, strength and reinforcement; and
 - (f) base preparation.

SC6.12.6.3 Entry statements

Entry statements to developments must be fully contained within private property and must not revert to Council ownership.

If they are to remain post completion they should be of a form and construction that does not degrade quickly over time, and can persist until the completion of all approved development, and at least three (3) years after all construction has been completed. Council will not be obliged to replace or repair should the entry statement become damaged or is unserviceable.

SC6.12.6.4 Fences and barriers

- (1) Barrier fences, bollards and or landscaping will be required to prevent vehicular trespass into parklands and other public open spaces. Construction drawings must clearly reference and specify all fence treatments, including materials and must comply with Capricorn Municipal Development Guidelines — General drawings.
- (2) Where bollards are required, they must include a service access secured by a lock rail or pole gate, constructed in accordance with Capricorn Municipal Development Guidelines – General drawings – G-13.

SC6.12.6.5 Landscape furniture and playground equipment

- (1) All landscape furniture, playground equipment and associated infrastructure must be in accordance with all relevant statutory requirements and Australian Standards including the following:
 - (a) Australian Standard AS 4685 - Playground equipment and surfacing; and
 - (b) Australian Standard/New Zealand Standard AS/NZS 4422:2016— Playground surfacing — Specification, requirements and test method.
- (2) All fittings to timber work must be of stainless steel.
- (3) All furniture, playground equipment and surrounds must be durable, vandal resistant and low maintenance.
- (4) All furniture and playground equipment will be subject to a successful safety inspection by Council officers prior to acceptance of any infrastructure as a Council asset.
- (5) Any special tools, equipment, keys, spare parts, warranties, instructions and maintenance requirements associated with any equipment must be provided to Council prior to acceptance of any infrastructure.

SC6.12.7 Road corridor landscaping

SC6.12.7.1 General

The provision of landscaped areas within road reserves and traffic calming devices must be reduced to a minimum except in the commercial business areas. Where landscaping must be installed, specific low maintenance designs are required to ensure Council's continuing maintenance liability is kept to a minimum. Landscaping must not increase the risk of travelling on the road corridor.

SC6.12.7.2 Design benchmarks

- (1) Planting to be in scale with the streetscape.
- (2) Street trees must be located such that when mature, they do not impact on the street lighting, future driveway locations or other infrastructure in accordance with Capricorn Municipal Development Guidelines – General Drawings – G-016.
- (3) Street trees and landscaping must not impact on vehicle sight distances in accordance with Australian Standard AS 2890 or unduly restrict visibility to pedestrians and children in verge areas.
- (4) Plants are not to be placed at access points.
- (5) Plants do not obstruct access to services.
- (6) Street trees under power lines must have a mature height no greater than four (4) metres.
- (7) Earthworks are not to be carried out within proximity of existing vegetation.
- (8) All street gardens, including roundabouts and medians, must be provided with an automatic irrigation system (refer irrigation section of this policy).
- (9) Subsoil drainage must be provided between all street gardens and the road pavement.
- (10) Street trees must not impede or obstruct pedestrian traffic along pathways.
- (11) Species with invasive root structure or multi-stemmed habits are not to be used on the road verge.
- (12) Pedestrian access must be maintained around and, where applicable, through all street planting.
- (13) Visibility lines must be checked to ensure that the minimum stopping distance for vehicular traffic is maintained.

SC6.12.7.3 Medians and roundabouts

Landscaping in median and roundabouts must provide for sight distances in accordance with Austroads 'Guide to Road Design' and the Department of Transport and Main Roads 'Road Planning and Design Manual – edition 2'.

Acceptable landscaping treatments include decorative pavements, turf, clear-trunked trees (preferably) or local palms, shrubs and groundcovers (to a maximum height of one (1) metre; taller plantings are acceptable where visibility between carriageways is not critical) or a combination of any of these. Trees must be incorporated where possible. An automatic irrigation system must be provided to all planted medians and a tap connection must be fitted to all roundabouts. Subsoil drainage is required to the standard specified in the subsoil drainage section of this policy. Medians with an area less than five (5) square metres or less than one (1) metre in width must be of concrete or other approved material.

SC6.12.8 Site based landscaping

SC6.12.8.1 Car parks

The landscape design for a car park must meet the following requirements:

- (1) shade trees with a minimum height of two (2) metres are provided within car parking areas at the following rate:
 - (a) in single sided, angle or parallel bays — one (1) tree per three (3) car parks; and
 - (b) in double sided, angle or parallel bays — one (1) tree per six (6) car parks;
- (2) each shade tree is provided with a minimum planting area of 1.2 square metres with a minimum topsoil depth of 0.8 metres;
- (3) each shade tree has a clean trunk with a minimum height of two (2) metres;
- (4) car park areas include parking bays and access aisle, and exclude driveways that extend beyond the access aisles;

- (5) where landscape areas about a parking bay or access aisle, they include landscaped buffer strips that meet the following requirements:
 - (a) minimum 2.25 square metres per shade tree to allow free circulation of air;
 - (b) water to the tree's root system; and
 - (c) protection from pedestrian and vehicular traffic;
- (6) shade trees are species that have a rounded or spreading form, medium to dense foliage and provide accessible shade for pedestrians and motorists. Local palms may be included in the planting scheme but are not acceptable as shade trees;
- (7) root guards must be used where tree roots will cause damage to surrounding hard surfaces; and
- (8) an automatic irrigation system must be provided to all car park planting areas.

SC6.12.8.2 Parks and open space

Shade trees planted in parks and open spaces must meet the following requirements:

- (1) Shade trees must be planted clear of services and utilities;
- (2) Shade trees must be planted clear of park furniture, embellishments and do not obstruct pedestrian or bicycle traffic;
- (3) Canopy shade trees are sited and planted to provide shade for:
 - (a) playgrounds and recreational areas;
 - (b) pathways; and
 - (c) picnic facilities and seats;
- (4) Shade tree planting must comply with the crime prevention through environmental design principles; and
- (5) Shade trees must meet the following species selection specifications:
 - (a) shade trees must meet requirements outlined in SC6.12.11;
 - (b) more than one species is to be used throughout;
 - (c) for amenity plantings, shade trees are grouped as one single species or a combination of at least three (3) species; and
 - (d) species listed under SC6.12.13 are considered undesirable and must not be used as shade trees.

SC6.12.9 Stormwater and drainage infrastructure

Landscape design and construction must incorporate water sensitive urban design principles and meet Capricorn Municipal Development Guidelines, Water by Design guidelines and Queensland Urban Drainage Manual specifications for vegetated stormwater assets.

SC6.12.9.1 Open drainage swales

- (1) Batten slopes turfed or seeded in accordance with Urban Stormwater Design Manual and Capricorn Municipal Development Guidelines landscape specifications.
- (2) No gardens or hard landscape embellishments to be constructed unless approved by Council.
- (3) Slopes unable to achieve gradients less than one (1) in four (4) or unable to be accessed for maintenance purposes must use alternative treatments to provide scour protection and suppress plant and weed growth such as:
 - (a) concrete or alternative hard treatments;
 - (b) rock armouring; and
 - (c) mulching and dense plantings (access permitting).

SC6.12.9.2 Bio-retention basins

- (1) Bio-retention basin landscape construction and design are required to meet the following specifications:
 - (a) bio-retention basins must be constructed in accordance with Water by Design – Bio-retention Technical Design guidelines;
 - (b) bio-retention basins are constructed with saturation or sealed profile to assist with soil moisture to maintain vegetation. All soils and filter material must meet Australian Standards; and

- (c) bio-retention basin batters are constructed with a gradient of one (1) in six (6) but no greater than one (1) in four (4);
- (2) Species specifications:
 - (a) only species of sedges, grasses and herbaceous forbs included in Water by Design – Bio-retention Technical Design Guidelines will be permitted to be used for bio-retention basins. Native species are preferred unless otherwise approved by Council; and
 - (b) plant density will be:
 - (i) six (6) to eight (8) plants per square metre for tube stock; and
 - (ii) four (4) plants per square metre for semi-established (four inch pots); and
- (3) Access and maintenance:
 - (a) suitable and safe access must be provided to all bio-retention and detention basins in accordance with Queensland Urban Drainage Manual guidelines and Water by Design – Bio-retention Technical Design guidelines;
 - (b) clearance less than 0.5 metres wide or unable to be accessed for maintenance purposes must be treated with hard landscape options or other alternative treatments approved by Council to suppress plant and weed growth; and
 - (c) all bio-retention basins must have an approved maintenance plan to be implemented during a minimum twelve (12) month maintenance period.

SC6.12.10 Irrigation systems

SC6.12.10.1 General

- (1) Automatic irrigation systems must be provided to all garden beds constructed within road reserves, parks, sporting fields and open space as part of development works.
- (2) Recycled water for irrigation purposes must be utilised where available. Recycled water use must comply with 'Australian guidelines for water recycling: managing health and environmental risks 1996'.
- (3) The irrigation systems must comply with the requirements defined below and Australian Standard AS 2698 and Urban Best Management Practise Guidelines.
- (4) The developer will be responsible for the cost of all irrigation water used and irrigation system maintenance costs incurred to establish plants and to maintain the planting during the maintenance period.
- (5) Irrigation systems must be installed in accordance with the manufacturers' specifications.
- (6) All irrigation systems connected to the public water supply must be metered.
- (7) Irrigation plans identifying layout and components are to be submitted to Council for approval. All irrigation maintenance schedules associated with the irrigation system are to be presented to Council at time of handover.

SC6.12.10.2 Layout

- (1) All irrigation systems must be fully automatic pop-up spray, drip emitter or subsurface microporous flexible pipe.
- (2) Spray sprinklers must be located for head to head coverage and minimal over spray onto abutting hard finished surfaces.
- (3) Irrigation layout of parkland grassed areas must include road verges along the parkland frontage with spray emitters located at the back of kerb.
- (4) Appropriate filter screens must be placed within the system adjacent to the connection to the water main.
- (5) All irrigation emitters must deliver sufficient precipitation for maximum soil absorption and water uptake by plants with minimum run-off.
- (6) The design must prioritise deep, less frequent watering.

SC6.12.10.3 Backflow prevention devices

Backflow prevention devices must be installed in accordance with Australian Standard AS 2845.

SC6.12.10.4 Controllers

- (1) The controller must be installed in a metal cabinet that is lockable, dust proof and rust proof.
- (2) It must be constructed so as to minimise the effects of vandalism.
- (3) It must be easily accessible for maintenance and inspection.
- (4) The controller must be connected to 240 volts, a solar system or other approved power supply.

SC6.12.11 Preferred species and specifications

The following section provides details of species for use in landscape plans for the Rockhampton region. As stated previously the emphasis of this policy is on the use of local provenance Australian native species. While the use of some exotics, signature species and hybrid natives is inevitable and even desirable in some instances, better outcomes can be achieved through the increased use of local provenance natives. These outcomes include increased biodiversity, better suitability to local climate and soils and hence greater survival rate, and a natural look to the area. Appropriate species also need to be selected for the right location. There can be significant differences between locations only a short distance from each other.

Rather than provide a set list of recommended landscape species, which can be somewhat limiting and non-exhaustive, the onus is on proponents of proposed developments to consult the following sources to determine appropriate species:

- (1) *Plants of Capricornia* by Melzer, R. and Plumb, J. (2007); or
- (2) *Native Plants for the Fitzroy Basin* by Society for Growing Australian Plants (2003); or
- (3) Capricorn Municipal Development Guidelines – Landscape Specifications – Gladstone Regional Council Plant List; or
- (4) Relevant officers within the Parks and Open Spaces section of Rockhampton Regional Council.
- (5) Rockhampton CBD Redevelopment Framework
- (6) Rockhampton CBD Streetscape Design Manual
- (7) Planting Palette, Rockhampton Regional Council Strategy

SC6.12.12 Locally significant vegetation

- (1) An important consideration in carrying out any development is the retention of vegetation and where possible the enhancement of this vegetation. In particular trees or stands of trees or other vegetation have been identified as being locally significant to the Rockhampton region for the following reasons:
 - (a) aesthetic value; or
 - (b) environmental value; or
 - (c) historic/cultural value; or
 - (d) buffer value.

Locally significant vegetation may be present on both private and public lands. Locally significant vegetation is also generally outside of the protection afforded through the *Vegetation Management Act 1999*, *Nature Conservation Act 1992* and *Environmental Protection and Biodiversity Conservation Act 1999*. Locally significant vegetation has been identified in Table SC6.12.12.1.

- (2) Locally significant vegetation existing on a site shall be retained and integrated with the development. As part of its assessment of development, Council will consider vegetation existing on a site and may condition a development permit for the retention of existing vegetation and/or the enhancement of a site with suitable vegetation or landscaping. Council's assessment of the practicality of retaining trees and other mature vegetation for integration with proposed site development may be influenced by expert advice on the suitability and compatibility of existing vegetation with the proposed development.
- (3) Clearing of locally significant vegetation should be avoided. Where it can be established that it is not practical to retain the locally significant vegetation, clearing can be proposed as part of an application for development. For it not to be practical to retain the locally significant vegetation it would need to be demonstrated that the vegetation:
 - (a) is in poor condition and it is not practical to retain it; or

- (b) is a risk to public safety; or
 - (c) is causing an impediment to necessary infrastructure; or
 - (d) is no longer locally significant.
- (4) An applicant shall provide expert advice to support proposals for the clearing of the locally significant vegetation in concert with details of landscaping proposals for the enhancement of a site where clearing is proposed. Specifically an application for development which involves the clearing of locally significant vegetation shall contain:
- (a) reasons, with appropriate evidence, for clearing of the locally significant vegetation;
 - (b) an accurately drawn site plan and/or other information that identifies the locally significant vegetation to be cleared;
 - (c) details of the method proposed for the processing and disposal of cleared vegetation; and
 - (d) any strategies proposed to mitigate the impacts of clearing the vegetation.
- (5) At no cost to Council, any locally significant vegetation cleared pursuant to a development permit shall be:
- (a) processed by an acceptable method; and
 - (b) removed from a site.
- (6) The acceptable method for disposal of cleared vegetation will be nominated by Council by condition of an approval and may include:
- (a) wood chipping or preparation/use for landscape purposes;
 - (b) preparation/use as firewood; and
 - (c) transportation off site for processing by another lawful process.
- Generally, burning of cleared vegetation is not an acceptable method of disposal.

Table SC6.12.12.1 — Identified significant vegetation in the Rockhampton region

Identified significant vegetation in the Rockhampton region	Location	Reasons for listing
Existing boulevard of <i>Peltophorum pterocarpum</i> trees	Within the Murray Street road reserve carriageway between the Rockhampton railway station and Stanley Street, Depot Hill	Aesthetic values
Remaining trees from old Kanaka town, particularly mangoes, and gardens	Yewdale Park, Lots 15 and 16 RP612559 and Lot 281 LN2168, Frenchville	Historical/cultural
A number of mango trees of different varieties located within the old Muellerville land holdings	Lots bounded by Rockonia Road, Thozet Road, Fitzroy River and Thozet Creek, Koongal	Historical/cultural
	Norris Park, Codd Street Koongal (located on the footpath outside 132 Codd Street)	Historical/cultural
	In the roadway outside 278 Mason Street (near corner Mason Street and Bryant Street, Koongal)	Historical/cultural
	Lakes Creek Road, Berserker, between Little Musgrave Street and Edward Street	Historical/cultural
Remaining <i>Ficus benghalensis</i> (Banyan Fig) from the former site of Cremorne Gardens	Riverside Caravan Park, Reaney Street, Berserker	Historical/cultural
Jubilee tree <i>Ficus benghalensis</i> (Banyan Fig) planted 1887 by Mayor Thomas Kelly	Out the front of Hegvold Stadium, Huish Drive, Wandal	Historical/cultural

Identified significant vegetation in the Rockhampton region	Location	Reasons for listing
Clancholla House Banyan Fig (<i>Ficus benghalensis</i>) (Queensland Heritage Place Register as Place ID 601592)	25 Ward Street, Rockhampton	Historical/cultural
Parrot trees (<i>Schotia brachypetala</i>) located near the Archer Park Rail Museum	Denison Street, Rockhampton City, across from the Archer Park Rail Museum along the fence line of the former 42 nd Battalion	Historical/cultural
Two (2) Moreton Bay Figs (<i>Ficus macrophylla</i>) planted at the opening of the Fitzroy River suspension bridge on New Year Day 1881	Reaney Street, Berserker, near the Fitzroy Bridge	Historical/cultural
White Fig	Goodsall Street, Berserker	Aesthetic values
Indian almond (<i>Terminalia catappa</i>)	Road reserve within Bolsover Street between Cambridge Street and South Street), Rockhampton City	Historical/cultural
Mango trees (<i>Mangifera indica</i>)	Outside St Peter's School on the corner of Henry Street and Spencer Street, Allenstown	Historical/cultural
<i>Ficus</i> spp located at Goldston House	230 George Street, Rockhampton City	Historical/cultural
<i>Ficus</i> Spp	187 Upper Dawson Road, Allenstown	Historical/cultural
Weeping Fig (<i>Ficus benjamina</i>)	188 Upper Dawson Road, Allenstown	Historical/cultural
Parrot trees (<i>Schotia brachypetala</i>)	Bolton Park, Gladstone Road, Allenstown	Historical/cultural
Memorial avenue of <i>Peltophorum pterocarpum</i> trees	Rockhampton – Emu Park Road Lakes Creek	Historical/cultural
Silver leaf ironbark community Norman Gardens (<i>Eucalyptus melanophloia</i>)	Lot 900 on SP267895 Norman Gardens	Environmental – last remaining stands in area
Vegetation corridor fronting Yeppoon Road, with dominant vegetation Narrow Leaf Ironbark (<i>Eucalyptus crebra</i>)	Lot 900 on SP267895 Norman Gardens	Aesthetic, buffer between Yeppoon Road and residential development along Norman Road
Semi-evergreen vine thicket areas	Throughout the Rockhampton region	Environmental

SC6.12.13 Undesirable species of vegetation and plants that are declared pests

The undesirable species of vegetation and declared pests that must be avoided and not used in any circumstance in proposed landscaping, due to the ecological and economic damage they may cause, are as follows:

- (1) Class 1, 2 and 3 declared pests as identified in the *Land Protection (Pests and Stock Route Management) Act 2002*;
- (2) Declared local pests identified in Rockhampton Regional Council Local Law's; and
- (3) Undesirable species listed in Table SC6.12.13.1.

Table SC6.12.13.1 — Undesirable species of vegetation

Scientific name	Common name	Reason
<i>Abrus precatorius</i>	Precatory Bean, Crab's Eyes, Gidee Gidee	Highly toxic seeds
<i>Agave americana</i>	Century Plant, Agave	An environmental weed, threatening rangeland biodiversity
<i>Albizia lebbek</i>	Flee Tree, Indian Sirus, Albizia	An environmental weed naturalised beyond its range
<i>Alternanthera dentata</i>	Purple Joyweed	
<i>Ardisia elliptica</i>	Shoe-button Ardisia	An environmental weed of dense monotypic stands displacing native plants
<i>Ardisia humilis</i>	Coral Berry	
<i>Aristolochia</i> species (excluding the native species)	Dutchman's Pipe, Pelican Flower	Class 3 Declared pest plant <i>A. elegans</i> replaces the native vine <i>Pararistolochia praevenosa</i> which is the sole food of the Richmond birdwing butterfly, a valuable species under Queensland legislation. Its toxins kill the larvae of a number of native butterflies
<i>Asparagus aethiopicus</i> cv <i>Sprengeri</i> (Synonyms: <i>Protoasparagus aethiopicus</i> , <i>Asparagus sprengeri</i>)	Asparagus Fern	Class 1 declared pest plant
<i>Asystasia gangetica</i>	Chinese Violet or Enchanting Bells or Asystasia Enchanting Bells or Browallia White Troll or Browallia Blue Troll	Invasive and out-competes native species
<i>Barleria repans</i>	Red Barleria or Coral Bells or Barleria Coral Bells	
<i>Brugmansia candida</i>	Angels Trumpet	Toxic
<i>Callisia fragrans</i>	Purple Turtle Vine, Basket Plant, Inch Plant	A significant environmental weed
<i>Callisia repens</i>	Creeping Inch Plant	Causes allergies
<i>Cascabela thevetia</i> (Synonym: <i>Thevetia peruviana</i>)	Peruvian Oleander, Captain Cook Tree	Class 3 declared pest plant. A weed and poisonous plant
<i>Catharanthus roseus</i>	Vinca Pink Periwinkle, Bright Eyes	An environmental weed
<i>Celtis sinensis</i>	Chinese Elm, Hackberry	Class 3 declared pest plant, invasive
<i>Cereus hildmannianus</i>	Peruvian Apple Cactus	
<i>Cestrum parqui</i>	Green Cestrum	Invasive and toxic , particularly to livestock
<i>Cinnamomum camphora</i>	Camphor Laurel	Class 3 declared pest plant, poisonous and invasive
<i>Cotoneaster pannosus</i>	Silver-leaf Cotoneaster	A minor or potential environmental weed with poisonous fruit. It is also the

Scientific name	Common name	Reason
		host for bacterial fireblight in orchards
<i>Coreopsis lanceolata</i>	Coreopsis	An environmental weed
<i>Corymbia torelliana</i> (Synonym: <i>Eucalyptus torelliana</i>)	Cadagi	Native to northern Queensland (Atherton Tablelands) rainforests now naturalised beyond its range as a weed. A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native rainforests
<i>Crocsmia x crocosmiiflora</i>	Montbretia	A moderately important invasive environmental weed in Queensland
<i>Cyperus involucratus</i>	Umbrella Sedge	A non-declared weed
<i>Dalbergia sissoo</i>	Penny Leaf	An environmental weed
<i>Duranta erecta</i>	Prickly Duranta	Non-declared weed with toxic fruit
<i>Duranta repens</i>	Pigeon Berry	A declared local pest in the Rockhampton Region, toxic
<i>Eugenia reinwardtiana</i>	Beach Cherry or Cedar Bay Cherry	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Eugenia uniflora</i>	Brazilian Cherry	A relatively important environmental weed and a member of the Myrtaceae family. It can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Ficus elastica</i>	Rubber Tree, Assam Rubber, Rubber Plant	An environmental weed, and it can damage underground and built structures
<i>Hypoestes phyllostachya</i>	Polka Dot Plant, Freckle Face	An environmental weed
<i>Koelreuteria paniculata</i> and <i>Koelreuteria elegans</i>	Golden Rain Tree	Invasive
<i>Leonotis leonurus</i>	Lion's Tail	Naturalised and displaces native species
<i>Ligustrum</i> species	Privet	Class 3 declared pest plant , invasive, poisonous berries
<i>Melia azedarach</i>	White Cedar, Persian Lilac	Poisonous
<i>Muntinga calabura</i>	Strawberry Tree	An environmental weed
<i>Murraya paniculata</i> (seedlings)	Mock orange	An invasive environmental weed in Queensland
<i>Nephrolepis cordifolia</i>	Fishbone Fern	An environmental weed in Queensland
<i>Nerium oleander</i>	Oleander	An exotic, poisonous and the flower perfume may cause respiratory inflammation
<i>Ochna serrulata</i>	Mickey Mouse Plant	A significant environmental weed
<i>Pennisetum alopecuroides</i>	Fountain Grass	
<i>Phyllostachy aurea</i>	Golden Bamboo	Extremely invasive

Scientific name	Common name	Reason
<i>Phyllostachy pubescens</i>	Moso Bamboo	Invasive
<i>Pinus caribaea</i>	Caribbean Pine, Bahamas Pitch Pine, Southern Pine	A naturalised environmental weed in Central Queensland
<i>Pinus elliotii</i>	Slash Pine, American Pitch Pine, Swamp Pine	An environmental weed
<i>Pinus taeda</i>	Loblolly Pine	
<i>Psidium guajava</i>	Common Guava or Yellow Guava	Widely naturalised and a member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Pyracantha species</i>	Fire Thorn	Invasive
<i>Ravenala madagascariensis</i>	Travellers Palm	
<i>Rhaphiolepis indica</i>	Common Indian Hawthorn	An environmental weed in Queensland
<i>Ruellia simplex</i> (Synonym: <i>Ruellia tweedia</i>)	Mexican Petunia	An environmental weed in Queensland
<i>Sabal palmetto</i>	Sabal Palm	
<i>Salvia coccinea</i>	Red Salvia, Red Sage	Widely naturalised weed
<i>Sansevieria trifasciata</i>	Mother-in-laws Tongue	Non-declared weed
<i>Schefflera actinophylla</i>	Queensland Umbrella Tree	Non-declared weed outside its native range of Tropical Queensland. It has an invasive root system and is not conducive in areas of drainage and for infrastructure function
<i>Schinus molle</i>	Pepper Tree	Berries are poisonous and flowers may cause respiratory irritation, sinus congestion and headache
<i>Senna pendula</i> (Synonym: <i>Cassia pendula</i>)	Easter Cassia	Weed, suppressing and displacing native species
<i>Spathodea campanulata</i>	African Tulip	Class 3 declared pest plant , invasive and flowers are toxic to native stingless bees
<i>Stapelia gigantea</i>	Carrion Plant	
<i>Syagrus romanzoffiana</i> (Synonym: <i>Cocos plumosa</i>)	Cocos Palm, Queen Palm	Non-declared weed, invasive
<i>Syzygium cumini</i>	Java Plum, Black Plum, Damson Plum	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Syzygium jambos</i>	Rose Apple, Malabar Plum, Plum Rose	A member of the Myrtaceae family, it can serve as a host for the myrtle rust fungus, which can seriously damage native forests
<i>Tamarix aphylla</i>	Athel Tamarisk, Athel Pine	Class 3 declared pest plant, extremely invasive. This is an introduced species not native to Australia
<i>Thunbergia alata</i>	Black-eyed Susan	Non-declared weed
<i>Titonia diversifolia</i>	Japanese Sunflower	Non-declared weed
<i>Tradescantia zebrina</i>	Seven Inch Plant	Non-declared weed
<i>Triplaris species</i>	Mulato Tree	A potential weed of forests

Scientific name	Common name	Reason
<i>Ulmis chinensis</i>	Chinese Elm	Invasive
<i>Verbena aristigera</i>	Fine-Leaf Verbena	
<i>Washingtonia robusta</i>	Cotton Palm	
<i>Zantedeschia</i> species	White Arum Lily	Toxic to livestock and humans

Editor's note—Sources of information for Table 6.12.13.1 include:

- Australian Tropical Rainforest Plants
- Common invasive plants of Australia – Australian Government
- Queensland Government – Declared weeds
- Queensland Government – Weeds of Australia, Biosecurity edition
- The IUCN Red List

Editor's note—The use of palms within landscapes throughout the Rockhampton region is an issue that must be considered carefully. Palms may either enhance a landscape design or make it appear completely out of character. Whilst the use of palms is not completely discouraged, a monoculture of palms is inappropriate. Palms have their correct place in landscape design and some species are more appropriate than others. For instance, in tight, narrow garden beds, courtyards and beside walls, the use of palms may be appropriate. Palms may also be attractive planted as a clump, or in small groups amongst other tree types. Palms are to be an emergent, rather than the dominant feature in landscape design, and should be planted to mirror their occurrence in a natural environment. Palms are not suitable to provide adequate shade and they are to be avoided in proximity to overland flowpaths and watercourses.

SC6.12.14 Buffers

Where buffers are required to be created within a development site, the choice of plant species and the location of plants are critical in determining the effectiveness of the buffer. Buffers when required to mitigate the impacts of incompatible land uses are to be designed to meet the following objective:

- (1) That the landscaping creates a dense, mature, vegetated buffer within twelve (12) months of the use commencing with the species used is endemic to the Central Queensland region and able to grow to heights that will ensure they interrupt the visibility of the whole of the development from adjoining properties.

SC6.12.14.1 Buffer layouts

In order that buffers are able to achieve their intended purpose and the objective set out above, buffers are to be planted in accordance with the following layouts dependent on their size and purpose.

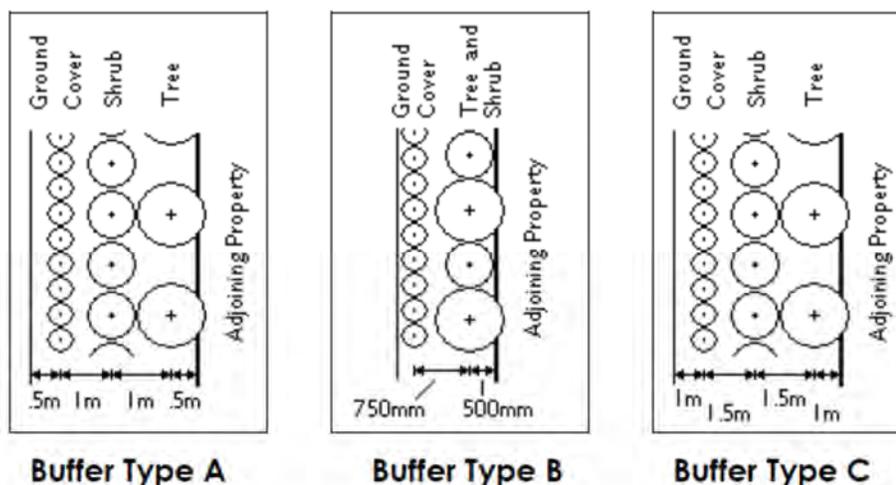


Figure SC6.12.14.1.1 — Suggested planting layouts for buffers

SC6.12.15 Fire management and vegetation

A list of vegetation that could be considered 'fire-retardant' or 'hard to burn' has not been included in this policy as all plants can burn in a high intensity fire. Rather, guidance on the characteristics of vegetation to avoid in development is provided. In addition, basic information on vegetation management to minimise bushfire risk is also provided.

SC6.12.15.1 Vegetation characteristics to avoid in bushfire prone areas

Plants to avoid include those that:

- (1) accumulate and/or create lots of dry, dead debris during the fire season;
- (2) have loose flaky bark or thin bark;
- (3) have masses of very fine leaves;
- (4) have low salt and low moisture content of leaves;
- (5) have high volatile oil content of leaves; and
- (6) have branches low to the ground.

SC6.12.15.2 Management of vegetation on a property to reduce risk in bushfire prone areas

Activities to be undertaken to reduce the risk of vegetation catching fire include:

- (1) using mulch, pebbles or rocks as mulch to keep plants moist after watering. If using mulch, keep it wetted down or covered with soil or sand during the fire season and try to concentrate mulch to small areas, concentrating on individual plants and their roots;
- (2) regularly watering plants and removing weeds;
- (3) regularly mowing, raking or slashing fine fuel loads, such as grasses, around building structures;
- (4) removing accumulated debris such as garden mulch, flaky loose bark, dead branches, leaves or needles from within branches. If possible remove lower branches of trees;
- (5) pruning between the tree top and the ground to break distribution of fuel load; and
- (6) manually removing loose, fibrous or stringy bark, taking care to avoid damaging the tree under the bark.

SC6.13 Local heritage planning scheme policy

SC6.13.1 Application

This planning scheme policy is used to provide guidance for entry of heritage places in a local heritage place register and how to prepare a heritage impact assessment report.

SC6.13.2 Purpose

The purpose of this planning scheme policy is to:

- (1) identify the criteria for entry of heritage places in Rockhampton Regional Council's local heritage place register;
- (2) provide guidance on the process for entering places in Rockhampton Regional Council's local heritage place register;
- (3) outline the information to be included in a heritage impact assessment report for development on a site either on, or adjoining either a local heritage place or adjoining a Queensland heritage place; and
- (4) provide a list of sites located on the local heritage place register.

SC6.13.3 Register of places of local significance

At this stage no places of local significance have been included on the local heritage place register. It is intended that over time places of local significance to Rockhampton region will be added to this register.

Heritage sites entered onto the Queensland Heritage Register under the *Queensland Heritage Act 1992* are not included in the local heritage place register for the Rockhampton Regional Council Local Government Area as these are identified and regulated by the state government and are presented on the heritage place overlay map OM-9.

SC6.13.4 Criteria for entry on the local heritage place register

- (1) A place may be entered onto the register of local heritage places if it satisfies at least one (1) of the following criteria:
 - (a) the place is important in demonstrating the evolution or pattern of the Rockhampton region's history; or
 - (b) the place demonstrates rare, uncommon or endangered aspects of the Rockhampton region's cultural heritage; or
 - (c) the place has potential to yield information that will contribute to an understanding of the Rockhampton region's history; or
 - (d) the place is important in demonstrating the principal characteristics of a particular class of cultural places; or
 - (e) the place is important because of its aesthetic significance; or
 - (f) the place is important in demonstrating a high degree of creative or technical achievement at a particular period; or
 - (g) the place has a strong or special association with a particular community or cultural group for social or spiritual reasons; or
 - (h) the place has a special association with the life or work of a particular person, or organisation with historical significance.

OR

- (2) A place may be entered onto the register of local heritage places if it satisfies at least one (1) of the following Australian natural heritage character criteria:
 - (a) it is of natural significance because of the importance of its ecosystems, biodiversity or geodiversity existence value, or for present or future generations in terms of scientific, social, aesthetic and life support value; or
 - (b) it has biological diversity of significance, that is, a variety of life forms — the different plants, animals and micro-organisms, the genes they contain, and the ecosystems they form; or

- (c) it has geodiversity of significance, that is, a range of earth features including geological, geomorphological, paleontological, soil, hydrological and atmospheric features, systems and earth processes; or
- (d) it has natural integrity, that is, the natural system has retained its condition and natural rate of change in terms of size, biological diversity, geodiversity and habitat.

SC6.13.5 Process for entry into the local heritage place register

A person wishing to enter a place on the local heritage place register is required to make a written submission to Council outlining their request. This submission shall be accompanied by a report, undertaken by a recognised heritage practitioner, detailing the proposed heritage place's compliance with at least one of the criteria for entry. A submission does not necessarily have to be lodged by the owner(s) of the place.

The report is to include:

- (1) a description of the local heritage place;
- (2) a statement of the history of the local heritage place; and
- (3) a statement of the cultural heritage significance of the local heritage place.

Once a submission and report is received by Council for entry in the local heritage place register, if the submission is not lodged by the owner(s), Council will contact the owner(s) in writing and they will have the opportunity to consent to, or not consent to the proposed listing. If the owner(s) do not agree to consent to the proposed listing Council will not undertake an assessment of the report received by the heritage practitioner, thus the site will not continue through the process for entry of a place in the local heritage place register. However, Council will make available the submission and report for viewing for future reference.

In the case where the owner(s) consents to entering their place on Rockhampton Regional Council's local heritage place register, Council will undertake an assessment of the report submitted to ensure the heritage place satisfies the cultural or natural heritage criteria. The assessment process will include a report prepared by Council officers to Council outlining the place's compliance or non-compliance with the criteria for entry in the local heritage register. Council will notify the submitter and/or owner in writing, of the outcome of Council's assessment that is if the place complied with the criteria for entry or if it did not comply with the criteria of entry and the reasons for non-compliance.

In the event a place is determined to not comply with the criteria for entry Council will keep the submission and report available for viewing for future reference. If further detailed research reveals such information that may alter Council's decision, an additional or amended report prepared by a recognised heritage practitioner can be submitted for reassessment.

The process for registering a heritage place in the local heritage place register will be in accordance with the planning scheme policy amendment process outlined in the *Planning Act 2016*.

SC6.13.6 Removal of a place from the local heritage place register

The process for removal of a place from the local heritage place register will be in accordance with the planning scheme policy amendment process outlined in the *Planning Act 2016*.

A place may be removed from the local heritage place register if:

- (1) the place no longer exists; or
- (2) detailed research reveals such information that the place no longer satisfies any of the criteria for entry onto the register.

SC6.13.7 Guidelines for preparing a heritage impact assessment report - general

- (1) An appropriately qualified heritage consultant is required to prepare the heritage impact assessment report.
- (2) The heritage impact assessment report is to take into account existing documentation regarding the site including:
 - (a) the request for consideration of being included in the local heritage register submitted to Council; and
 - (b) any citation or documentation prepared by Council.
- (3) A heritage impact assessment report and its heritage impact statement is to be based on the principles and processes of The Australian ICOMOS Burra Charter, being the accepted standard for conservation analysis in Australia. The cultural significance of the local heritage place is to be determined through an analysis of its documentary and physical evidence. The heritage impact assessment report is to encourage conservation of and retain the cultural significance of the local heritage place or Queensland heritage place.
- (4) If development is on or adjoins a place of cultural significance to indigenous people, the heritage impact assessment is to be undertaken by a suitably qualified person holding a permit under the *Cultural Record (Landscapes Queensland and Queensland Estate) Act 1987*. This heritage impact assessment is to adopt a consultative approach acceptable to the indigenous traditional owners and provide opportunities for indigenous people to undertake the assessment and participate in policy development for protecting places or areas of significance.

SC6.13.8 Guidelines for preparing a heritage impact assessment report for development on a site for a local heritage place

- (1) The heritage impact assessment report is to include a heritage impact statement which examines the impact the development has on the cultural significance, including aesthetic, architectural, historical, scientific and social or technological significance of the local heritage place, to present or future generations, and includes:
 - (a) an analysis of the history and the physical fabric of the local heritage place;
 - (b) an assessment of cultural significance of the local heritage place and what parts of the fabric demonstrate that significance; and
 - (c) a description of the development.
- (2) The heritage impact statement is to include:
 - (a) photographs of the local heritage place;
 - (b) plans or some form of documentation that illustrate the development; and
 - (c) identification regarding where and how the fabric of the local heritage place is to be modified, adapted and conserved.

SC6.13.9 Guidelines for preparing a heritage impact assessment report for development on a site adjoining either a local heritage place or Queensland heritage place

The heritage impact assessment report is to include a heritage impact statement which includes:

- (1) the history and the physical fabric of the local heritage place to determine its cultural significance;
- (2) an assessment of the impact the development will have on this significance;
- (3) the identification of views of the local heritage place and assessment of which are significant and which are impacted;
- (4) the identification of the visual and aesthetic qualities and characteristics of the local heritage place;
- (5) the identification of whether the streetscape is particularly significant and how the development impacts on the qualities of the streetscape;
- (6) an assessment of how the local place and the development relate to one another in terms of scale and height of the new building, choice of building materials, colours, fenestration patterns and setbacks; and

- (7) an assessment of how the new building fits into the streetscape and responds to the prevailing architectural character and built environment of the street.

Table SC6.13.10 — Local heritage place register

Local heritage place	Address	Lot number	Plan number	Date registered

SC6.14 Local parks planning scheme policy

SC6.14.1 Application

- (1) This policy applies to:
 - (a) the reconfiguring a lot for residential, industrial or commercial uses where an additional lot(s) is created; or
 - (b) a material change of use for code or impact assessable residential purposes.

Note—This planning scheme policy does not apply to a dual occupancy development application triggered as code assessable.

- (2) This policy applies only to local parks, which are non-trunk infrastructure.
- (3) District and regional parks will be developed as trunk infrastructure funded through the trunk infrastructure charging regime.

SC6.14.2 Purpose

The purpose of this policy is to:

- (1) ensure sufficient, conveniently located and suitable quality local parkland is provided within the community by setting out the desired standards of service for open space (local parks) as required by the reconfiguring a lot code and residential zone codes; and
- (2) prescribe those circumstances under which a developer can satisfy the assessment benchmarks in relation to the provision of local parks, including where the proposed development does not provide open space as required under the planning scheme.

SC6.14.3 General provisions

- (1) The desired standards of service for local parks are identified in Schedule 1 of this policy.
- (2) To ensure that a developer can satisfy the relevant assessment benchmarks in relation to the provision of local parks, Council may condition a development approval under the *Planning Act 2016* to require:
 - (a) the dedication of an area of land for use as a local park, in accordance with the desired standards of service identified in Schedule 1 of this policy; or
 - (b) the performance of capital works, including the provision of local park embellishments, or the improvement of land for use as a local park; or
 - (c) a combination of (a) and (b) above.
- (3) Such conditions are appropriate where it is necessary to establish local parks to the required standard, where such works are:
 - (a) internal to the development; or
 - (b) to connect the development to external networks; or
 - (c) to maintain and protect the efficiency and safety of the local park network.
- (4) Alternatively, to satisfy the relevant performance criteria in the reconfiguring a lot code, Council may consider entering into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution and/or a works contribution.
- (5) A cash-in-lieu contribution paid pursuant to an infrastructure agreement may be used to purchase land or improve facilities in existing parks as determined by Council.
- (6) When determining whether to impose a condition requiring the applicant to dedicate land or undertake capital works, or alternatively to enter into an infrastructure agreement providing for a cash-in-lieu contribution and/or a works contribution, Council shall have regard to:
 - (a) whether any open space or parks are proposed where the land is within an existing structure or local plan;
 - (b) the size of the area proposed for a local park (for example whether the area of a single park is likely to be less than 5,000 square metres, including any contiguous park that has or is likely to result from the reconfiguration or development of adjoining land);
 - (c) the existing local park provision in the area (for example whether existing parks are considered adequate in size for the demand arising from reconfiguration of

- lots, where local park requirements are best located external to the development site);
 - (d) the possibility of connecting local parks required with existing open space;
 - (e) any previous local park contributions made to Council;
 - (f) the open space or local park provisions contained within any detailed structure or local plan within the planning scheme that may relate to the area in which the development is located; and
 - (g) the purpose of this policy.
- (7) Where a previous contribution has been made in respect of land being developed, the amount of this contribution will be taken into account in calculating the contribution for any further development approval.

SC6.14.4 How local park requirements may be satisfied

SC6.14.4.1 Reconfiguring a lot for residential, commercial or industrial uses

- (1) Where land is proposed to be dedicated for local parks in accordance with this policy, such land shall:
 - (a) comprise ten (10) per cent of the developable land proposed for reconfiguration;
 - (b) comprise land that is suitable for local parks and meets the desired standards of service identified for local parks (see Schedule 1 of this policy – Desired standards of service for open space (local parks));
 - (c) be no less than 5,000 square metres;
 - (d) be fenced (or other suitable barrier) to prevent vehicular access; and
 - (e) be provided with a water supply connection point or points.
- (2) Council may require land to be dedicated for local parks in any reconfiguration, and be located so as to enlarge an adjoining local park or to facilitate the development of a comprehensive open space system for the surrounding area.
- (3) Where land is proposed to be reconfigured in stages, Council may require the total area of land for park to be dedicated as part of the first stage of subdivision.
- (4) Where Council is prepared to enter into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution:
 - (a) the specified rates of contribution are detailed in Schedule 2 of this policy; and
 - (b) the contribution shall be expended by the Council towards:
 - (i) the acquisition of land for local parks; or
 - (ii) the provision of works or recreation facilities for the improvement of existing parks.
- (5) Where capital works, including the provision of local park embellishments, are required, either by condition or by an infrastructure agreement, in accordance with this policy, the value of such works shall in the opinion of the Council, be at least equivalent to the relevant cash-in-lieu contribution that would be payable pursuant to an infrastructure agreement under this policy.

SC6.14.4.2 Material change of use for residential purposes

- (1) If Council enters into an infrastructure agreement requiring the applicant to make a cash-in-lieu contribution, the rate of the contribution is set having regard to the cost to Council of purchasing local parks and providing facilities and embellishments in parks or any combination of these.
- (2) The specified rates of contribution are detailed in Schedule 2 of this policy.

SC6.14.5 Schedule 1 — Desired standards of service for open space (local parks)

Table SC6.14.5.1 — Local parks – Planning and design criteria

Measure	Planning criteria (qualitative standards)	Design criteria (quantitative standards)
Functional network	A network of local parks and open space is established to provide for recreational uses and pursuits.	<ul style="list-style-type: none"> Parks are provided at a local community level Parks address the needs of recreation uses.
Accessibility	Local parks will be located to ensure adequate pedestrian, cycle and vehicle access.	Accessibility standards are identified in Table SC6.14.5.3.
<ul style="list-style-type: none"> Land quality/suitability Area Minimum size Shape of land Minimum desired flood immunity Maximum desired grade Road frontage and visibility 	Local parks will be provided to a standard that supports a diverse range of recreational and health-promoting activities to meet community expectations. This includes ensuring land is of an appropriate size, configuration and slope, and has an acceptable level of flood immunity.	<ul style="list-style-type: none"> The rate of public park provision is identified in Table SC6.14.5.2 The minimum size, shape of land, minimum desired flood immunity, maximum desired grade and road frontage and visibility for public parks is identified in Table SC6.14.5.4.
Facilities/embellishments	Local parks contain a range of embellishments to complement the type and purpose of the park.	Indicative embellishments for local parks are identified in Table SC6.14.5.5.
Parks design/performance standards	Maximise opportunities to collocate local parks in proximity to other community infrastructure, transport hubs and valued environmental and cultural assets.	<ul style="list-style-type: none"> Local government standards in planning scheme and planning scheme policies Australian Standards.

Table SC6.14.5.2 — Local parks – Rate of land provision

Rate of land provision (hectare per 1,000 people)	
Local park	1.2 hectare per 1,000 people

Table SC6.14.5.3 — Local parks – Accessibility standard

Accessibility standard	
Local park	<ul style="list-style-type: none"> 400 metres in urban areas (dwellings will have access to a local park within a 400 metre distance). Not separated by physical barriers (such as heavily trafficked roads) from surrounding areas. Provides for safe and convenient bike and pedestrian access.

Table SC6.14.5.4 — Local parks – Design characteristics

Local parks design characteristics	
Minimum size of local park	5,000 square metres minimum of usable open space.
Shape of local park	The preferred shape for a local park is square to rectangular with the sides no greater than two (2) vertical in one (1) horizontal.

Local parks design characteristics	
Minimum desired flood immunity for local parks	<ul style="list-style-type: none"> At least twenty-five (25) per cent of total area above two (2) per cent annual exceedance probability. Main activity area(s): <ul style="list-style-type: none"> Fitzroy River flooding – one (1) per cent annual exceedance probability; or Local catchments – one (1) per cent annual exceedance probability. <p>Note—Where Fitzroy River flood mapping overlaps local local catchment mapping, trafficable access requirements for Fitzroy River flood hazard areas prevail.</p> <ul style="list-style-type: none"> Land subject to flooding will be considered unsuitable for active park areas, but may be suitable for passive open space.
Maximum desired grade	<ul style="list-style-type: none"> Maximum grade of one (1) vertical in ten (10) horizontal for eighty (80) per cent of the area of the park (that is, a maximum of twenty (20) per cent of the land may have a greater grade than one (1) vertical in ten (10) horizontal. No area of park will have a grade greater than one (1) vertical in six (6) horizontal.
Road frontage and visibility	Fifty (50) per cent local road frontage where possible.
Park suitability	<ul style="list-style-type: none"> Parks have a visual connection to surrounding houses to allow for natural community surveillance. Parks should not act as a buffer to a transport corridor. Parks will not be affected by unreasonable hazards such as power line easements or contaminated land. Land will not be affected by oil or gas supply easements. Comprise land that is a fair average type of the land being developed.

Table SC6.14.5.5 — Local parks – Indicative embellishments

Park element	Local parks
Car parking	On-road only.
Fencing/bollards, lock rail	Yes.
Lighting	Roadside lighting only.
Pedestrian pathway access network	Minimal.
Bench seating	One (1) to two (2) (if no other seating is provided), positioned for supervision of any play area, or for views/appreciation of the surrounding park/area.
Shade structures or trees (over playgrounds)	Yes.
Shelters/gazebo with tables and seating	May be provided as an activity area (for example a scenic viewing area).
Tap/bubbler	Yes.
Rubbish bins	Minimum of one (1), located near activity area, or at key access points on recreation corridors.
Landscaping	Shade trees, landscaping to enhance amenity.
Signage	Park name sign, located at main entrance. Generic 'local park' street signage where entrances are on cul-de-sacs.
Recreation areas	Mix of two (2) or three (3) (for example, toddlers, kick-about, children, active youth space, free to use courts).
Irrigation	Dependant on access to water. Ideally, high use areas are irrigated.
Public artwork	If available.

SC6.14.6 Schedule 2 — Cash-in-lieu contribution rates where Council enters into an infrastructure agreement – Open space (local parks)

Table SC6.14.6.1 — Reconfiguring a lot for residential, commercial and industrial purposes

Applicable area	Contribution rate
Rockhampton planning scheme area	\$1,000.00 per additional lot.

Table SC6.14.6.2 — Material change of use for residential purposes

Applicable area	Contribution rate
Rockhampton planning scheme area	\$750.00 per additional dwelling unit.

Note—These rates will be indexed to the producer price index (PPI) – road and bridge construction index for Queensland on an annual basis from the commencement date of this planning scheme.

SC6.15 Road infrastructure and hierarchy planning scheme policy

SC6.15.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications for:

- (1) Material change of use;
- (2) Reconfiguring a lot; and
- (3) Operational work (involving vehicle access and movement).

SC6.15.2 Purpose

The purpose of this planning scheme policy is to:

- (1) ensure that land use activities which generate vehicular or other traffic movements are located on the appropriate classification of road in accordance with the road hierarchy overlay map OM-19; and
- (2) assist in the identification and preservation of public transport routes.

SC6.15.3 Policy context

The road hierarchy overlay map enables the development of a safe and efficient road network catering for the movement of people and goods, while maintaining the amenity of urban areas.

The road hierarchy is divided into a range of road classifications, ranging from highways (highest order road) to rural access road (lowest order road). Each classification adopts a different function and volume of traffic, providing clarity and differentiation between roads that provide for local and regional traffic movements.

The road hierarchy directs land use activities that generate high numbers of traffic movements to locate and gain access directly from the higher order roads. As a result, traffic management will reflect and protect residential amenity while providing a traffic movement function. It is considered important to reduce the potential for conflict between different road users of the road system.

Public transport relies fundamentally on an individual's ability to access the stations, terminals and stops for its success and viability. Provision for access is often required through developments, subdivision and open space areas. It is desirable to encourage the highest transport demand generating land uses to locate as close as possible to public transport facilities and higher order roads as indicated on the road hierarchy overlay map. The preference is for buses to be routed on roads carrying more than 3,000 vehicles per day. Bus bays and associated facilities are to be provided where appropriate along the route, in particular at signalised intersections that enable pedestrians to cross safely.

SC6.15.3.1 Road classifications

- (1) The type of road classifications used in the hierarchy were compiled taking into consideration the following:
 - (a) The Roads Alliance (2003) classification system; and
 - (b) The Austroads (1989) classification system.
- (2) It must be noted that:
 - (a) in determining the road class, emphasis is placed on the road function description. The description detailed in the comment column is a guide only;
 - (b) traffic figures are a guide only; and
 - (c) for roads that perform multiple functions, the road class is determined by the major road function.

Table SC6.15.3.1.1 describes the road classification, function and guide to maximum traffic volumes, while the road hierarchy overlay map OM-19 illustrates diagrammatically the road hierarchy for the Rockhampton Regional Council local government area. Refer to the

Capricorn Municipal Development Guidelines road cross section drawings for design standards for each road classification.

Table SC6.15.3.1.1 — Road classification

Description and guide to traffic volume	Function description	Comment
Highway	<p>Roads that form the principal avenue of communication between and through major regions of Australia (for example direct connection between capital cities).</p> <p>These roads also perform a local function of:</p> <p>(a) carrying local traffic and freight movements across and in between urban areas; and</p> <p>(b) acting as connections between local arterial and collector roads.</p>	<p>Including national highways. High speed, high volume routes.</p>
State controlled road	<p>Roads whose main function is to form the principal or alternative avenue of communication for movements between:</p> <p>(a) a capital city and adjoining states and their capital cities; or</p> <p>(b) a capital city and key towns or areas of regional economic/social significance; or</p> <p>(c) key towns or areas of regional economic/social significance.</p> <p>These roads also perform a local function of:</p> <p>(a) carrying local traffic and freight movements across and in between urban areas; and</p> <p>(b) acting as connections between local arterial and collector roads.</p>	<p>State strategic roads. Regional roads. District roads. Conveys through traffic.</p>
Urban arterial (Greater than 10,001 average annual daily traffic (AADT))	<p>Those roads whose main function is to perform as the principal arteries for through traffic and freight movements across urban areas. They form the primary local road network and link main districts of the urban area.</p>	<p>Major local government roads. Major arterial roads High volume routes</p>
Urban sub-arterial (6,001 to 10,000 average annual daily traffic (AADT))		
Major urban collector (3,001 – 6,000 average annual daily traffic (AADT))	<p>Those roads whose main function is to:</p> <p>(a) complete the major road network across the urban areas and carry intra-urban traffic; or</p> <p>(b) serve as supplementary public transport corridors; or</p> <p>(c) form part of a regularly spaced road network supplementary to the arterial urban road network.</p>	<p>Significant local government road links in urban areas. Conveys through traffic.</p>
Minor urban collector (751 to 3,000 average annual daily traffic (AADT))	<p>Those roads whose main function is to collect and distribute traffic from local areas to the wider road network (can include access to abutting properties).</p>	<p>Local government collector. Local traffic.</p>

Description and guide to traffic volume	Function description	Comment
Urban access street (251 – 750 average annual daily traffic (AADT))	Those roads whose main function is to: (a)provide access to residences and properties; or (b)provide exclusively for one activity or function.	Access streets, cul-de-sacs — Local traffic.
Urban access place (less than 250 average annual daily traffic (AADT))		
Industrial collector	Those roads whose main function is to: (a)carry industrial traffic through an industrial area; or (b)link industrial areas to the arterial or state controlled road network.	Industrial streets. Industrial traffic.
Industrial access	Those roads whose main function is to provide access to properties with predominantly industrial uses within industrial areas.	Industrial streets and cul-de-sacs. Industrial traffic.
Rural arterial (Greater than 8,000 average annual daily traffic (AADT))	Roads whose main function is to form an avenue of communication for movements between: (a)important rural centres and the arterial or state controlled road network and/or key towns; or (b)important rural centres which have a significant economic, tourism or recreation role.	Major local government roads. Conveys through traffic.
Major rural collector – (1,000 – 7,999 average annual daily traffic (AADT))	Those roads whose main function is to collect and distribute traffic from rural areas to the wider road network.	Local government collector roads. Local traffic.
Minor rural collector – (151 to 999 average annual daily traffic (AADT))		
Rural access (less than 150 average annual daily traffic (AADT))	Those roads whose main function is to: (a)provide access to rural residences and properties; or (b)provide exclusively for one activity or function (for example access to national parks, dam access, mining and forestry roads).	Access roads to residences and property. Access roads to specific facilities. Local traffic.

SC6.16 Scenic amenity planning scheme policy

SC6.16.1 Application

This planning scheme policy may be applied by Council to specific development considered to have scenic landscape features and an amenity that is valued by the community and which is sensitive to the visual impacts of development.

SC6.16.2 Purpose

The purpose of this planning scheme policy is to:

- (1) provide guidance on information that may be required to support a development application over places considered to be sensitive to the visual impacts of development; and
- (2) provide guidance on how to prepare a visual impact assessment to support a development application located in the environmental management and conservation zone.

SC6.16.3 Advice for minimising development impacts on scenic landscape features

The visual impacts of development on a significant scenic landscape feature may potentially be mitigated by incorporating design responses including but not limited to the following:

- (1) retention or rehabilitation of vegetation on ridgelines and prominent slopes;
- (2) retention or rehabilitation of waterways, drainage paths, and riparian vegetation;
- (3) locating buildings so that there is minimal disruption to the skyline, and locating buildings so that roofs are below the canopy height of surrounding trees or ridgelines;
- (4) retention of mature trees and stands of established vegetation;
- (5) use of non-reflective roofing materials and colours;
- (6) use of building materials and colours that are drawn from or complement the natural or rural landscape of the locality;
- (7) avoidance of the use of imported building types and themes that are incompatible with the natural or rural landscape of the locality;
- (8) avoidance of the creation of extended straight lengths of new road or driveways in areas of hilly topography or where inconsistent with the established road pattern of the locality;
- (9) avoidance of fencing, landscaping and lighting treatments that are urban in scale and appearance if the site is in a rural or non-urban setting;
- (10) provision of building setbacks to boundaries and provision of spacing between buildings which are in proportion to the size of lots;
- (11) retention of mature vegetation and planting of new vegetation in building setback areas, particularly the setback areas located within the sight of major public roads and public viewer places;
- (12) location of buildings and other structures so as not to obscure or interrupt any significant views from a public viewer place to an identified significant scenic landscape feature;
- (13) minimising the scarring of the land due to earthworks and the use of large retaining walls at highly visible locations;
- (14) if for a subdivision, the creation of larger lot sizes at highly visible locations, with the lots having sufficient size to accommodate buildings and structures while retaining significant vegetation coverage;
- (15) removing advertising signage along scenic transport routes; and
- (16) if adjoining a scenic transport route or river frontage area:
 - (a) use of vegetation buffers, non-overbearing building heights and stepped building designs where appropriate; and
 - (b) minimising multi-level development, except within in a zone allocation which specifically encourages higher densities and higher maximum building heights.

SC6.16.4 Guidance for the preparation of a visual impact assessment report

Compliance with the relevant performance outcomes of the environmental management and conservation zone code may be demonstrated in part or aided by the submission of a visual impact assessment report prepared by a competent person. For the purpose of this planning scheme policy, a competent person is an appropriately qualified and experienced consultant (that is, an architect, landscape architect, urban designer) with appropriate and demonstrated technical expertise in landscape and visual assessment.

A visual impact assessment report must evaluate and assess the potential visual impacts of development on any significant scenic landscape features at the site and its surrounding area and should at a minimum include the following:

- (1) a review of any existing scenic amenity and landscape studies that have been undertaken in the planning scheme area relevant to the location of the proposed development;
- (2) a description of the development and its visual components;
- (3) any assumptions and limitations associated with the methodology used in the visual impact assessment report;
- (4) an evaluation of the existing scenic landscape features at the site, adjoining the site, and in the surrounding area;
- (5) identification and assessment of the impacts on views from viewer places (sensitive receptors) sensitive to the impacts of development;
- (6) images to illustrate the site and its setting pre-development and post-development, particularly as viewed from impacted public viewer places;
- (7) an assessment of the significance of effects (for example, major, moderate, minor, negligible) on the scenic landscape features at the site, adjoining the site, and in the surrounding area as a direct result of the development, when seen from an identified public viewer place;
- (8) identification and discussion of any proposed mitigation strategies and including how the development minimises its impact on identified scenic landscape features by the use of design means such as siting, vegetation retention, landscaping, and stepping, chamfering or breaking up the visible mass of the building form or roofline, or by other design responses;
- (9) identification and discussion of any residual or cumulative effects likely to result from the development; and
- (10) a report on the findings of the assessment.

SC6.16.5 Advice for unmapped scenic amenity areas

There are numerous places located throughout the planning scheme area that have not been the specific focus of detailed landscape and scenic amenity studies. Some of these places however, contain landscape elements and features that are distinctive, well known, and highly valued by the community for their scenic amenity and their strong contribution to character, identity and sense of place. Consequently it is advised that there may be instances when Council, at its discretion, may call upon the content of SC6.16.4 of this planning scheme policy when assessing development that Council considers could potentially have an adverse effect on the scenic amenity of places including but not limited to places broadly identified in Table SC6.16.5.1 below. This planning scheme policy may be called upon for impact assessable development and for code assessable development for reconfiguring a lot or for material change of use applications where the development does not strictly comply with the stated acceptable solutions of the applicable codes.

Table SC6.16.5.1 — Unmapped scenic amenity areas

Scenic amenity management area	General description
Berserker Range	<ul style="list-style-type: none"> • Highly visible ridges • Highly visible hill slopes
Hinterland mountains, ridges and hills	<ul style="list-style-type: none"> • Highly visible ridges • Highly visible hill slopes
Hinterland green breaks, rivers and coastline	<ul style="list-style-type: none"> • Significant hinterland waterways, wetlands and riparian vegetation areas located between and separating urban settlements and townships

SC6.17 Sewerage infrastructure planning scheme policy

SC6.17.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and water and sewer code.

All applications are to be made in accordance with the *Plumbing and Drainage Act 2018*. Such an approval under this Act is deemed an approval under the *Water Supply (Safety and Reliability) Act 2008*.

SC6.17.2 Purpose

The purpose of this policy is to provide a framework to guide development affecting new and existing sewerage infrastructure throughout the Rockhampton Regional Council planning scheme area.

SC6.17.3 Sewerage connections/disconnections

To apply for a sewerage connection/disconnection please obtain a private works quotation by completing the Water and Sewerage Services Private Works Application and return to Rockhampton Regional Council. Alternatively you can contact Rockhampton Regional Council Customer Service office between 08:00 and 17:00 Monday to Friday on (07) 4932 9000.

SC6.17.3.1 Requirement to connect – Infrastructure policy

The policy provides criteria for managing the construction timing and cost recovery when the extension of sewerage scheme areas is required within the existing urban footprint.

Where either the public health or environmental risk makes individual septic or on-site treatment systems (now or as the population density/numbers increase in an area) unviable, a public sewerage system becomes essential. Where new urban development is undertaken, existing planning and environmental laws and policy are clear to a point. However, there are issues around timing, implementation and cost recovery, but these are manageable with short-term, medium-term and long-term arrangements agreed before a development is approved and are not covered by this policy.

SC6.17.4 Building over/adjacent to local government sewerage infrastructure

Please refer to the Queensland Development Code website (MP1.4) and Council's website to access the building over/adjacent to sewerage infrastructure application form, policy and technical guidelines.

Where Council determines an application can be submitted for a proposal to build over/adjacent to local government sewerage infrastructure refer to the Building Over/Adjacent to Sewerage Infrastructure (BOSI) policy requirements and technical guidelines available on Council's website.

The guidelines deal with:

- (1) Building Classes 2 – 9; or
- (2) Building classes 1 and 10, where the application does not comply with an acceptable solution provided in the Queensland Development Code (MP 1.4 November 2013) MP 1.4 Building Over or Near Relevant Infrastructure.

Council's BOSI policy aims to provide some direction as to what is permissible when seeking to gain consent to construct or erect a building or structure over or adjacent to sewerage infrastructure.

Generally, it is highly undesirable for any building or structure to be constructed or erected over sewerage infrastructure. However, should the applicant be able to demonstrate to the satisfaction of Council that it is uneconomical to avoid building over or in close proximity to the sewerage infrastructure, then approval may be granted at the discretion of Council, subject to specified conditions.

All possible alternatives need to be considered before requesting written consent of Council to build over/adjacent to sewerage infrastructure.

The minimum clearance from sewerage mains up to 225 millimetres in diameter on a standard alignment is 1.5 metres from the face of any building or structure and 1.2 metres from the face of any footing to the centreline of the sewer main with a minimum unobstructed vertical clearance of 2.4 metres.

When the sewerage infrastructure is not on a standard alignment, construction may be permitted over or adjacent to sewerage mains up to 225 millimetres in diameter in accordance to the technical guideline requirements.

An easement boundary or allotment boundary is considered to be a defining limit under the BOSI policy and any existing sewerage infrastructure beyond these boundaries will not be considered in a BOSI application.

For further information on the building over/adjacent to sewerage infrastructure policy and building over/adjacent to sewerage infrastructure technical guidelines, refer to Council's website.

SC6.17.5 Trade waste

For non-residential development compliance with Council's Trade Waste Environmental Management Plan, *Water Supply (Safety and Reliability) Act 2008* and the *Plumbing and Drainage Act 2018* is required.

Discharge of waste containing substances in amounts liable to be toxic or hazardous to the sewerage system, treatment process, personnel or the environment is prohibited. Council may consider the acceptance of trade waste containing toxic or hazardous substances and non-degradable pollutants to sewer only after the waste has been pre-treated by on site "best practicable treatment" to ensure sewer admission limits are not exceeded.

Compliance with the above legislation and obtaining a trade waste permit is required for the discharge of any non-domestic waste into Council's sewerage reticulation.

Please refer to Council's website for the trade waste application form, application guide and environmental management plan.

SC6.17.6 Standard drawings

All standard drawings for sewerage reticulation will be in accordance with the Capricorn Municipal Development Guidelines Standard Drawings for Sewerage Reticulation.

SC6.17.7 Design and construction of sewerage reticulation systems

The Capricorn Municipal Development Guidelines Design and Construction Specifications are to be utilised for the planning, design and construction of sewerage reticulation works.

The Design Guideline sets out requirements for the design of the sewerage reticulation system for a development.

SC6.17.7.1 System

- (1) The guideline contains procedures for the design of the following components of a sewerage system:
 - (a) reticulation; and
 - (b) pumping stations.
- (2) The design of reticulation and pumping stations shall comply with the Department of Natural Resources Guidelines for the Planning and Design of Urban Sewerage Schemes, unless specified otherwise herein. A main will only be classified a trunk main if designated in the Local Government Infrastructure Plan or as determined by a trunk conversion application.
- (3) The Gravity Sewerage Code of Australia WSA 02-2014 with Queensland amendment shall apply except where modified by this specification.
- (4) The following order of priority for interpretation of documents will apply:
 - (a) Capricorn Municipal Development Guidelines Design Specification D12;
 - (b) Capricorn Municipal Development Guidelines Standard Drawings; andGravity Sewerage Code of Australia WSA 02-2014.

SC6.17.7.2 Sewerage network desired standards of service

Development within the sewer planning area is to be connected with the full desired standard of service. The objective of a sewerage system is to transport sewerage from domestic, commercial and industrial properties using gravity flow pipes and where this is uneconomical, by pumping to the treatment plant.

The Desired Standards of Services for the sewerage network are detailed within the local government infrastructure plan.

Editor's note—Council can undertake a network analysis on behalf of the applicant for a fee.

SC6.17.7.3 Additions/modifications to the Capricorn Municipal Development Guidelines

In addition to the Capricorn Municipal Development Guidelines requirements, the following design criteria are to be adopted:

- (1) Lots with zero boundary offset requirements for buildings, the sewerage infrastructure must be located at the front of lot where possible.
- (2) Sewers located in industrial/commercial precincts must be located at the front of the lot where possible.
- (3) Large trees planted in the footpath of a new development must be located a minimum of one (1) metre from the centreline of sewerage infrastructure. Small shrubs and groundcover are acceptable.
- (4) Where development is proposed on sites currently serviced by combined house drainage systems the applicant will be responsible to upgrade the system to current sewerage standards. This responsibility may extend to adjoining properties.

SC6.17.7.4 Maintenance

Maintenance of all sanitary drainage services within a property owner's property is the responsibility of the property owner, with the exception of mains within property easements owned by Council.

Construction of any new plumbing and sanitary drainage works must comply with the provisions of Council's plumbing and drainage policy in addition to:

- (1) Australian Standard/New Zealand Standard AS/NZS 3500.2:2003 (as amended) and in particular clause 3.2;
- (2) *Plumbing and Drainage Act 2018*;
- (3) Standard Plumbing and Drainage Regulation 2019;
- (4) Plumbing Code of Australia (PCA); and
- (5) Rockhampton Regional Council Plumbing and Drainage Policy.

SC6.17.7.5 Development outside the sewer planning area

- (1) On-site sewerage systems — where not within the sewer planning area and the applicant does not intend to connect to reticulated sewerage, the development must have an on-site sewerage system that complies with the Queensland Plumbing and Wastewater Code and the *Plumbing and Drainage Act 2018*. A site evaluation report is to be prepared by a suitably qualified person in accordance with the Queensland Plumbing and Wastewater Code.
- (2) Special sewerage arrangement – a developer may request connection to the reticulated sewerage network although they are located in part or totally outside the sewer planning area. In this event the developer must enter into a special sewerage arrangement with Council. Council will condition the developer to construct or contribute the full cost of the extension of the network or connection to the network to service the development. For the avoidance of doubt the special sewerage arrangement will include an agreement to void any later trunk conversion application associated with the subject infrastructure. Where a special sewerage arrangement allows for just a connection to the network, the infrastructure from the development to the point of connection remains the responsibility of the developer, including all future maintenance and the like.

SC6.17.7.6 Consent of adjoining landowners

Written approval is required from adjoining property owners authorising any operational work on their property. Refer to the Capricorn Municipal Development Guidelines for further details.

SC6.17.7.7 Submission of digital ‘As Constructed’ information for development works

The following information is provided for consultants and developers who contract for subdivisional and developmental works within the Rockhampton Regional Council area, and are required to submit final ‘As Constructed’ plans to Council.

Council has standardised the process in which ‘As Constructed’ information is collected, documented, mapped, submitted and integrated into Council's Geographical Information System and Asset Management System. This process is continually being improved from feedback from consultants, developers and Council staff, and is designed to make the entire process simpler, efficient and accurate and provide long-term benefits for all concerned.

The ‘As Constructed’ process requires the submission of all ‘As Constructed’ documentation in accordance with Council's ‘Guidelines for creation and submission of ADAC XML files’. The manual provides detailed guidance on the following: the documentation required as part of the submission; the survey guidelines, plan layout specifications and specific guidance as to the attribute information required.

To assist consultants and developers to provide Council with the required attribute information, Council has developed a template ‘As Constructed’ Microsoft Excel spreadsheet that aligns with the Manual. A reference guide is also available that is aimed at assisting during the surveys, map production and completing the Microsoft Excel spreadsheet. The common causes of errors that delay Council approval of the submission documentation are identified as well as a summary of key changes from previous versions.

SC6.18 Stormwater management planning scheme policy

SC6.18.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and stormwater management code.

SC6.18.2 Purpose

The purpose of this planning scheme policy is to provide guidance in relation to the provision of stormwater infrastructure for development in order to ensure stormwater infrastructure design and construction satisfies Council's Desired Standard of Service requirements and environmental and safety expectations. The planning and design of stormwater drainage must address the following:

- (a) relevant catchment features;
- (b) incorporate elements and measures to manage stormwater movement;
- (c) flow to maximise outcomes for flood mitigation (water quantity), water quality protection and improvement; and
- (d) maintenance of near-natural hydrological regimes.

The function of the stormwater network is to:

- (a) manage stormwater to ensure that it causes minimal nuisance, damage or danger to people, property or the environment (stormwater quantity infrastructure); and
- (b) minimise the impacts of development on receiving environments through:
 - (i) limiting pollutant loads discharging to receiving waters (stormwater quality infrastructure);
 - (ii) minimising the change in frequency of disturbance to aquatic ecosystems by managing the volume and frequency of surface runoff during small rainfall events (frequent flow management infrastructure); and
 - (iii) controlling bed and bank erosion in waterways (waterway stability infrastructure).

The stormwater drainage system must:

- (a) prevent or minimise adverse social, environmental, and flooding impacts on waterways, overland flow paths and the constructed drainage network;
- (b) ensure that the design of channel works and other stormwater management measures is integrated with natural catchment features and maximises the use of natural channel design principles where possible;
- (c) achieve acceptable levels of stormwater run-off quality by applying water sensitive urban design principles as part of catchment based total water cycle management approach; and
- (d) seek to maintain the catchment hydrograph as close as possible to natural conditions to reduce adverse impacts associated with the reduction of time to peak flows and increased flow volume.

SC6.18.3 Reference standards and guidelines

In addition to this planning scheme policy, urban stormwater drainage systems are planned, designed and constructed in accordance with the current editions of the following documents:

- (1) Capricorn Municipal Development Guideline D5 — Stormwater Drainage Design;
- (2) Capricorn Municipal Development Guideline D7 — Erosion Control and Stormwater Management;
- (3) Queensland Urban Drainage Manual;
- (4) Australian Rainfall and Runoff;
- (5) AustRoads – 'Guide to Road Design Part 5: Drainage design';
- (6) State Planning Policy; and
- (7) Water by Design Guidelines.

SC6.18.4 Design criteria

SC6.18.4.1 General

- (1) All stormwater networks/systems must have appropriate land tenure and lawful point of discharge as defined by the Queensland Urban Drainage Manual.
- (2) Stormwater drainage networks/systems are to be designed for both the minor and major storm conditions/flood management concept.
- (3) The major drainage system is that part of a drainage network/system in a catchment that is designed to convey a specified major design storm flow. This system may comprise open space floodway channels, road reserves, pavement expanses, overland flow paths, natural or constructed waterways, detention/retention basins and other major water bodies.
- (4) The minor drainage system is that part of a drainage system in a catchment that controls flows from the minor design storm such as the thirty-nine (39) per cent average exceedance probability (AEP), eighteen (18) per cent average exceedance probability and ten (10) per cent average exceedance probability. These systems usually comprise kerb and channel, roadside channels, gully inlet pits, underground pipes, manholes and outlets.

SC6.18.4.2 Hydrology

- (1) Design Intensity Frequency Duration (IFD) rainfall data is to be in accordance with the Bureau of Meteorology.
- (2) Design annual exceedance probability shall be in accordance with land use types in accordance with Capricorn Municipal Development Guideline D5.
- (3) Catchment areas, flow paths, level of development, planned trunk infrastructure, priority infrastructure area planning, studies, and planning horizons shall be confirmed with Council prior to submission.
- (4) All calculations shall be certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) specialising in Hydrology and Hydraulics.

SC6.18.4.3 Hydraulics

- (1) All calculations shall be certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) specialising in Hydrology and Hydraulics.
- (2) Provision must be made for the future orderly development of upstream properties with respect to pipe drainage.
- (3) In all cases where there is land identified within the strategic settlement pattern upstream of the site, the development must provide a suitable drainage inlet for future upstream developments and consider these fully developed catchment flows in their design.
- (4) Further cut-off drains and the like must be provided to prevent overland flow from adjacent properties causing problems on the developed land.
- (5) If a drainage connection is provided for upslope development the drainage infrastructure must fully extend to the boundary of the upslope site to ensure that the upslope property owner does not have to undertake works in the down-slope property to connect to this stormwater infrastructure.
- (6) If the effectiveness and efficiency of any existing drainage system on the property will be compromised by proposed additional site improvements, the existing system is to be suitably modified to offset any adverse impacts.

SC6.18.4.4 Inter-allotment drainage

- (1) The inter-allotment drainage shall be designed to Queensland Urban Drainage Manual and Capricorn Municipal Development Guideline D5.
- (2) Filling, retaining walls, buildings, fences, or other obstructions must not block overland flow. Furthermore these obstructions must not cause the overland flow to be diverted to, or concentrated onto, another property.

SC6.18.4.5 Water sensitive urban design in landscape design

Where water sensitive urban design principles are incorporated into landscaping design, this is designed and constructed in accordance with the *Water by Design Technical Design Guidelines*.

SC6.18.4.5.1 Stormwater infrastructure located in a park or open space

Stormwater infrastructure provided in or adjacent to a park, open space or in a designated drainage easement results in an:

- (a) increase in the continuity of greenspace area; and
- (b) improvement in overall amenity of the area.

Editor's note— Stormwater infrastructure located within a park, open space, or drainage reserve shall be designed to:

- reflect the natural character of the land and its surrounds;
- preserve community safety; and
- allow for maintenance activities to be undertaken.

SC6.18.5 Stormwater infrastructure standards

Stormwater infrastructure is provided in accordance with the Capricorn Municipal Development Guideline D5, Queensland Urban Drainage Manual and the Australian Rainfall and Runoff (ARR), except as modified by this section.

A detailed site based stormwater management plan is required for development being a material change of use or a reconfiguring a lot where stormwater quality, frequent flow management or waterway stability infrastructure is being provided.

SC6.18.5.1 Stormwater quality, frequent flow management and waterway stability infrastructure

- (1) Stormwater quality, waterway stability and frequent flow infrastructure is provided to achieve the stormwater management design objectives defined in the State Planning Policy.
- (2) This section does not apply where the development has less than twenty-five (25) per cent impervious area.
- (3) This section does not apply where the development captures and manages the first ten (10) millimetres of runoff per day from all impervious areas using:
 - (a) evaporation of stormwater; or
 - (b) reuse of stormwater (e.g. adequately sized rainwater tank with reuse facilities); or
 - (c) infiltration to native soils or filtration through an appropriately designed soil and plant stormwater treatment system.
- (4) This section does not apply for waterway stability and frequent flow infrastructure where run-off from or within the site drains to a receiving waterway that is degraded. A waterway is degraded where:
 - (a) the proportion of impervious area within the catchment, prior to the proposed development, is greater than thirty (30) per cent and the waterway stability objective has not been applied to any existing development within the catchment, prior to the proposed development; or
 - (b) the waterway is designed as 'highly disturbed' in Schedule 1 of the Queensland Environmental Protection (Water and Wetland Biodiversity) Policy 2019; or
 - (c) as determined by the local government.

SC6.18.5.1.1 Standards for stormwater quality, frequent flow management and waterway stability infrastructure

- (1) Except as altered by the provisions of this planning scheme policy, stormwater quality, frequent flow management and waterway stability infrastructure is designed and constructed in accordance with the most recent versions of:
 - (a) the *Water by Design Water Sensitive Urban Design Technical Design Guidelines for South East Queensland*;

- (b) the *Construction and Establishment Guidelines: Swales, Bioretention Systems and Wetlands*;
 - (c) *The Concept Design Guidelines for Water Sensitive Urban Design*;
 - (d) Standard Drawings WSUD-001 to WSUD-012 produced by the Queensland Division of the Institute of Public Works Engineering Australia;
 - (e) the Water by Design MUSIC modelling guidelines;
 - (f) the Deemed to *Comply Solutions for Stormwater Management in South East Queensland*;
 - (g) the *Water Sensitive Urban Design Asset Handover Guideline*;
 - (h) State Planning Policy Water Quality Objectives; and
 - (i) Water by Design Asset Maintenance Guidelines.
- (2) All computer modelling undertaken for the design of stormwater quality infrastructure uses the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) software and is in accordance with the most current version of the *Water by Design MUSIC Modelling Guidelines*.
- (3) All runoff routing computer modelling undertaken for the design of waterway stability infrastructure is in accordance with:
- (a) the Queensland Urban Drainage Manual;
 - (b) the Australian Rainfall and Runoff; and
 - (c) the provisions of this section SC6.18.5 – Stormwater infrastructure standards of this planning scheme policy.

SC6.18.5.2 Stormwater quality management design objectives

- (1) The design objective for stormwater quality is to achieve the minimum reductions in total pollutant load, compared with that in untreated stormwater runoff, from the development part of the site as set out in the State Planning Policy.

The design objective for frequent flow management is to:

- (a) protect in-stream ecosystems from the significant effects of increased run-off frequency, by capturing the initial portion of run-off from impervious areas. This approach ensures that the frequency, duration and severity of hydraulic disturbance to in-stream ecosystems in developed catchments is similar to predevelopment conditions for small flow events.

Compliance with this objective may be demonstrated by providing a total stormwater capture volume (m³) calculated as follows:

Capture volume (m³) = Impervious area (m²) x target design run-off capture depth (m)

- (b) manage the captured stormwater. This should include one or more of the following:
 - (i) reuse of stormwater (including collection and use of roof water);
 - (ii) infiltration to native soils (where adverse impacts will not arise);
 - (iii) diversion of surplus flows around sensitive downstream receiving environments; and
 - (iv) evaporation of stormwater.
- (2) The spatial distribution of the required total stormwater capture volume in section SC6.18.5.3.5(2)(a) of this planning scheme policy may be adapted to suit individual site conditions, provided that the required volume from all impervious areas is captured before leaving the site.
- (3) The design objective for frequent flow management requires that the capacity to capture the volume of runoff be available each day. The management system (whether reuse, infiltration or diversion) must therefore be capable of draining the captured stormwater within 24 hours.

Editor's note—Capturing the required volume of runoff reduces pollutant load and simultaneously improve water quality. Therefore, it may eliminate the need for separate additional storage to meet the objective for managing frequent flow.

- (4) The design objective for waterway stability is to limit the post-development peak sixty-three (63) per cent average exceedance probability (AEP) event discharge within the receiving waterway to the pre-development peak sixty-three (63) per cent average exceedance probability (AEP) event discharge.

SC6.18.5.3 Minor drainage system

- (1) A minor drainage system is provided that is designed for a storm event in accordance with Capricorn Municipal Development Guideline D5 and the Queensland Urban Drainage Manual
- (2) The underground drainage systems, together with associated inlets, access chambers, outlets and other such infrastructure are designed to convey the discharge for the design minor storm event.
- (3) A minimum blockage factor of inlets, grates and letter box openings to be considered in designing these components of the minor drainage system is in accordance with Chapter 7 (Urban drainage) of Queensland Urban Drainage Manual.
- (4) Road flows shall be restricted by:
 - (a) the flow spread limitations on the road pavement and the position of kerb inlets as detailed in Table 7.3.5 of the Queensland Urban Drainage Manual; and
 - (b) achieving a $D \cdot V \leq 0.3 \text{ m}^2/\text{s}$ for flow transverse to the road alignment, where there is a potential risk to human safety.

Editor's note—Refer to Australian Rainfall and Runoff Project 10 Report (1) 'Appropriate Safety Criteria for People' and Report (2) 'Appropriate Safety Criteria for Vehicles' for guidance. Refer also to Tables 7.4.3, 7.4.4 and Table 7.4.5 of the Queensland Urban Drainage Manual.

- (5) Where the minor drainage system is conveyed through a park or open space, the total flow for the design minor storm event must be contained within the drainage easement.

SC6.18.5.4 Major drainage system

- (1) A major drainage system is designed to convey the developed, unmitigated one (1) per cent average exceedance probability (AEP) storm event. However, the major drainage system must accommodate a provision for managing flows for the one (1) per cent average exceedance probability (AEP) storm events with adequate freeboard.
- (2) The design of the major drainage system:
 - (a) includes provision for the future development of buildings and earthworks on the land;
 - (b) includes provision for an overland flow path;
 - (c) achieves a freeboard of not less than three-hundred (300) millimetres above the one (1) per cent average exceedance probability (AEP) flood level, and five-hundred (500) millimetres for habitable floor levels;

Editor's note—'In some instances it may be more appropriate to adopt higher freeboard in steeper streams due to roughness variability and sensitivity of Mannings 'n' values.

- (d) achieves a flow depth and velocity product in accordance with Table 7.3.6 of the Queensland Urban Drainage Manual
 - (e) does not result in an increase to discharge or velocity rates external to the subject property; and
 - (f) makes consideration of blockages within the minor drainage system by adopting an appropriate level of debris blockage to the inlets of the minor drainage system.
- (3) The major drainage system is designed to comply to a maximum permissible flow depth within the road reserve in accordance with Section 7 of Queensland Urban Drainage Manual.
- (4) The total overland flow for the designed major drainage system must be contained entirely within:
 - (a) the road reserve;

- (b) a drainage reserve; and
 - (c) the overland flow path obtained through a park, open space or local government easement.
- (5) Wherever possible, the major drainage system components (e.g., bio-retention and bio-retention detention or bio-retention basin systems (whether for reuse, infiltration or diversion) must be designed to be capable of draining the captured stormwater flows within 72 hours.

SC6.18.5.5 Lawful point of discharge

- (1) All development shall discharge to a lawful point of discharge in accordance with Section 3.9 of Queensland Urban Drainage Manual.
- (2) Where the lawful point of discharge is to a park, the receiving waterway shall be an appropriately designed, naturalised and constructed within an existing channel or waterway. Any works undertaken within the park shall ensure that the park function is not degraded and the written permission of the asset owner is obtained prior to application being submitted to the Council.
- (3) A lawful point of discharge is established for infill (brown field) development where the site slopes downward away from the road reserve and no inter-allotment drainage system exists. If the drainage system passes through a private property, a letter of consent from the owner(s) of downstream property/properties must be submitted as a part of an approval process for the development application. Refer to Capricorn Municipal Development Guideline D5 for further guidance.

SC6.18.5.6 Safety

Stormwater infrastructure is designed to preserve and enhance public safety. This shall be achieved by methods including, but not limited to the following:

- (a) meeting velocity, depth and velocity*depth limitations in accordance with Table 7.3.6 of the Queensland Urban Drainage Manual;
- (b) providing safe egress from detention systems;
- (c) applying the principles of crime prevention through environmental design (CPTED); and
- (d) adequate signage.

SC6.18.5.7 Allotment and inter-allotment drainage systems

- (1) Wherever site topography permits, premises shall drain roof and surface water to the adjoining road reserve or stormwater network (i.e. allotment drainage system).
- (2) Where site topography does not facilitate drainage of roof and surface water in accordance with section SC6.18.5.7 (1) of this planning scheme policy, then an inter-allotment drainage system is required.
- (3) All pipes must have a minimum longitudinal gradient in accordance with the Queensland Urban Drainage Manual.
- (4) Soakage or rubble pits may be permitted in the residential, commercial or industrial areas in exceptional circumstances where no other solution can be implemented, subject to meeting appropriate ground conditions.
- (5) Charged roofwater systems are not permitted except in exceptional circumstances where no other option is available. Any proposal for such a system must be accompanied by a hydraulic report which demonstrates that the system can adequately discharge the roof water.
- (6) Drainage pits or inspection manholes are provided in accordance with the Capricorn Municipal Development Guideline D5 - Stormwater Drainage Design.

SC6.18.5.7.1 Inter-allotment drainage systems

- (1) This section needs to be read in conjunction with section SC6.18.5.7 Allotment and inter-allotment drainage systems of this planning scheme policy. Where there is a conflict between the two sections, this section prevails.

- (2) All inter-allotment drainage with an easement in favour of Council achieves a minimum design standard in accordance with Capricorn Municipal Development Guideline D5 - Stormwater Drainage Design, and the Queensland Urban Drainage Manual.
- (3) Retaining walls are located within an easement in favour of Council, such that the retaining wall is located outside the easement and the zone of influence of the piped network.

SC6.18.5.7.2 Allotment and Inter-allotment drainage systems for non-urban areas

- (1) In the rural residential zone, rural zone and environmental management and conservation zone areas, the design and construction of the drainage system is the responsibility of the owner.
- (2) An overland flow path in the rural residential, rural zone and environmental management and conservation zone areas is preserved or an open channel is constructed:
 - (a) in accordance with the provisions of this planning scheme policy;
 - (b) in accordance with depth*velocity safety provisions of section 7.3.16 of the Queensland Urban Drainage Manual;
 - (c) to achieve a minimum freeboard of five-hundred (500) millimetres to all finished habitable floor levels within the site; and
 - (d) to ensure that batter slopes on any swale are no greater than 1:4 (V:H).
- (3) Where overland flow is conveyed within a road on site:
 - (a) the maximum depth within kerb and channel is two-hundred (200) millimetres; and
 - (b) a minimum freeboard of three-hundred (300) millimetres is provided to all finished floor levels within the site.

SC6.18.5.8 No worsening

- (1) Development must achieve the principle of "no worsening", as per the Queensland Urban Drainage Manual and the provisions of this planning scheme policy.
- (2) In achieving the principle of no worsening, development:
 - (a) does not result in a detrimental impact on the flooding, or flood risk of any area;
 - (b) does not result in adverse impacts of any other property in terms of changes in peak discharge, flood levels, the frequency of flooding, the shape of the hydrograph, flow velocities, water quality, sedimentation or scour effects for the full range of average exceedance probability (AEP) storm events up to and including the defined flood event;
 - (c) does not result in an increase in peak discharge from the development site;
 - (d) ensures that the time of concentration to the peak of the event does not decrease and where it does increase, consideration is given to the impacts upstream, adjacent, and downstream of the property boundary so as to ensure runoff from the site does not bring the hydrograph peak closer to coincidence with the peak flow in adjoining catchments; and
 - (e) undertakes a method of modelling agreed with the Council, upstream and, where appropriate, downstream of the site.

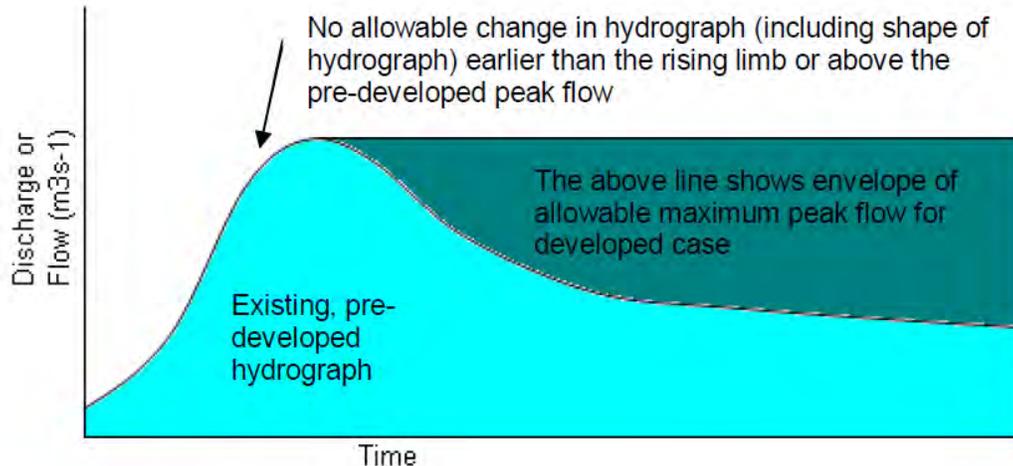


Figure SC6.18.5.8.1—Peak discharge and allowable change

- (3) Infrastructure which may be appropriate to contribute to compliance with the principle of "no worsening" includes:
 - (a) stormwater detention systems;
 - (b) controlled conveyance within the development site of flow which enters the site from upstream or adjacent areas;
 - (c) infiltration areas; and
 - (d) stormwater storage and harvesting subject to availability of storage after a large rainfall event for mitigation of peak discharge; where exceptional circumstance exist such that the existing overland flow path is highly degraded and both ecological and flood risk benefits can be achieved, channel enhancement and other rehabilitation measures.

SC6.18.5.9 Estimation of stormwater runoff

- (1) An estimation of runoff is undertaken as per the methodology outlined in the Capricorn Municipal Development Guidelines and the Queensland Urban Drainage Manual. This may involve the use of rainfall-runoff modelling software (e.g. XP-RAFTS, XP-STORM or RORB, etc.) for instances where:
 - (a) the catchment area is larger than 500 ha (As per Queensland Urban Drainage Manual's requirements for use of the Rational Method); or
 - (b) an analysis of storage capacity (e.g. basin storage/stage discharge relationship) is required for an existing or proposed detention basin.
- (2) The Rational Method can be used for relatively small scale catchment as well as for verifying the rainfall-runoff model.

SC6.18.5.10 Sensitivity analysis

- (1) Sensitivity analysis shall be undertaken for all modelled results;
- (2) The sensitivity of all results shall be assessed with regards to the influence of:
 - (a) an increase in rainfall intensity of ten (10) per cent;
 - (b) a variation of all Mannings 'n' values of ten (10) per cent to twenty (20) per cent depending on the circumstances on the implications/risk profile;
 - (c) a variation of the tail water depth of +/- ten (10) per cent; and
 - (d) blockage considerations as outlined in Queensland Urban Drainage Manual and Australian Rainfall and Runoff Project 11 Blockage of Hydraulic Structures.

SC6.18.5.11 Stormwater infrastructure located in a waterway and wetland buffer area

- (1) A stormwater infrastructure item may only be provided in a waterway and wetland buffer area where the buffer area is degraded to such an extent that the construction of

- the stormwater infrastructure item would result in an enhancement to the condition and ecological function of the buffer area.
- (2) A stormwater infrastructure item may not be located within the waterway and wetland buffer area where the buffer area:
 - (a) contains intact riparian vegetation; or
 - (b) is located below the five (5) per cent average exceedance probability (AEP) flood level; or
 - (c) adjoins a stream order one (1) or two (2) minor waterway; or
 - (d) where a mapped waterway or wetland buffer is less than thirty (30) metres in width, measured from the top bank.
 - (3) Where a stormwater infrastructure item is located within a waterway or wetland buffer area, it shall be located a minimum distance of:
 - (a) ten (10) metre setback from the top of bank for waterways of stream order three (3) or minor wetlands that is retained, restored or rehabilitated; or
 - (b) twenty-five (25) metre extending perpendicularly outwards from the top of bank for waterways of stream order four (4) and five (5) major wetlands or significant wetlands that is retained, restored or rehabilitated.

SC6.18.5.12 Stormwater infrastructure located in a road reserve

- (1) A stormwater quality infrastructure item may only be located within a road reserve where the item is a:
 - (a) approved bio-retention street tree; or
 - (b) approved streetscape bio-retention system.

Editor's note—The street tree must be designed in accordance with the Water by Design Passive Water Guidelines

SC6.18.5.13 Overland flow

SC6.18.5.13.1 Overland flow hydrology

With respect to overland flow hydrology and associated design, overland flow is comprised of both sheet flow and concentrated flow.

The maximum overland sheet flow length is:

- (a) fifty (50) metres in urban areas; or
- (b) two-hundred (200) metres in rural residential areas.

Overland sheet flow travel time is calculated using either:

- (c) Friend's Equation; or
- (d) the Kinematic Wave Equation.

Editor's note—Council's preference is that Friend's Equation (Queensland Urban Drainage Manual Equation 4.5) is used for this purpose.

Concentrated overland flow travel time shall be determined using Manning's equation and fall within the accepted time periods identified in the Queensland Urban Drainage Manual.

SC6.18.5.13.2 Overland flow design standards

Overland flow is to be provided such that:

- (a) the developed one (1) per cent average exceedance probability (AEP) flow is conveyed;
- (b) it is designed in accordance with Section 7 of the Queensland Urban Drainage Manual, ARR and the Brisbane City Council Technical Design Guidelines for Natural Channel Design;
- (c) existing overland flow paths are retained, maintained and protected;
- (d) existing waterway values are protected, enhanced and rehabilitated;
- (e) waterway stream flow lengths are not reduced;
- (f) no worsening of overland flow and potential associated flooding is achieved;

- (g) a minimum three-hundred (300) millimetres freeboard between the overland flow path one (1) per cent average exceedance probability (AEP) flow level and all finished floor levels is achieved; and
- (h) aesthetic amenity is enhanced.

Where modification of the overland flow path is unavoidable or necessary, the new overland flow path design must conform to the principle of no worsening and provide beneficial environmental enhancement.

Where possible and having regard for the type and scale of infrastructure concerned, development should provide interpretive/ educational opportunities.

SC6.18.5.14 Channels

SC6.18.5.14.1 Unlined channel flow velocities

Flow velocities in unlined channels shall be in accordance with Table 9.5.2 of the Queensland Urban Drainage Manual.

Where Table 9.5.2 of the Queensland Urban Drainage Manual does not specify a permissible velocity for a given combination of gradient and vegetation cover, then that combination of gradient and vegetation cover shall be taken to be unacceptable.

SC6.18.5.14.2 Bank slope requirements for constructed channels

The maximum bank slope gradients for constructed channels are 1:4 (V:H).

SC6.18.5.14.3 Allowable channels types

- (1) There are seven types of allowable channel designs that can be constructed, and these are listed in Section 9.2.4 of the Queensland Urban Drainage Manual.
- (2) Development in residential and rural areas shall use channel types C4, C5, C6 and C7.
- (3) Development in commercial and industrial areas shall use channel types C1, C2 and C3.
- (4) Where a proposed channel in a commercial or industrial area is located:
 - (a) adjacent to: parkland; environmental and/or habitat corridors; open space; or
 - (b) where a natural overland flow path exists across or adjacent to the development site, then channel types C4, C5, C6 and C7 shall be used.

SC6.18.6 Stormwater infrastructure documentation

SC6.18.6.1 Site based stormwater management plan

- (1) The site based stormwater management plan is to include all information required to assess development against:
 - (a) the standards for stormwater quantity infrastructure; discussion and
 - (b) the stormwater management design objectives as per the State Planning Policy (SPP) for:
 - (i) stormwater quality which aims to protect receiving water quality by limiting the quantity of key pollutants discharged in stormwater from urban areas;
 - (ii) frequent flow management which aims to protect in-stream ecosystems from the significant effects of increased runoff frequency by capturing the initial portion of runoff from impervious areas. This approach ensures that the frequency of hydraulic disturbance to in-stream ecosystems in developed catchments is similar to pre-development condition; and
 - (iii) waterway stability which aims to prevent exacerbated in-stream erosion downstream of urban areas by controlling and/or reducing the magnitude, intensity, and duration of increased flows associated with higher ratios of impervious surfaces resulting from urban development, and sediment-transporting flows.

SC6.18.6.1.1 Core matters to be included in a site based stormwater management plan

- (1) A conceptual site based stormwater management plan must include:
 - (a) an assessment of the existing site which includes:
 - (i) a description of the existing topography and drainage, upstream and downstream of the development site, including details about the size, location and levels of any existing drainage measures;
 - (ii) a description of the site's soils. The level of investigation depends on the proposed design of the stormwater treatment. A detailed soil evaluation in accordance with AS/NZS 1547:2000 Clause 4.1.3 is required to support any bio-retention system or constructed wetland designed without an impermeable liner or if stormwater infiltration is proposed;
 - (iii) identification of any acid sulphate soils;
 - (iv) a site plan showing:
 - (A) contours;
 - (B) development boundaries;
 - (C) catchment details;
 - (D) flow paths;
 - (E) piped drainage;
 - (F) waterway and drainage invert levels;
 - (G) stormwater detention systems;
 - (H) soil types;
 - (I) culverts;
 - (J) other structures;
 - (K) drainage easements;
 - (L) road drainage;
 - (M) the lawful point of discharge;
 - (N) stormwater quality and frequent flow management infrastructure;
 - (O) easements;
 - (P) existing vegetation;
 - (Q) vegetation to be retained;
 - (R) overland flow path areas; and
 - (S) local and regional flood levels for the ten (10), five (5), two (2) and one (1) per cent average exceedance probability (AEP) flood;
 - (b) details of site configuration in a table form including the total area of:
 - (i) road surfaces;
 - (ii) driveways;
 - (iii) roof surfaces;
 - (iv) landscape areas;
 - (v) stormwater treatment areas;
 - (vi) any other categories specific to the site; and
 - (vii) pavement areas;
 - (c) earthworks and catchment details including:
 - (i) conceptual earthworks;
 - (ii) catchments and sub-catchments;
 - (iii) proposed stormwater networks including conceptual surface and invert levels; and
 - (iv) cross-sections at regular intervals showing the extend of cut and fill works to confirm earthworks and, if applicable, no loss of floodplain storage;
 - (d) development scale plan layout indicating:
 - (i) catchment details;
 - (ii) conceptual drainage network with invert levels;
 - (iii) location of stormwater treatment measures;
 - (iv) location of existing, planned and proposed infrastructure such as sewerage and water; and
 - (v) information on pre and post development flood volumes.

SC6.18.6.1.2 Specific matters to be included in the site based stormwater management plan - design objective for frequent flow management

- (1) A site based stormwater management plan for the purposes of reporting on stormwater quantity and quality management shall provide details which include:
 - (a) the lawful point of discharge;
 - (b) proposed no-worsening measures;
 - (c) the pre-development stormwater quantity characteristics and any potential development impacts assessed;
 - (d) a description of the modelling method and assumptions used in any catchment, hydraulic or hydrologic modelling, and/or in the sizing of infrastructure;
 - (e) a description of all proposed stormwater and overland flow management measures and stormwater infrastructure;
 - (f) future ownership details of stormwater and drainage infrastructure;
 - (g) the total stormwater capture volume in cubic metres (m³), calculated as follows:
 - (i) capture volume (m³) = Impervious area (m²) x target design run-off capture depth (m)
 - (ii) capture volume (m³) equals the impervious area (m²) multiplied by the target design runoff capture depth (mm/day) divided by 1,000;
 - (iii) The spatial distribution of the required capture volume may be adapted to suit individual site conditions, provided that the required volume from all impervious areas is captured before leaving the site;
 - (iv) capturing the required volume of runoff reduces pollutant load and simultaneously improves water quality. Therefore, it may eliminate the need for separate additional storage to meet the objective for frequent flow management; and
 - (h) how the captured stormwater will be managed. This should include one or more of the following:
 - (i) reuse of stormwater (including collection and use of roof water);
 - (ii) infiltration to native soils (where adverse impacts will not arise);
 - (iii) diversion of surplus flows around sensitive downstream receiving environments; and
 - (iv) evaporation of stormwater.

SC6.18.6.1.3 Specific matters to be included in the site based stormwater management plan - design objectives for stormwater quality

For the purposes of reporting on the design objectives for stormwater quality, a site based stormwater management plan shall provide details including:

- (a) descriptions of each treatment train for each sub-catchment ensuring that all types of pollutant (primary, secondary and tertiary) is treated in the appropriate order - primary pollutant treatment measures are located at the beginning of the treatment train and tertiary treatment measures are positioned at the end;
- (b) details of each individual treatment device including total footprint, treatment area, invert levels, coarse sediment management, maintenance access and design flows. Specify whether the stormwater treatment system will be privately maintained or handed over to Council;
- (c) a scale plan and section drawings showing:
 - (i) how stormwater is conveyed to the stormwater treatment devices;
 - (ii) the location of all stormwater treatment devices including filter areas and batters with respect to the development layout;
 - (iii) surrounding ground levels;
 - (iv) conceptual design levels for each treatment device and receiving drainage invert levels;
 - (v) scour protection and coarse sediment management devices;
 - (vi) maintenance access;
 - (vii) likely maintenance intervals;
- (d) section drawings showing:

- (i) conceptual design levels for each treatment device and receiving drainage invert levels;
- (ii) scour protection and coarse sediment management devices;
- (iii) batters, embankments or retaining walls; and
- (e) proof that all modelling and reporting has been undertaken in accordance with the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) and the Water by Design MUSIC Modelling Guidelines.

SC6.18.6.1.4 Specific matters to be included in site based stormwater management plan – design objectives for waterway stability

A site based stormwater management plan for the purposes of reporting on the design objectives for frequent flow management must include:

- (a) detailed design of all stormwater quantity and or quality management methods and infrastructure;
- (b) the location and network connection details;
- (c) a description of the modelling method and methodology used for any hydraulic or hydrologic modelling;
- (d) detailed engineering drawings showing:
 - (i) the areas of earthworks including cross-sections at regular intervals showing the extend of cut and fill works to confirm earthworks and, if applicable, no loss of floodplain storage;
 - (ii) final site contours;
 - (iii) final road layout;
 - (iv) final lot arrangement;
 - (v) location, size and type of proposed stormwater quantity and or quality management measures including all invert levels;
 - (vi) maintenance access; and
 - (vii) location of lawful points of discharge and receiving waters/environs.

Editor's note—For the purposes of demonstrating compliance with the design objective for waterway stability, a site based stormwater management plan shall provide details including the methodology used to achieve the design objective for waterway stability in accordance with Appendix C of Water Sensitive Urban Design: Developing Design Objectives for Urban Development in South East Queensland, Version 2, November 2007, published by the South East Queensland Healthy Waterways Partnership.

SC6.18.6.1.5 Modelling requirements

All modelling files used to demonstrate compliance with the design objectives must be provided to Council on a CD with the development application. If modelling is required, the modelling regime and scope will be agreed between the applicant and the Council, prior to the commencement of the modelling.

SC6.18.6.1.6 Maintenance requirements for Council and private stormwater quality and quantity infrastructure, and detention systems

All stormwater quality and quantity infrastructure, detention, and retention systems must be designed with simple, safe, cost-effective maintenance in mind.

A maintenance plan that documents all the maintenance requirements and responsibilities must be developed and submitted for all development applications for a material change of use applications (excluding dwelling houses). The plan must describe how the design facilitates maintenance requirements and set out how the system is to be maintained by addressing issues such as inspection, likely clean-out frequency, procedures, access and occupational health and safety requirements. Where this is for a Council-owned asset, the maintenance plan must be submitted as part of the on-maintenance documentation and also include the cost estimate for the construction of the proposed system and an estimate of annual maintenance costs.

Editor's note—Guidance on the maintenance of stormwater quality infrastructure can be found in the following guidelines:

- Water by Design Maintaining Vegetated Stormwater Assets

- Water by Design Transferring Ownership of Vegetated Assets
- Water by Design Guide to the cost of Maintaining Bioretention Systems

SC6.18.7 Stormwater offsets

- (1) Development involving stormwater quality infrastructure, frequent flow management measures, or waterway stability infrastructure may include a proposal to incorporate off-site stormwater quality measures (in part or whole) that meet or exceed the stormwater management design objectives mentioned in this planning scheme policy.

Any off-site measures proposed will need to be consistent with applicable planning scheme codes, planning scheme policies and associated guidance material. Where appropriate, provision for stormwater quality offsets can be applicable.

- (2) Should development applications propose an alternative solution to the design objectives for stormwater quality, frequent flow management and/or waterway stability in the conceptual stormwater management plan, assessment will be based on the merits and suitability of the proposed measures to the development and catchment area.

As an interim measure, relevant contemporary water sensitive urban design material will be addressed such as Water Sensitive Urban Design Deemed to Comply Solutions for South East Queensland (2009), the Living Waterways framework and/or any other locally appropriate guidelines.

Editor's note— The Living Waterways framework developed by Healthy Land and Water Ltd may provide an alternative and locally appropriate solution for the post-construction phase of development, where the quantitative assessment of the elements of the structured framework meets the deemed requirements of the stormwater management design objectives.

- (3) Stormwater quality offsets may be applied in accordance with the State Planning Policy, other relevant Queensland Government policies and legislation, and Council policy and guidance in lieu of on-site treatment for development if:
- the design objective for waterway stability and the design objective for frequent flow management do not apply to, or are met by the development; and
 - on-site treatment is determined to be unfeasible, e.g. the proposed development would typically be a smaller scale, or infill development in a predominantly urbanised catchment and on-site treatment would be considered unfeasible due to site constraints; and/or
 - Council has available to it at the time the development application is made, cost-effective stormwater quality infrastructure projects that are able to be implemented to achieve at least the same water quality outcome that is required by the proposed development. Inclusion of a development's stormwater management design objective obligations in such a regional solution will be at the discretion of Council with costs of implementing the offset to be borne solely by the development.
- (4) The cost of a stormwater quality offset for a particular development will be calculated as a proportion of the overall cost to the Council of designing, constructing, and establishing the relevant regional stormwater quality project.

For example, if the pollutant reduction required by the particular development equates to twenty (20) per cent of the pollutant reduction that can be achieved by the regional stormwater quality solution, then the development would contribute twenty (20) per cent of the overall cost of the regional solution.

Establishment includes the initial maintenance of the regional solution until such time as it is deemed to be a low maintenance asset i.e. native vegetation is well-established and the functionality of the treatment system is relatively consistent with 'natural' systems.

SC6.18.8 General requirements for detention and retention basins

- (1) The design of stormwater detention and retention systems is to refer to section 5 of the Queensland Urban Drainage Manual for all design elements including (but not limited to): embankments, spillways, low and high flow outlets, freeboard, basin grade, basin floor design, and scour control.
- (2) Stormwater detention is located offline to existing creeks/flow paths and external catchments.
- (3) Sufficient detention storage must be provided to ensure peak flow rates and/or flood levels at any point within the downstream drainage system do not increase as a result of the development for all events up to and including the one (1) per cent average exceedance probability (AEP) event.

SC6.18.8.1 Acceptable types of detention systems

- (1) A variety of different detention systems are acceptable for use, provided they are suitable for site constraints, development type and intended ownership.
- (2) Detention basins are an acceptable type of detention system in all developments except where attenuated flood peaks from tributaries coincide with the main stem flood wave in a manner that causes or worsens overfloor flooding downstream.
- (3) Where stormwater from any public asset such as a road reserve is directed into a stormwater detention system, these detention systems must be located within public land such as a park or drainage reserve, but not within road reserves. Only above-ground detention storages will be permitted in Council-owned lands. Tanks in public roads will not be accepted.
- (4) Detention basins, incorporating stormwater quality treatment infrastructure items (e.g. bio-retention), are an acceptable type of detention system in all developments, subject to the bio-retention basin's suitability to in-situ soil conditions. Above-ground detention basins should be integrated with water quality treatments by locating the detention storage requirement above the water quality extended detention depth.
- (5) Council will not support the installation of on-site (lot-based) stormwater detention facilities in a residential subdivision on each freehold lot as there is no provision to adequately ensure these facilities are protected or maintained into the future.
- (6) Using stormwater detention tanks in commercial or industrial developments will be permitted where located on lots or within privately owned roads/driveways. Similarly, tanks could be used within roads/driveways owned by community title for residential developments.
- (7) Development may provide underground tanks, but this type of detention system will not be accepted as a Council asset.
- (8) Development may provide above ground tanks where site constraints prohibit the use of all other detention systems. However this type of detention system will not be accepted as a Council asset.
- (9) The Council will not accept the use of rainwater tanks as a detention system except under exceptional circumstances as determined by Council.

SC6.18.8.2 Location of detention basins

- (1) Detention systems are designed and constructed to be at or above:
 - (a) the two (2) per cent average exceedance probability (AEP) local flood level; and
 - (b) the two (2) per cent average exceedance probability (AEP) year ARI regional flood level.
- (2) Flood plain storage and function, and detention system functions are maintained. This shall include ensuring that:
 - (a) detention system design does not remove flood plain storage;
 - (b) detention systems continue to operate effectively during a major storm event.
- (3) Detention basins shall not be provided in locations that prevent easy access to or maintenance of the detention basin. In particular, detention basins within residential subdivisions shall be designed, located and constructed on land solely dedicated for stormwater management.
- (4) Off-line detention systems are to receive and detain stormwater prior to it entering:

- (a) a waterway, wetland or overland flow path that originates upstream of the development site; or
- (b) a waterway or wetland as shown in the biodiversity overlay code; or
- (c) any other applicable overland flow path that originates within the development site itself.

SC6.18.8.3 Maintenance

- (1) All detention and retention systems must be designed to allow simple, safe, cost-effective maintenance.
- (2) All detention basins shall be designed and constructed with a suitable heavy vehicle access to the detention basin, or equivalent.
- (3) Maintenance access must be provided for:
 - (a) removal of sediment deposits from within the basin;
 - (b) removal of debris and rubbish after flood events;
 - (c) repair of cracking, erosion and leakage;
 - (d) removal of undesirable tree and vegetation growth;
 - (e) mowing; and
 - (f) reinstatement of basin materials and planting.
- (4) A maintenance plan that documents all the maintenance requirements and responsibilities must be developed. The plan must describe how the design facilitates maintenance requirements and set out how the system is to be maintained by addressing issues such as inspection, likely clean-out frequency, procedures, access and occupational health and safety requirements. Where the basin is to become a Council-owned asset, the maintenance plan must be submitted as part of the site based stormwater management plan documentation and also include the cost estimate for the construction of the detention system and estimate of annual maintenance costs.

Editor's note—Guidance on the maintenance of stormwater quality infrastructure can be found in the following guidelines:

- Water by Design Maintaining Vegetated Stormwater Assets
- Water by Design Transferring Ownership of Vegetated Assets
- Water by Design Guide to the cost of Maintaining Bioretention Systems

SC6.18.8.4 Management of detention systems

- (1) All detention systems, designed and constructed to become a Council asset, other than a detention system identified in a Local government infrastructure plan (LGIP), shall be provided on land dedicated in favour of Council at no cost to Council.
- (2) All private on-site systems shall be maintained and managed by the private property owner. Such systems shall not be established on Council owned land, nor will they be accepted by Council as a Council managed asset.

SC6.18.8.5 Secondary uses for detention systems sites

- (1) Detention systems sites are to be designed and constructed primarily for flood mitigation purposes.
- (2) However detention systems sites can also be designed for a secondary purpose, that include:
 - (a) usable recreational space during dry periods; or
 - (b) car parking and hardstand areas.
- (3) Detention systems sites designed as usable recreational space during dry periods will not be included as park land.
- (4) Detention systems sites designed to provide usable recreation open space during dry periods shall be designed, constructed, landscaped and turfed such that:
 - (a) it drains and dries rapidly after rainfall to prevent water logging or permanent ponding to maximise community benefit from the area;
 - (b) public safety is maintained or enhanced by:
 - (i) providing a batter slope with a maximum grade of not less than 1:6 (V:H);
 - (ii) an inundation depth limit of less than five-hundred (500) millimetres and a flow depth velocity product of less than 0.4m² per second;

- (iii) providing an outlet grate that allows a person to move away from the grate under all operating conditions; and
 - (c) it incorporates the principles of Crime Prevention Through Environmental Design (CPTED);
 - (d) it includes a low flow channel or underground pipe to prevent water logging or permanent ponding to maximise community benefit from the area;
 - (e) it provides pedestrian access to the basin floor to disabled grades;
 - (f) it provides for vehicle access from the nearest public road into the basin for maintenance purposes.
- (5) Carparking space may be configured to provide stormwater detention in private development. Where this occurs, development shall ensure that:
 - (a) it satisfies the requirements for carpark design and stormwater detention system design as outlined in the Queensland Urban Drainage Manual ;
 - (b) safety is maintained or enhanced; and
 - (c) flood free or low flood hazard access for the entry and exit points of the car park are provided.

SC6.19 Structure plan planning scheme policy

SC6.19.1 Application

This policy applies to assessable development if the development:

- (1) involves a preliminary approval to vary the effect of the planning scheme, particularly for a new urban community; or
- (2) involves a significant increase in gross floor area (exceeding the threshold outlined in the applicable zone code or table of assessment); or
- (3) involves a large brownfield or greenfield site; or
- (4) is likely to affect the design and layout of a centre zone; or
- (5) is likely to affect the role and function of a centre identified in the hierarchy of centres of the strategic framework; or
- (6) is nominated by a zone code; or
- (7) is nominated by the reconfiguring a lot code.

Development to which this policy applies will require the preparation of a structure plan which demonstrates how the development will integrate with its surroundings and achieve the purpose of the strategic framework, relevant zone and reconfiguring a lot requirements.

This policy is to be read as a guideline for the structure planning process, acknowledging that there are a number of ways to prepare a structure plan and that the scope and content will vary in accordance with the circumstances of the site. However, Council will use this policy to assess the adequacy and effectiveness of structure plans submitted.

SC6.19.2 Purpose

The purpose of this planning scheme policy is to provide guidance for the planning of new urban development to ensure that:

- (1) land is planned and developed in an orderly and generally sequential fashion;
- (2) development is provided with the necessary infrastructure and services in an efficient and timely manner; and
- (3) development is designed and located to suitably integrate with and minimise impacts between adjoining land use, significant environmental features, and natural hazards.

SC6.19.2.1 Relationship to this planning scheme

This planning scheme policy is to be read in conjunction with the assessment provisions specified in this planning scheme.

SC6.19.3 Planning scheme policy provisions

SC6.19.3.1 Structure plans

In greenfield urban areas and in existing urban areas (for example brownfield and greenfield sites), a structure plan can help coordinate the planning of the preferred use of land, the provision of transport networks, public open space, utility and service networks, urban water management, development standards and community and other infrastructure investment and staging programs. The scope of considerations and content of any structure plan and development scheme will vary depending on the nature of the development proposal, the potential impacts, and the circumstances of the site and surrounding area.

A structure plan for development submitted under this planning scheme may include a report, structure plan map(s), development scheme, and any supporting technical documents and plans to guide development by:

- (1) identifying significant environmental features and development constraints;
- (2) identifying the preferred location, mixture, density and height of future land uses; and
- (3) identifying the preferred location and design requirements of major infrastructure.

SC6.19.3.2 Outcomes of a structure plan

The structure plan must demonstrate to Council that the development of an area can achieve the following broad outcomes:

- (1) an orderly, efficient and coordinated use of land and infrastructure;
- (2) satisfaction of high quality urban design objectives aimed at creating places communities desire;
- (3) integration with existing and proposed development in the immediate area;
- (4) creation of a highly accessible and well serviced pedestrian, cyclist, public transport and private vehicle connections;
- (5) provision of a wide variety of housing designs, housing densities and residential lot sizes if residential land use activities are proposed;
- (6) provision of linkages between any residential areas and public open space, centres and community facilities;
- (7) location of any higher density residential uses in and around centres which are served by high order roads and other transport facilities;
- (8) avoidance or agreed management of the likely impacts of development on ecologically significant areas and other important natural environmental features, heritage features and other valued features of the development site;
- (9) avoidance of areas of medium risk and high risk from natural hazard; and
- (10) environmentally and climate responsive design outcomes.

SC6.19.3.3 Urban design guideline

The New Zealand Urban Design Protocol is suggested as a basis for undertaking structure planning to achieve good urban design outcomes. This protocol identifies that successful urban places share the following attributes:

- (1) competitive places that thrive economically and facilitate creativity and innovation;
- (2) liveable places that provide a choice of housing, work and lifestyle options;
- (3) environmentally responsible places that manage all aspects of the environment sustainably;
- (4) inclusive places that offer opportunities for all citizens;
- (5) distinctive places that have a strong identity and sense of place; and
- (6) well-governed places that have a shared vision and sense of direction.

The protocol identifies the 'Seven Cs' which are considered the essential design qualities that create good urban design:

Context:	means that the area being structure planned, and the features in it, need to be seen to be part of, and relate to, the surrounding environment, town or city.
Character:	the form and style of development that a structure plan promotes should reflect and enhance the distinctive character and culture of the environment. This does not mean preserving a particular character however as character is dynamic and evolving, not static.
Choice:	structure plans should foster diversity and offer people choice in the urban form (such as through a choice of densities, development types, transport options and land use activities).
Connections:	structure plans need to take into account all networks — streets, railways, walking and cycling routes, services, infrastructure, and communication networks — and how they connect. Structure plans need to provide for connections to existing transport networks and provide for different transport modes to operate in an integrated manner. Good connections enhance choice, support social cohesion, make places lively and safe, and facilitate contact among people.
Creativity:	structure plans may need to incorporate innovative and creative solutions to get around issues or provide for quality outcomes, and also allow for creativity to take place in the area being planned. Creativity adds richness and diversity, and turns a functional place into a memorable place. Creativity facilitates new ways of thinking, and

	willingness to think through problems afresh, to experiment and rewrite rules, to harness new technology, and to visualise new futures.
Custodianship:	recognises the lifetime costs of buildings and infrastructure, and aims to hand on places to the next generation in as good or better condition.
Collaboration:	quality urban design requires good communication and coordinated actions from all decision makers: central government, local government, professionals, transport operators, developers and users.

SC6.19.3.4 Structure plans for new or emerging urban communities

There may be instances where Council or other levels of government, in partnership with community stakeholders, undertake structure planning for new or emerging urban communities. Where government initiated structure planning has not been undertaken, a structure plan or a more detailed master plan will more than likely need to be prepared to demonstrate to Council that the strategic outcomes and performance outcomes of this planning scheme and the purposes of this policy can be achieved.

A preliminary approval to vary the effect of a planning scheme will likely be the most common application type to facilitate development within greenfield areas (mainly contained within the emerging community zone and low density residential zone). A preliminary approval to vary the effect of the planning scheme may seek to provide for the development of a range and mixture of new land uses at a site and to modify the categories of development and assessment and assessment benchmarks for such development. In such instances careful consideration of future impacts will be required.

The potential for gaining Council support for a preliminary approval to vary the effect of the planning scheme, particularly if involving a proposed change to the level of assessment for development, will be enhanced if the applicant undertakes and submits to Council a structure plan (or detailed master plan) and development scheme and other supporting documentation for assessment. The structure plan and development scheme should at a minimum include the following:

- (1) a report demonstrating that the development is consistent with the strategic framework and codes of the planning scheme;
- (2) a report demonstrating that provision for major trunk infrastructure has been assessed and has been determined to be able to be provided effectively and efficiently;
- (3) a map identifying the preferred location and mixture of land uses as well as the intended density and height of development;
- (4) a map identifying the location and layout of the required major trunk infrastructure;
- (5) a map identifying any stages and sequence of development;
- (6) if proposing a modification to the tables of assessment for the applicable planning scheme zone or precinct, a modified tables of assessment identifying the proposed categories of development and assessment and assessment benchmarks for development; and
- (7) a code or codes prepared in a manner consistent with the format of the planning scheme, which identify the overall development intent for the site or area as well as performance outcomes and any acceptable outcomes for accepted development subject to requirements and assessable development, so as to enable a comprehensive assessment of future development applications.

SC6.19.3.5 Structure plans for centres and major facilities

A structure plan for centres and major facilities helps provide more concise direction for the integration of development and the facilitation and management of changes in land uses, public places, movement networks, and built form.

Given the high percentage of different land owners and stakeholders in established centres, structure planning will mainly occur over time at the initiative of Council or other levels of government, with input from the community stakeholders. Opportunities for structure plans or more detailed master planning may potentially arise at new centres located in emerging community zones, or in established centres where there are single or multiple sites of sufficient size and in single ownership.

Aside from the general requirements for the development of structure plans, in order to encourage the creation of diverse, vibrant, and viable centres of activity, it will be important that urban design considerations are given particular attention to when planning for the development of centres.

SC6.19.3.6 Urban design principles

SC6.19.3.6.1 Generic centre design principles

The following generic principles should be considered when planning for or undertaking development in centre zones and the specialised centre zone (including within precincts and sub-precincts).

- (1) Provision of active uses on key pedestrian circulation streets and major frontages;
- (2) Creation of a predominant built to street frontage form;
- (3) Provision of a human scale at street level;
- (4) Incorporation of climate responsive design;
- (5) Creation of a mix of uses resulting in day time and night time activity;
- (6) Incorporation of safety and security measures;
- (7) Rationalisation of vehicle crossovers;
- (8) Provision of a high level of pedestrian, cyclist and public transport accessibility;
- (9) Incorporation or enhancement of public places such as public squares, malls, footpaths, laneways and parks;
- (10) Encouragement of pedestrian mobility over vehicle mobility;
- (11) Provision of safe and high quality streetscapes and walkways; and
- (12) Ensure car parking areas and access ways do not dominate major frontages and pedestrian routes (except where indicated on the concept plans located in the zone code).

SC6.20 Waste management planning scheme policy

SC6.20.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and waste management code.

SC6.20.2 Purpose

The purpose of this policy is to provide a framework to guide development in relation to waste management throughout the Rockhampton Regional Council planning scheme area.

SC6.20.3 General requirements

Development must comply with the Environmental Protection (Waste Management) Regulations for storage and collection of solid wastes.

Waste and recycling is collected by Rockhampton Regional Council from all properties with the exception of single titled complexes, office buildings and industrial buildings. Body corporate or building owners may contract out their waste and recycling collection, this may include Rockhampton Regional Council waste services.

The collection of refuse is to be considered during the planning phase of a development or subdivision. Once the aesthetic and physical limitations of dedicated road kerbside collection are exhausted, the development may make allowance for on-site collection.

Council will assess on a case by case basis whether a waste management plan will be required for a development application. This will depend on the complexity of the issues involved. Where a pre-lodgement meeting is arranged for a proposed development, Council can provide comment on this requirement at this meeting.

Refer to the table below for residential minimum waste storage capacity requirements. In general for a proposal greater than eight (8) apartments/units, commercial bins must be considered.

SC6.20.4 Waste and recycling collection services policy and procedure

This policy establishes the principles for the operation of Council's waste and recycling collection services and the procedure supports the policy.

SC6.20.4.1 Residential refuse bin arrangements

Table SC6.20.4.1.1 — Residential minimum waste storage capacity requirements

Category	Minimum waste storage capacity requirements
Dual occupancy	1 x 240 litre wheelie bin general waste per unit/house 1 x 240 litre wheelie bin recyclable waste per unit/house
Multiple dwelling (apartments/units)	1 x 240 litre wheelie bin general waste per unit 1 x 240 litre wheelie bin recyclable waste per unit OR Up to four (4) units — 240 litres general waste per unit 240 litres recyclable waste per unit Over four (4) units — 240 litres general waste per unit 120 to 360 litres recyclable waste per unit or part thereof

Category	Minimum waste storage capacity requirements
	If over ten (10) apartments/units, commercial bins must be sconsidered.

SC6.20.4.2 Non-residential refuse bin arrangements

Table SC6.20.4.2.1 — Non-residential minimum waste storage capacity requirements

Editor's note—A waste management plan may be required to assess the proposed waste and recycling facilities for any or all of the following development types. However, a management plan will be mandatory for shopping centres, short-term accommodation (motels), hotels (pubs), major accommodation and large-scale commercial land uses.

Category	Minimum waste storage capacity requirements
Single shop	Adequate space for two (2) by three (3) cubic metres commercial type waste bins. The storage area is off road on the property with adequate drive in/drive out access. It should also be noted that the collection method for bins is different in that a 120 – 360 litre bin will be collected by a side-loader where as a 0.5 cubic metre up to six (6) cubic metre bin will be collected by a front lift truck.
Shopping centre with two (2) to three (3) shops	One (1) shop — adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins. Two (2) shops — adequate space for four (4) by three (3) cubic metre commercial type waste and recycling bins. Three (3) shops — adequate space for five (5) by three (3) cubic metre commercial type waste and recycling bins.
Shopping centre with three (3) or more shops	Adequate waste and recycling storage facilities and removal services for the waste and recycling generated at the complex.
Office	Minimum facilities appropriate for the waste produced but not less than adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins.
Community facility (for example community services/halls)	Adequate space for two (2) by three (3) cubic metre commercial type waste and recycling bins.
Short-term accommodation (for example motel)	Adequate space for one (1) by 240 litre general waste and recycling and one (1) by 240 litre for recycling waste and recycling bin per five (5) units or part thereof. Editor's note—Food and drink outlet (such as restaurants attached to motels) will be assessed separately.
Bars/pubs/hotels	Adequate waste and recycling storage facilities and removal services for the waste and recycling generated at the proposed premises.
Warehouse (for example self-storage units)	Adequate space for two (2) by 240 litre wheelie bins.

SC6.20.5 Storage areas

The waste and recycling bin storage area is to be aesthetically screened from any road frontage or adjoining property and to be setback two (2) metres from any road frontage or property boundary. The waste and recycling storage area is to be integrated into the building design wherever possible, permitting drive in and drive out access so as to ensure that the collection vehicle is able to enter and exit the site in a forward gear.

The waste and recycling bin storage area must be surrounded by at least a 1.8 metre high fence that obstructs from view the contents of the bin from a public place whether from a nearby roadway or adjacent land. The area is kept in a clean, odour free and tidy condition.

Waste storage areas are not to be located directly adjacent to any dwelling units or to adjoining properties. Adequate clearance is to be provided around the waste and recycling storage bins to allow for manoeuvring and washing of the bins, and the storage area. Any run-off water from the cleaning process can not run off property or be permitted to enter any stormwater drain. A trade waste permit will be required for any proposal to discharge to Council's sewerage reticulation.

The waste storage area is to be constructed of impermeable, durable materials so that they can be easily cleaned.

If a waste chute is to be provided, this is to be constructed to allow waste to fall into the centre of the bin and separate chutes are to be provided for general waste and recyclables. Separate bins are to be provided for each waste stream.

Both the customer and service provider can access the waste and recycling bin storage area and collection point conveniently.

The location and design and operation of the waste and recycling bin storage area does not have adverse acoustic, odour or visual impacts on surrounding properties.

SC6.20.6 Drained wash down areas

The requirement for a drained wash down area will be determined on a case by case basis, depending on the number of bins stored together, the size of the bins and the amount and type of waste and recycling generated. However, in general, three (3) or more domestic general waste bins housed together will require a drained wash down area.

For any drained wash down area to accommodate waste and recycling containers, a suitable hosecock (with backflow prevention) and hoses are to be provided at the waste and recycling bin area, and wash down is to be drained to sewer and fitted with an approved stormwater diversion valve arrangement in accordance with a Plumbing and Drainage Permit and Sewerage Trade Waste Permit. Alternatively, a commercial bin cleaning service is acceptable, provided no wastewater is discharged from the site to sewer. All works are to be in accordance with the *Plumbing and Drainage Act 2018*, *Water Supply (Safety and Reliability) Act 2008* and Council's Trade Waste Management Plan.

SC6.20.7 Access and manoeuvrability

Access for refuse collection vehicles to the designated collection areas must be maintained at all times. Access to the waste storage area must be available at all times and the collection vehicles must be able to enter and exit the site in a forward gear. Turnaround facilities for a refuse collection vehicle are to be provided for no through roads and staged subdivision developments.

Council will assess the accessibility of the site having regard to the number of units/apartments proposed and the safe and acceptable collection of the waste and recycling. It is noted that for a complex where greater than ten (10) units/apartments are proposed, kerbside collection of waste bins is not preferred and on-site collection is recommended. In addition, the waste and/or recycling collection vehicle must be able to enter and exit the site in a forward gear. Council acknowledges that compliance with both these requirements is not reasonable in all instances, and this will be assessed on a case by case basis.

All entry and exit gates are to be of a width and design that allows for sufficient ingress and egress for the waste and recycling collection vehicle. This will require a six (6) metre wide crossover. Any development application with a proposed crossover less than six (6) metres is to include written confirmation from a proposed waste collection contractor and or Council's waste collection service, giving full details of the proposed system, including the bin sizes, number of bins and the frequency of collection and the collection vehicle size.

The minimum vertical clearance required for movement of a waste and recycling collection vehicle in a residential development is 4.5 metres (side lift or rear lift) and 6.5 metres for bulk

bin collection front lift. Any development application proposed with vertical clearances less than those identified above, is to include written confirmation from a proposed waste collection contractor giving full details on the type of collection vehicle proposed, bin sizes, number of bins, and the frequency of collection.

For proposed mobile garbage bins the distance to wheel them must not exceed fifty (50) metres, or for a residential care facility or retirement facility the distance must not exceed twenty-five (25) metres. The mobile bins travel path must be free of steps or other obstructions and have a maximum grade of one (1) in fifteen (15).

SC6.20.8 Collection points

The collection point for residential 240 litre waste and recyclable bins is to be located either on the dedicated road frontage of the site (if less than ten (10) units/apartments), or where appropriate within the site if the waste and recycling collection vehicle can access the site.

The requirements for waste and recycling bins for non-residential development will be assessed on a case by case basis and will be based on the type and amount of waste and recycling generated by the development, which will depend on the operational activities of the development.

SC6.20.9 Specialised waste (medical/chemical)

Medical waste including chemicals and sharps etcetera must be stored and disposed of in accordance with the Environmental Protection (Waste Management) Regulations. Licensed waste containers and approved contractors only are permitted for the collection and disposal of specialised waste.

SC6.21 Water supply infrastructure planning scheme policy

SC6.21.1 Application

This policy applies throughout the Rockhampton Regional Council area and will be considered when assessing development applications identified by the works code and water and sewer code.

All applications are to be made in accordance with the *Plumbing and Drainage Act 2018*. Such an approval under this Act is deemed an approval under the *Water Supply (Safety and Reliability) Act 2008*.

SC6.21.2 Purpose

This policy provides a framework to guide development affecting new and existing water infrastructure across the Rockhampton Regional Council planning scheme area and provides guidance about satisfying the applicable assessment benchmarks identified in the works code and water and sewer code.

SC6.21.3 Water connections/disconnections

To apply to have a water meter connected or disconnected the following steps apply:

- (1) Standard twenty (20) millimetre water connection in a new subdivision
Fill out the following forms:
 - (a) Fitzroy River Water's fees and charges form;
 - (b) Form 1 — Application for compliance assessment; and
 - (c) Form 2 — Proposed plumbing, drainage and on-site sewerage work.These forms need to be lodged, along with the appropriate fees, at one of the Rockhampton Regional Council's customer service centres.
- (2) Greater than a twenty (20) millimetre water connection:
 - (a) private works quotation required.
- (3) Water connection twenty (20) millimetre (not in a new subdivision):
 - (a) private works quotation required.
- (4) Water disconnections:
 - (a) private works quotation required.

To apply for a private works quotation, please complete the Private Works Application for Water and Sewerage Services form and return to Rockhampton Regional Council. Alternatively you can contact the Rockhampton Regional Council customer service office between 08:00 and 17:00 Monday to Friday on (07) 4932 9000.

SC6.21.4 Water metering

Fitzroy River Water, as the registered water service provider, will require any premises meeting the below criteria and drawing a water supply from Fitzroy River Water to have sub-meters installed.

- (1) Each lot within a community title scheme, including the common property;
- (2) The sole occupancy unit of a Class 2, 4, 5, 6, 7 and 8 building in a water service provider's area; and
- (3) Each storey of a Class 5 building in a water service provider's area where the building consists of more than one storey and sole occupancy units are not identified at the time of the building's plumbing compliance assessment.

The policy to guide when sub-metres are required and water meter policy can be accessed from Council's website.

SC6.21.5 Standard drawings

All standard drawings for water reticulation will be in accordance with the Capricorn Municipal Development Guidelines Standard Drawings for Water Reticulation.

SC6.21.6 Design and construction of water reticulation systems

The Capricorn Municipal Development Guidelines Design and Construction Specifications are to be utilised for the planning, design and construction of water reticulation works.

The design guideline sets out requirements for the design of the water reticulation system for a development:

- (1) The guideline contains procedures for the design of the following components of a water supply system:
 - (a) reticulation; and
 - (b) pumping stations.
- (2) The design of reticulation and pumping stations shall comply with the Department of Natural Resources Guidelines for the Planning and Design of Urban Water Supply Schemes, unless specified otherwise herein.
- (3) The Water Reticulation Code of Australia WSA 03-1999 with Queensland amendment shall apply except where modified by this specification where the following order of priority for interpretation of documents will apply:
 - (a) Capricorn Municipal Development Guidelines Design Specification D11
 - (b) Capricorn Municipal Development Guidelines Standard Drawings
 - (c) Water Reticulation Code of Australia WSA 03-1999.

Editor's note—Council can undertake a network analysis on behalf of the applicant for a fee.

SC6.21.7 Water supply network desired standards of service

Development within the water supply planning area is to be connected with the full desired standard of service. The objective of a water supply system is to provide to the consumer a reticulated potable water supply to meet the demands imposed upon it by both the consumers and fire fighting requirements.

The Desired Standards of Services for the water supply network are detailed within the local government infrastructure plan.

SC6.21.8 Additions/modifications to Capricorn Municipal Development Guidelines

In addition to the Capricorn Municipal Development Guidelines requirements the following design benchmarks are to be adopted:

- (1) Water meter boxes within trafficable areas must be raised or lowered to suit the finished surface levels and provided with heavy duty trafficable lids.
- (2) Large trees planted in the footpath of a new development must be located a minimum of one (1) metre from the centreline of any water supply infrastructure. Small shrubs and groundcover are acceptable.
- (3) Stop valves are required on each side of all mains crossing rail reserves, main roads, rivers/creeks.

SC6.21.9 New fire services

Where internal hydrants and/or sprinkler systems and fire hose reels are required, a single connection shall be provided with a check valve and metered bypass located adjacent to the property boundary.

Diameters of fire services (including the diameter of metered bypasses for fire hose reels) shall be determined and certified for each project by an approved certifier (as outlined in the Queensland Department of Housing and Local Government Register of Fire Systems Certifiers).

All properties within the declared water area requiring water connections for fire fighting purposes must comply with the provisions of Council's Metering of Fire Lines Policy. The policy is to ensure all new fire lines are metered to identify and eliminate avoidable system leakage and non-fire related water consumption through those services.

SC6.21.10 Maintenance

Maintenance of all water services within a property is the responsibility of the property owner, with the exception of mains within property easements owned by Council.

Construction of any new plumbing and sanitary drainage works must comply with the provisions of Council's plumbing and drainage policy in addition to:

- (1) Australian Standard/New Zealand Standard AS/NZS 3500.2:2015 (as amended) and in particular clause 3.2;
- (2) *Plumbing and Drainage Act 2018*;
- (3) *Standard Plumbing and Drainage Regulation 2019*; and
- (4) Plumbing Code of Australia (PCA).

SC6.21.11 Development outside the water supply planning area

- (1) On-site water supply:
 - (a) to be in accordance with the Plumbing Code of Australia; and
 - (b) the water quality must be in accordance with the recognised standards that safeguards community health. The water supply must meet the NH&MRC standard for drinking water.
- (2) Special water supply arrangement – a developer may request connection to the water reticulation network although they are located in part or totally outside the priority infrastructure area and water service area. In this event the developer must enter into a special water supply arrangement with Council. Council will condition the developer to construct or contribute the full cost of the extension of the network or connection to the network to service the development. For the avoidance of doubt the special water supply arrangement will include an agreement to void any later trunk conversion application associated with the subject infrastructure. Where a special water supply arrangement allows for just a connection to the network, the infrastructure from the development to the point of connection remains the responsibility of the developer, including all future maintenance and the like.

SC6.21.12 Consent of adjoining landowners

Written approval is required from adjoining property owners authorising any operational work on their property.

SC6.21.13 Submission of digital 'As Constructed' information for development works

The following information is provided for consultants and developers who contract for subdivisional and developmental works within the Rockhampton Regional Council area, and are required to submit final 'As Constructed' plans to Council.

Council has standardised the process in which 'As Constructed' information is collected, documented, mapped, submitted and integrated into Council's Geographical Information System and Asset Management System. This process is continually being improved from feedback from consultants, developers and Council staff, and is designed to make the entire process simpler, efficient and accurate and provide long-term benefits for all concerned.

The 'As Constructed' process requires the submission of all 'As Constructed' documentation in accordance with Council's 'Guidelines for creation and submission of ADAC XML files'. The manual provides detailed guidance on the following, the documentation required as part of the submission; the survey guidelines; plan layout specifications and specific guidance as to the attribute information required. To assist consultants and developers to provide Council with

the required attribute information, Council has developed a template 'As Constructed' Microsoft Excel spreadsheet that aligns with the manual. A reference guide is also available that is aimed at assisting during the surveys, map production and completing the Microsoft Excel spreadsheet. The common causes of errors that delay Council approval of the submission documentation are identified as a summary of key changes from previous versions.

END OF PLANNING SCHEME

[Intentionally blank]

Appendix 1 Index and glossary of abbreviations and acronyms

Table AP1.1 – Abbreviations and acronyms

Abbreviation / Acronym	Description
DSS	Desired standard of service
EP	Equivalent person
ERP	Estimated resident population
ET	Equivalent tenement
GFA	Gross floor area
MCU	Material change of use as defined in the Act
Net dev ha	Net developable hectare
NRP	Non-resident population
PFTI	Plans for trunk infrastructure
PIA	Priority infrastructure area
LGIP	Local government infrastructure plan
ROL	Reconfiguring a lot as defined in the Act
the Act	<i>Planning Act 2016</i>
the Regulation	Planning Regulation 2017
the SP Act	<i>Sustainable Planning Act 2009 (repealed)</i>
the SP Regulation	Sustainable Planning Regulation 2009 (repealed)

[Intentionally blank]

Appendix 2 Table of amendments

Table AP2.1 — Table of amendments

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendments
3 July 2017	Version 1.1	Alignment Amendment	<ul style="list-style-type: none"> • Align with new terminology under the <i>Planning Act 2016</i>; • Strategic framework reflected within the relevant codes (zone, development and overlay codes) for code assessment; • Editing, removing of duplication, updating outdated documents and the like; • Provisions related to adult stores inserted into the centres zones / specialised centre zone; and • Removal of the development application requirements planning scheme policy.
25 November 2019	Version 2	Major Amendment	<ul style="list-style-type: none"> • Removal of requirements associated with Table 5.6.1 Building Works; • Amended Table of Assessment for Operational works associated with an advertising device, advertising devices code and advertising devices planning scheme policy to provide greater clarity and to include requirements for digital signage; • Renaming of Neighbourhood Character Overlay to Character Overlay and updated character mapping and character code provisions; • Amended High Density Residential zone table of assessable for retirement facilities to be accepted development; • Inclusion of office use along Quay Lane as accepted development within the Principal Centre zone – Quay Street precinct; • Inclusion of the Kershaw Gardens, Fitzroy River Accommodation and Industry precincts into the tables of assessment and zone codes; • Inclusion of administrative definition for self- contained vehicles; • Removal of the minor demolition administrative definition; • Inclusion of Table SC1.3.1 – index and definitions of advertising devices; • Inclusion of short-term accommodation provisions into the residential tables of assessment and zone codes • Amended zoning; • Flood hazard overlay code, planning scheme policy and mapping to provide greater clarity and to incorporate the North

			<p>Rockhampton floodplain management area;</p> <ul style="list-style-type: none"> Amended stormwater management code and stormwater management planning scheme policy to include water sensitive urban design principles; and General administrative and legislative updates.
3 March 2020	Version 2.1	Interim Local Government Infrastructure Plan Amendment	<ul style="list-style-type: none"> Introduce five catchments - Parkhurst, North Rockhampton, South Rockhampton, Gracemere and Mount Morgan; Update the Planning Assumptions Model for new population and employment projections; Update timings for Trunk Infrastructure Projects; Update costs associated with Trunk Infrastructure Projects; Modify and add new Trunk Infrastructure Projects; AND Administrative updates and changes.
14 June 2021	Version 2.2	Minor Amendment	<ul style="list-style-type: none"> update all superseded legislation and Australian Standards; update the list of approved 'inconsistent' development applications (Schedule 4); and update the recently approved Ministerial Designations (Schedule 5).
25 October 2023	Version 3.0	Major Amendment	<ul style="list-style-type: none"> Update the residential designations based on the anticipated population growth; Allow home-based business in Industry zones for existing houses; Provide further clarification to the Industrial use definitions by adding the industry thresholds to the definitions; Amend subdivision provisions to align with the mandatory state regulations; Include North Rockhampton Flood Management Area (NRFMA) Stage 2 (temporary flood barriers); Amend inconsistencies in regard to interpretation of the Planning Scheme; and Zone and overlay mapping changes.
25 October 2023	Version 4.1	Major Amendment	<p>Changes to the flood hazard overlay mapping for the North Rockhampton local catchment and Fitzroy River 1% AEP flood extent, in particular:</p> <ul style="list-style-type: none"> Updated Fitzroy River Flood Overlay Map OM-8A; and Updated North Rockhampton Local Catchment Flood Overlay Map OM-8C.
25 October 2023	Version 4.2	Major Amendment	<p>Changes to the flood hazard overlay mapping for the South Rockhampton local catchment, in particular:</p> <ul style="list-style-type: none"> Updated South Rockhampton Local Catchment Flood Overlay Map OM-8C.

25 October 2023	Version 4.3	Major Amendment	<p>Changes to the flood hazard overlay mapping for the Gracemere local catchment, in particular:</p> <ul style="list-style-type: none"> Updated Gracemere Local Catchment Flood Overlay Map OM-8C.
25 October 2023	Version 4.4	Major Amendment	<p>Changes to the flood hazard overlay mapping for the Mount Morgan local catchment, in particular:</p> <ul style="list-style-type: none"> Updated Mount Morgan Local Catchment Flood Overlay Map OM-8C.
28 March 2025	Version 5	Major Amendment	<p>Package A</p> <ul style="list-style-type: none"> Change to the flood hazard overlay table of assessment for reconfiguring a lot and flood hazard overlay code. <p>Package B</p> <ul style="list-style-type: none"> Changes to the zoning from low density residential to local centre zone of 78 East Street, Mount Morgan (Lot 1 RP602282, Lot 1 RP605080 and Lot 2 RP608362) to reflect the outcome of a council meeting resolution (16 August 2022); and Changes to the tables of assessment within the Specialised Centre Zone – Yaamba Road Precinct to align with development approval D/77-2022 – 452-488 Yaamba Road, Norman Gardens (Lot 25 on RP610513). <p>Package C</p> <ul style="list-style-type: none"> Changes to the minimum lot size in the reconfiguration of a lot code for low density residential (from 400m² to 300m² standard lot and from 600m² to 300m² rear lot (excluding access)) and low medium density residential zones (from 600m² to 300m² rear lot only (excluding access)); Changes to the level of assessment for multiple dwellings in the low density residential zone from impact assessable to code assessable where located on higher order roads and within 200 metres of a centres zone, park or sport and recreation zone, hospital or university; Reduce the minimum site area required for dual occupancy (from 800m² to 600m²) and multiple dwellings (from 1,200m² to 1,000m²) in the low density residential zone; Increase density of dwellings for dual occupancy (from 1 unit per 400m² to 1 unit per 300m²) and multiple dwelling in the low density residential zone (from 1 unit per 400m² to 1 unit per 250m²); and Reduce the minimum lot size for dual occupancy (from 600m² to 400m²) and multiple dwellings (from 1,000m² to

			800m2) in the low medium density residential zone.
--	--	--	--

[Intentionally blank]